

# DP NICOLI

WILSONVILLE, OR

## NICOLI PACIFIC LLC.

P.O. BOX 2401  
LAKE OSWEGO, OR 97035  
(T): (503) 209-6970  
CONTACT: DAVID NICOLI, GREG PARSONS

## OWNER

## CIDA, INC.

15895 SW 72ND AVE, SUITE 200  
PORTLAND, OREGON 97224  
(T): (503) 226-1285  
(F): (503) 226-1670  
CONTACT: GAVIN RUSSELL, TARA LUND

## ARCHITECT/ STRUCTURAL

## AAI ENGINEERING

4875 SW GRIFFITH DR, SUITE 300  
BEAVERTON, OREGON 97005  
(T): (503) 620-3030  
CONTACT: CRAIG HARRIS

## CIVIL

## AURORA LANDSCAPE

22333 BOONES FERRY RD.  
AURORA, OREGON 97002  
(T): (503) 678-1234  
CONTACT: DAVID ANDERSON

## LANDSCAPE

## WALEN CONSTRUCTION

9740 SW WILSONVILLE RD, SUITE 230  
WILSONVILLE, OR 97070  
(T): (503) 718-6680  
CONTACT: DAVID WALES

## CONTRACTOR

CCB #:223805

## AMERICAN BUILDINGS COMPANY

2260 TENAYA DRIVE  
MODESTO, CA 95354  
(T): (503) 236-0580

## METAL BUILDING CONTRACTOR

### PROJECT DESCRIPTION

THE DEVELOPMENT CONSISTS OF ONE 11,400 SF METAL BUILDING W/1,800 SF MEZZANINE. USES INCLUDE OFFICE, WAREHOUSE, AND MINOR INDUSTRIAL FABRICATION. THE SITE WILL CONTAIN AN APPROXIMATELY 52,700 SF OPEN STORAGE YARD, AS WELL AS THE REQUIRED PARKING AND LANDSCAPING.

### ZONING CODE INFORMATION

TAX MAP: 31W4A  
TAX LOT: 500  
ZONE: PDI  
SITE AREA: 101,225 SQUARE FEET (2.32 ACRES)

### BUILDING CODE INFORMATION

DESIGN CODE: 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)  
OCCUPANCY: B-S-2 F-2 (NON-SEPARATED)  
BUILDING CONSTRUCTION TYPE: V-B (SPRINKLERED)

### DEFERRED SUBMITTALS

ELECTRICAL  
MECHANICAL  
PLUMBING  
FIRE SPRINKLERS & ALARM  
OVERHEAD CRANE  
ENTRY CANOPY  
ANY STORAGE RACKS OVER 5'-9"

\*ALL DEFERRED SUBMITTALS TO BE REVIEWED BY ARCHITECT PRIOR TO SUBMITTAL.

\*THE DEFERRED SUBMITTAL SHALL BE SUBMITTED IN A TIMELY MANNER.

\*THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

\*DESIGN-BUILD CONTRACTOR SHALL COMPLETE, AS NECESSARY, REQUIRED PORTIONS OF THE OREGON ENERGY COMPLIANCE FORMS AS IT APPLIES TO THIS PROJECT.



## RELEASES

- SHEET RELEASED BUT NOT REVISED THIS RELEASE
- SHEET REVISED THIS RELEASE

NO.	DATE	DESCRIPTION
1	01/10/20	PLANNING - SITE EXPANSION
2	06/30/20	PLANNING - CLASS 1 ALTERATIONS
3	06/30/20	PLANNING - CLASS 2 ALTERATIONS
4	08/12/20	PLANNING - SITE EXPANSION

GENERAL
CS1 COVER SHEET
SURVEY
FLSI

CIVIL- ON SITE
C0.1 GENERAL NOTES
C0.2 EXISTING CONDITIONS
C0.3 DEMOLITION PLAN
C1.0 HARDSCAPE PLAN
C2.0 GRADING PLAN
C3.0 UTILITY PLAN
C4.0 CIVIL DETAILS
C4.1 CIVIL DETAILS
C4.2 CIVIL DETAILS
ESC1.0 EROSION AND SEDIMENT CONTROL COVER SHEET
ESC2.0 CLEARING, DEMOLITION, EROSION AND SEDIMENT CONTROL
ESC3.0 UTILITY, PAVING, AND FINAL STABILIZATION
ESC4.0 EROSION AND SEDIMENT CONTROL DETAILS

CIVIL-OFF SITE
R0.1 RIGHT OF WAY COVER SHEET
R0.2 GENERAL NOTES
R0.3 EXISTING CONDITIONS
R0.4 DEMOLITION PLAN
R1.0 COMPOSITE SITE PLAN
R1.1 SW BOBERG RD PLAN AND PROFILE
R2.0 SW BOBERG RD DRIVEWAY DETAIL
R3.0 DETAILS
R3.1 DETAILS

LANDSCAPE
L1.01 LANDSCAPE PLAN
L1.02 LANDSCAPE PLAN
L1.03 LANDSCAPE PLAN
L1.04 TREE PLAN

ARCHITECTURAL
A0.1 SITE PLAN
A0.2 SITE DETAILS
A0.3 SITE DETAILS
A0.4 SITE LIGHTING PLAN
A0.5 SITE CIRCULATION PLAN
A1.1 FLOOR PLAN
A1.2 REFLECTED CEILING PLAN
A1.3 ROOF PLAN
A2.1 ELEVATIONS
A3.1 BUILDING SECTIONS
A4.1 WALL SECTIONS
A4.2 WALL SECTIONS
A5.1 DOOR SCHEDULE & DETAILS
A5.2 DOOR S DETAILS
A6.1 STOREFRONT TYPES & DETAILS
A7.1 EXTERIOR DETAILS
A8.1 ENLARGED PLANS & INTERIOR ELEVATIONS
A9.1 STAIRS

STRUCTURAL
S0.1 GENERAL NOTES
S1.1 FOUNDATION PLAN
S1.2 FLOOR FRAMING PLAN
S2.1 FOUNDATION DETAILS
S2.2 ENTRY FOUNDATION DETAILS
S3.1 MEZZANINE FRAMING DETAILS
S3.2 FRAMING DETAILS

PRE ENGINEERED METAL BUILDING
METAL BUILDING DRAWINGS (19 SHEETS TOTAL)

PRELIMINARY  
NOT FOR  
CONSTRUCTION

1 01/10/20 PLANNING REVIEW  
2 06/30/20 PLANNING - CLASS 1 ALTERATIONS  
3 06/30/20 PLANNING - CLASS 2 ALTERATIONS  
4 08/12/20 PLANNING - SITE EXPANSION

**CIDA**  
ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS  
15895 SW 72ND AVE SUITE 200  
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WWW.CIDAINC.COM

NEW CONSTRUCTION FOR:  
**DP NICOLI**  
28370 SW BOBERG RD.  
WILSONVILLE, OR 97070

COVER SHEET

**CS1**

JOB NO. 180146.03

City of Wilsonville  
Exhibit B2 DB20-0035 et seq

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## GENERAL NOTES

- CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL AND VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED – DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2017 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF WILSONVILLE.
- THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CITY OF WILSONVILLE FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF WILSONVILLE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- NOTIFY CITY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY REPRESENTATIVE SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.
- EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 – 209.155.

## CONSTRUCTION NOTES

### DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
- EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
- ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
- SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

### UTILITIES

- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

### STORM AND SANITARY

- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 00490, "WORK ON EXISTING SEWERS AND STRUCTURES".
- BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
- ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.

### WATER

- ALL WATER PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
- ALL WATER FITTINGS SHALL BE PROPERLY RESTRAINED WITH MECHANICAL RESTRAINTS.
- ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.

### EARTHWORKS

- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

### PAVING

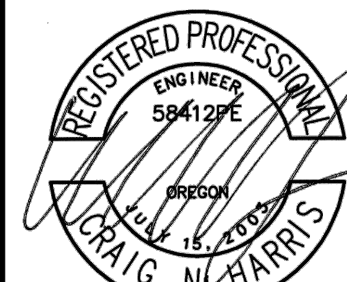
- SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

## MATERIAL NOTES

- GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ENGINEER PRIOR TO INSTALLATION.
- STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2' OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER OR PVC; AS INDICATED IN THE PLANS.
- CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

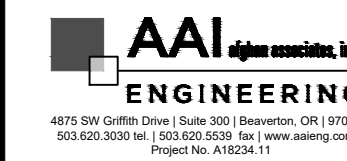
## SEPARATION STATEMENT

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.



EXPIRES: 6/30/2021

ISSUED DATE  
1 01/10/20 PLANNING REVIEW  
2 04/10/20 BUILDING PERMIT  
3 04/27/20 CITY RESUBMITTAL - CIVIL  
4 05/11/20 CITY RESUBMITTAL  
5 05/27/20 CITY RESUBMITTAL  
6 06/17/2020 REVISIONS TO PERMIT  
7 07/15/2020 FIELD REVISIONS



15895 SW 72ND AVE SUITE 200  
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NEW CONSTRUCTION FOR:

**DP NICOLI**  
28370 SW BOBERG RD  
WILSONVILLE, OR 97070

PRIVATE  
GENERAL NOTES

**C0.1**

JOB NO. 180146.03

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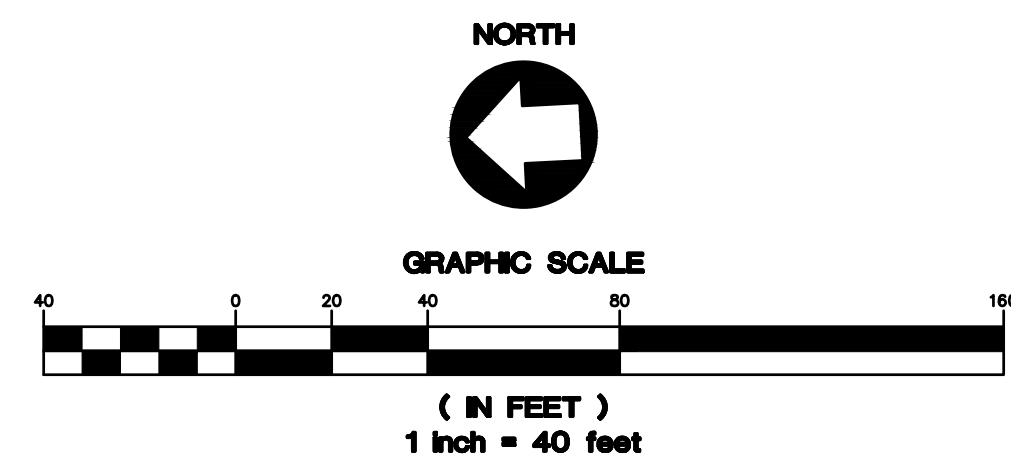
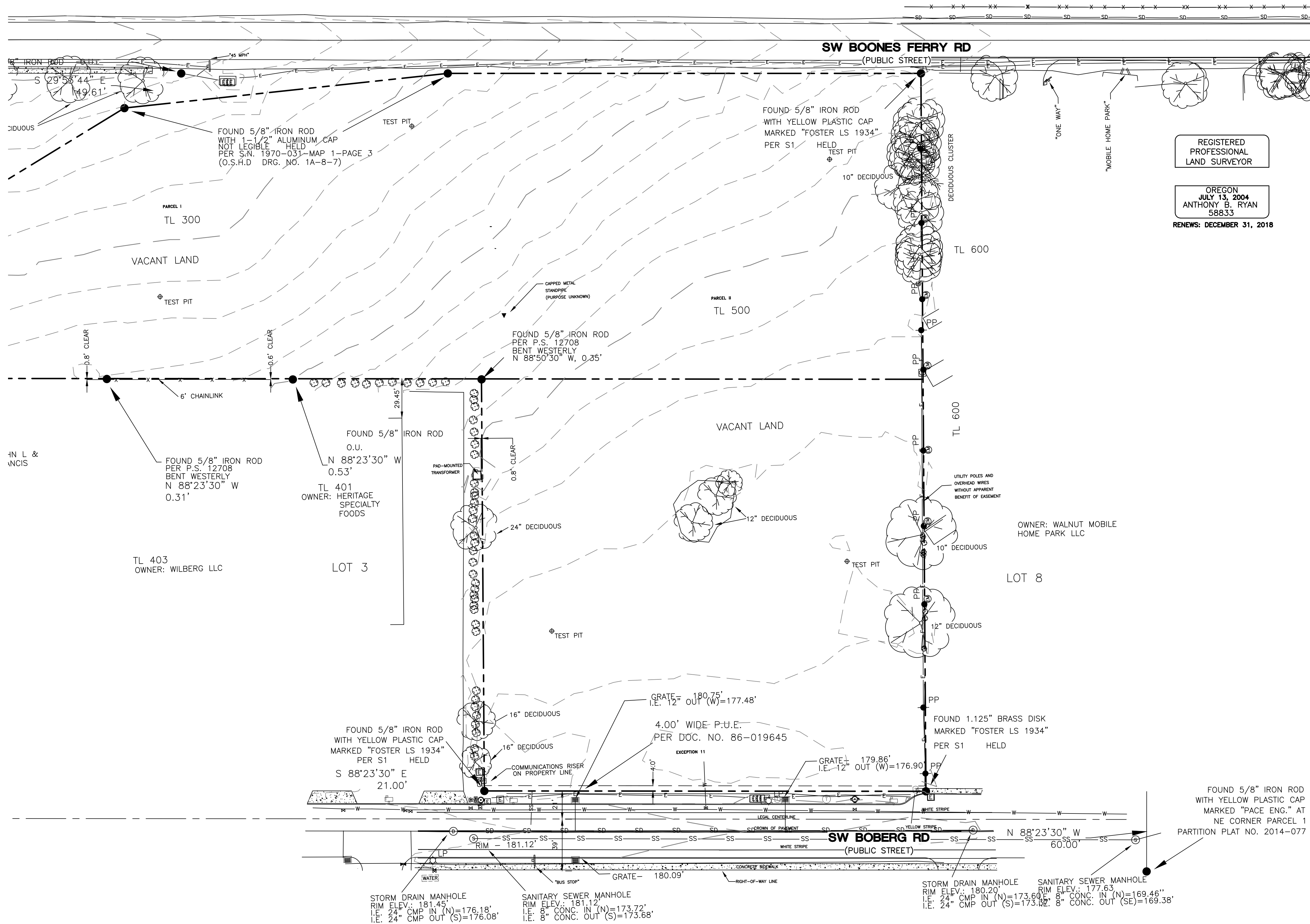


**SHEET NOTES**

- 1 THE BASIS OF BEARING FOR THIS SURVEY IS PER SURVEY NO. SN2015-164, CLACKAMAS COUNTY RECORDS. THIS IS NOT A RECORDABLE SURVEY.
- 2 UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.
- 3 THE BENCHMARK USED FOR THIS SURVEY IS AN OPUS GPS DERIVED ELEVATION ON A NAIL NEAR THE NW PROPERTY CORNER. ELEVATION: 181.11' (NAVD 88)

**LEGEND**

- BOLLARD
- CABLE TELEVISION VAULT
- COLUMN
- COMMUNICATIONS RISER
- CURB INLET
- DECIDUOUS TREE
- FIRE HYDRANT
- FOUND MONUMENT AS NOTED
- GPS OCCUPATION
- MAILBOX
- GAS VALVE
- LIGHT POLE
- POWER POLE
- POWER METER
- POWER PANEL
- POWER VAULT
- PUBLIC UTILITY EASEMENT
- SANITARY SEWER MANHOLE
- SHRUB
- SIGN AS INDICATED
- STORM SEWER MANHOLE
- TELEPHONE MANHOLE
- TEST PIT
- TRANSFORMER
- UTILITY VAULT
- WATER METER
- WATER VALVE
- WATER VAULT
- BUILDING
- BUILDING OVERHANG
- FENCE
- GAS LINE
- OVERHEAD POWER
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND TELEVISION
- WATER LINE
- CONCRETE



ISSUED DATE	DESCRIPTION
1 01/10/20	PLANNING REVIEW
2 04/10/20	BUILDING PERMIT
3 04/27/20	CITY RESUBMITAL - CIVIL
4 05/11/20	CITY RESUBMITAL
5 05/27/20	CITY RESUBMITAL
6 06/17/20	REVISIONS TO PERMIT
7 07/15/20	FIELD REVISIONS

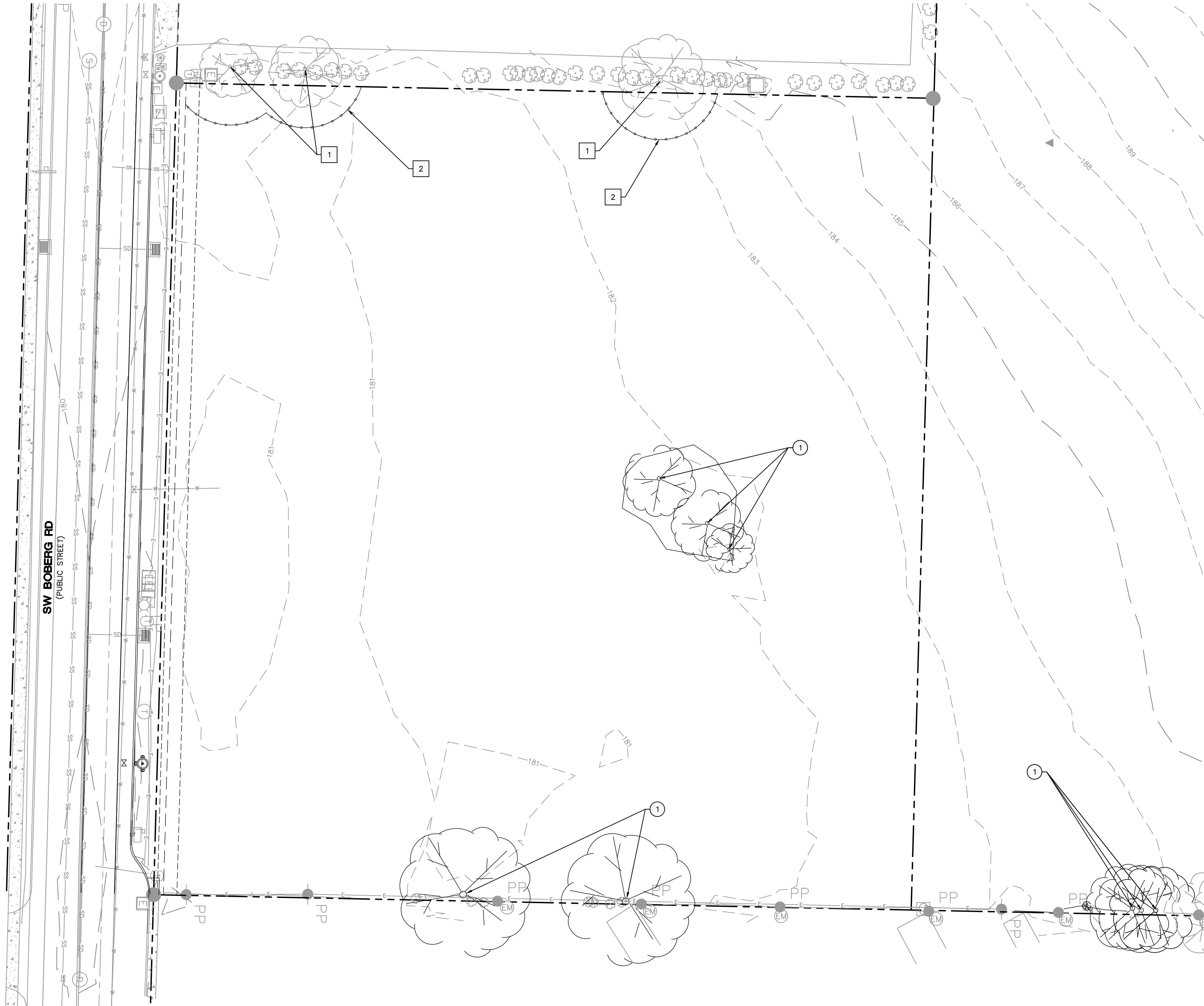


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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
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EXISTING CONDITIONS  
**C0.2**  
 JOB NO. 180146.03  
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**SHEET NOTES**

1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK AT JOINT, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
11. PROTECT ALL EXISTING VEGETATION TO REMAIN.

**X PROTECTION NOTES**

1. PROTECT EXISTING TREE
2. TREE PROTECTION FENCING TO BE INSTALL, SEE LANDSCAPE SHEET L1.04 FOR MORE DETAILS

**X DEMOLITION NOTES**

1. REMOVE EXISTING TREES



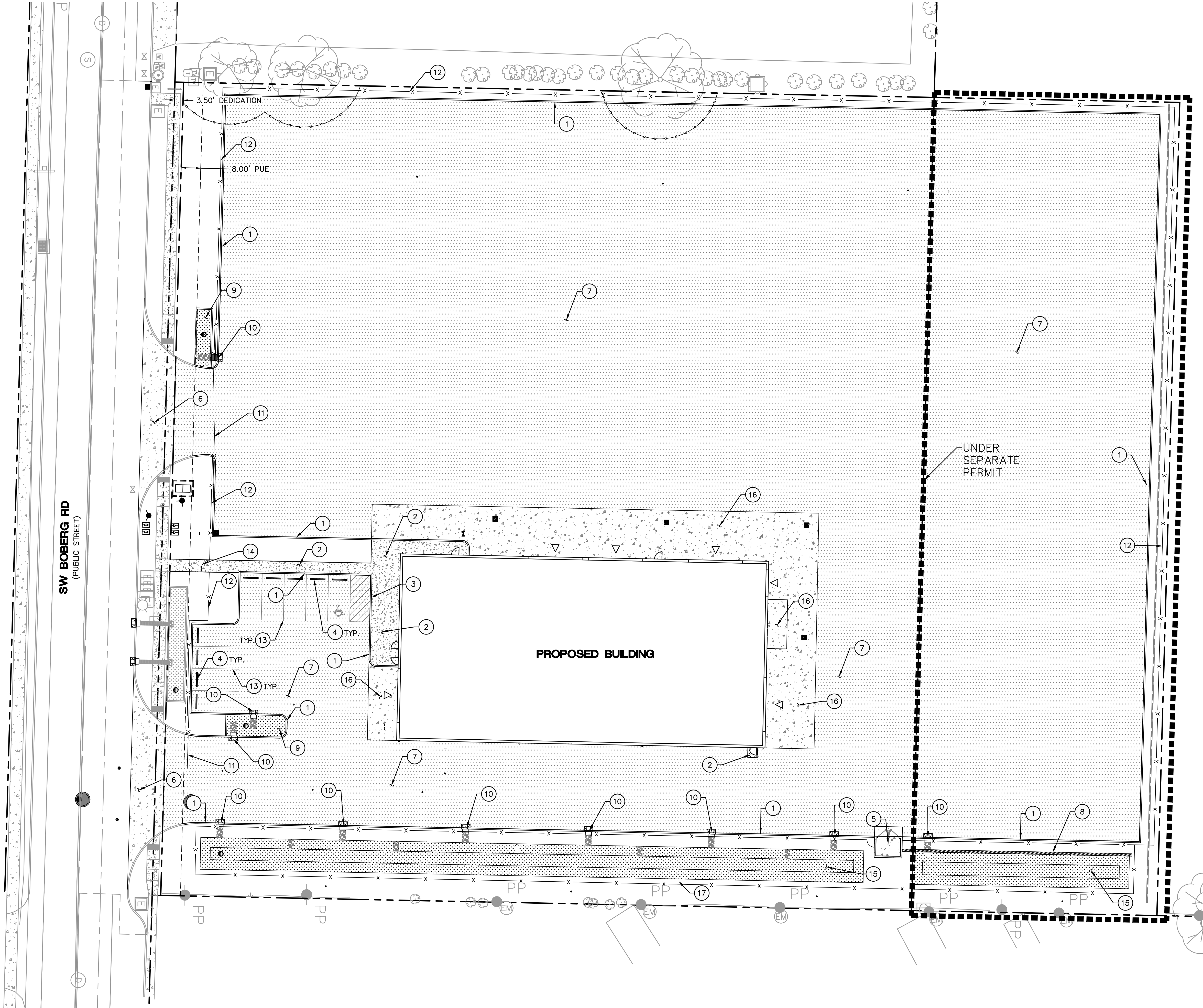
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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
 28370 SW BOBERG RD  
 WILSONVILLE, OR 97070

PRIVATE  
 DEMOLITION  
 PLAN  
**C0.3**  
 JOB NO. 180146.03  
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**SHEET NOTES**

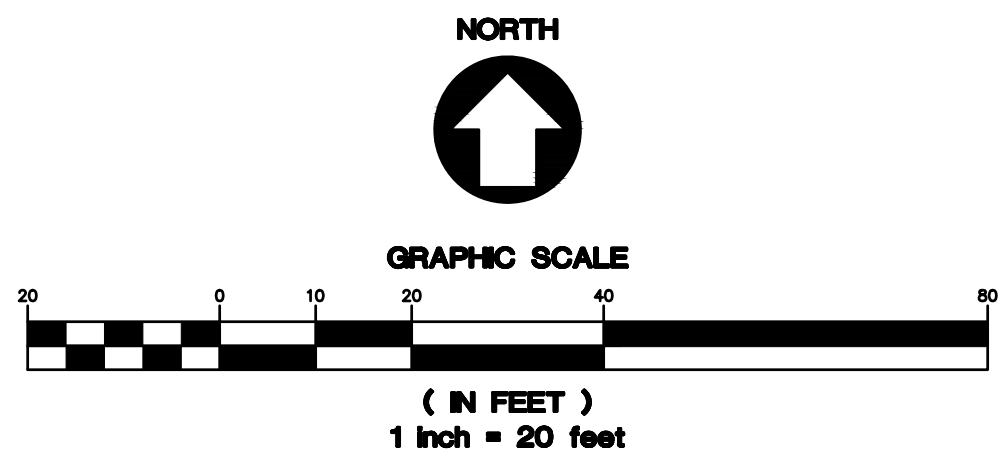
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

**(X) CONSTRUCTION NOTES**

- 1 INSTALL PRIVATE CURB PER DETAIL 1/C4.0
- 2 INSTALL PRIVATE SIDEWALK PER DETAIL 2/C4.0
- 3 INSTALL ADA RAMP PER DETAIL 2/C4.0
- 4 INSTALL WHEELSTOP PER DETAIL 3/C4.0
- 5 INSTALL TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 6 INSTALL DRIVEWAY, UNDER CURRENT PW PERMIT
- 7 INSTALL ASPHALT SURFACING PER DETAIL 4/C4.0
- 8 INSTALL WALL, DESIGN BY OTHERS
- 9 INSTALL STORMWATER FILTRATION PLANTER. SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- 10 INSTALL CURB INLETS, UNDER SEPARATE PERMIT
- 11 INSTALL GATE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 12 INSTALL FENCE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 13 INSTALL STRIPING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
- 14 INSTALL MANDOOK, SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
- 15 INSTALL STORMWATER FILTRATION RAIN GARDEN, UNDER SEPARATE PERMIT
- 16 INSTALL CONCRETE SURFACING PER DETAIL 5/C4.0
- 17 INSTALL CMU WALL, DESIGN BY OTHERS

**LEGEND**

PROPERTY LINE	---
CONCRETE SIDEWALK SURFACING	[Pattern]
ASPHALT SURFACING	[Pattern]
TREE PROTECTION	[Symbol]



ISSUED DATE	REVISION
01/10/20	PLANNING REVIEW
04/10/20	BUILDING PERMIT
04/27/20	CITY RESUBMITTAL - CIVIL
05/11/20	CITY RESUBMITTAL
05/27/20	CITY RESUBMITTAL
06/17/2020	REVISIONS TO PERMIT
07/15/2020	FIELD REVISIONS

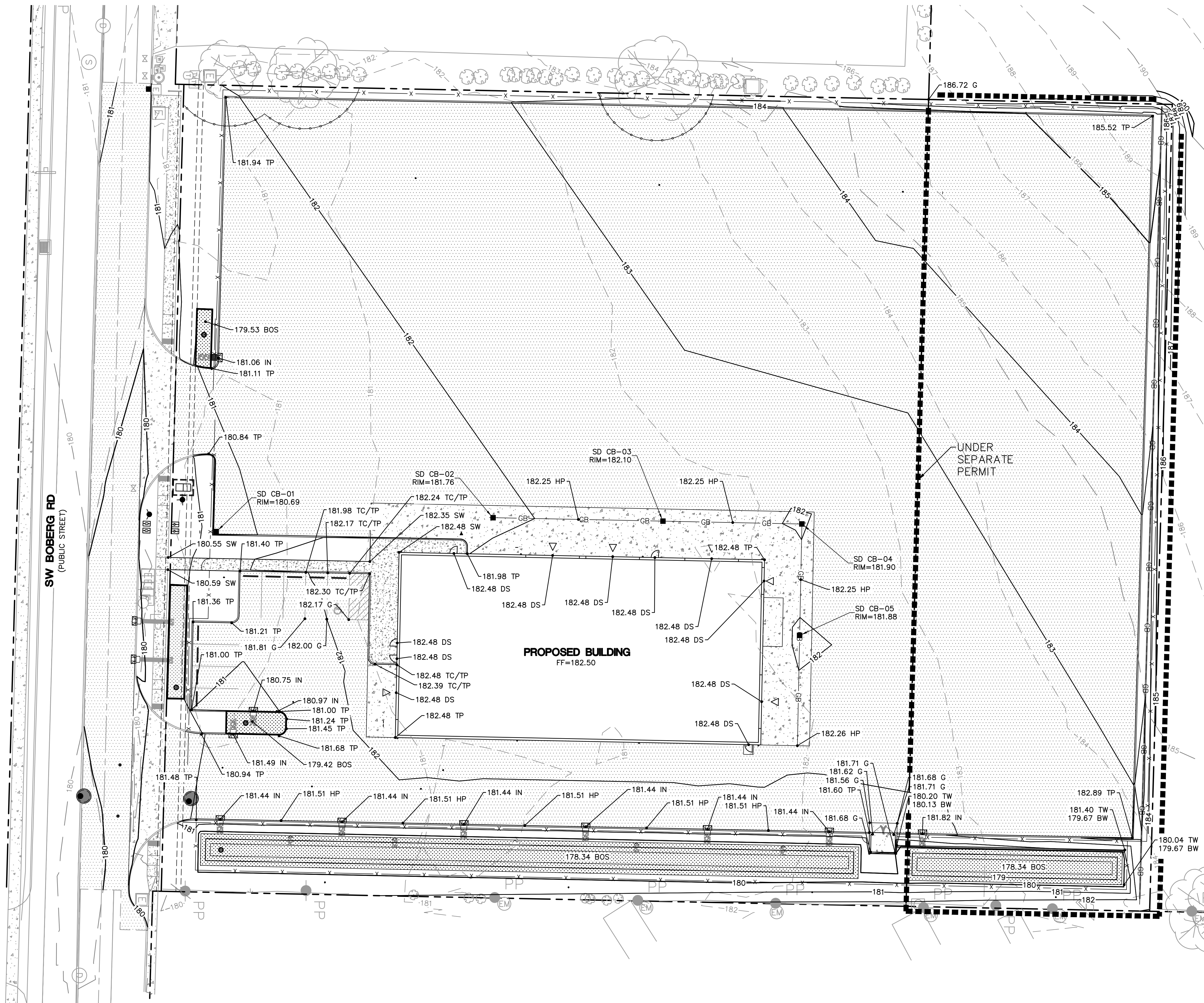


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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
 28370 SW BOBERG RD  
 WILSONVILLE, OR 97070

PRIVATE  
 HARDSCAPE  
 PLAN  
**C1.0**  
 JOB NO. 180146.03  
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**SHEET NOTES**

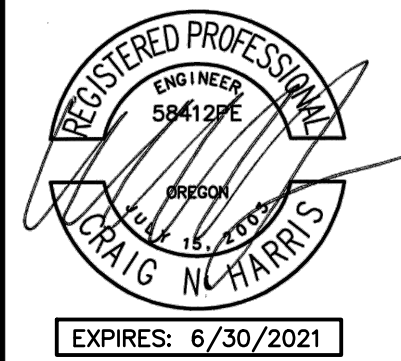
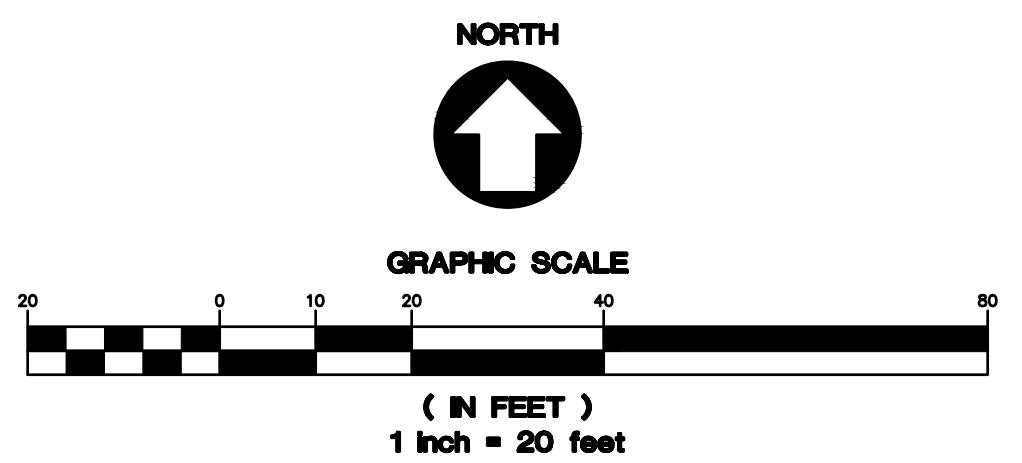
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- CURBS POURED WITH FIBER HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
- LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
- GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

**GRADING LABEL LEGEND**

CALLOUT	DESCRIPTION
XX.XX	SPOT ELEVATION
XX	DESCRIPTION LISTED BELOW.
BOS	BOTTOM OF SWALE
BW	FG AT BOTTOM OF WALL
DS	DOOR SILL
FG	FINISHED GRADE
HP	HIGH POINT
TC	TOP OF CURB
TOS	TOP OF SWALE
TP	TOP OF PAVEMENT
TW	FG AT TOP OF WALL
IN	FG AT INLET

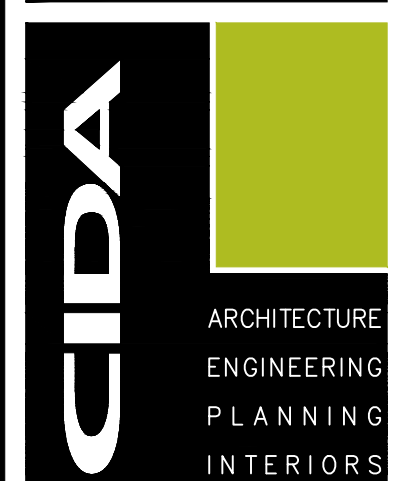
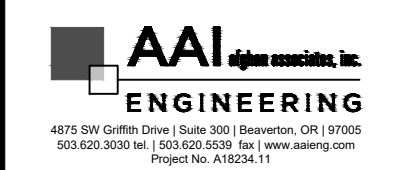
**LEGEND**

EXISTING CONTOUR MINOR	---	102
EXISTING CONTOUR MAJOR	---	100
PROPOSED CONTOUR MINOR	---	102
PROPOSED CONTOUR MAJOR	---	100
GRADE BREAK	—CB—	GB
TREE PROTECTION	---	---



ISSUED DATE

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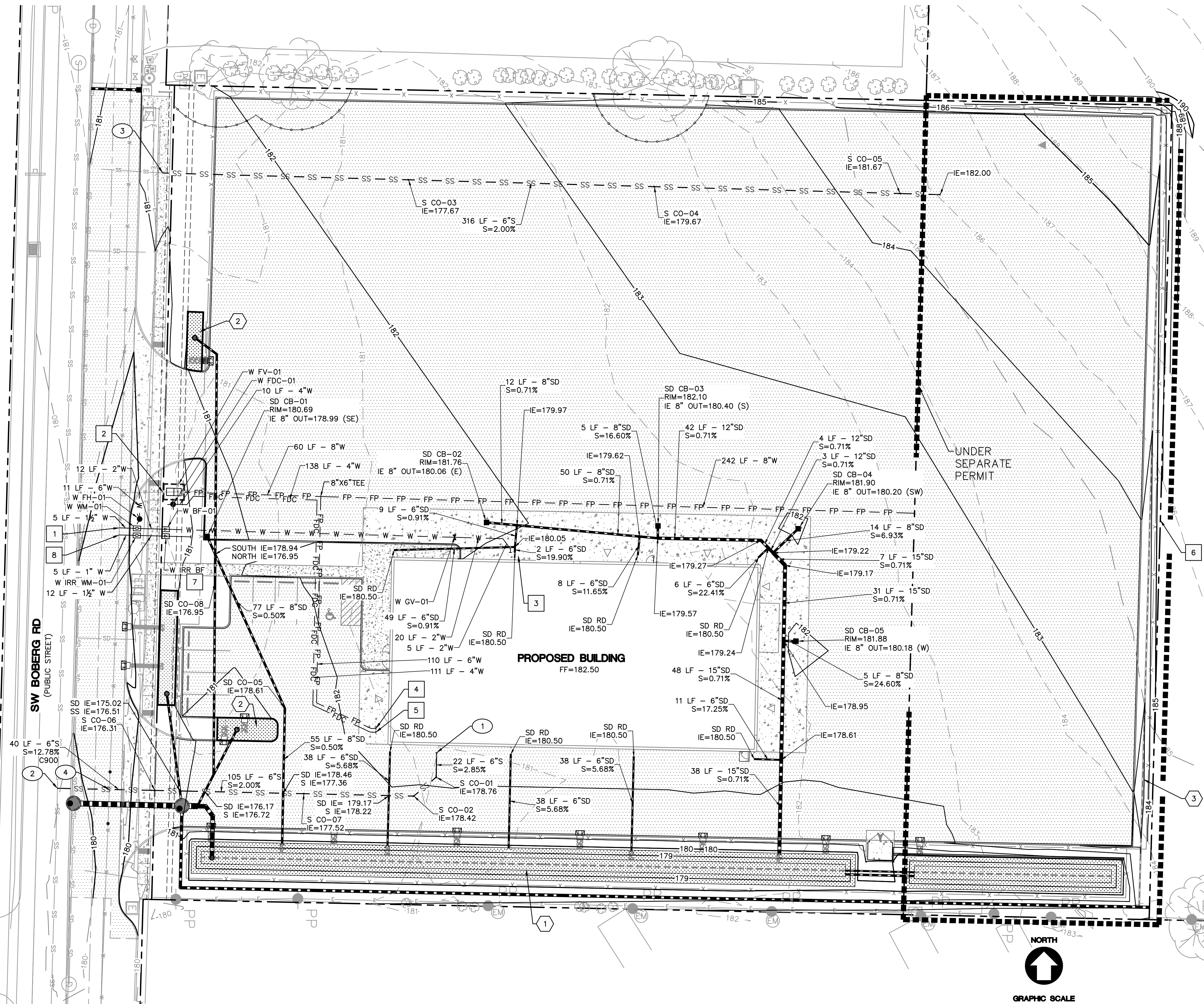
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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
28370 SW BOBERG RD  
WILSONVILLE, OR 97070

PRIVATE  
GRADING PLAN  
**C2.0**  
JOB NO. 180146.03

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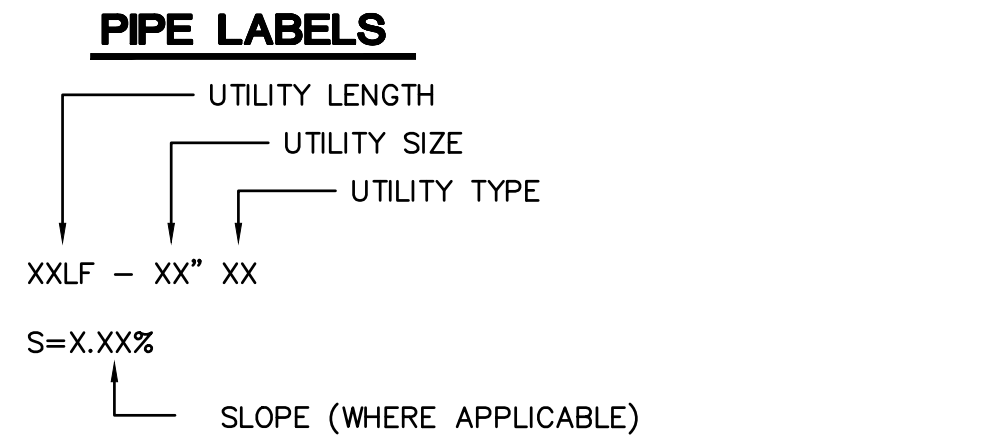
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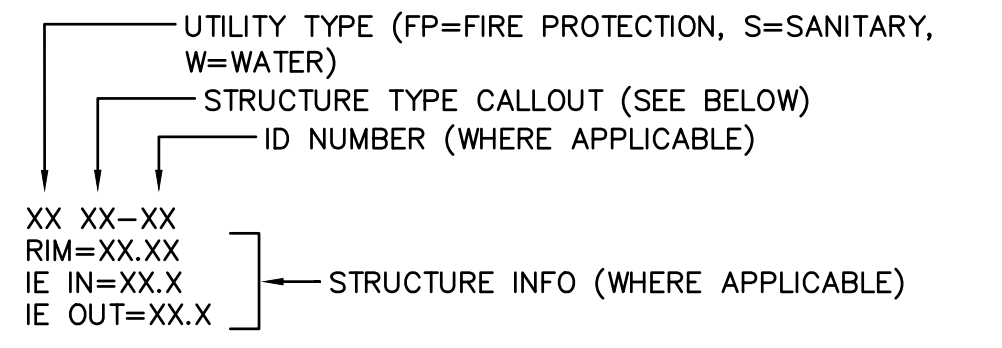
**SHEET NOTES**

- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL 6/C4.0.
- ALL WATER LINES TO BE MECHANICALLY RESTRAINED.
- ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN.
- DOMESTIC WATER LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
- UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
- CONTRACTOR TO VERIFY SANITARY AND WATER SIZING WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.

**LABEL LEGEND**



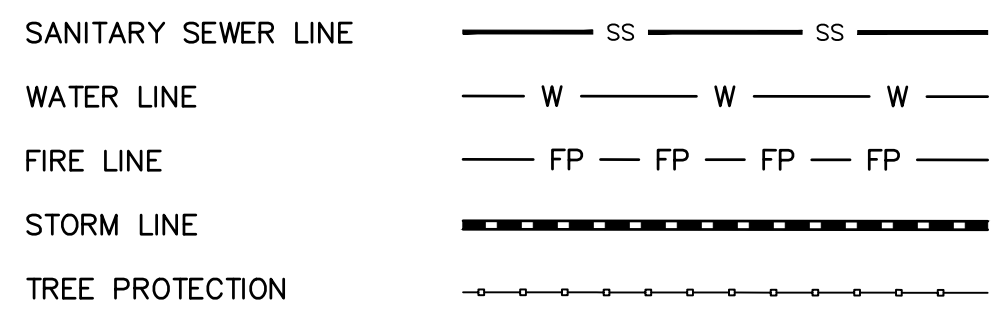
**STRUCTURE LABELS**



**STRUCTURE TYPES**

CALLOUT	DESCRIPTION
BF	BACKFLOW PREVENTOR PER DETAIL 9/4.0
CB	CATCH BASIN PER DETAIL OLDCASTLE/C4.0
FDC	FIRE DEPARTMENT CONNECTION PER DETAILS/C4.0
FH	FIRE HYDRANT, UNDER SEPARATE PERMIT
FV	FIRE VAULT PER DETAIL 7/C4.0
RD	ROOF DRAIN
WM	WATER METER, UNDER SEPARATE PERMIT

**LEGEND**



**(X) SANITARY NOTES**

- CONNECT SANITARY SEWER TO BUILDING IE=176.32
- CONNECT TO TEE AT EXISTING MAIN, UNDER SEPARATE PERMIT.
- CONTRACTOR TO TIE INTO EXISTING SANITARY STUB. CONTRACTOR TO MATCH EXISTING PIPE SIZE AND RUN PIPE AT 2% TO EAST PROPERTY LINE. STUB INVERT 175.67. CONTRACTOR TO VERIFY.
- CONTRACTOR TO LAY ONE STICK OF C900 ON CENTER AT WATER CROSSING

**(X) WATER NOTES**

- TAP WATER MAIN FOR DOMESTIC WATER SERVICE, UNDER SEPARATE PERMIT
- TAP EXISTING LATERAL FOR FIRE SERVICE
- POINT OF CONNECTION FOR DOMESTIC WATER SERVICE
- POINT OF CONNECTION FOR FIRE SERVICE
- POINT OF CONNECTION FOR FDC
- CONTRACTOR TO RUN FIRE SERVICE STUB TO ADJACENT PROPERTY
- INSTALL 1 1/2" IRRIGATION BACKFLOW AND STUB
- TAP WATER MAIN FOR IRRIGATION SYSTEM, UNDER SEPARATE PERMIT

**(X) STORM NOTES**

- INSTALL FILTRATION RAIN GARDEN, UNDER SEPARATE PERMIT
- INSTALL FILTRATION PLANTER, UNDER SEPARATE PERMIT
- INSTALL FRENCH DRAIN PER DETAIL 10/C4.0



ISSUED DATE

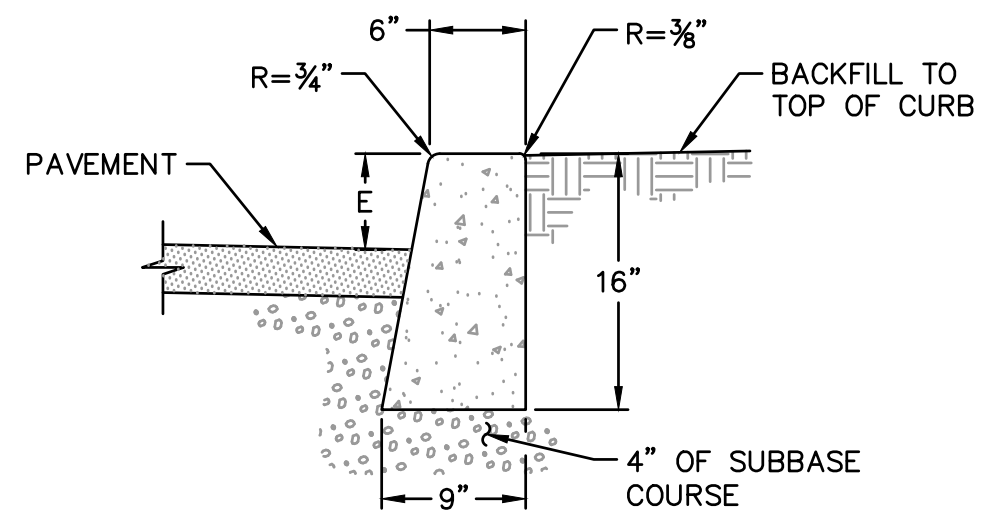
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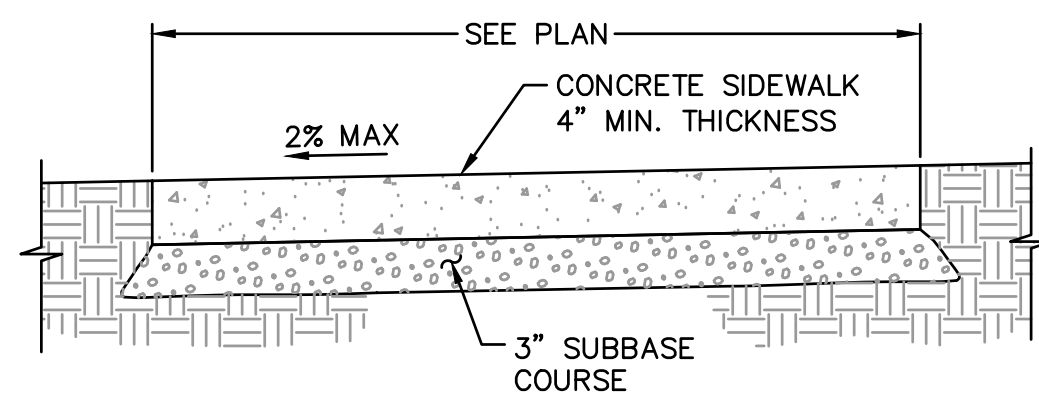
NEW CONSTRUCTION FOR:  
**DP NICOLI**  
28370 SW BOBERG RD  
WILSONVILLE, OR 97070

PRIVATE UTILITY PLAN  
**C3.0**  
JOB NO. 180146.03  
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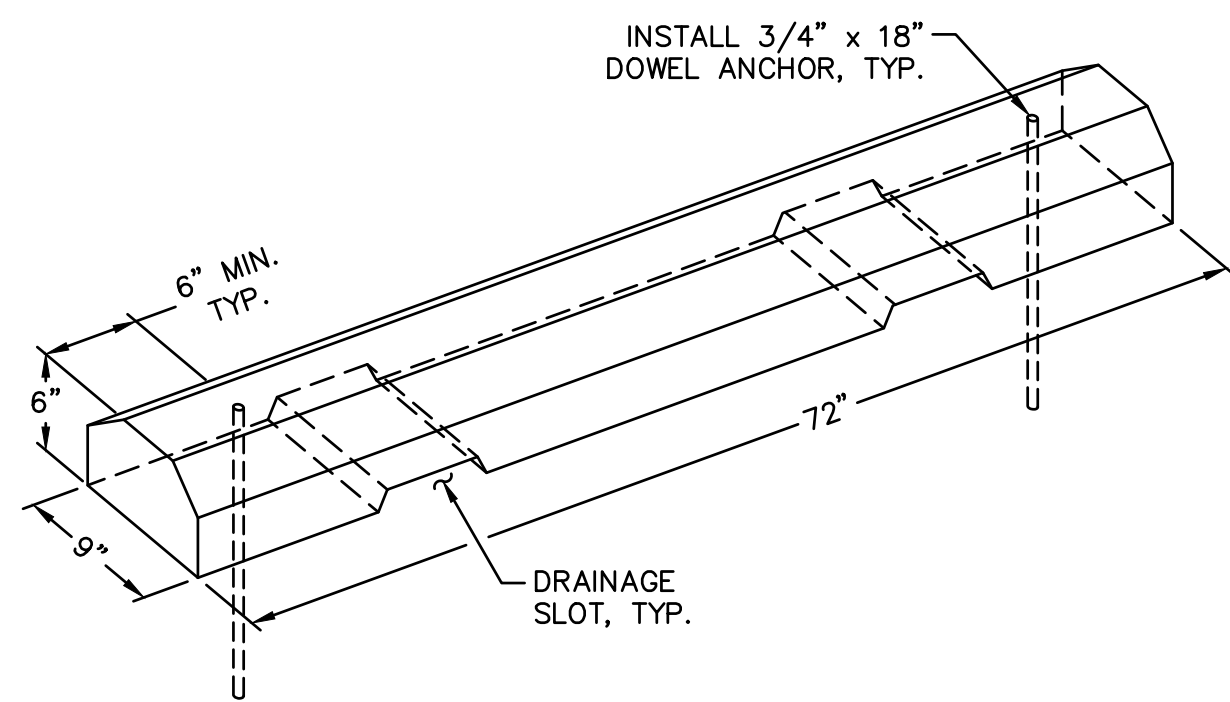
- NOTES:**
- CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.
  - CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
  - DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

**1 CONCRETE CURB - STANDARD (PRIVATE)**  
SCALE: NTS



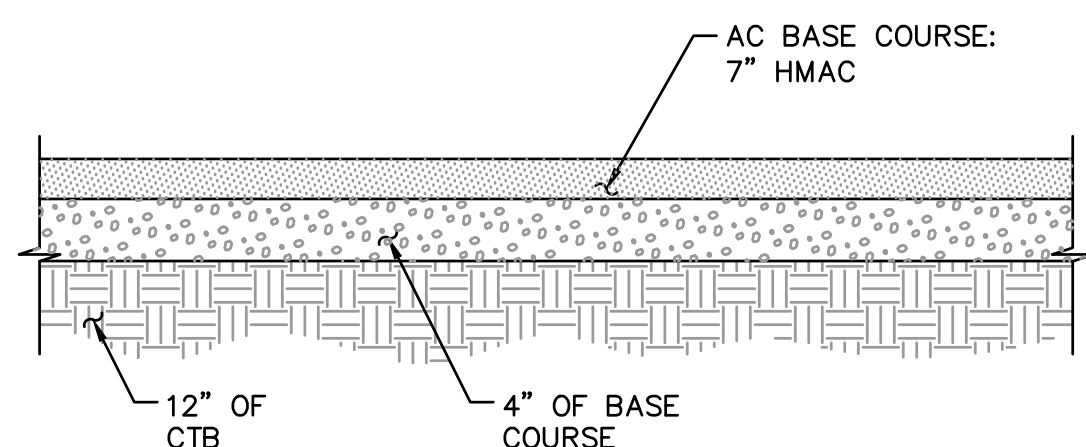
- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.
  - CONCRETE SHALL BE 3000 P.S.I AT 28 DAYS, 6 SACK MIX, SLUMP RANGE OF 1-1/2" TO 3".
  - PANELS SHALL BE 5 FEET LONG.
  - EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45 FEET.
  - FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROVELED JOINT WITH A MINIMUM 1/2" RADIUS.
  - SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES IF MOUNTABLE CURB IS USED OR IF SIDEWALK IS INTENDED AS PORTION OF DRIVEWAY. OTHERWISE SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 4 INCHES.
  - DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PVC PIPE AT 2% SLOPE. CONTRACTION JOINT TO BE PLACED OVER PIPE.

**2 CONCRETE SIDEWALK (PRIVATE)**  
SCALE: NTS

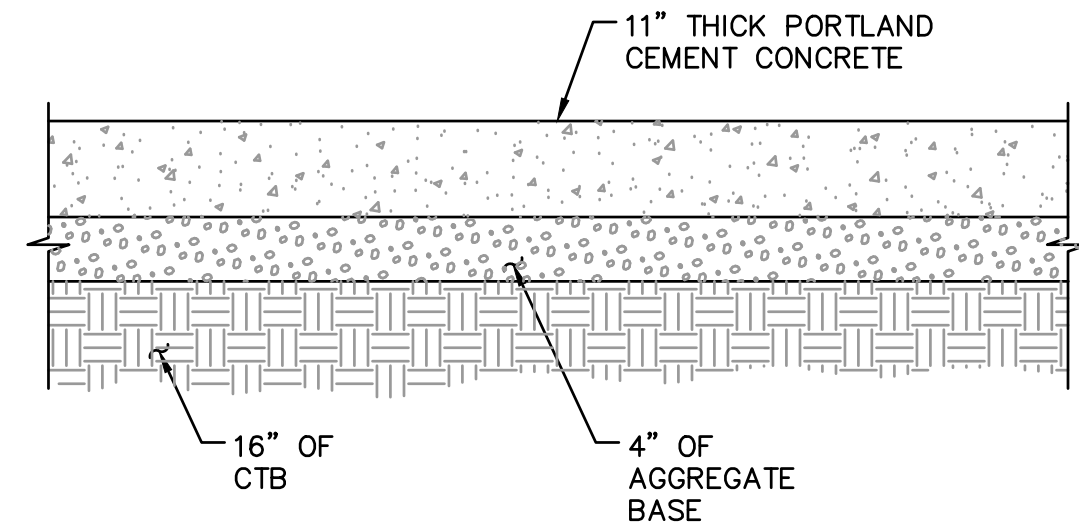


- NOTES:**
- DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

**3 PRECAST CONCRETE WHEEL STOP**  
SCALE: NTS

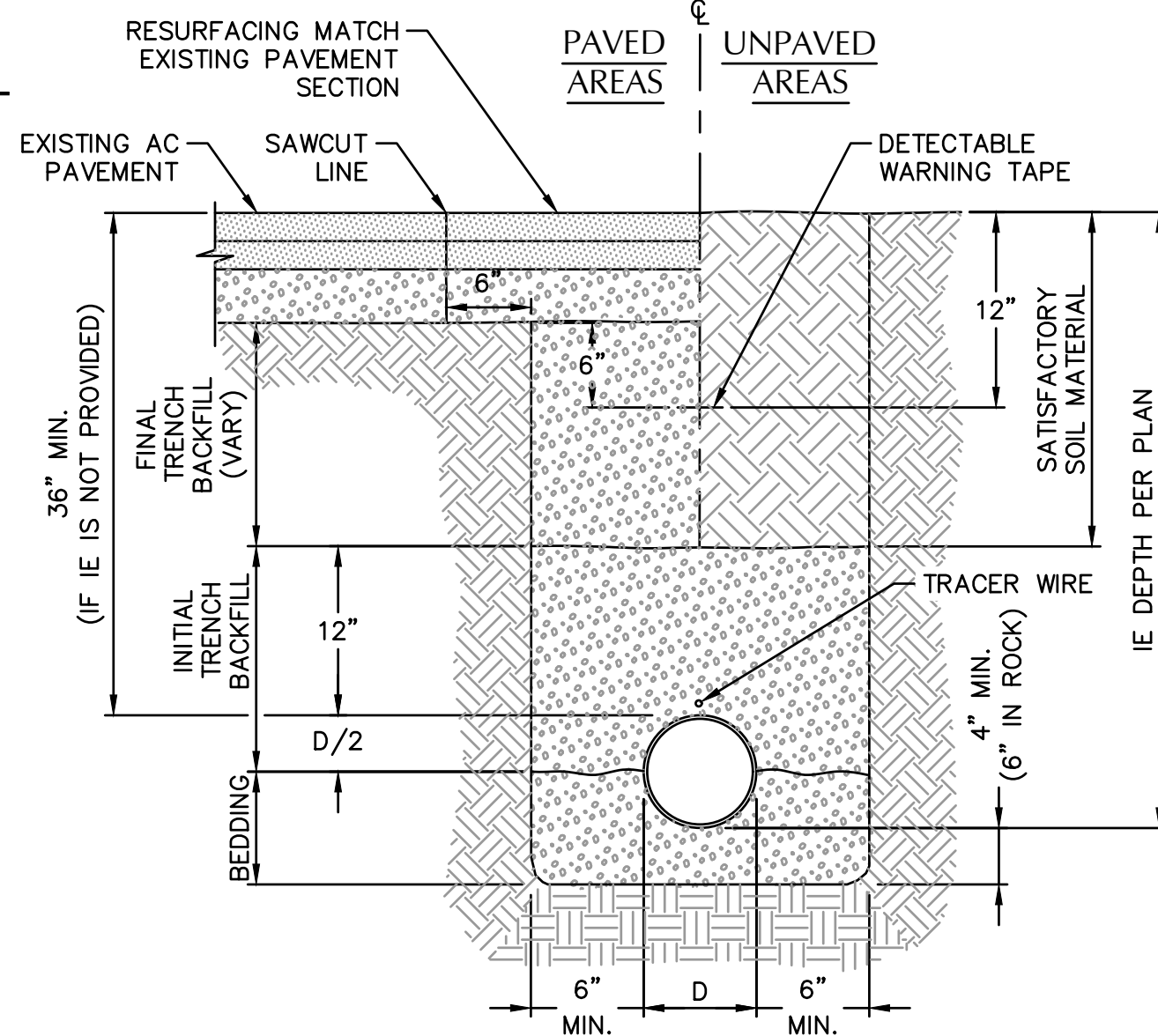


**4 ASPHALT PAVEMENT SECTION (PRIVATE)**  
SCALE: NTS

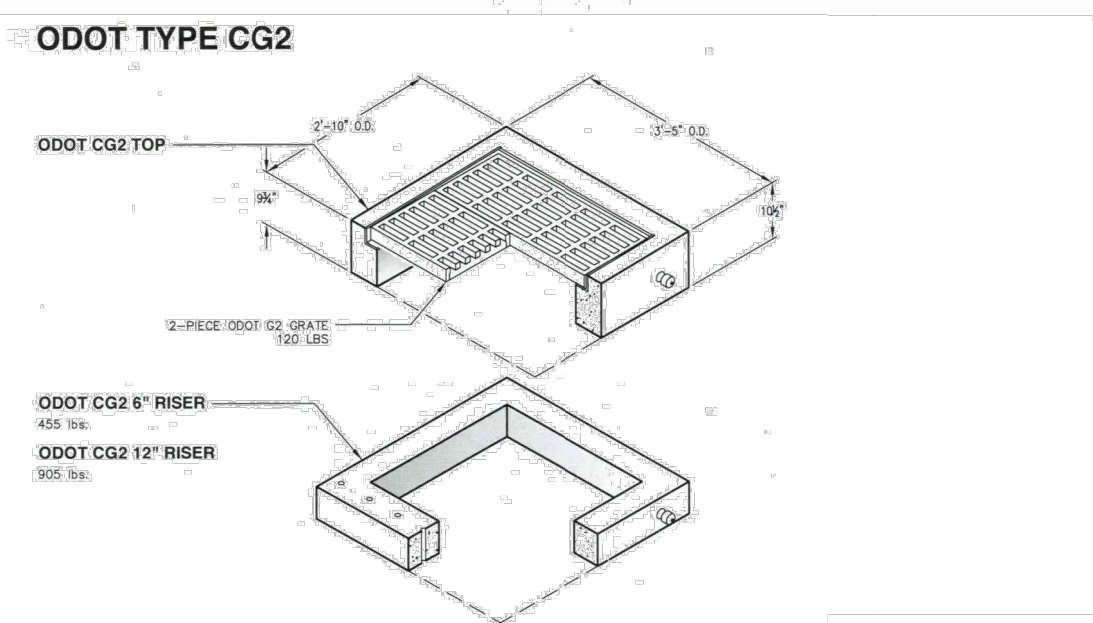
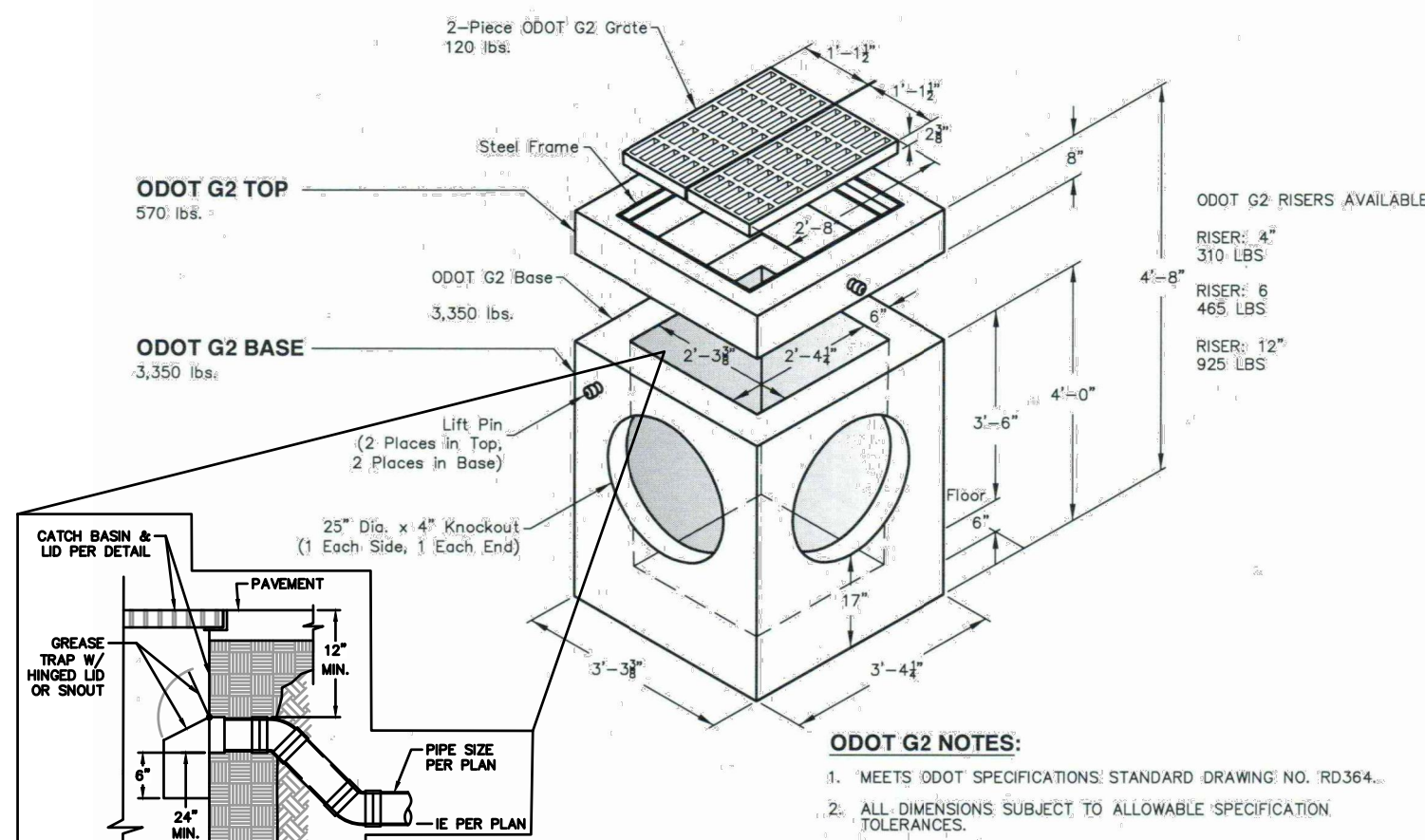


- NOTES:**
- CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX. SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
  - PROVIDE MEDIUM TO COARSE BROOM FINISH.

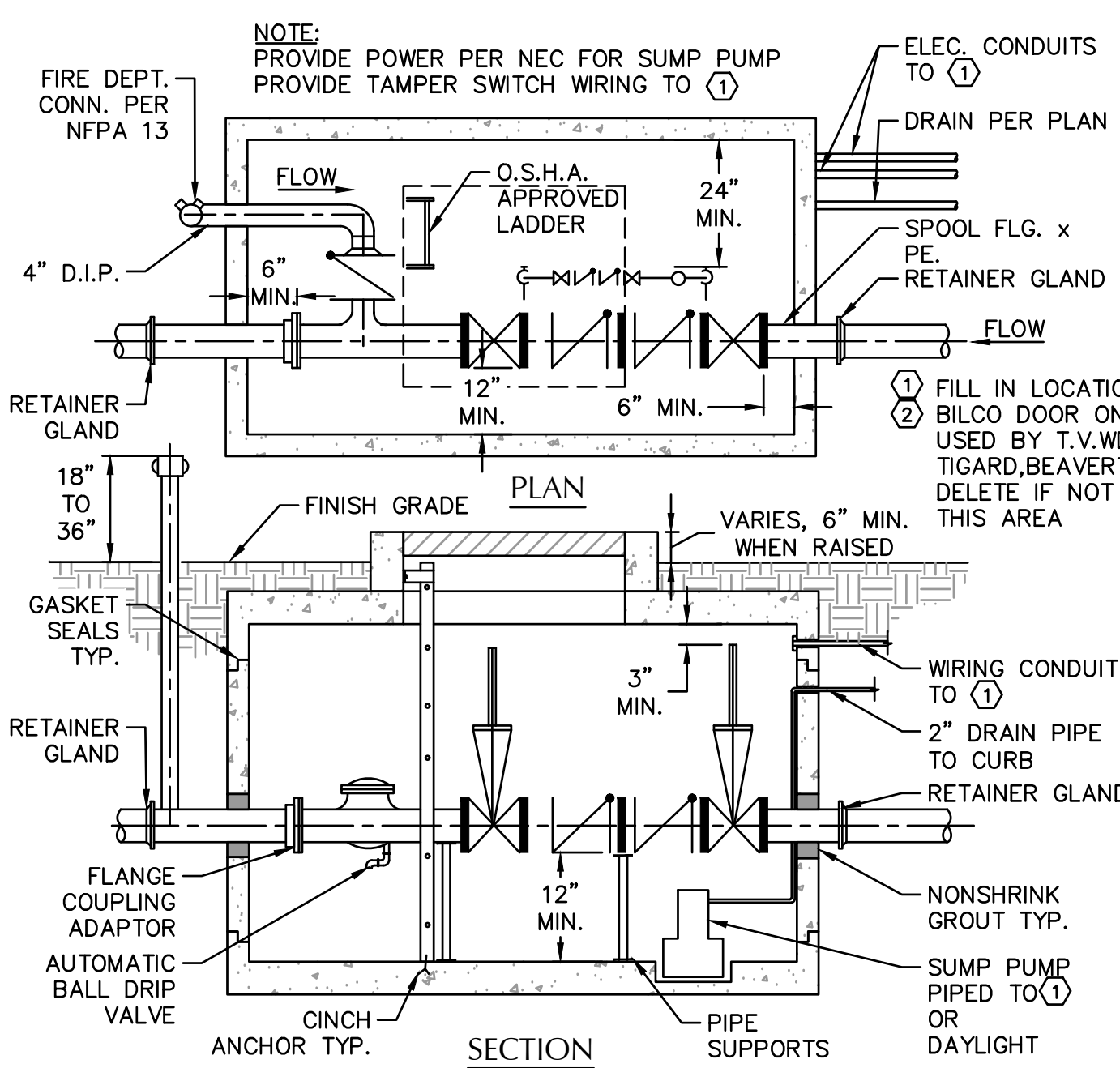
**5 CONCRETE PAVEMENT SECTION (PRIVATE)**  
SCALE: NTS



**6 TYPICAL PIPE BEDDING AND BACKFILL (PRIVATE)**  
SCALE: NTS

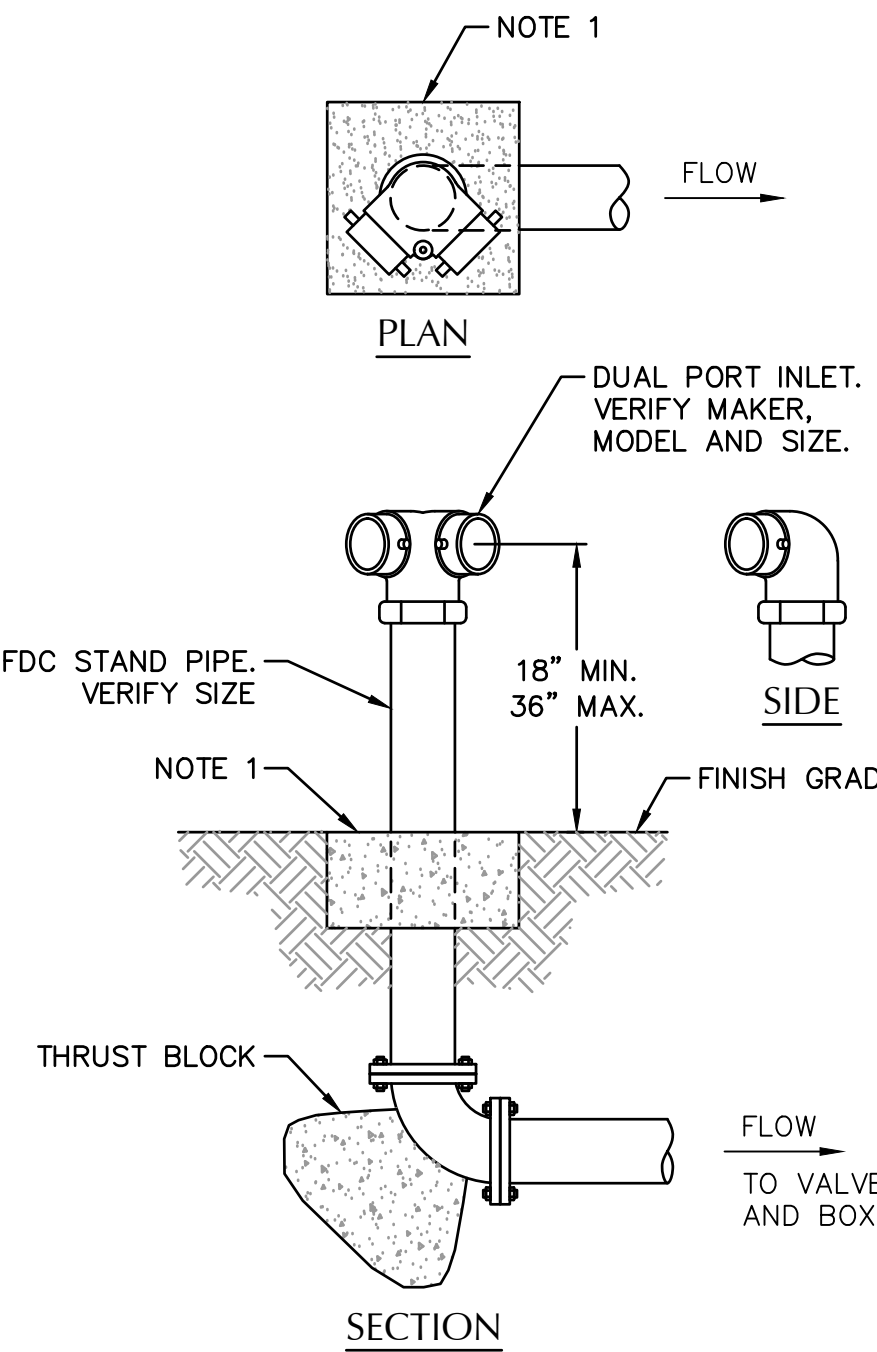


<b>Oldcastle Precast</b>	<b>ODOT TYPE G2</b>	<b>ODOT TYPE G2 INLET</b>
PO Box 323, Wilsonville, Oregon 97070-0323 Tel: (503) 882-2844 Fax: (503) 882-2857	File Name: 020-Type G2-ODOT Issue Date: 2016 oldcastleprecast.com/wilsonville	



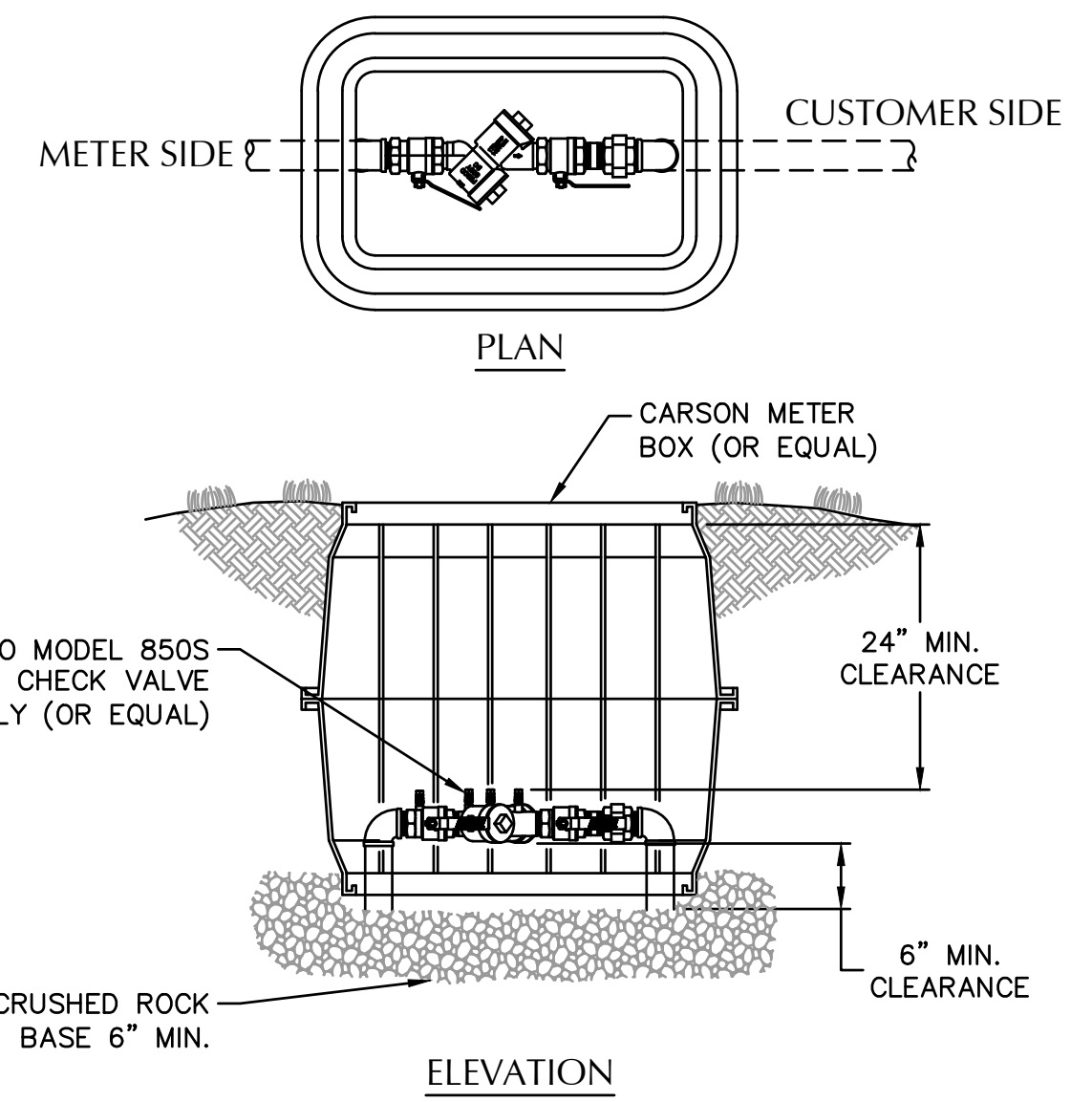
D.D.C. SIZE	UTILITY VAULT OR EQUAL		BILCO DOOR OR EQUAL
	WITH F.D.C.	WITHOUT F.D.C.	
4"	676 - WA	577 - WA	J - 5AL
6"	687 - WA	676 - WA	J - 5AL
8"	5106 - LA	687 - WA	JD - 3AL
10"	5106 - LA	5106 - LA	JD - 3AL

**7 DOUBLE CHECK DETECTOR ASSEMBLY FIRE SERVICE VAULT W/ SUMP PUMP**  
SCALE: NTS



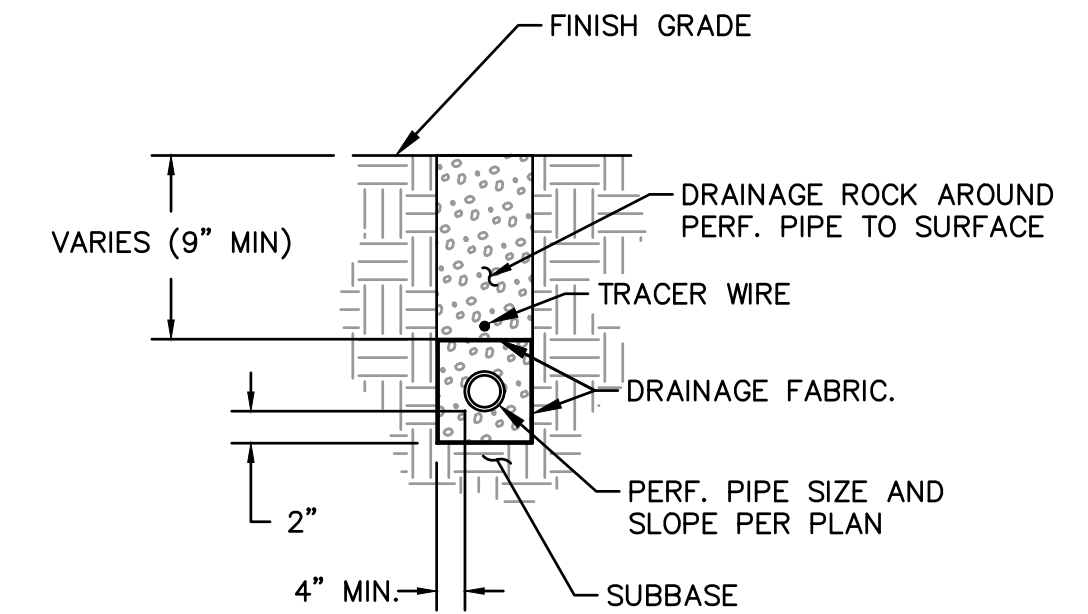
- NOTES:**
- CONCRETE ANCHOR PAD TO BE 12"x12"x6" THICK, UNLESS NOTED OTHERWISE. ELIMINATE IF INSTALLED IN CONCRETE PAVED AREA.
  - USE FLANGE OR THREADED FITTINGS.
  - CONTRACTOR SHALL PROVIDE SINGLE CHECK VALVE AND BALL DRIP VALVE IN ACCESSIBLE LOCATION INSIDE DDCV VAULT. COORDINATE WITH PLUMBING.

**8 FIRE DEPARTMENT CONNECTION (FDC) DUAL PORT**  
SCALE: NTS



- NOTE:** INSTALLATION SHOWN IS ONLY A SUGGESTION. THE DISTANCE FROM BOTTOM OF DEVICE TO FINISH GRADE, FREEZE PROTECTION, AND CLEARANCE FOR TESTING & REPAIR ARE THE MAJOR CONSIDERATIONS FOR INSTALLATION. PLUGS TO BE INSTALLED IN TEST COCKS OF BELOW GROUND INSTALLATIONS (NO DISSIMILAR METALS). IF FREEZE PROTECTION IS PROVIDED, THE 24" MIN CLEARANCE MAY BE REDUCED.

**9 DOUBLE CHECK BACKFLOW ASSEMBLY**  
SCALE: NTS

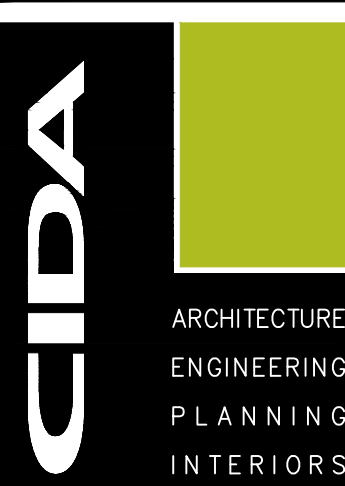


- NOTE:**
- CROSS CONNECT DRAIN PIPE TRACER WIRE TO FORM SINGLE CIRCUIT.
  - DRAINAGE FABRIC SHALL BE INSTALLED TO WRAP BACKFILL AREA INDICATED WITH 6" OF OVERLAP AT SEAMS.

**10 PERFORATED DRAIN PIPE**  
SCALE: NTS



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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
28370 SW BOBERG RD  
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PRIVATE DETAILS

**C4.0**  
JOB NO. 180146.03

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TREE SCHEDULE - VEGETATED SWALES #1 & 2							#1	#2
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY	
MOISTURE ZONE A 1,310 S.F. SWALE #1 + 423 S.F. SWALE #2 = TOTAL 1,733 S.F.								
N/A								
MOISTURE ZONE B 2,200 S.F. SWALE #1 + 747 S.F. SWALE #2 = TOTAL 2,947 S.F.								
○	ACER CIRCINATUM	VINE MAPLE	D	1" CAL.	AS SHOWN	B & B	13	4
⊗	THUJA PLICATA	WESTERN RED CEDAR	D	6" TALL	AS SHOWN	B & B	2	2
⊙	ALNUS RUBRA	RED ALDER	D	1" CAL.	AS SHOWN	B & B	7	2

**PLANT SCHEDULE - VEGETATED SWALES #1 & 2**

LARGE SHRUBS / SMALL TREES							#1	#2
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY	
MOISTURE ZONE A 1,310 S.F. SWALE #1 + 423 S.F. SWALE #2 = TOTAL 1,733 S.F.								
HD	HOLODISCUS DISCOLOR	OCEANSPRAY	D	3 GAL.	AS SHOWN	CONTAINER	24	6
RS	RIBES SANGUINEUM	RED FLOWERING CURRANT	D	3 GAL.	AS SHOWN	CONTAINER	15	7
MOISTURE ZONE B 2,200 S.F. SWALE #1 + 747 S.F. SWALE #2 = TOTAL 2,947 S.F.								
HD	HOLODISCUS DISCOLOR	WESTERN SERVICEBERRY	D	3 GAL.	AS SHOWN	CONTAINER	43	15
RS	RIBES SANGUINEUM	RED FLOWERING CURRANT	D	3 GAL.	AS SHOWN	CONTAINER	23	8
SMALL SHRUBS / GROUNDCOVERS							#1	#2
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY	
MOISTURE ZONE A 1,310 S.F. SWALE #1 + 423 S.F. SWALE #2 = TOTAL 1,733 S.F.								
CS	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	D	1 GAL.	12" O.C.	CONTAINER	18	7
PC	PHYSCARPUS CAPITATUS	PACIFIC NINEBARK	D	3 GAL.	36" O.C.	CONTAINER	4	3
PM	POLYSTICHUM MUNITUM	SWORD FERN	E	1 GAL.	24" O.C.	CONTAINER	30	7
MOISTURE ZONE B 2,200 S.F. SWALE #1 + 747 S.F. SWALE #2 = TOTAL 2,947 S.F.								
▽▽▽▽	ARCTOSTAPHYLOS UVA URSI	KINNICKINNICK	E	1 GAL.	12" O.C.	CONTAINER	1,330	451
CS	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	D	1 GAL.	12" O.C.	CONTAINER	32	5
PC	PHYSCARPUS CAPITATUS	PACIFIC NINEBARK	D	3 GAL.	36" O.C.	CONTAINER	11	5
PM	POLYSTICHUM MUNITUM	SWORD FERN	E	1 GAL.	24" O.C.	CONTAINER	45	20
HERBACEOUS GROUNDCOVER PLANTS							#1	#2
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY	
MOISTURE ZONE A 1,310 S.F. SWALE #1 + 423 S.F. SWALE #2 = TOTAL 1,733 S.F.								
▨	CAREX OBNUPTA	SLOUGH SEDGE	E	1 GAL.	12" O.C.	CONTAINER	1,507	487
MOISTURE ZONE B 2,200 S.F. SWALE #1 + 747 S.F. SWALE #2 = TOTAL 2,947 S.F.								
○	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	1200	860

VEGETATED SWALES PLANTING REQUIREMENTS	#1	#2	#1	#2
LANDSCAPE REQUIREMENT	QTY. REQUIRED		QTY. PROVIDED	
STORMWATER FACILITY REQUIREMENTS PER 100 S.F. OF FACILITY AREA (ZONE A) - 1,733 S.F. TOTAL				
(3) LARGE SHRUBS / SMALL TREES	39	13	39	13
(4) SMALL SHRUBS	52	17	52	17
(115) GROUNDCOVER PLANTS	1,507	487	1,507	487
STORMWATER FACILITY REQUIREMENTS PER 100 S.F. OF FACILITY AREA (ZONE B) - 2,947 S.F. TOTAL				
(1) TREE	22	22	8	8
(3) LARGE SHRUBS / SMALL TREES	66	66	23	23
(4) SMALL SHRUBS	88	88	30	30
(115) GROUNDCOVER PLANTS	2,530	2,530	860	860

PLANT SCHEDULE - STORMWATER PLANTER #1							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
LARGE SHRUBS/SMALL TREES (MOISTURE ZONE A:135 S.F.)							
SD	SPIREA DOUGLASII	DOUGLAS SPIREA	D	3 GAL.	AS SHOWN	CONTAINER	4
SMALL SHRUBS / HERBACEOUS PLANTS (MOISTURE ZONE A:135 S.F.)							
CS	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	D	1 GAL.	12" O.C.	CONTAINER	5
○	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	155

PLANT SCHEDULE - STORMWATER PLANTER #2							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
LARGE SHRUBS/SMALL TREES (MOISTURE ZONE A:190 S.F.)							
SD	SPIREA DOUGLASII	DOUGLAS SPIREA	D	3 GAL.	AS SHOWN	CONTAINER	6
SMALL SHRUBS / HERBACEOUS PLANTS (MOISTURE ZONE A:190 S.F.)							
CS	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	D	1 GAL.	12" O.C.	CONTAINER	8
○	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	218

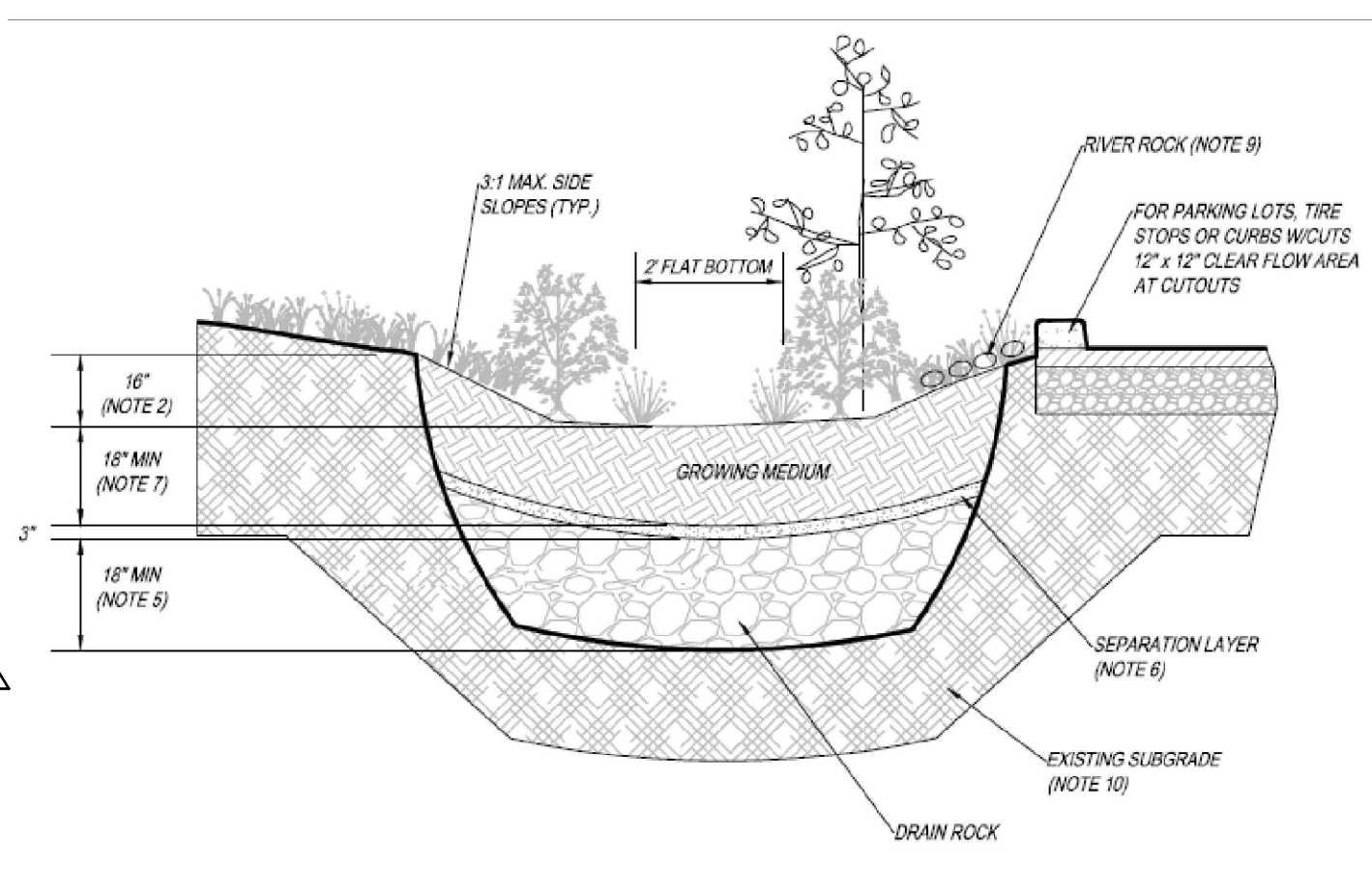
PLANT SCHEDULE - STORMWATER PLANTER #3							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
LARGE TREES (MOISTURE ZONE A: 300 S.F.)							
LARGE SHRUBS/SMALL TREES (MOISTURE ZONE A: 300 S.F.)							
SD	SPIREA DOUGLASII	DOUGLAS SPIREA	D	3 GAL.	AS SHOWN	CONTAINER	9
SMALL SHRUBS / HERBACEOUS PLANTS (MOISTURE ZONE A: 300 S.F.)							
CS	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	D	1 GAL.	12" O.C.	CONTAINER	12
○	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	345

**STORMWATER FACILITY PLANTING NOTES**

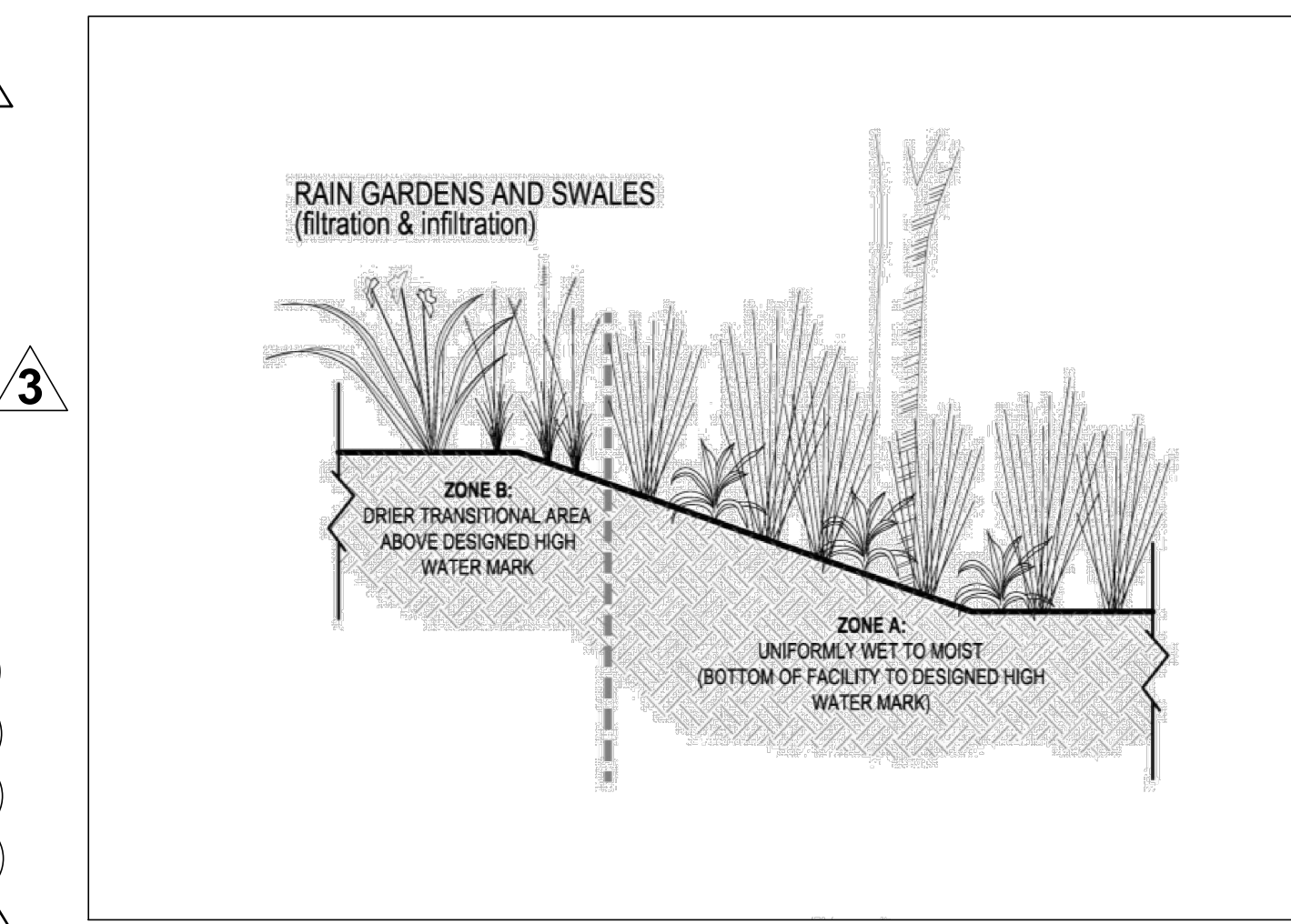
ALL PLANTS SELECTED FROM CITY OF WILSONVILLE'S STORMWATER FACILITY PLANT LISTS WITH A PRIORITY ON NATIVES AND EASE OF MAINTENANCE.

AT LEAST 50% OF PLANTINGS ARE EVERGREEN WITH AT LEAST 2 SPECIES CHOSEN FROM THE HERBACEOUS AND SMALL SHRUBS/GROUNDCOVER PLANT COMMUNITIES.

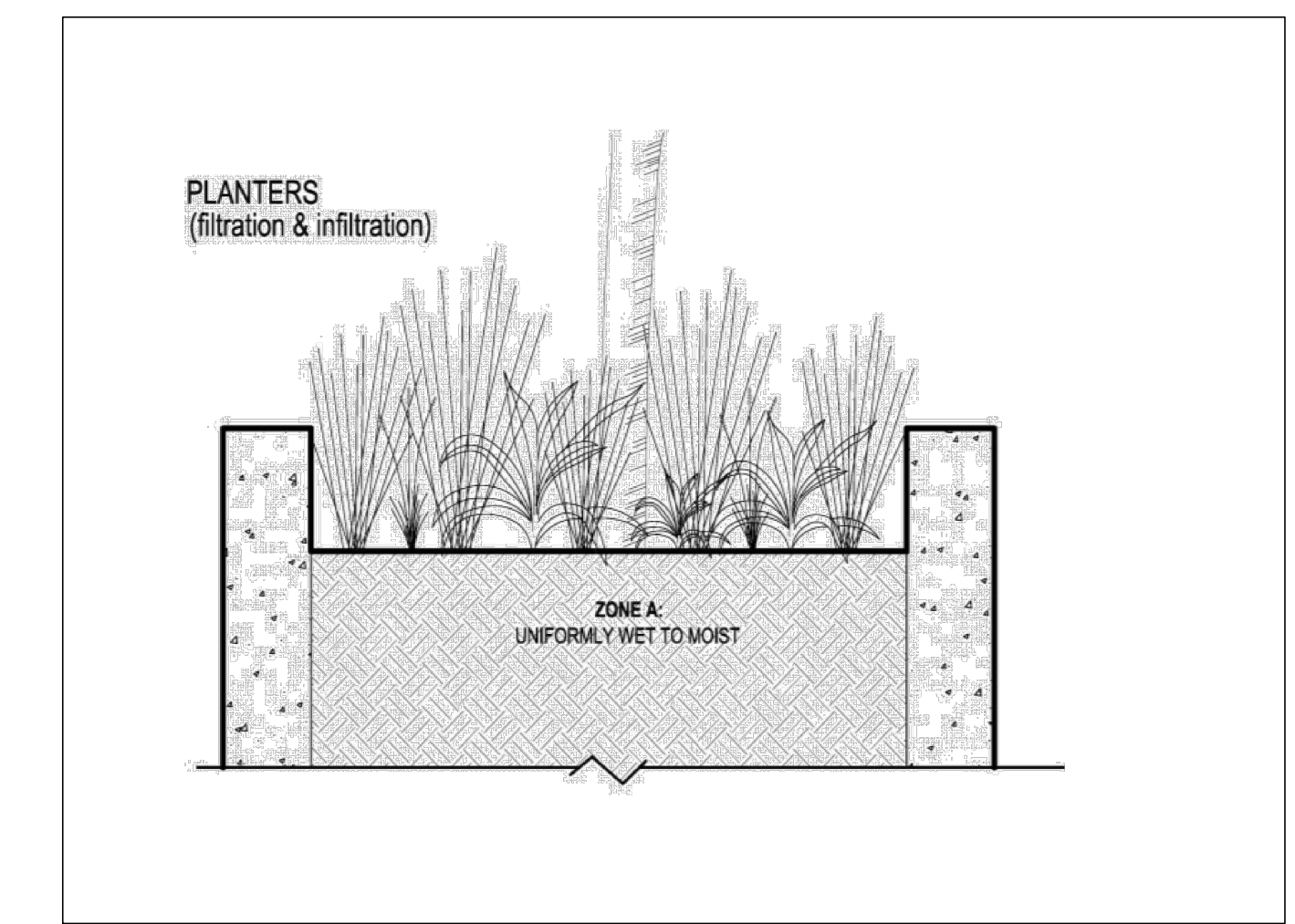
ALL PLANT MATERIALS SHALL BE INSTALLED TO CURRENT INDUSTRY STANDARDS AND SHALL BE PROPERLY STAKED TO ASSURE SURVIVAL. SUPPORT DEVICES SHALL NOT BE ALLOWED TO INTERFERE WITH NORMAL PEDESTRIAN OR VEHICULAR MOVEMENT.



**01 STORMWATER PLANTING BED SOIL PREP**  
NOT TO SCALE SECTION



**02 VEGETATED SWALE PLANTING ZONES**  
NOT TO SCALE SECTION



**03 STORMWATER PLANTER PLANTING ZONES**  
NOT TO SCALE SECTION

REGISTERED  
232  
David Anderson  
DAVID ANDERSON  
OREGON  
LANDSCAPE ARCHITECT

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Aurora, OR 97002  
503.678.1234

NEW CONSTRUCTION FOR:  
**DP NICOLI**  
NO SITUS - 31W14A 00500  
WILSONVILLE, OR 97070

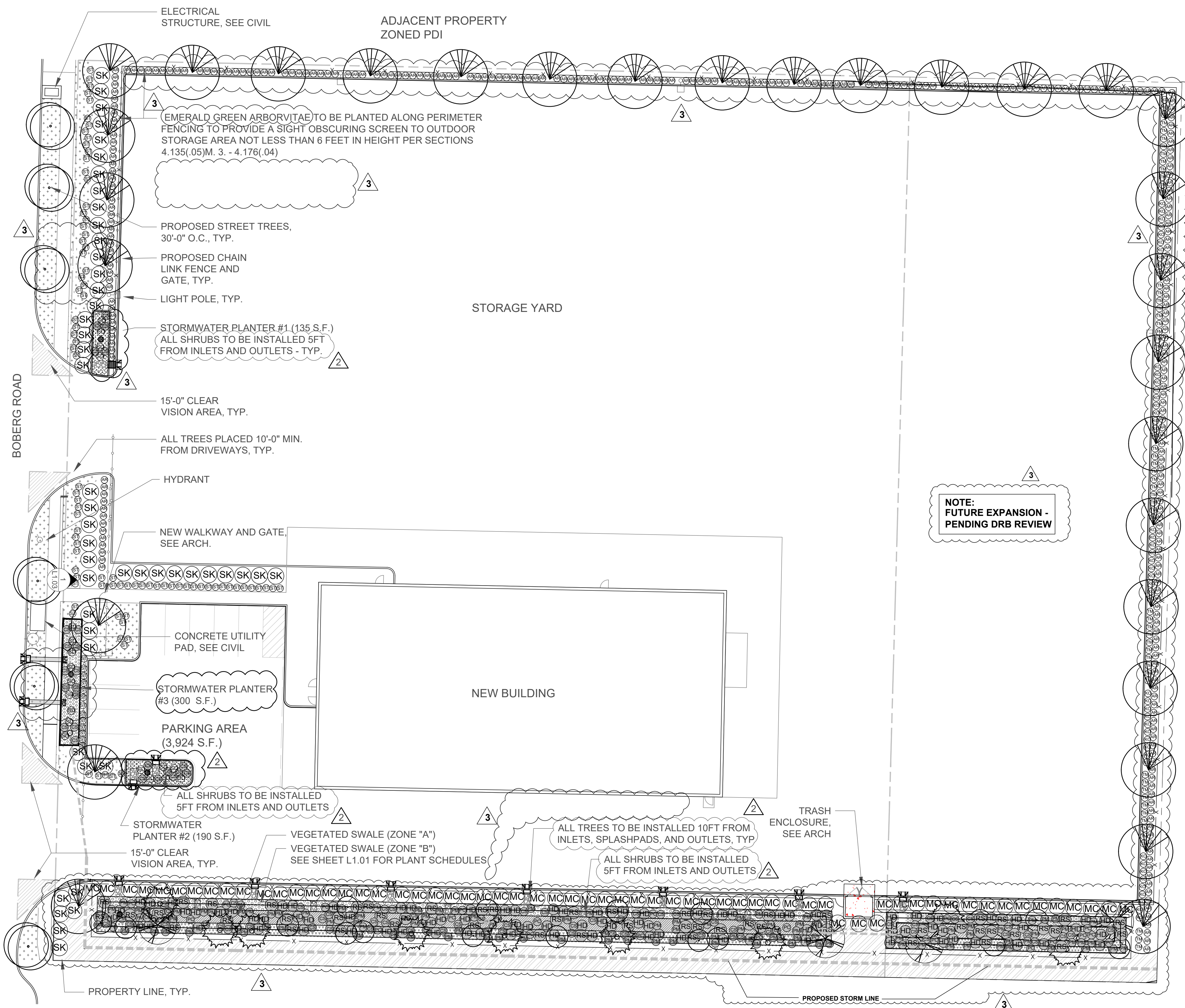
**STORMWATER PLANTING**

REV. DATE FILE

1. 05/11/2020 CITY RESUBMITTAL  
2. 05/27/2020 CITY RESUBMITTAL  
3. 08/12/2020 CITY RESUBMITTAL

DRAWN BY:  
JOB NO:  
DATE: 06/15/2020

**L1.01**  
STORMWATER PLANTING  
SCHEDULE & DETAILS



TREE SCHEDULE   NON-STORMWATER							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
3	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	D	2" CAL.	AS SHOWN	CONTAINER	6
3	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEAM	D	2" CAL.	AS SHOWN	CONTAINER	30

PLANT SCHEDULE   NON-STORMWATER							
SHRUBS AND GRASSES							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
AR	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	E	3 GAL.	AS SHOWN	CONTAINER	282
MC	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	E	5 GAL.	AS SHOWN	CONTAINER	63
SK	EUONYMUS JAPONICUS 'SILVER KING'	SILVER KING EUONYMUS	E	5 GAL.	AS SHOWN	CONTAINER	47
ST	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	ORNAMENTAL	1 GAL.	AS SHOWN	CONTAINER	98
TM	TAXUS x MEDIA 'DARK GREEN SPREADER'	DARK GREEN SPREADER YEW	E	5 GAL.	AS SHOWN	CONTAINER	53
KO	ROSA 'KNOCK OUT' RED	RED KNOCK OUT ROSE	ORNAMENTAL	5 GAL.	AS SHOWN	CONTAINER	53

GROUNDCOVERS							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
3	RUBUS CALYCINOIDES	CREeping RASPBERRY	E	1 GAL.	30" O.C.	CONTAINER	480
3	POLYSTICHUM MUNITUM	SWORD FERN	E	1 GAL.	36" O.C.	CONTAINER	420

NOTE: ALL PROPOSED SHRUBS AT FENCING AND WALL MEET 6' HIGH SCREEN REQUIREMENT.

LANDSCAPE CODE REQUIREMENTS FOR ZONE RA-H	
PERIMETER LANDSCAPING	
• PROPOSED SCREENING NORTH.....	HIGH SCREEN: 6' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND
• PROPOSED SCREENING WEST.....	HIGH SCREEN: 6' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND
• PROPOSED SCREENING SOUTH.....	HIGH SCREEN: 6' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND
• PROPOSED SCREENING EAST.....	LOW SCREEN: 3' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND
•	HIGH SCREEN AT OUTDOOR STORAGE AREA.
•	1 TREE PER 30 LINEAR FEET IS REQUIRED ON ALL SIDES
MINIMUM LANDSCAPED AREA	
• OVERALL SITE AREA.....	134,343 SF
• PARKING AREA.....	3,924 SF
• REQUIRED 15% OF SITE.....	15,184 SF
• REQUIRED 10% OF PARKING AREA.....	392 SF
• SITE LANDSCAPING PROVIDED.....	20,413 SF (15.2%)
• PARKING LOT LANDSCAPING PROVIDED.....	1,982 SF (50.0%)
TREE REQUIREMENT	
REQUIRED TREE QTY.....	1 TREE PER 30 LINEAR FEET OF PERIMETER
GENERAL LANDSCAPING REQUIREMENT WHERE LANDSCAPED AREA IS LESS THAN 30'-0" DEEP OR GREATER (SOUTH PROPERTY LINE)	
• TOTAL LANDSCAPED AREA.....	11,939 S.F.
• REQUIRED TREE QTY.....	1 TREE REQ. FOR EVERY 800 S.F. (15 REQ., 30 PROVIDED)
• REQUIRED SHRUB QTY.....	2 HIGH SHRUBS FOR EVERY 400 S.F. (60 REQ., 63 PROVIDED)

PLANT SELECTION IS BASED ON EASE OF MAINTENANCE, WITH THE USE OF NATIVE PLANTS WHERE APPROPRIATE.

STREET TREE SPECIES CHOSEN FROM CITY OF WILSONVILLE LIST OF ENCOURAGED SPECIES PER SECTION 4.176 MUNICIPAL CODE. STREET TREE SIZING FOR "COLLECTOR STREET".

THIS PLAN ONLY INCLUDES TREES THAT WILL BE AFFECTED BY DEVELOPMENT. SEE ARBORIST REPORT FOR ADDITIONAL TREES OUTSIDE THE LIMIT OF DEVELOPMENT.

EVERGREEN LANDSCAPE BUFFERS WILL BE PROVIDED TO SCREEN VIEWS TO ADJACENT PROPERTIES AND PROVIDE A SENSE OF PRIVACY AND SECURITY WITHIN THE PROPERTY.

ALL SHRUBS AND GROUNDCOVERS WILL BE OF SUFFICIENT SIZE AND NUMBER TO COVER AT LEAST 80% OF PLANTING AREAS WITHIN 3 YEARS.

ALL PLANT MATERIALS SHALL BE INSTALLED TO CURRENT INDUSTRY STANDARDS AND SHALL BE PROPERLY STAKED TO ASSURE SURVIVAL. SUPPORT DEVICES SHALL NOT BE ALLOWED TO INTERFERE WITH NORMAL PEDESTRIAN OR VEHICULAR MOVEMENT.

NATIVE TOPSOIL SHALL BE PRESERVED AND REUSED TO THE EXTENT FEASIBLE. SURFACE MULCH TO BE FULLY RAKED INTO SOIL OF APPROPRIATE DEPTH, SUFFICIENT TO CONTROL EROSION, AND ARE CONFINED TO AREAS AROUND PLANTINGS.

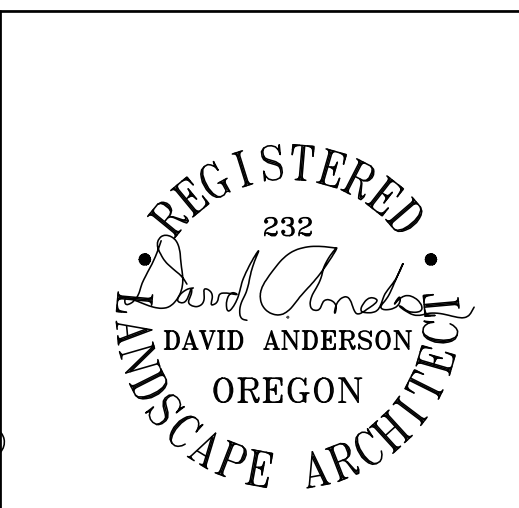
IRRIGATION NOTES

A PERMANENT, BUILT-IN, AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR TO PROVIDE FULL COVERAGE TO ALL PROPOSED PLANTING AREAS TO ASSURE THAT PLANTS WILL SURVIVE THE CRITICAL ESTABLISHMENT PERIOD AND PERIODS OF DROUGHT.

PLANTING WATER CONSUMPTION ZONES

ALL PLANTING BEDS REQUIRE LOW WATER USAGE (LESS THAN ONE INCH PER WEEK).

ALL LAWN AREAS REQUIRE MODERATE WATER USAGE (+/- TWO INCHES PER WEEK)



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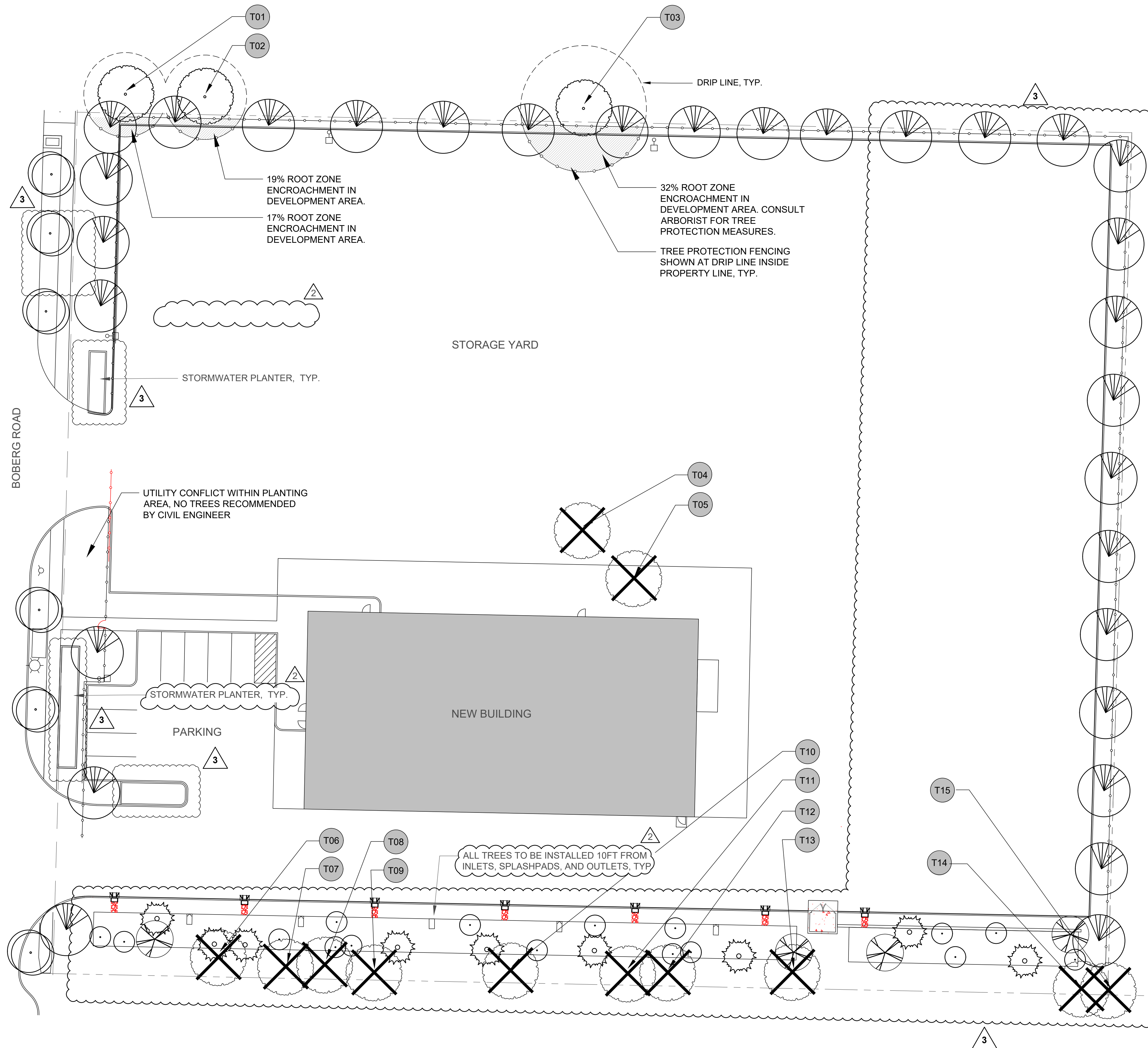
NEW CONSTRUCTION FOR:  
**DP NICOLI**  
NO SITUS - 31W14A 00500  
WILSONVILLE, OR 97070

LANDSCAPE PLAN

REV DATE	FILE
05/11/2020	CITY RESUBMITTAL
05/27/2020	CITY RESUBMITTAL
08/12/2020	CITY RESUBMITTAL

DRAWN BY: DA  
JOB NO:  
DATE: 06/15/2020

L1.02  
LANDSCAPE PLAN

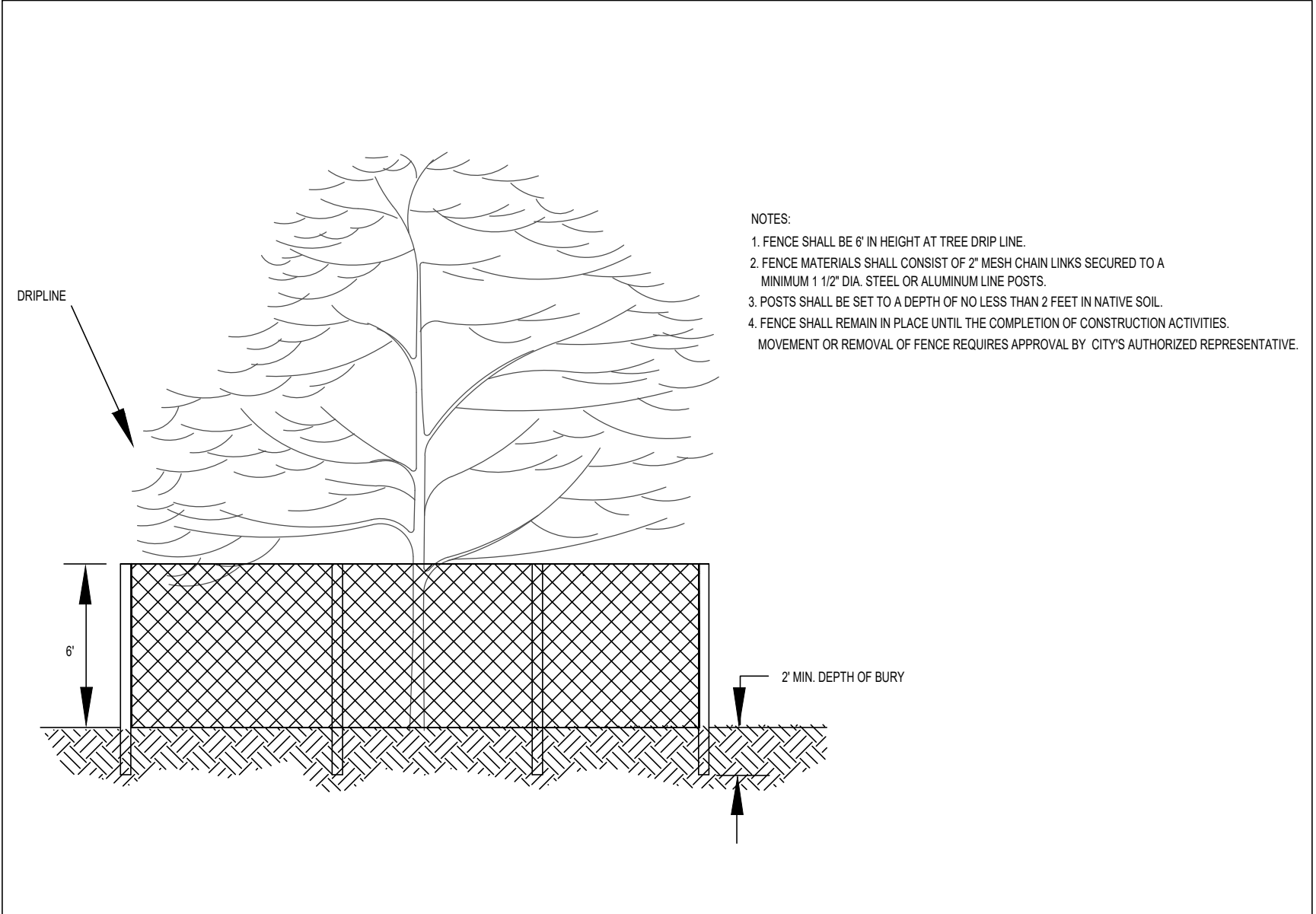


TREE SCHEDULE								
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY	
⊙	ACER CIRCINATUM	VINE MAPLE	D	1" CAL.	AS SHOWN	B & B	17	
⊙	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	D	2" CAL.	AS SHOWN	B & B	6	
⊙	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEEAM	D	2" CAL.	AS SHOWN	B & B	26	
⊙	THUJA PLICATA	W. RED CEDAR	D	6"	AS SHOWN	B & B	4	
⊙	ALNUS RUBRA	RED ALDER	D	1" CAL.	AS SHOWN	B & B	9	

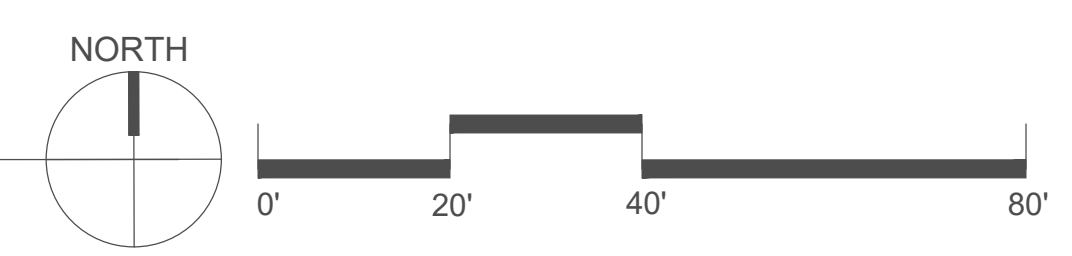
TREE REMOVAL AND PROTECTION LEGEND	
---	PROPERTY LINE
—○—	TREE PROTECTION FENCING
⊙	EXISTING TREES TO BE PROTECTED
⊗	EXISTING TREES TO BE REMOVED

EXISTING TREE TABLE						
TREE NO.	TRUNK DIA.	PROTECTION ZONE	SPECIES	PROTECT	REMOVE	CONDITION/ NOTES
1	16"	CONSULT ARBORIST	DECIDUOUS	X		
2	16"	CONSULT ARBORIST	DECIDUOUS	X		
3	24"	CONSULT ARBORIST	DECIDUOUS	X		
4	13.5"	N/A	RED OAK		X	FAIR
5	13.5"	N/A	RED OAK		X	FAIR
6	22"	N/A	HAWTHORN		X	POOR
7	27"	N/A	BIG LEAF MAPLE		X	POOR
8	MULTI-STEM	N/A	HAZELNUT		X	POOR
9	MULTI-STEM	N/A	HAZELNUT		X	POOR
10	MULTI-STEM	N/A	HAZELNUT		X	POOR
11	6"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE
12	6"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE
13	6"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE
14	8", 11"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE
15	(2) 8", (3) 7"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE

- TREE PRESERVATION AND REMOVAL NOTES**
- TREE PROTECTION ZONE SHOWN AT 1'-0" RADIUS FOR EVERY CALIPER INCH OF TREE TRUNK. ARBORIST TO RECOMMEND ALTERNATIVE PROTECTION MEASURES WHERE GROUND DISTURBANCE IS WITHIN PROTECTION ZONE.
  - SEE ARBORIST'S REPORT FOR PRESERVATION AND PRUNING RECOMMENDATIONS.
  - THIS PLAN ONLY INCLUDES TREES THAT WILL BE AFFECTED BY DEVELOPMENT. SEE ARBORIST REPORT FOR ADDITIONAL TREES OUTSIDE THE LIMIT OF DEVELOPMENT.
  - SUITABLE PROTECTION FENCING AS IDENTIFIED BY ARBORIST SHALL BE INSTALLED BEFORE ANY GROUND DISTURBING ACTIVITIES INCLUDING CLEARING AND GRADING, OR CONSTRUCTION STARTS; AND SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION.
  - ALL TREES TO BE PROTECTED ON SITE ARE TO BE DESIGNATED WITH METAL TAGS TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION. TAGS WILL BE NUMBERED AND KEYED TO TREE PLAN.



01 TREE PLAN  
1" = 20'-0"



02 RD - 1230 TREE PROTECTION FENCING  
ELEVATION



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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
NO SITUS - 3W14A 00500  
WILSONVILLE, OR 97070

TREE PLAN

REV	DATE	FILE
2	05/27/2020	CITY RESUBMITTAL
3	08/12/2020	CITY RESUBMITTAL

DRAWN BY: DA  
JOB NO:  
DATE: 07/01/2020

**L1.04**  
TREE PLAN

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

REVISIONS  
1 01/10/20 PLANNING REVIEW  
2 06/30/20 PLANNING - CLASS 1 ALTERATIONS  
3 06/30/20 PLANNING - CLASS 2 ALTERATIONS  
4 08/12/20 PLANNING - SITE EXPANSION

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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
28370 SW BOBERG RD.  
WILSONVILLE, OR 97070

SITE PLAN  
**A0.1**  
JOB NO. 180146.03  
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**GENERAL NOTES**

CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY A/E OF ANY DISCREPANCIES.  
TYPICAL CURB RADIUS = 3' UNLESS NOTED OTHERWISE  
SEE CIVIL AND LANDSCAPE DRAWING PACKAGE FOR ADDITIONAL INFORMATION

**PROJECT INFO**

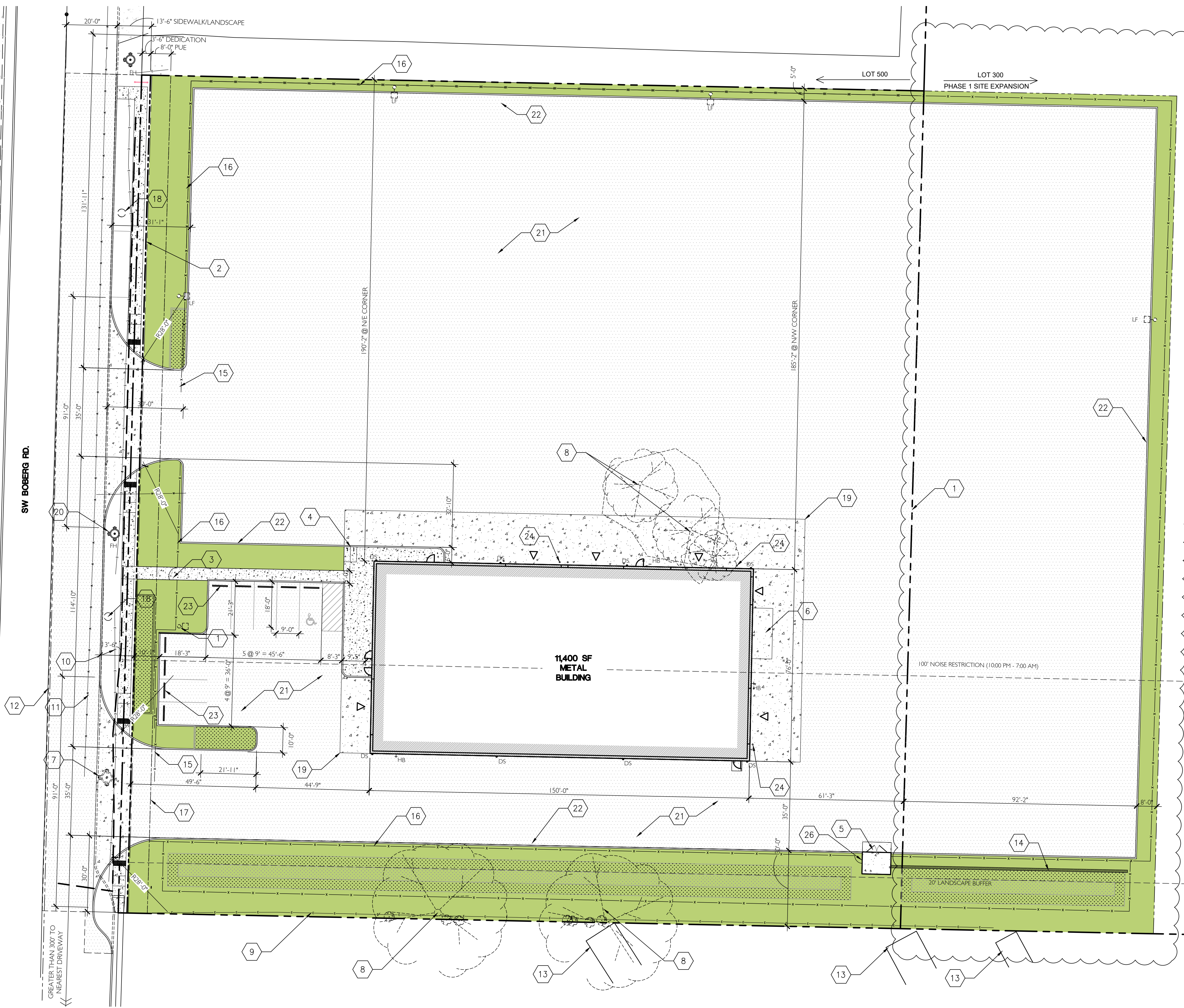
SITE AREA:	101,225 SF (2.32 ACRES) + 33,118 SF EXPANSION TOTAL = 134,343 SF
BUILDING AREA:	11,400 SF FOOTPRINT 2024 SF OFFICE 11,176 SF WAREHOUSE (INCLUDES 1,800 SF MEZZANINE)
IMPERVIOUS AREA:	84,581 SF
LANDSCAPING AREA:	LANDSCAPING AREA REQUIREMENTS: 20,151 SF = 15% LANDSCAPING AREA PROVIDED: 20,413 SF = 15.2%
PARKING COUNTS:	
PARKING SPACE REQUIREMENTS:	9 SPACES
PARKING SPACES PROVIDED:	9 STANDARD (1 ADA) 0 COMPACT
BICYCLE PARKING COUNT:	
PARKING SPACE REQUIREMENTS:	4
PARKING SPACES PROVIDED:	4 2 SHORT TERM 2 LONG TERM (INSIDE)

**LEGEND**

	ACCESSIBLE PARKING STALL		STREET LIGHT
	DRIVE IN		POLE MOUNTED PARKING LOT LIGHT FIXTURE -- SEE A0.4
	DOWNSPOUT		FIRE HYDRANT
	HOSE BIB		
	NEW ASPHALT		
	PAINT STRIPED ACCESSIBLE AISLE AND NO PARKING AREA		
	LANDSCAPE (PRIVATE)		
	SWALE		

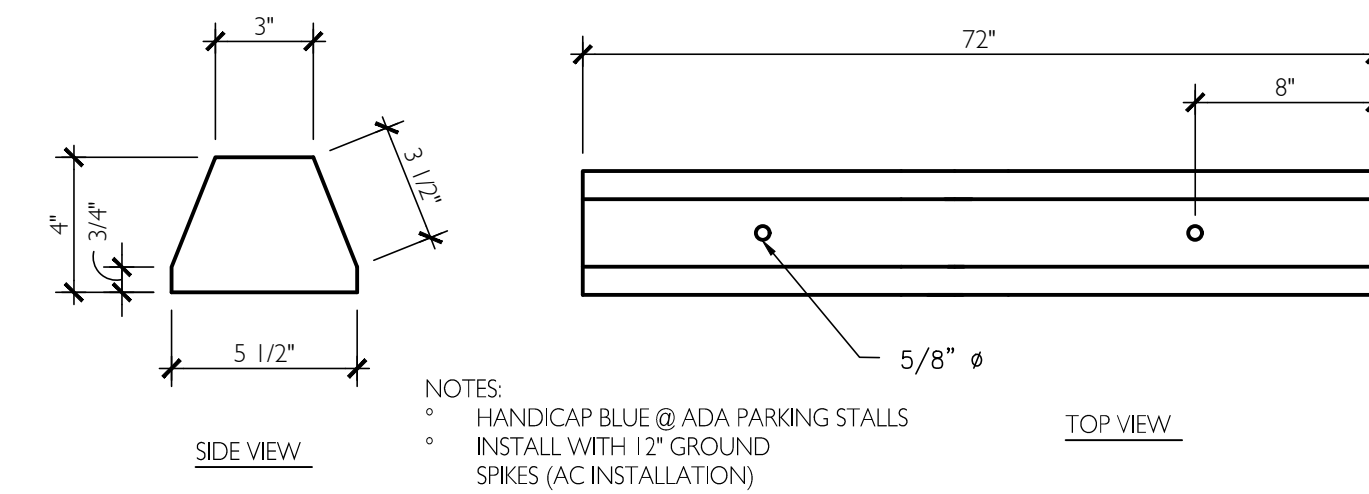
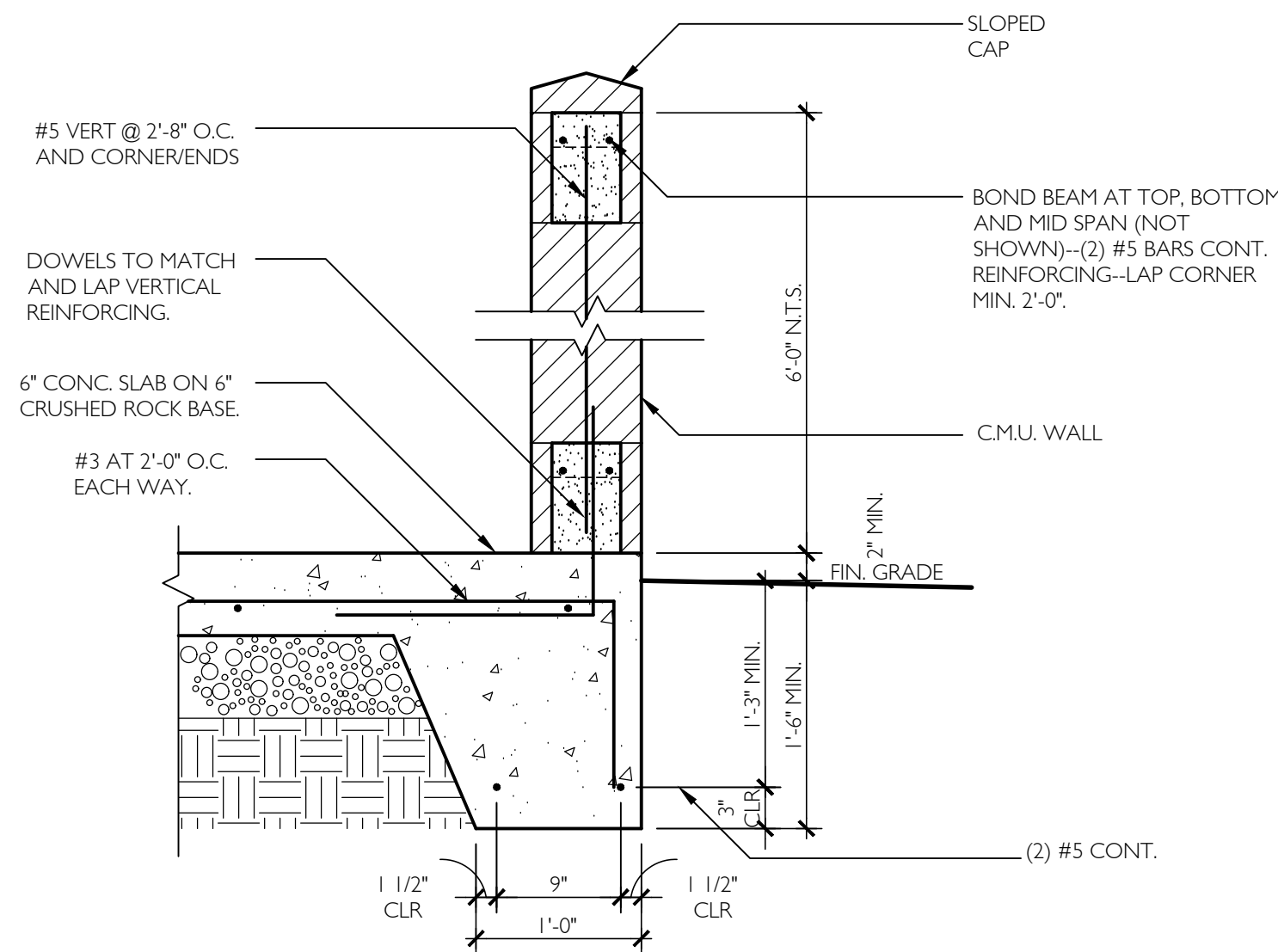
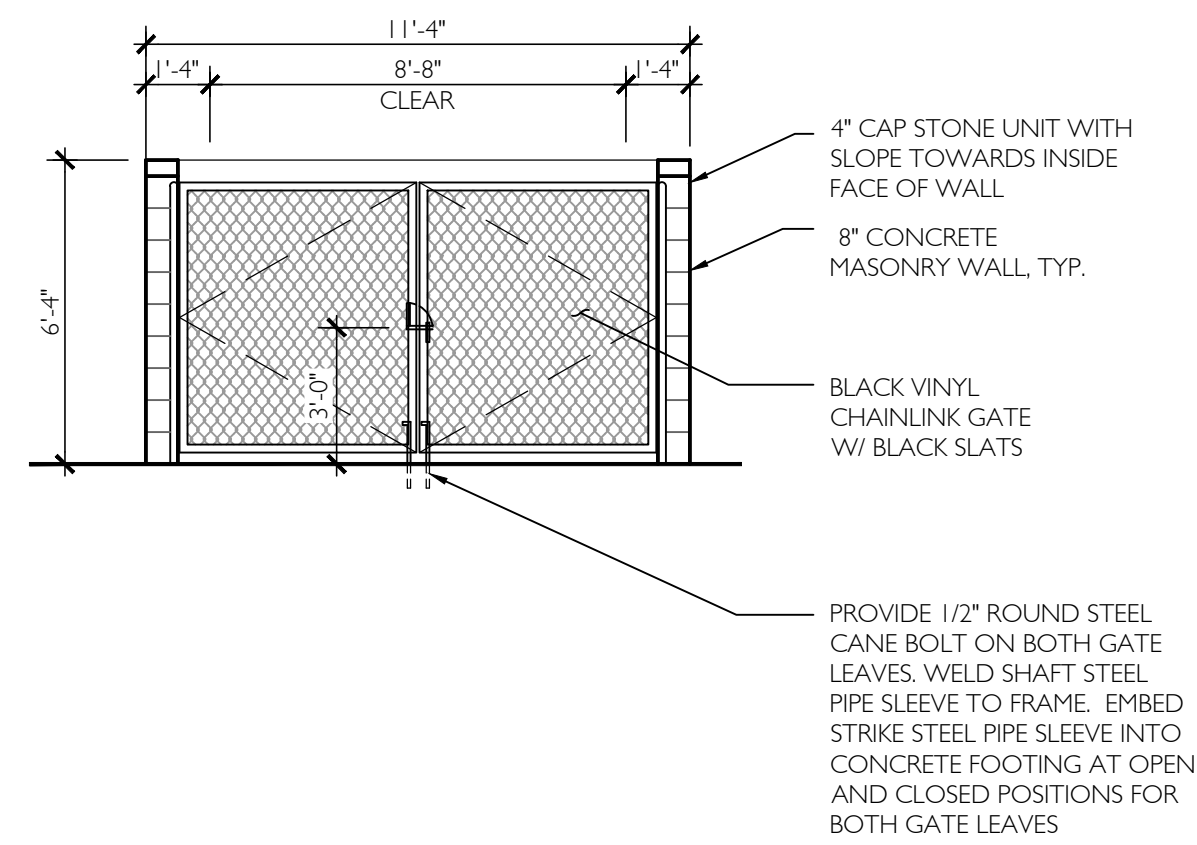
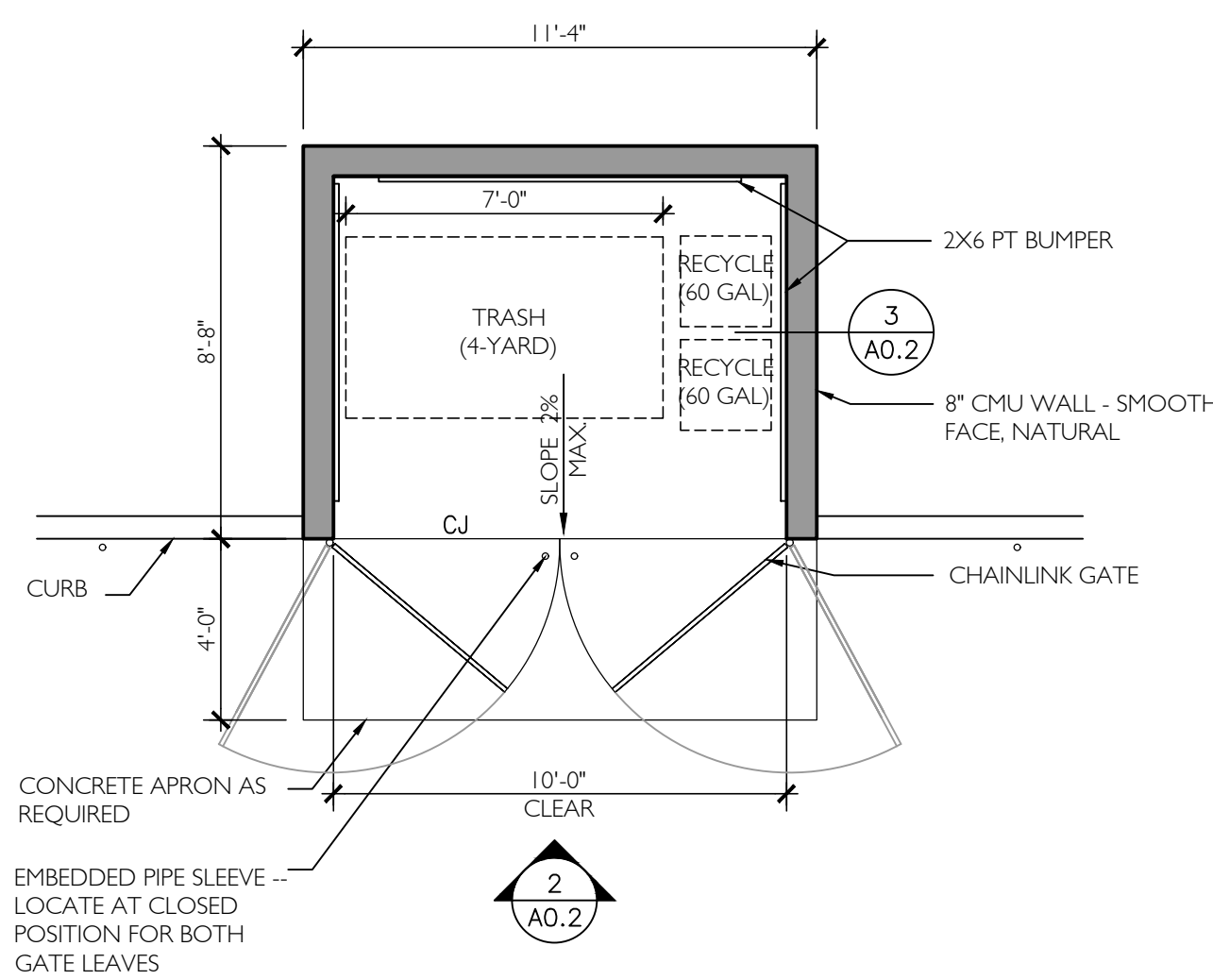
**KEYNOTES**

- 1 PROPERTY LINE
- 2 3.5' LANDSCAPE DEDICATION/NEW PROPERTY LINE
- 3 MAN GATE - ADA COMPLIANT SEE 3/A0.3
- 4 BIKE RACKS - SEE 7/A0.2 - (2) STALLS
- 5 TRASH ENCLOSURE - SEE 1/A0.2
- 6 PAD FOR WASH BOX - TO BE POURED AFTER EQUIPMENT INSTALLATION
- 7 (E) FIRE HYDRANT TO BE RELOCATED - SEE CIVIL DRAWINGS
- 8 (E) TREES TO BE REMOVED - 10 TOTAL
- 9 (E) ELECTRICAL LINE - OVERHEAD POWER POLES
- 10 (E) ELECTRICAL LINE
- 11 (E) WATER LINE -- SEE CIVIL
- 12 (E) SEWER LINE -- SEE CIVIL
- 13 (E) MOBILE HOME - AT OR NEAR PROPERTY LINE
- 14 LANDSCAPE RETAINING WALL - SEE CIVIL
- 15 ELECTRIC GATE W/ KNOX BOX & OVERRIDE SWITCH -- SEE A0.3
- 16 CHAIN LINK FENCE W/ BLACK PRIVACY SLATS
- 17 8' UTILITY EASEMENT
- 18 NEW STREET LIGHTS - TENTATIVE LOCATIONS - ILLUMINATION STUDY IN PROGRESS
- 19 CONCRETE APRON
- 20 NEW LOCATION OF FIRE HYDRANT
- 21 ASPHALT PAVEMENT -- SEE CIVIL FOR SECTION
- 22 CONCRETE CIP CURB
- 23 PRE-CAST WHEEL STOP -- SEE 4/A0.2 (9 TOTAL)
- 24 BOLLARD -- SEE 9/A0.2  
SEE A1.1 FOR PLACEMENT
- 25 3" CHAIN LINK FENCE
- 26 MAINTENANCE ACCESS GATE



**1 ARCHITECTURAL SITE PLAN**  
A0.1  
1"=20'-0"

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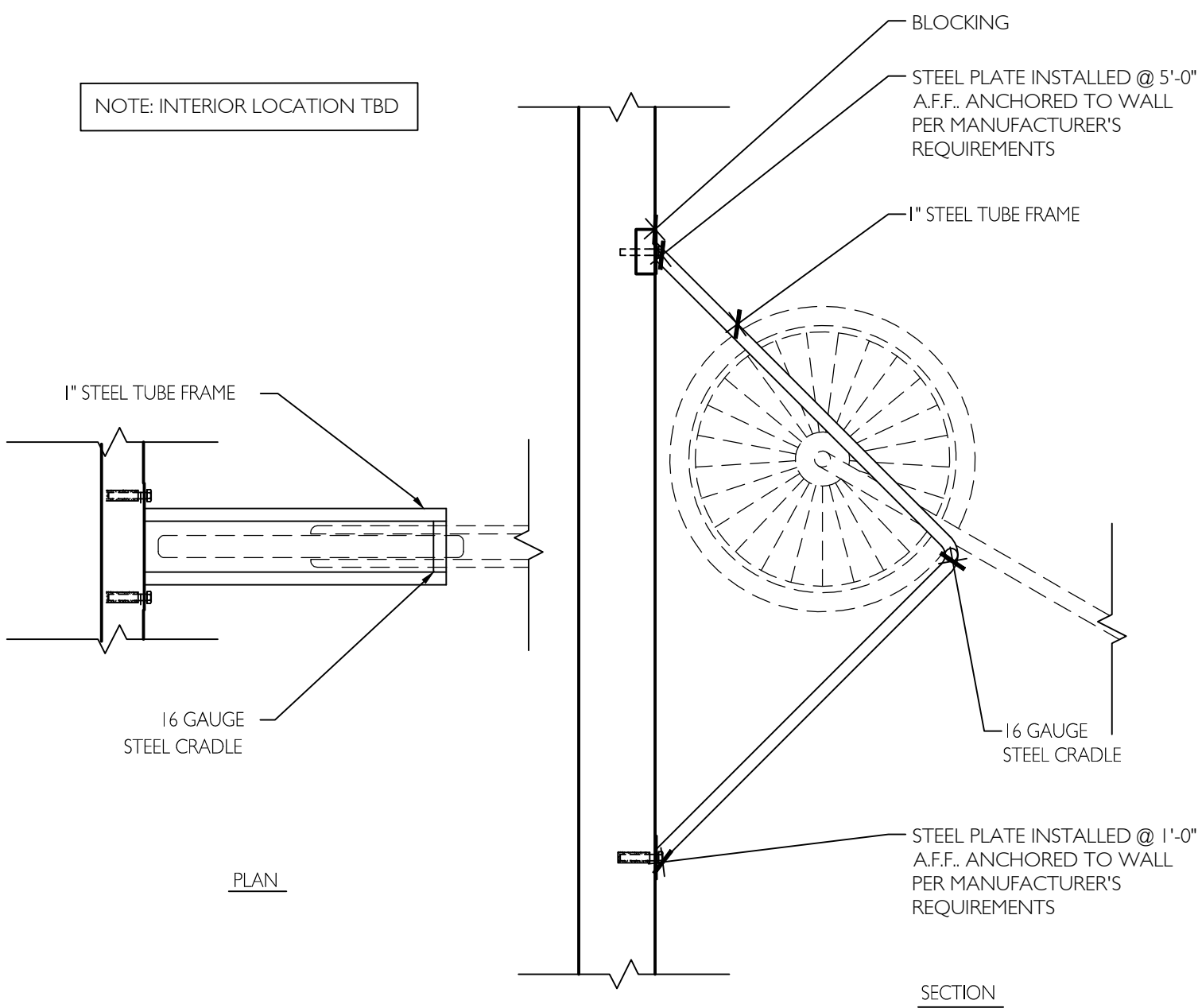
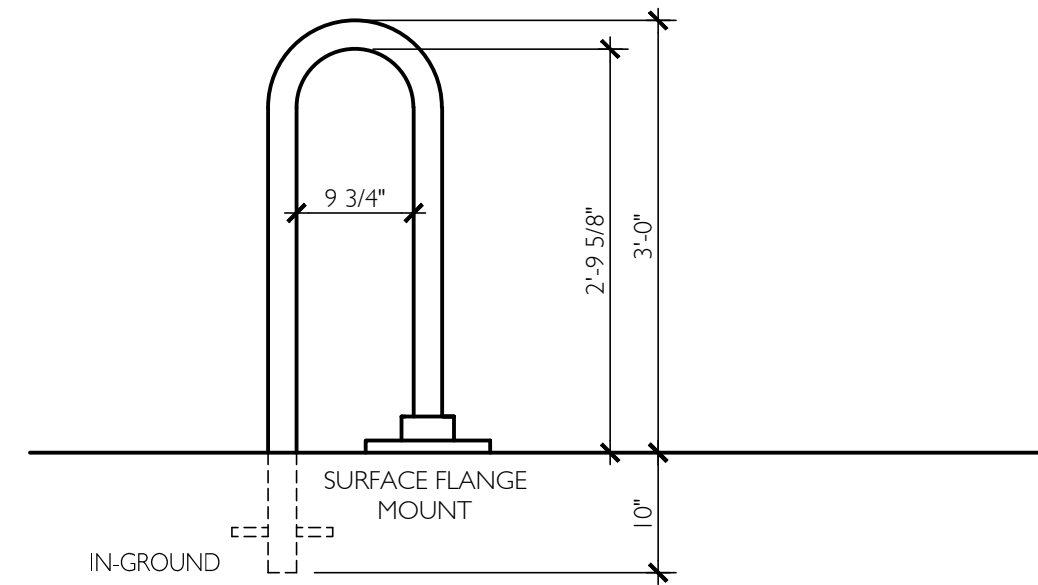
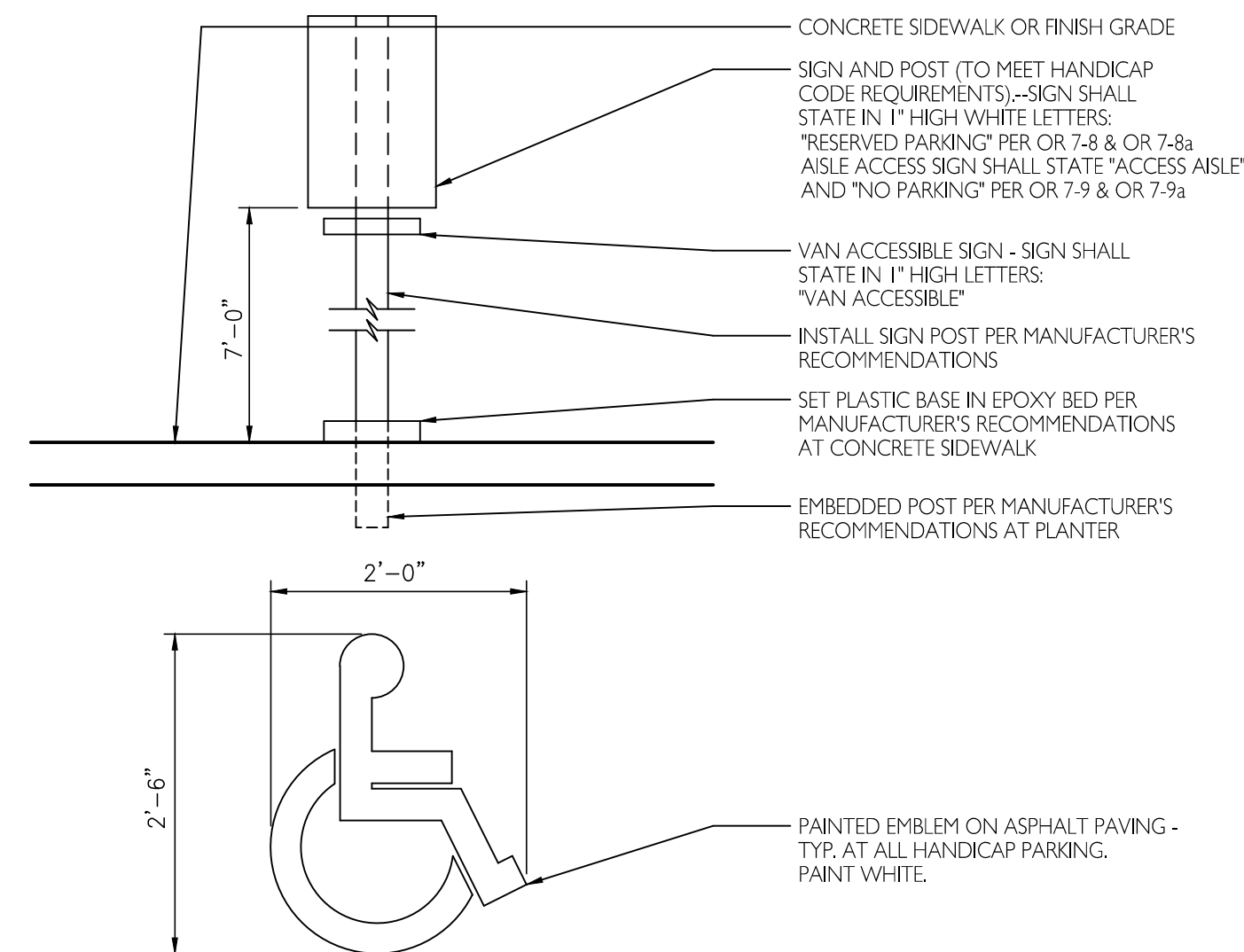
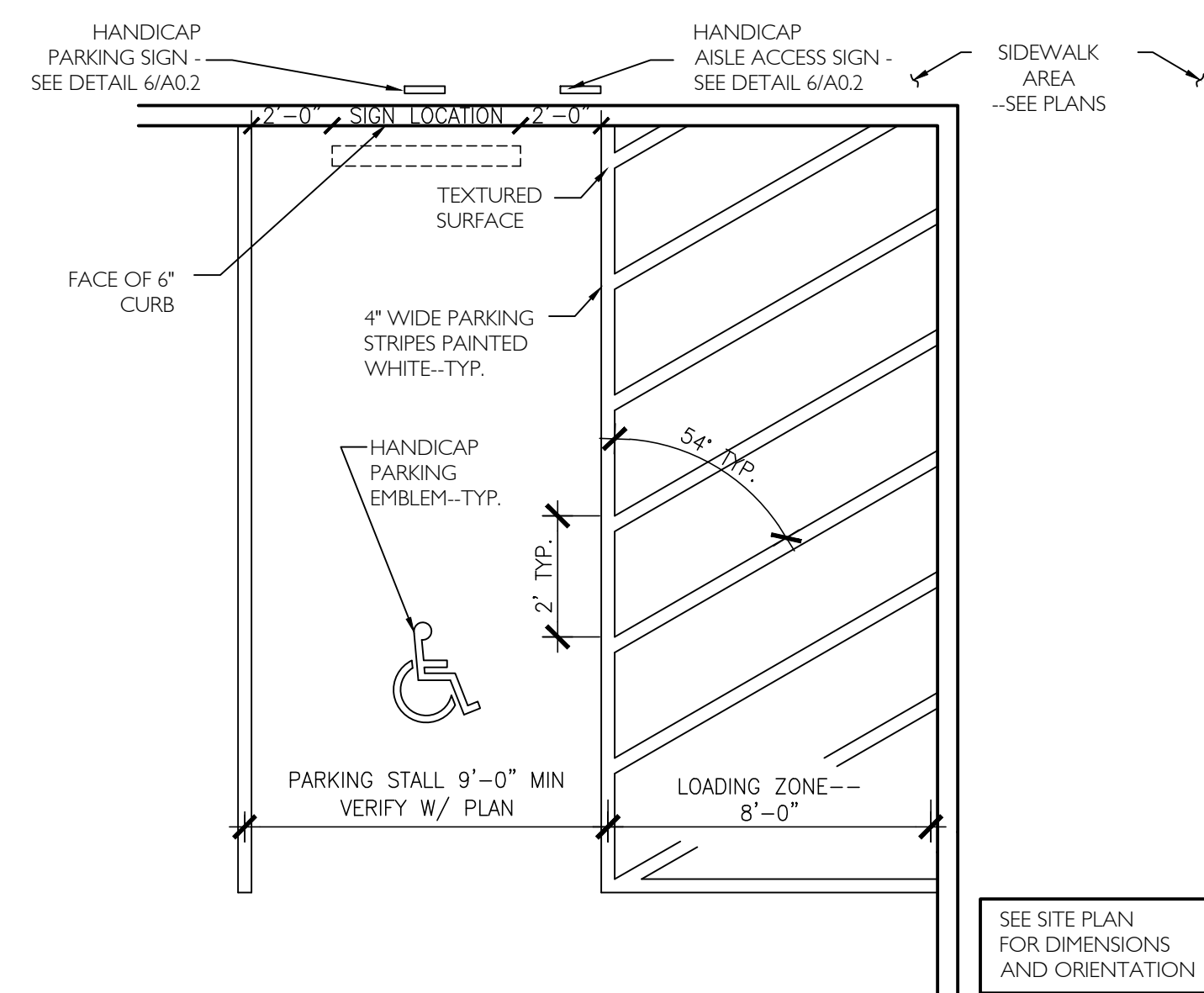


**1 TRASH/RECYCLING ENCLOSURE - PLAN**  
A0.2 1/4" = 1'-0"

**2 TRASH/RECYCLING ENCLOSURE - ELEVATION**  
A0.2 1/4" = 1'-0"

**3 TYP. WALL SECTION @ TRASH/RECYCLING**  
A0.2 1" = 1'-0" 04300-02

**4 PRECAST CONCRETE WHEELSTOP**  
A0.2 3" = 1'-0" 02580-06

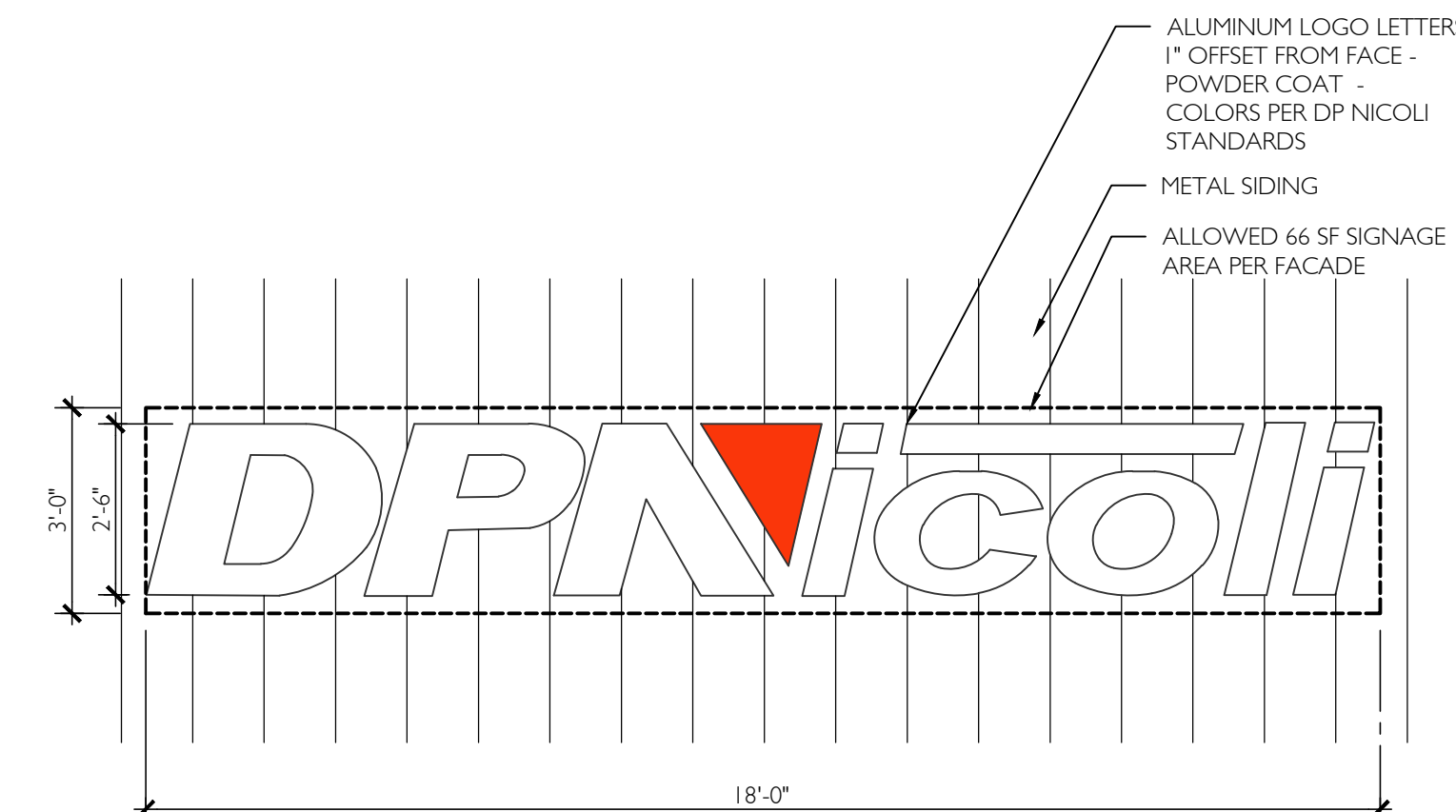
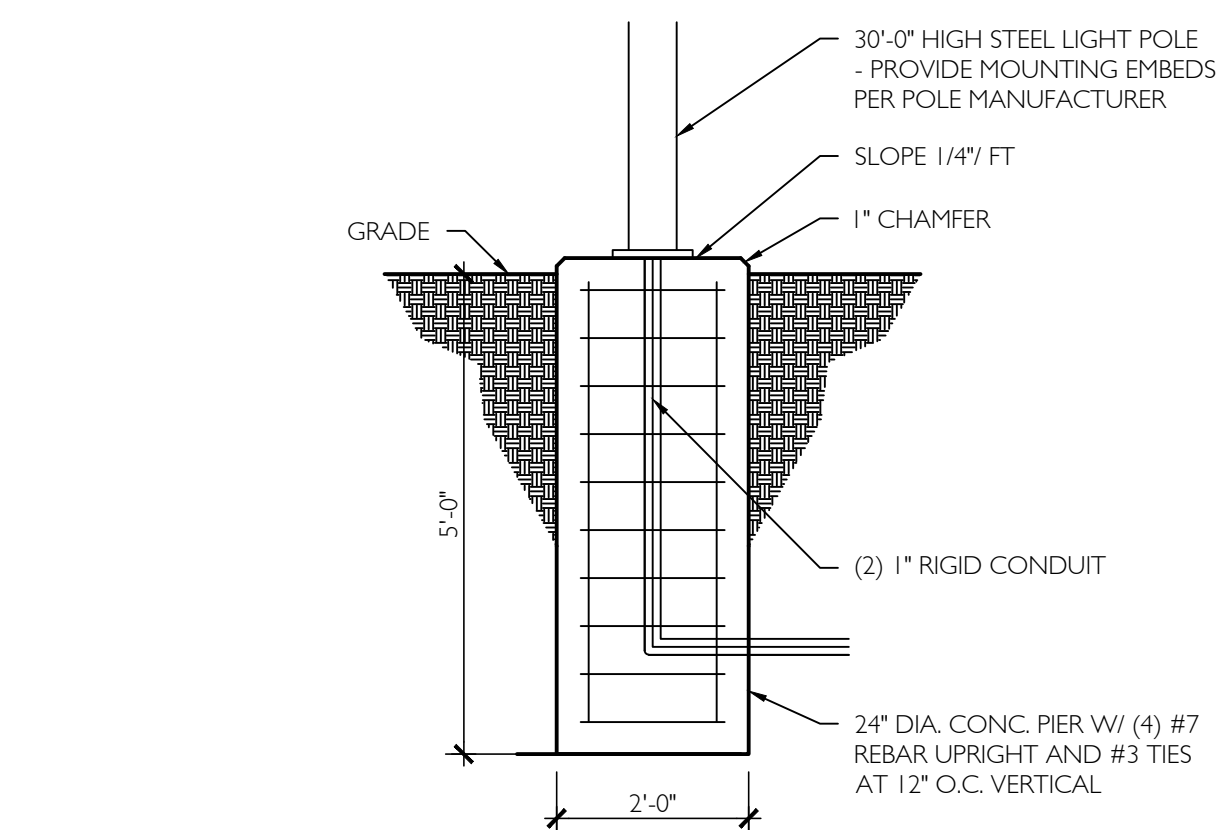
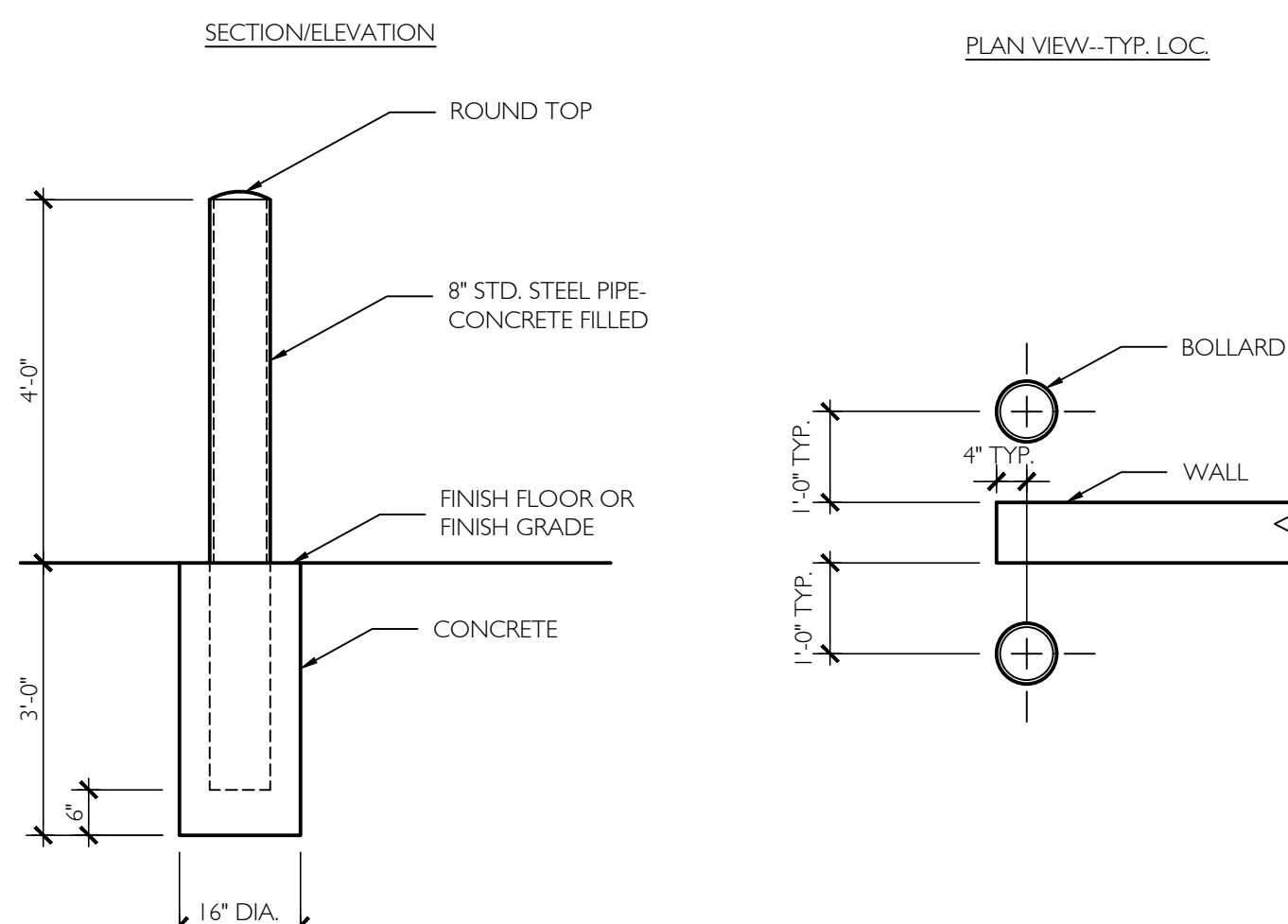


**5 SINGLE LOADING HANDICAP PARKING STALL**  
A0.2 1/4" = 1'-0"

**6 HANDICAP PARKING EMBLEM AND SIGN**  
A0.2 N.T.S.

**7 BICYCLE RACK**  
A0.2 N.T.S. 02580-08

**8 WALL MOUNTED BICYCLE RACK**  
A0.2 N.T.S.



**9 BOLLARD DETAIL**  
A0.2 1/2" = 1'-0"

**10 LIGHT POLE BASE**  
A0.2 1/2" = 1'-0"

**11 BUILDING MOUNTED SIGN**  
A0.2 N.T.S.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

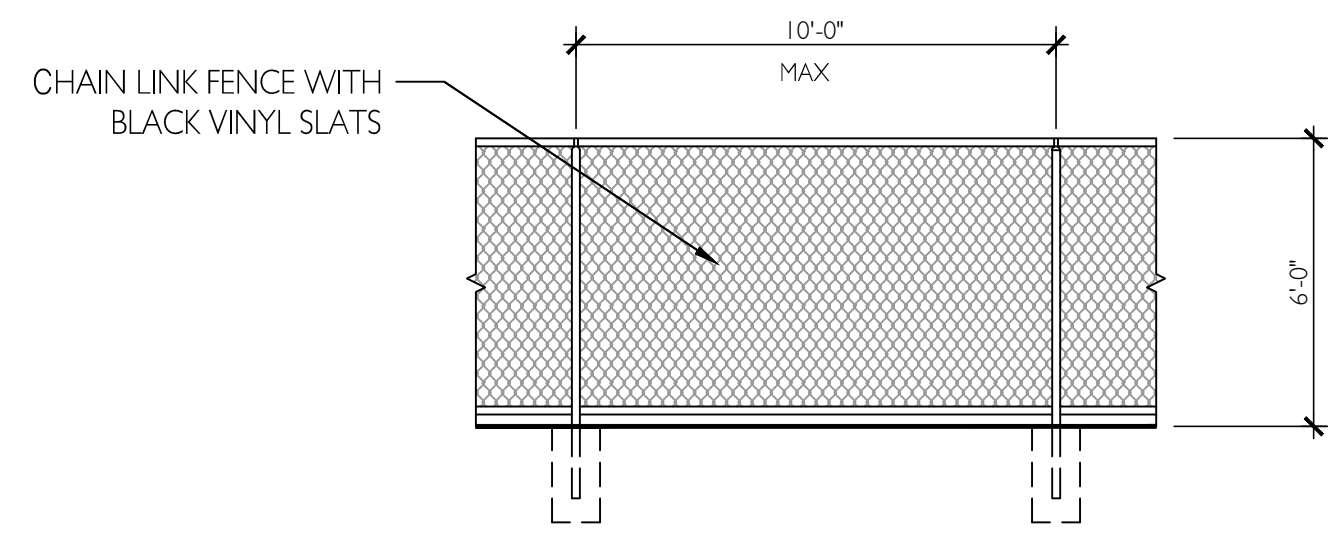
- REVISIONS:
- 1 01/10/20 PLANNING REVIEW
  - 2 06/30/20 PLANNING - CLASS 1 ALTERATIONS
  - 3 06/30/20 PLANNING - CLASS 2 ALTERATIONS
  - 4 08/12/20 PLANNING - SITE EXPANSION

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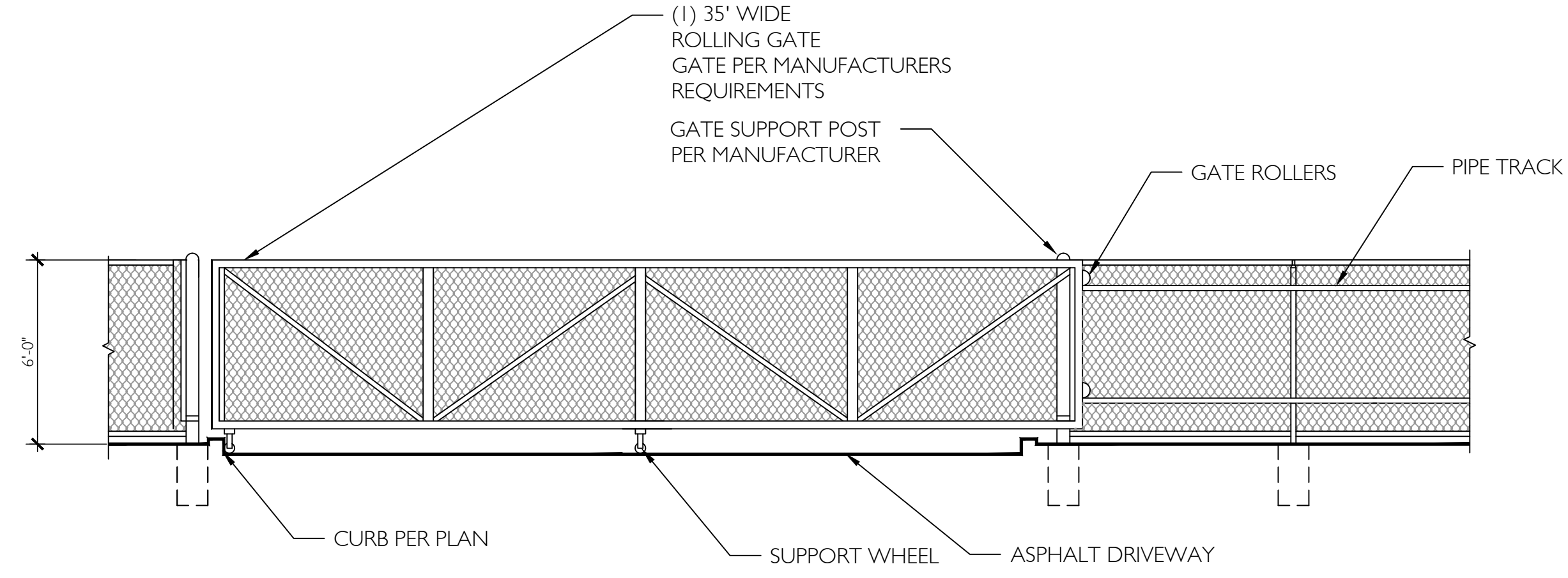
NEW CONSTRUCTION FOR:  
**DP NICOLI**  
28370 SW BOBERG RD.  
WILSONVILLE, OR 97070

SITE DETAILS  
**A0.2**

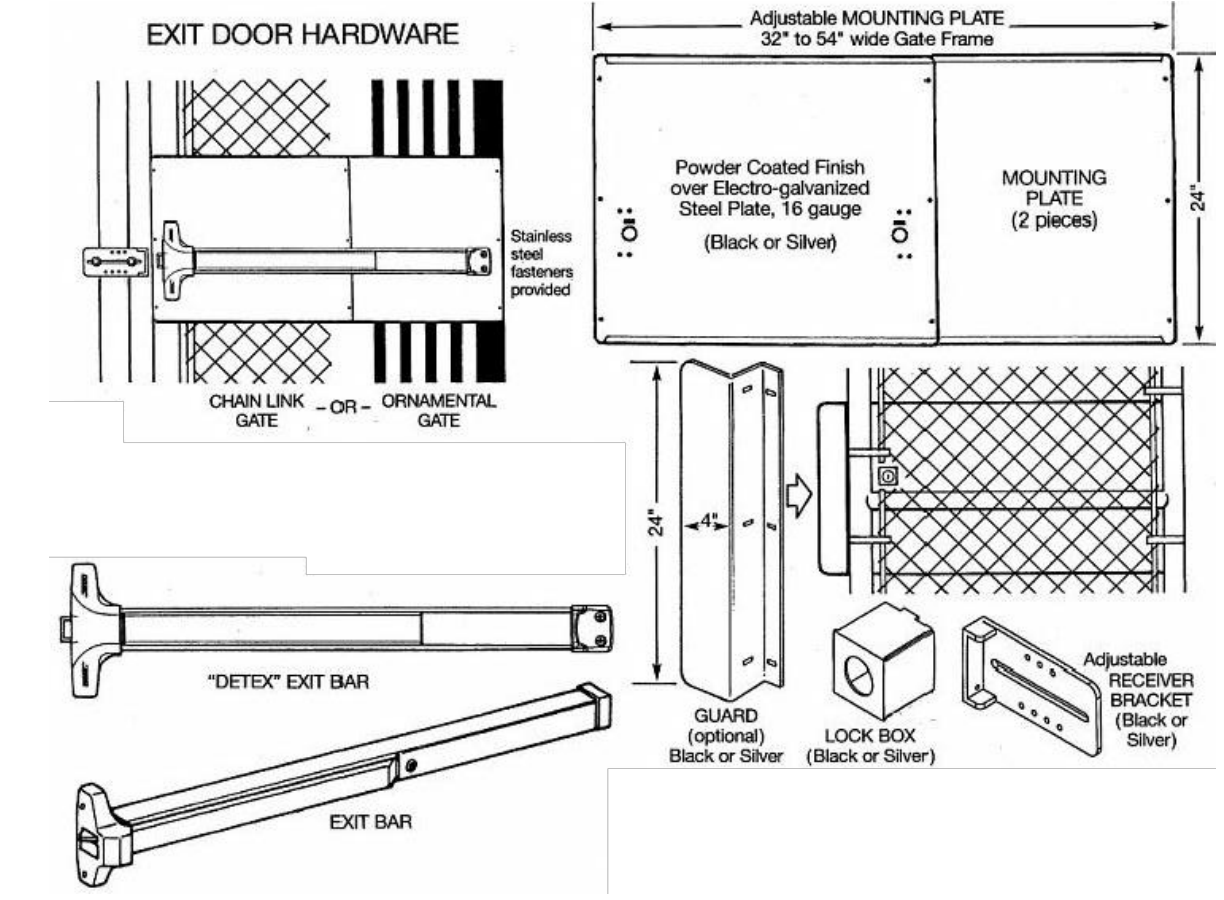
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**1**  
**A0.3** CHAINLINK FENCE  
1/4" = 1'-0"



**2**  
**A0.3** ROLLING GATE ELEVATION  
1/4" = 1'-0"



**3**  
**A0.3** CHAIN LINK GATE EXIT DOOR HARDWARE  
N.T.S.

PRELIMINARY  
NOT FOR  
CONSTRUCTION

- REVISIONS:
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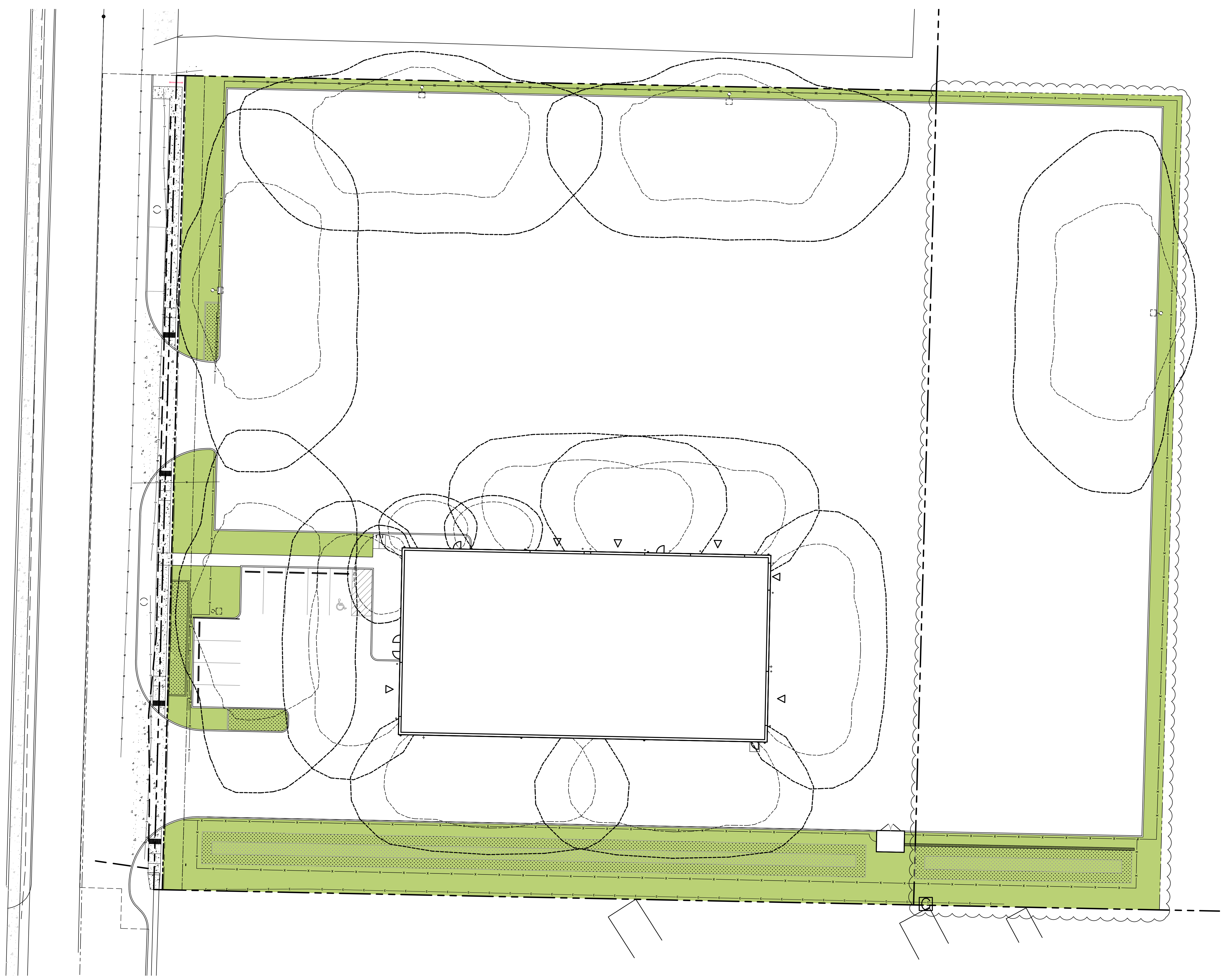
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WILSONVILLE, OR 97070

SITE DETAILS  
**A0.3**


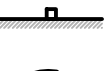
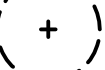
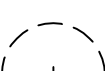
JOB NO. 180146.03

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Elwood\180146.03\Industrial\Ios - Near Building\Current\A0.4 - Site Plan - D08.dwg Aug 12, 2020 - 4:13pm



**LEGEND**

-  POLE MOUNTED LIGHT FIXTURE
-  BUILDING MOUNTED LIGHT FIXTURE
-  APPROXIMATE 0.5 FC ISOLUM
-  APPROXIMATE 1.0 FC ISOLUM

**KEYNOTES**

- 1 POLE MOUNTED LIGHT FIXTURE @ 30'-0"  
- LITHONIA LIGHTING - DSX1 SERIES OR APPROVED EQUAL - TYPE 3 MEDIUM DISTRIBUTION, BLACK, DARK SKY RATED, W/ CUTOFFS - SQUARE POLE MOUNTED.
- 2 BUILDING MOUNTED LIGHT FIXTURE @ 22'-0" AFF  
- LITHONIA LIGHTING - WDG3 LED OR APPROVED EQUAL - P3 70 CRI R3 40K - BLACK
- 3 BUILDING MOUNTED LIGHT FIXTURE @ 11'-0" AFF  
- LITHONIA LIGHTING - WDG2 LED OR APPROVED EQUAL - P3SW 40K 90 CRI VW - BLACK
- 4 STREET LIGHTS PER CITY OF WILSONVILLE STANDARD - TENTATIVE LOCATIONS - ILLUMINATION STUDY IN PROGRESS

NORTH  
**1**  
**A0.4** SITE LIGHTING PLAN  
1"=20'-0"

REVISIONS

1	01/10/20	PLANNING REVIEW
2	06/30/20	PLANNING - CLASS 1 ALTERATIONS
3	06/30/20	PLANNING - CLASS 2 ALTERATIONS
4	08/12/20	PLANNING - SITE EXPANSION

**CIDA**

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NEW CONSTRUCTION FOR:

**DP NICOLI**

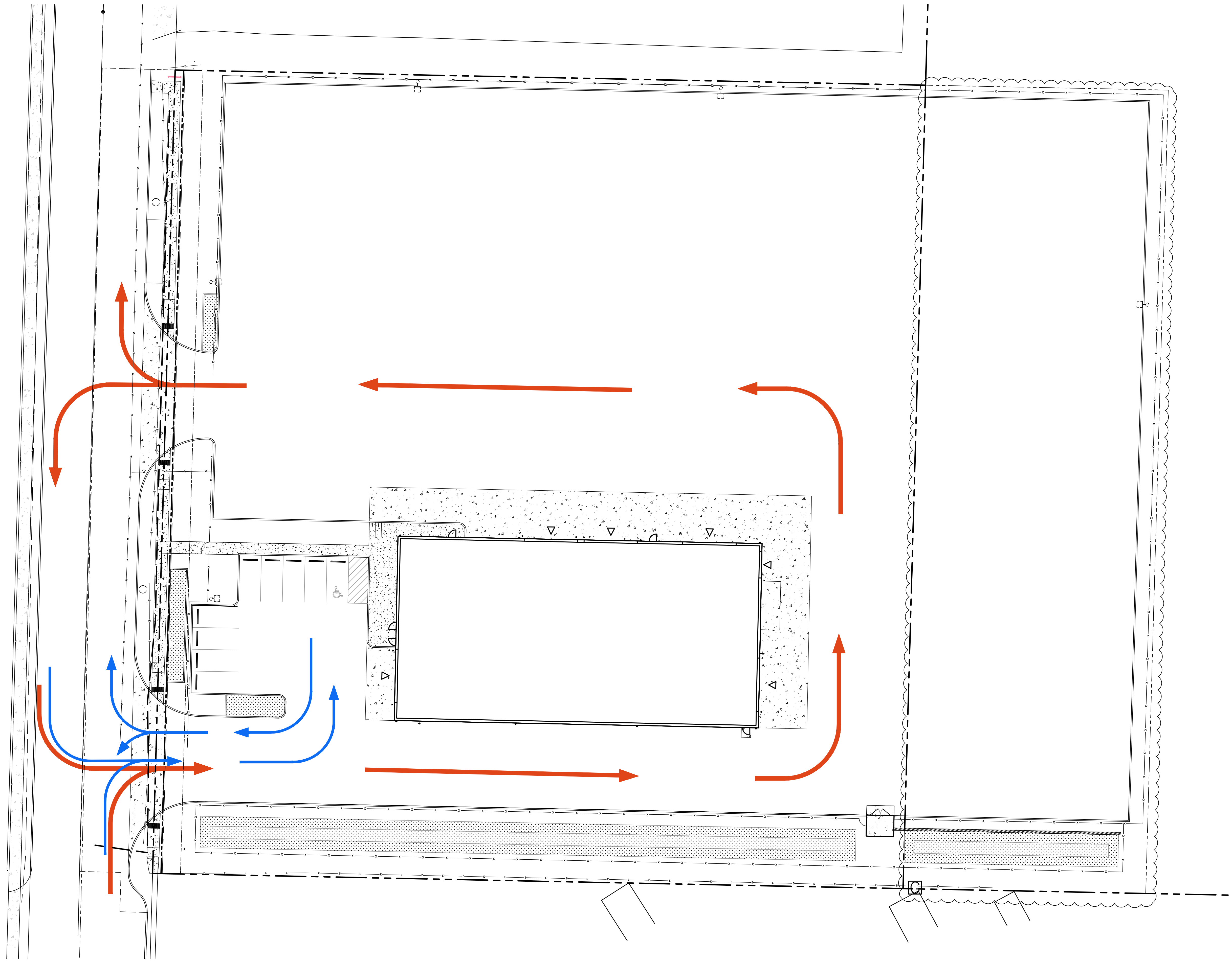
28370 SW BOBERG RD.  
WILSONVILLE, OR 97070

SITE LIGHTING PLAN  
**A0.4**



JOB NO. 180146.03

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\\sawdell\180146\03\Industrial\Four - Near Building\Current\A0.6 - Site Plan - DRB.dwg, Aug 12, 2020, 4:16pm



**LEGEND**

-  STANDARD VEHICLES
-  SEMI TRUCKS & OTHER SERVICE VEHICLES

NORTH  
 1  
 A0.6  
**ARCHITECTURAL SITE PLAN - VEHICLE CIRCULATION**  
 1"=30'-0"

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

- REVISIONS:
- 1 01/10/20 PLANNING REVIEW
  - 2 06/30/20 PLANNING - CLASS 1 ALTERATIONS
  - 3 06/30/20 PLANNING - CLASS 2 ALTERATIONS
  - 4 08/12/20 PLANNING - SITE EXPANSION

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NEW CONSTRUCTION FOR:  
**DP NICOLI**  
 28370 SW BOBERG RD.  
 WILSONVILLE, OR 97070

CIRCULATION PLAN  
**A0.6**

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