

DP NICOLI

WILSONVILLE, OR

NICOLI PACIFIC LLC.

OWNER

P.O. BOX 2401
LAKE OSWEGO, OR 97035
(T): (503) 209-6970
CONTACT: DAVID NICOLI

CIDA, INC.

ARCHITECT/ STRUCTURAL

15895 SW 72ND AVE, SUITE 200
PORTLAND, OREGON 97224
(T): (503) 226-1285
(F): (503) 226-1670
CONTACT: GAVIN RUSSELL, TARA LUND

AAI ENGINEERING

CIVIL

4875 SW GRIFFITH DR, SUITE 300
BEAVERTON, OREGON 97005
(T): (503) 620-3030
CONTACT: DUSTIN ELMORE, CRAIG HARRIS

ECOTONE

LANDSCAPE

522 N THOMPSON ST, SUITE 4
PORTLAND, OREGON 97227
(T): (503) 927-4180
CONTACT: BRYAN BAILEY

WALEN CONSTRUCTION

CONTRACTOR

9740 SW WILSONVILLE RD, SUITE 230
WILSONVILLE, OR 97070
(T): (503) 718-6680
CONTACT: DAVID WALES

CCB #:223805

PROJECT DESCRIPTION

THE NEW PROPOSED DEVELOPMENT ON LOT 500 WILL CONSIST OF ONE 11,400 SF METAL BUILDING W/1800 SF MEZZANINE. USES INCLUDE OFFICE, WAREHOUSE AND MINOR INDUSTRIAL FABRICATION. THE SITE WILL CONTAIN AN APPROXIMATELY 52,700 SF OPEN STORAGE YARD, AS WELL AS THE REQUIRED PARKING AND LANDSCAPING.

ZONING CODE INFORMATION

TAX MAP: 31W4A
TAX LOT: 500
ZONE: PDI
SITE AREA: 101,225 SQUARE FEET (2.32 ACRES)

BUILDING CODE INFORMATION

DESIGN CODE: 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
OCCUPANCY: S-1, B, F-1 (NON-SEPARATED)
BUILDING CONSTRUCTION TYPE: V-B (SPRINKLERED)



RELEASES	
	<ul style="list-style-type: none"> ○ SHEET RELEASED BUT NOT REVISED THIS RELEASE ● SHEET REVISED THIS RELEASE
GENERAL	<ul style="list-style-type: none"> CS1 COVER SHEET SURVEY FLSI
CIVIL	<ul style="list-style-type: none"> C0.1 GENERAL NOTES C0.2 EXISTING CONDITIONS C0.3 DEMOLITION PLAN C1.0 HARDSCAPE PLAN C2.0 GRADING PLAN C3.0 UTILITY PLAN
LANDSCAPE	<ul style="list-style-type: none"> L1.01 LANDSCAPE PLAN L1.02 LANDSCAPE PLAN L1.03 LANDSCAPE PLAN L1.04 TREE PLAN
ARCHITECTURAL	<ul style="list-style-type: none"> A0.1 SITE PLAN A0.2 SITE DETAILS A0.3 SITE DETAILS A0.4 SITE LIGHTING PLAN A0.5 SITE CIRCULATION PLAN A1.1 FLOOR PLAN A1.2 REFLECTED CEILING PLAN A1.3 ROOF PLAN A2.1 ELEVATIONS A3.1 BUILDING SECTIONS A4.1 WALL SECTIONS A5.1 DOOR SCHEDULE & DETAILS A6.1 STOREFRONT TYPES & DETAILS A7.1 EXTERIOR DETAILS A8.1 ENLARGED PLANS & INTERIOR ELEVATIONS A9.1 STAIRS
STRUCTURAL	
METAL BUILDING	

PRELIMINARY
PLAN ONLY-NOT
FOR
CONSTRUCTION

ISSUED DATE
1 01/10/20 PLANNING REVIEW



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1670
WWW.CIDAINC.COM

NEW CONSTRUCTION FOR:
DP NICOLI
NO SITUS - 31W14A 00500
WILSONVILLE, OR 97070

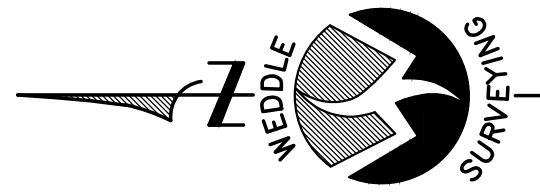
COVER SHEET

CS1

JOB NO. 180146.03

City of Wilsonville
Exhibit B2 DB20-0002 et seq

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APRIL 30, 2019

OWNER: LEE H. AND MARION B. THOMPSON FOUNDATION

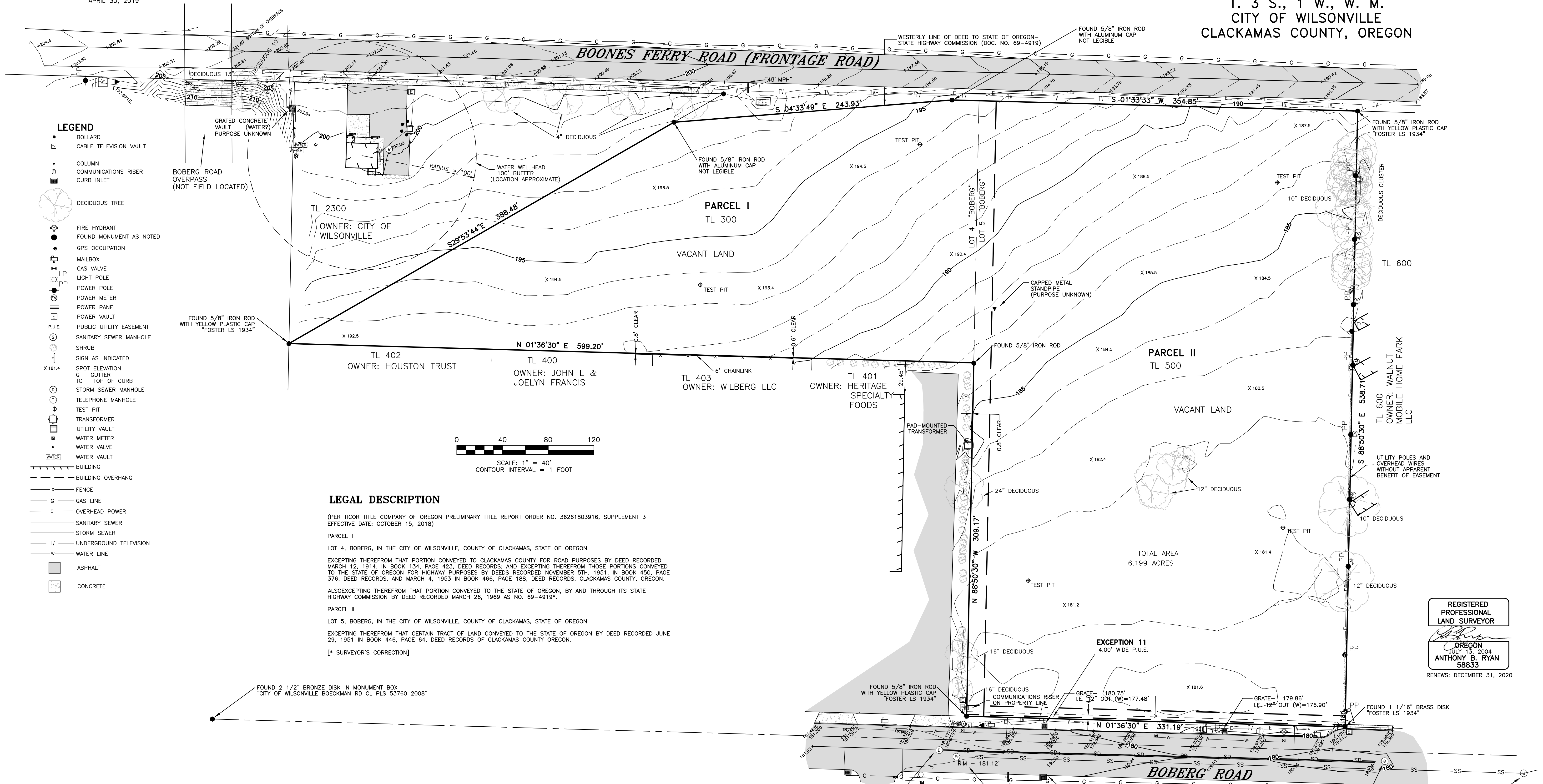
REQUESTED BY: TARA LUND
CIDA, INC.
FOR NICOLI PACIFIC, LLC

PACIFIC HIGHWAY - INTERSTATE 5

NOTE: PROPERTY LINE ADJUSTMENT APPROVED UNDER AR19-0059. SEE SUPPLEMENTAL INFORMATION IN FOLDER FOR FURTHER INFORMATION ON NEW LOT LINES. SITE REPEAT AND DOCUMENTATION IS CURRENTLY IN PROCESS FOR CLACKAMAS COUNTY.

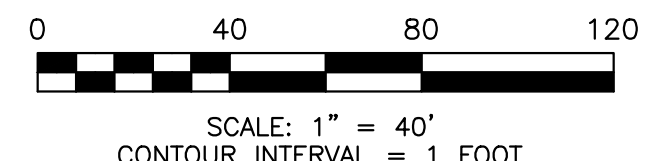
TOPOGRAPHIC SURVEY

NICOLI PACIFIC, LLC
IN LOTS 4 AND 5, "BOBERG"
N.E. 1/4 OF SECTION 14
T. 3 S., 1 W., W. M.
CITY OF WILSONVILLE
CLACKAMAS COUNTY, OREGON



LEGEND

- BOLLARD
- CABLE TELEVISION VAULT
- COLUMN COMMUNICATIONS RISER
- CURB INLET
- DECIDUOUS TREE
- FIRE HYDRANT
- FOUND MONUMENT AS NOTED
- GPS OCCUPATION
- MAILBOX
- GAS VALVE
- LIGHT POLE
- POWER POLE
- POWER METER
- POWER PANEL
- POWER VAULT
- PUBLIC UTILITY EASEMENT
- SANITARY SEWER MANHOLE
- SHRUB
- SIGN AS INDICATED
- SPOT ELEVATION
- GUTTER
- TOP OF CURB
- STORM SEWER MANHOLE
- TELEPHONE MANHOLE
- TEST PIT
- TRANSFORMER
- UTILITY VAULT
- WATER METER
- WATER VALVE
- WATER VAULT
- BUILDING
- BUILDING OVERHANG
- FENCE
- GAS LINE
- OVERHEAD POWER
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND TELEVISION
- WATER LINE
- ASPHALT
- CONCRETE



LEGAL DESCRIPTION

(PER TICOR TITLE COMPANY OF OREGON PRELIMINARY TITLE REPORT ORDER NO. 36261803916, SUPPLEMENT 3 EFFECTIVE DATE: OCTOBER 15, 2018)

PARCEL I
LOT 4, BOBERG, IN THE CITY OF WILSONVILLE, COUNTY OF CLACKAMAS, STATE OF OREGON.
EXCEPTING THEREFROM THAT PORTION CONVEYED TO CLACKAMAS COUNTY FOR ROAD PURPOSES BY DEED RECORDED MARCH 12, 1914, IN BOOK 134, PAGE 423, DEED RECORDS; AND EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE STATE OF OREGON FOR HIGHWAY PURPOSES BY DEEDS RECORDED NOVEMBER 5TH, 1951, IN BOOK 450, PAGE 376, DEED RECORDS, AND MARCH 4, 1953 IN BOOK 466, PAGE 186, DEED RECORDS, CLACKAMAS COUNTY, OREGON.
ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF OREGON, BY AND THROUGH ITS STATE HIGHWAY COMMISSION BY DEED RECORDED MARCH 26, 1969 AS NO. 69-4919*.

PARCEL II
LOT 5, BOBERG, IN THE CITY OF WILSONVILLE, COUNTY OF CLACKAMAS, STATE OF OREGON.
EXCEPTING THEREFROM THAT CERTAIN TRACT OF LAND CONVEYED TO THE STATE OF OREGON BY DEED RECORDED JUNE 29, 1951 IN BOOK 446, PAGE 64, DEED RECORDS OF CLACKAMAS COUNTY OREGON.
[* SURVEYOR'S CORRECTION]

SURVEYOR'S NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY IS PER SURVEY NO. SN2015-164, CLACKAMAS COUNTY RECORDS. THIS IS NOT A RECORDABLE SURVEY.
2. UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.

BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS AN OPUS GPS DERIVED ELEVATION ON A NAIL NEAR THE NW PROPERTY CORNER
ELEVATION: 181.11' (NAVD 88)

REGISTERED PROFESSIONAL LAND SURVEYOR
ANTHONY B. RYAN
58833
RENEWS: DECEMBER 31, 2020



6950 SW HAMPTON ST., STE. 170, TIGARD, OR 97223
PH: (503) 941-9585 FAX: (503) 941-9640
www.weddlesurveying.net

GENERAL NOTES

- CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL AND VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED – DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2017 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF WILSONVILLE.
- THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CITY OF WILSONVILLE FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF WILSONVILLE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- NOTIFY CITY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY REPRESENTATIVE SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.
- EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 – 209.155.

CONSTRUCTION NOTES

DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
- EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
- ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
- SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

UTILITIES

- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

STORM AND SANITARY

- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 00490, "WORK ON EXISTING SEWERS AND STRUCTURES".
- BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
- ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.

WATER

- ALL WATER PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
- ALL WATER FITTINGS SHALL BE PROPERLY RESTRAINED WITH MECHANICAL RESTRAINTS.
- ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.

EARTHWORKS

- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

PAVING

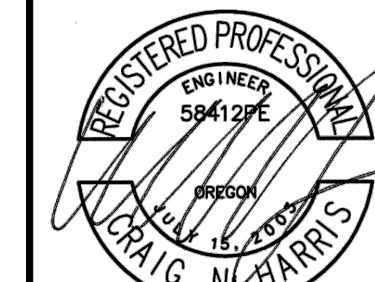
- SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

MATERIAL NOTES

- GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ENGINEER PRIOR TO INSTALLATION.
- STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2' OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER OR PVC; AS INDICATED IN THE PLANS.
- CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

SEPARATION STATEMENT

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.



EXPIRES: 6/30/2021

ISSUED DATE
1 01/10/20 PLANNING REVIEW



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.228.1288
FAX: 503.228.1870
WWW.CIDAINC.COM

NEW CONSTRUCTION FOR:

DP NICOLI

NO SITUS – 31W14A 00500
WILSONVILLE, OR 97070

GENERAL NOTES

C0.1

JOB NO. 180146.03

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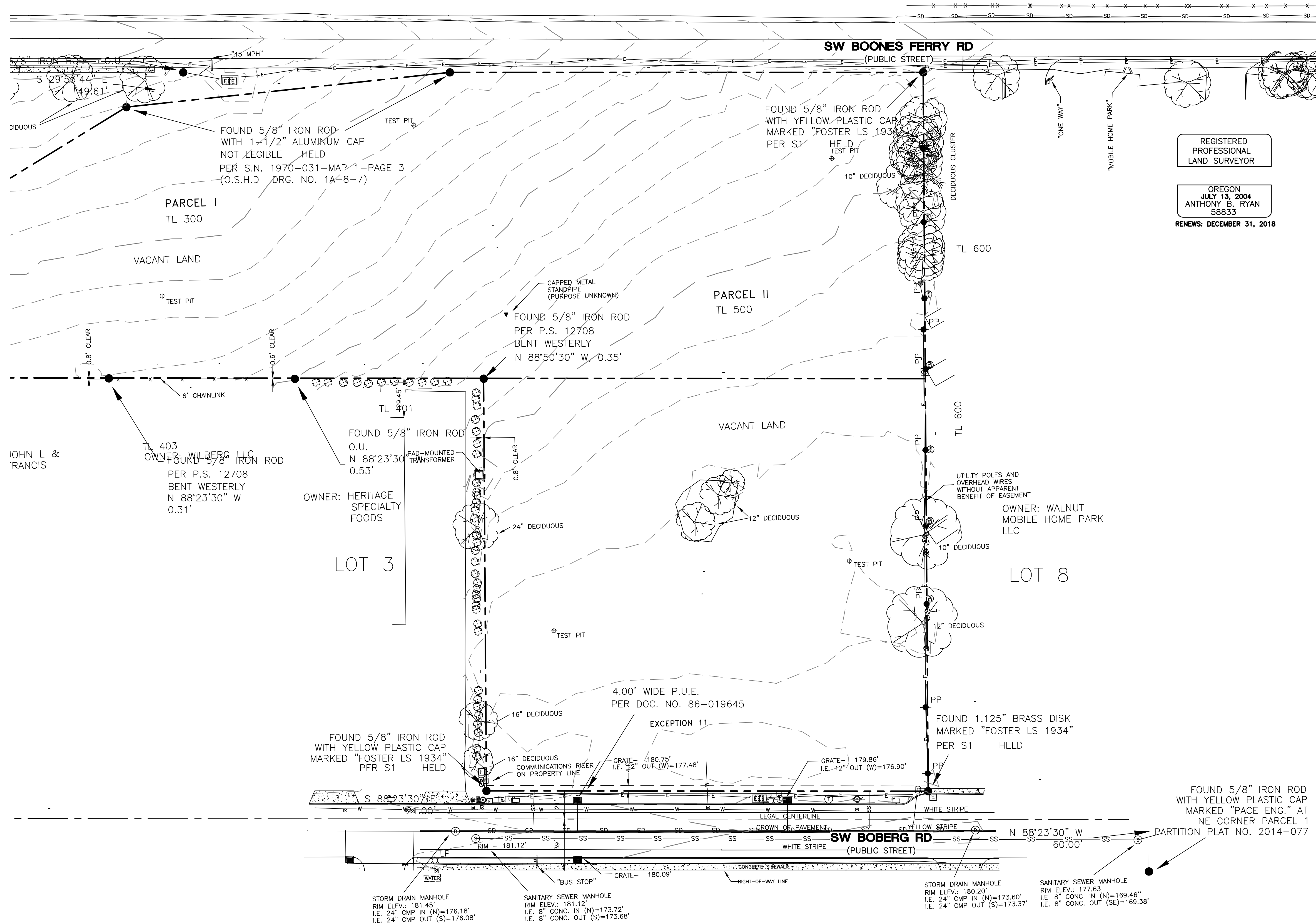


SHEET NOTES

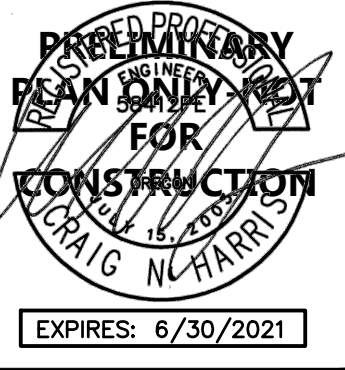
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- 3 THE BENCHMARK USED FOR THIS SURVEY IS AN OPUS GPS DERIVED ELEVATION ON A NAIL NEAR THE NW PROPERTY CORNER. ELEVATION: 181.11' (NAVD 88)

LEGEND

- BOLLARD
- CABLE TELEVISION VAULT
- COLUMN
- COMMUNICATIONS RISER
- CURB INLET
- DECIDUOUS TREE
- FIRE HYDRANT
- FOUND MONUMENT AS NOTED
- GPS OCCUPATION
- MAILBOX
- GAS VALVE
- LIGHT POLE
- POWER POLE
- POWER METER
- POWER PANEL
- POWER VAULT
- PUBLIC UTILITY EASEMENT
- SANITARY SEWER MANHOLE
- SHRUB
- SIGN AS INDICATED
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- TELEPHONE MANHOLE
- TEST PIT
- TRANSFORMER
- UTILITY VAULT
- WATER METER
- WATER VALVE
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- BUILDING
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- FENCE
- GAS LINE
- OVERHEAD POWER
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND TELEVISION
- WATER LINE
- CONCRETE



REGISTERED PROFESSIONAL LAND SURVEYOR
 OREGON JULY 13, 2004
 ANTHONY B. RYAN
 58833
 RENEWS: DECEMBER 31, 2018



ISSUED DATE: 1 01/10/20 PLANNING REVIEW



NEW CONSTRUCTION FOR:

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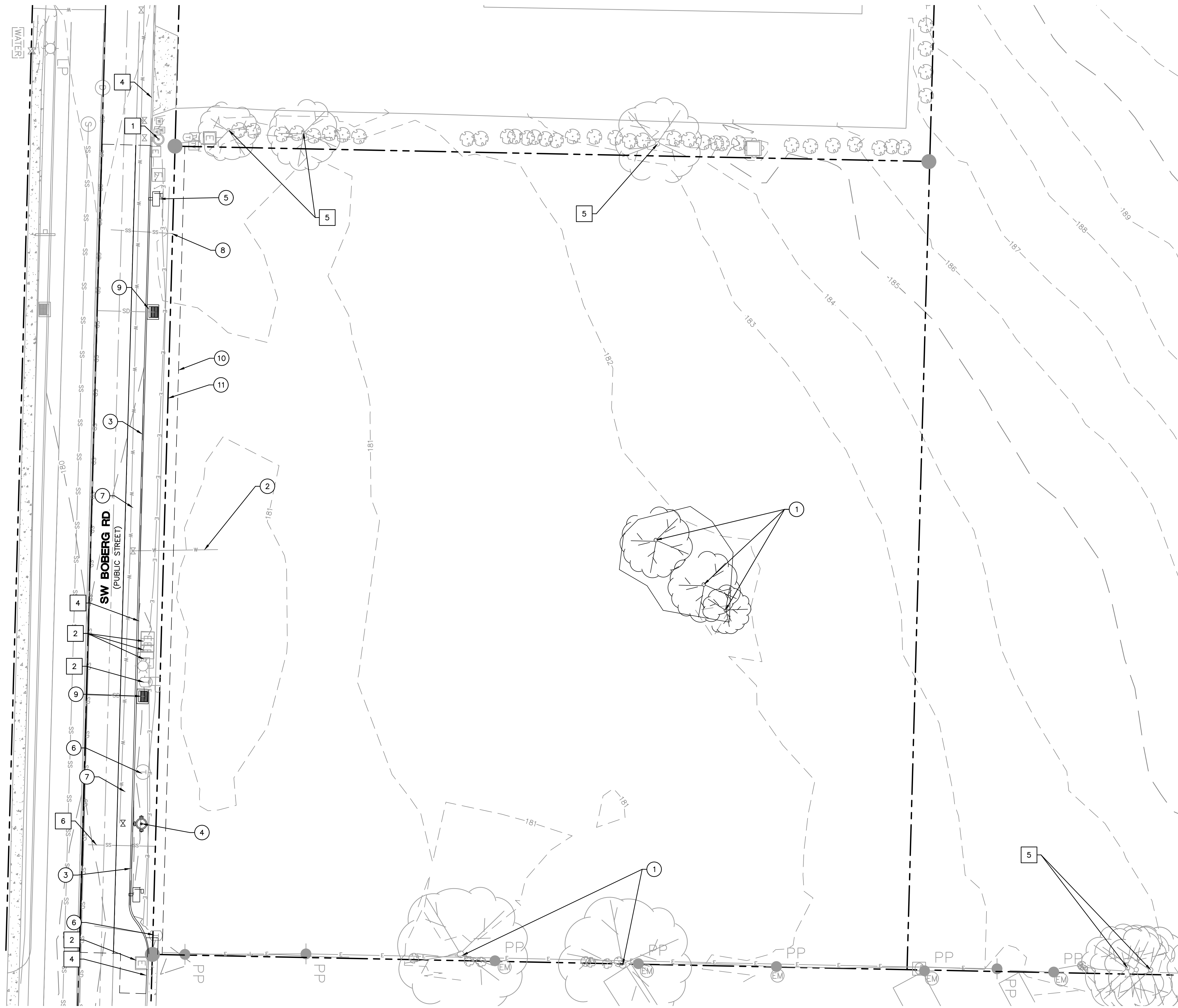
EXISTING CONDITIONS

C0.2

JOB NO. 180146.03

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F:\2018\180146.03 - Industrial Front\City\City\Drawings\180146.03.DWG, Date: 10/20/20 - 4:52pm



SHEET NOTES

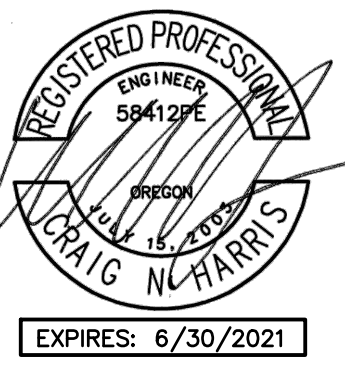
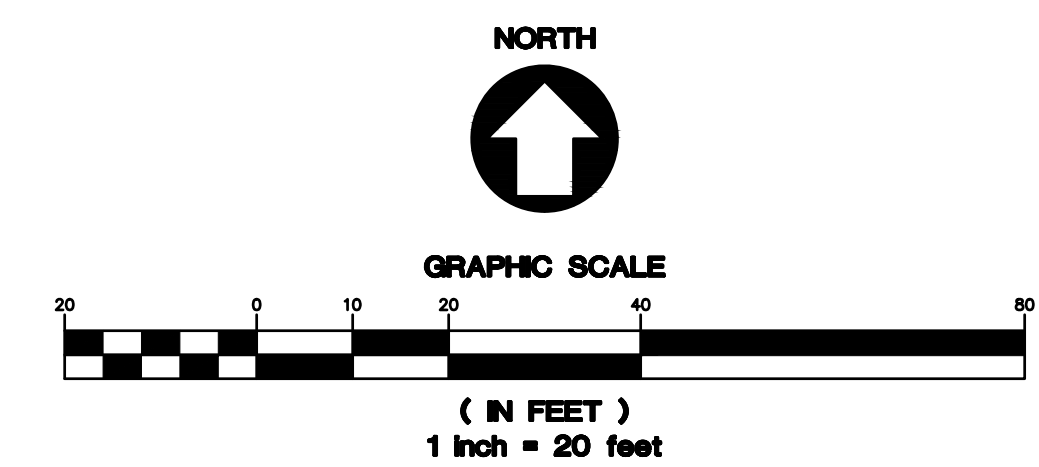
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
11. PROTECT ALL EXISTING VEGETATION TO REMAIN.

X PROTECTION NOTES

- 1 PROTECT EXISTING FIRE HYDRANT
- 2 PROTECT EXISTING UTILITY STRUCTURE
- 3 NOT USED
- 4 PROTECT EXISTING CURB
- 5 PROTECT EXISTING TREES
- 6 PROTECT EXISTING SEWER SERVICE

X DEMOLITION NOTES

- 1 REMOVE EXISTING TREES
- 2 KILL AND ABANDON EXISTING WATER SERVICE
- 3 REMOVE EXISTING CURB
- 4 REMOVE AND RELOCATE EXISTING HYDRANT
- 5 REMOVE AND RELOCATE EXISTING MAILBOX
- 6 ADJUST OR RELOCATE EXISTING UTILITY STRUCTURE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
- 7 SAWCUT AND REMOVE EXISTING ASPHALT
- 8 PLUG AND ABANDON EXISTING SEWER SERVICE
- 9 REMOVE EXISTING CURB INLET
- 10 PUE TO BE ADJUSTED, BY OTHERS
- 11 PROPERTY LINE TO BE ADJUSTED, BY OTHERS



ISSUED DATE
1 01/10/20 PLANNING REVIEW



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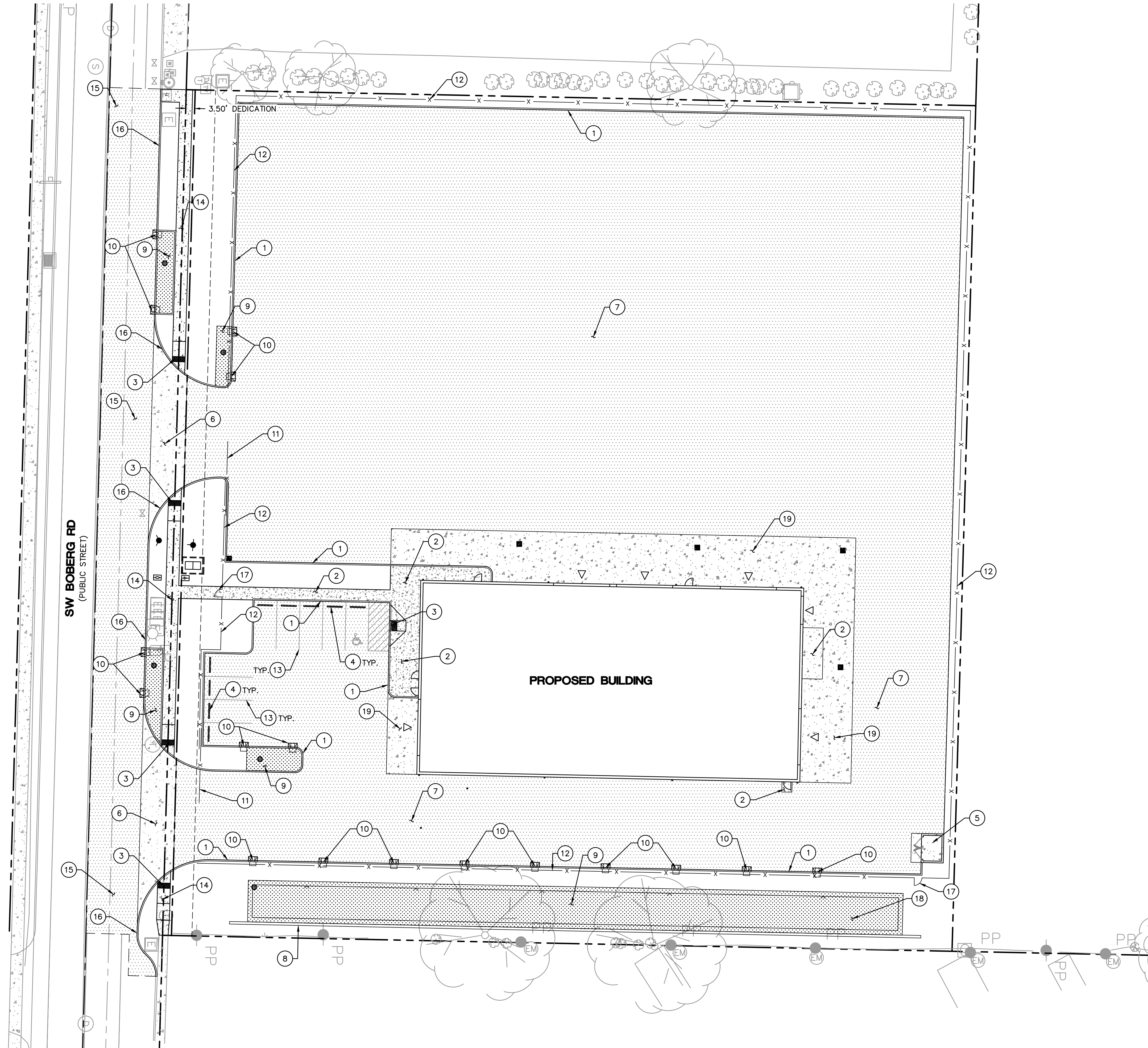
NO SITUS - 31W14A 00500
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DEMOLITION PLAN

C0.3

JOB NO. 180146.03

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SHEET NOTES

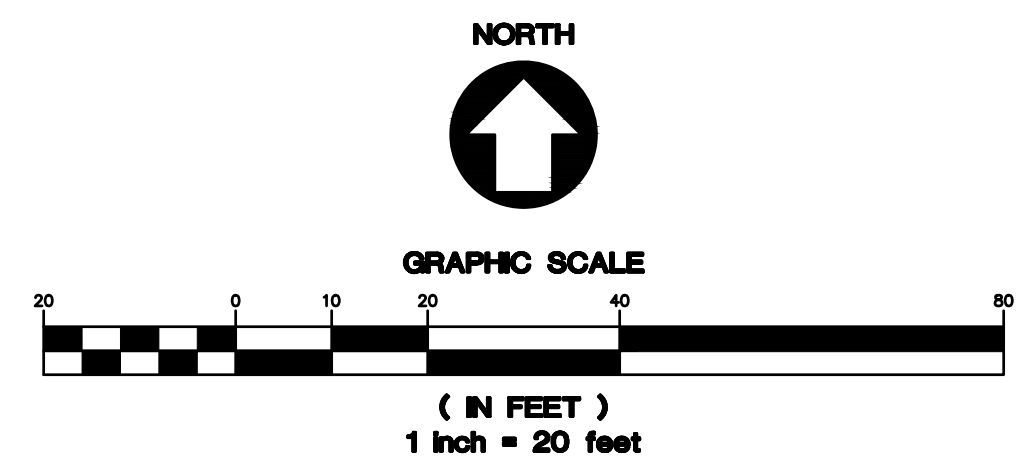
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

(X) CONSTRUCTION NOTES

- 1 INSTALL PRIVATE CURB
- 2 INSTALL PRIVATE SIDEWALK
- 3 INSTALL ADA RAMP
- 4 INSTALL WHEELSTOP
- 5 INSTALL TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 6 INSTALL DRIVEWAY
- 7 INSTALL ASPHALT SURFACING
- 8 INSTALL WALL, DESIGN BY OTHERS
- 9 INSTALL STORMWATER FILTRATION PLANTER. SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- 10 INSTALL CURB INLETS
- 11 INSTALL GATE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 12 INSTALL FENCE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 13 INSTALL STRIPING. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
- 14 INSTALL PUBLIC SIDEWALK
- 15 INSTALL PUBLIC ASPHALT
- 16 INSTALL PUBLIC CURB
- 17 INSTALL MANDOOK, SEE ARCHITECTURAL PLANS FOR MORE INFORMATION
- 18 INSTALL STORMWATER FILTRATION SWALE. SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- 19 INSTALL CONCRETE SURFACING

LEGEND

PROPERTY LINE	
CONCRETE SIDEWALK SURFACING	
ASPHALT SURFACING	



EXPIRES: 6/30/2021

ISSUED DATE
1 01/10/20 PLANNING REVIEW



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.228.1288
FAX: 503.228.1870
WWW.CIDAINC.COM

NEW CONSTRUCTION FOR:

DP NICOLI

NO SITUS - 31W14A 00500
WILSONVILLE, OR 97070

HARDSCAPE PLAN

C1.0

JOB NO. 180146.03

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NEW CONSTRUCTION FOR:

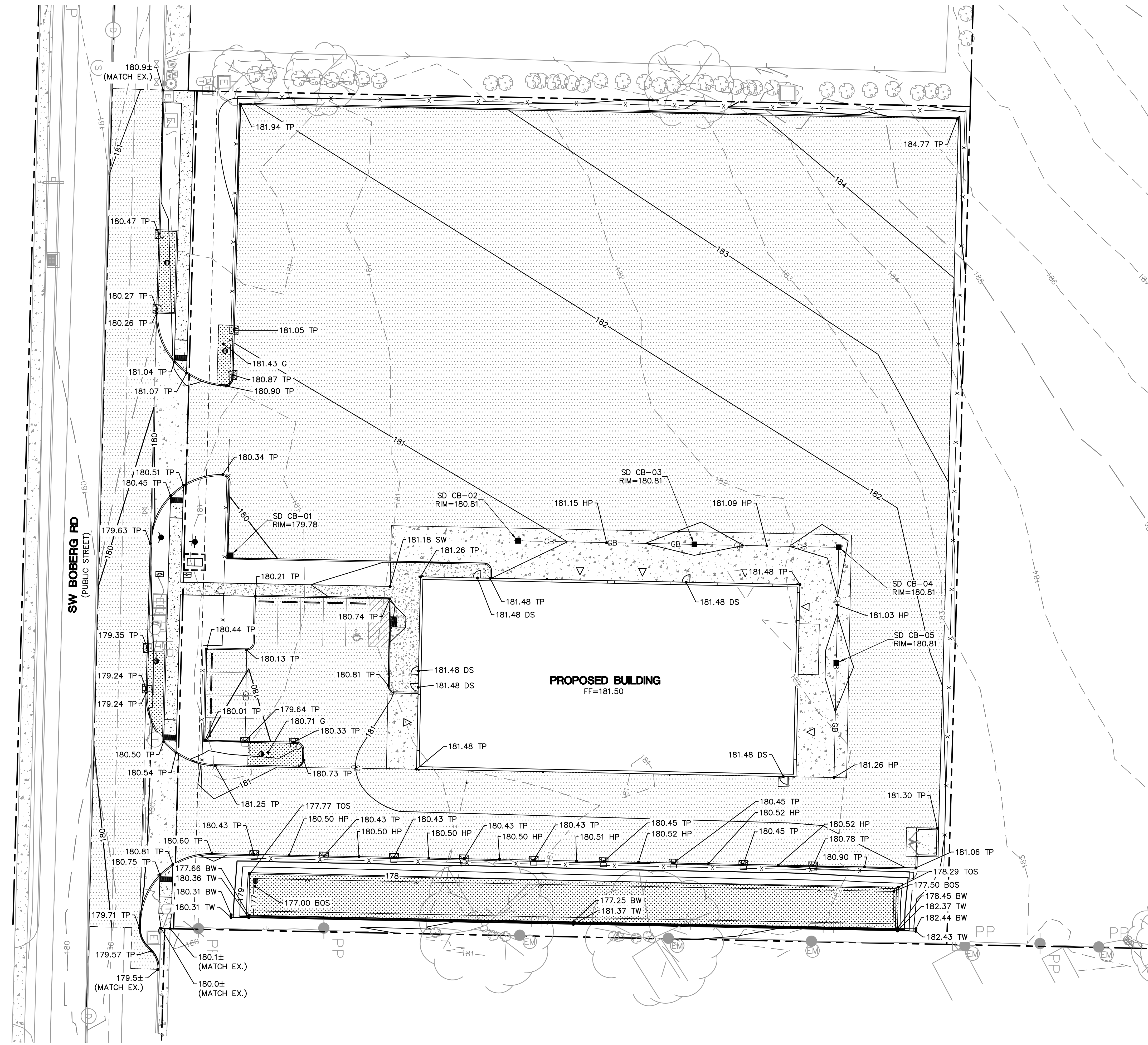
DP NICOLI

NO SITUS - 31W14A 00500
WILSONVILLE, OR 97070

GRADING PLAN

C2.0

JOB NO. 180146.03
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SHEET NOTES

- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
- LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
- GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

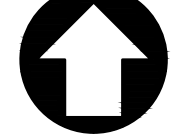
GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
XX.XX XX	SPOT ELEVATION
	DESCRIPTION LISTED BELOW.
BOS	BOTTOM OF SWALE
BW	FG AT BOTTOM OF WALL
DS	DOOR SILL
FG	FINISHED GRADE
HP	HIGH POINT
TC	TOP OF CURB
TOS	TOP OF SWALE
TP	TOP OF PAVEMENT
TW	FG AT TOP OF WALL

LEGEND

EXISTING CONTOUR MINOR	--- 102 ---
EXISTING CONTOUR MAJOR	--- 100 ---
PROPOSED CONTOUR MINOR	--- 102 ---
PROPOSED CONTOUR MAJOR	--- 100 ---
GRADE BREAK	--- GB ---

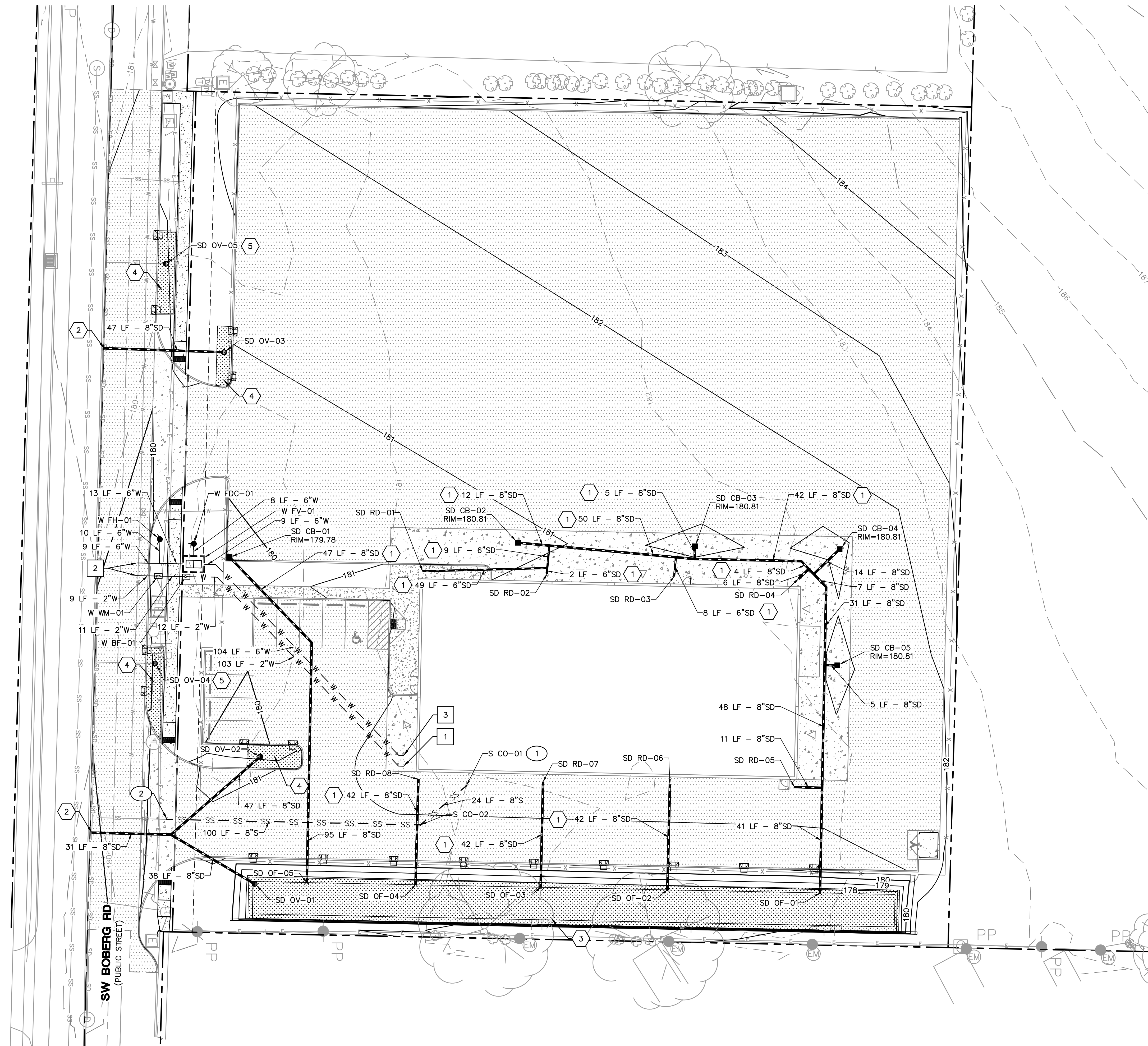
NORTH



GRAPHIC SCALE



(IN FEET)
1 inch = 20 feet

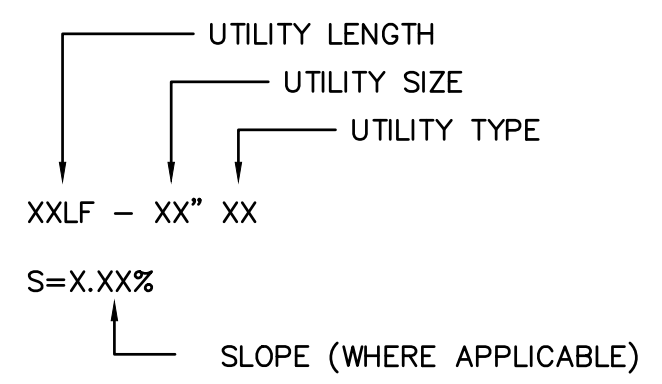


SHEET NOTES

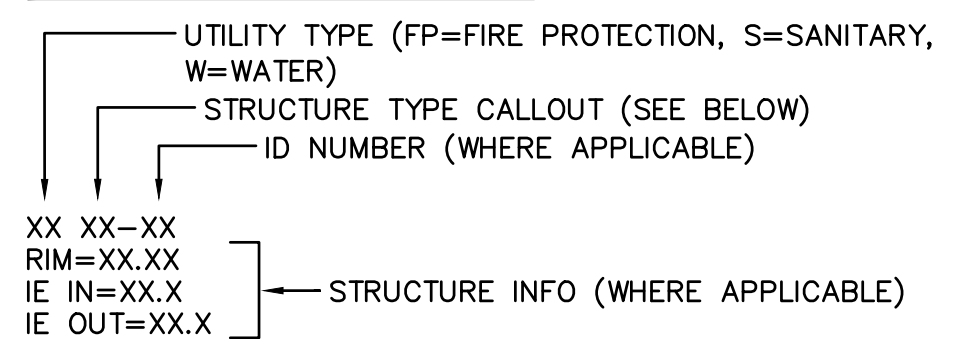
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE.
- ALL WATER LINES TO BE MECHANICALLY RESTRAINED.
- ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN.
- DOMESTIC WATER LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
- UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
- CONTRACTOR TO VERIFY SANITARY AND WATER SIZING WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.

LABEL LEGEND

PIPE LABELS



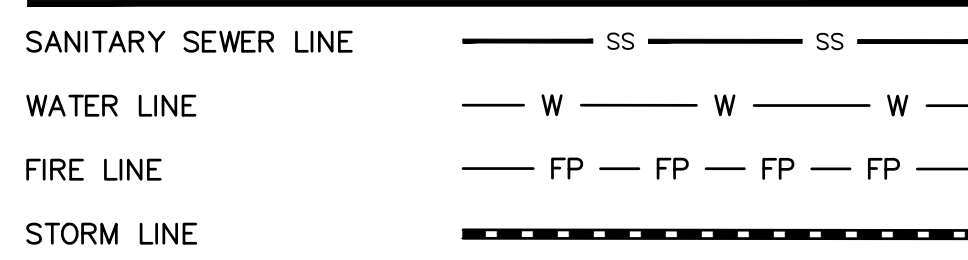
STRUCTURE LABELS



STRUCTURE TYPES

CALLOUT	DESCRIPTION
BF	BACKFLOW
CB	CATCH BASIN
CO	CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FV	FIRE VAULT
OF	OUTFALL
OV	OVERFLOW
RD	ROOF DRAIN
WM	WATER METER

LEGEND



(X) SANITARY NOTES

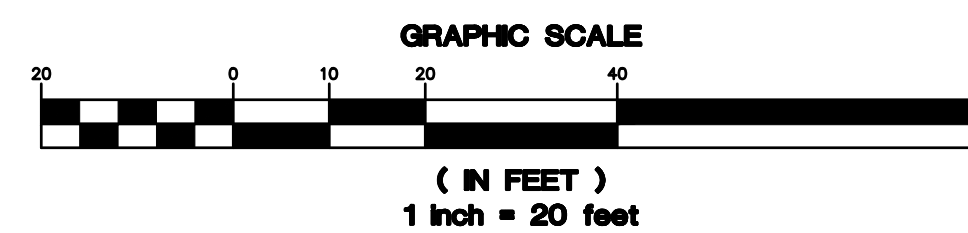
- SANITARY SEWER POINT OF CONNECTION TO BUILDING
- CONNECT TO EXISTING SANITARY SEWER LATERAL

(X) WATER NOTES

- DOMESTIC WATER POINT OF CONNECTION TO BUILDING.
- CONNECT TO EXISTING WATER MAIN
- FIRE POINT OF CONNECTION TO BUILDING.

(X) STORM NOTES

- DUCTILE IRON PIPE TO BE INSTALLED
- CONNECT TO EXISTING STORM MAIN
- INSTALL FILTRATION SWALE
- INSTALL FILTRATION PLANTER
- CONNECT OVERFLOW TO EXISTING STORM LATERAL



ISSUED DATE
1 01/10/20 PLANNING REVIEW

CIDA
ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS

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DP NICOLI

NO SITUS - 31W14A 00500
WILSONVILLE, OR 97070

UTILITY PLAN

C3.0

JOB NO. 180146.03

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TREE SCHEDULE - VEGETATED SWALE							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
MOISTURE ZONE A (2,579 S.F.)							
	THUJA PLICATA	WESTERN RED CEDAR	D	6-8' TALL	AS SHOWN	B & B	2
MOISTURE ZONE B (1,600 S.F.)							
	ACER CIRCINATUM	VINE MAPLE	D	2" CAL.	AS SHOWN	B & B	11
	CORNUS NUTTALII	PACIFIC DOGWOOD	D	2" CAL.	AS SHOWN	B & B	7
	THUJA PLICATA	WESTERN RED CEDAR	D	6-8' TALL	AS SHOWN	B & B	2

PLANT SCHEDULE - VEGETATED SWALE							
LARGE SHRUBS / SMALL TREES							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
MOISTURE ZONE A (2,579 S.F.)							
HD	HOLODISCUS DISCOLOR	OCEANSPRAY	D	3 GAL.	AS SHOWN	CONTAINER	55
RS	RIBES SANGUINEUM	RED FLOWERING CURRANT	D	3 GAL.	AS SHOWN	CONTAINER	24
MOISTURE ZONE B (1,600 S.F.)							
HD	HOLODISCUS DISCOLOR	WESTERN SERVICEBERRY	D	3 GAL.	AS SHOWN	CONTAINER	20
RS	RIBES SANGUINEUM	RED FLOWERING CURRANT	D	3 GAL.	AS SHOWN	CONTAINER	28

SMALL SHRUBS / GROUNDCOVERS							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
MOISTURE ZONE A (2,579 S.F.)							
CS	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	D	1 GAL.	12" O.C.	CONTAINER	2
PC	PHYSCARPUS CAPITATUS	PACIFIC NINEBARK	D	3 GAL.	36" O.C.	CONTAINER	45
PM	POLYSTICHUM MUNITUM	SWORD FERN	E	1 GAL.	24" O.C.	CONTAINER	57
MOISTURE ZONE B (1,600 S.F.)							
	ARCTOSTAPHYLOS UVA URSI	KINNICKINNICK	E	1 GAL.	12" O.C.	CONTAINER	740
CS	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	D	1 GAL.	12" O.C.	CONTAINER	48
PC	PHYSCARPUS CAPITATUS	PACIFIC NINEBARK	D	3 GAL.	36" O.C.	CONTAINER	5
PM	POLYSTICHUM MUNITUM	SWORD FERN	E	1 GAL.	24" O.C.	CONTAINER	9

HERBACEOUS GROUNDCOVER PLANTS							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
MOISTURE ZONE A (2,579 S.F.)							
	CAREX OBNUPTA	SLOUGH SEDGE	E	1 GAL.	12" O.C.	CONTAINER	2,990
MOISTURE ZONE B (1,600 S.F.)							
	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	1,100

STORMWATER FACILITY PLANTING REQUIREMENTS		
LANDSCAPE REQUIREMENT	QTY. REQUIRED	QTY. PROVIDED
STORMWATER FACILITY REQUIREMENTS PER 100 S.F. OF FACILITY AREA (ZONE A) - 3,319 S.F. TOTAL		
(3) LARGE SHRUBS / SMALL TREES	99	101
(4) SMALL SHRUBS	132	133
(115) GROUNDCOVER PLANTS	3,795	3,795
STORMWATER FACILITY REQUIREMENTS PER 100 S.F. OF FACILITY AREA (ZONE B) - 1,600 S.F. TOTAL		
(1) TREE	16	22
(3) LARGE SHRUBS / SMALL TREES	48	48
(4) SMALL SHRUBS	64	64
(115) GROUNDCOVER PLANTS	1,840	1,840

PLANT SCHEDULE - STORMWATER PLANTER #1							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
LARGE SHRUBS/SMALL TREES (MOISTURE ZONE A:135 S.F.)							
SD	SPIREA DOUGLASII	DOUGLAS SPIREA	D	3 GAL.	AS SHOWN	CONTAINER	4
SMALL SHRUBS / HERBACEOUS PLANTS (MOISTURE ZONE A:135 S.F.)							
	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	5
GROUNDCOVER (MOISTURE ZONE A:135 S.F.)							
	ARCTOSTAPHYLOS UVA URSI	KINNICKINNICK	E	1 GAL.	12" O.C.	CONTAINER	155

PLANT SCHEDULE - STORMWATER PLANTER #2							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
LARGE SHRUBS/SMALL TREES (MOISTURE ZONE A:190 S.F.)							
SD	SPIREA DOUGLASII	DOUGLAS SPIREA	D	3 GAL.	AS SHOWN	CONTAINER	6
SMALL SHRUBS / HERBACEOUS PLANTS (MOISTURE ZONE A:190 S.F.)							
	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	8
GROUNDCOVER (MOISTURE ZONE A:190 S.F.)							
	ARCTOSTAPHYLOS UVA URSI	KINNICKINNICK	E	1 GAL.	12" O.C.	CONTAINER	218

PLANT SCHEDULE - STORMWATER PLANTER #3							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
LARGE TREES (MOISTURE ZONE A: 207 S.F.)							
	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	D	2" CAL.	AS SHOWN	CONTAINER	1
LARGE SHRUBS/SMALL TREES (MOISTURE ZONE A: 207 S.F.)							
SD	SPIREA DOUGLASII	DOUGLAS SPIREA	D	3 GAL.	AS SHOWN	CONTAINER	6
SMALL SHRUBS / HERBACEOUS PLANTS (MOISTURE ZONE A: 207 S.F.)							
	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	8
GROUNDCOVER (MOISTURE ZONE A: 207 S.F.)							
	ARCTOSTAPHYLOS UVA URSI	KINNICKINNICK	E	1 GAL.	12" O.C.	CONTAINER	230

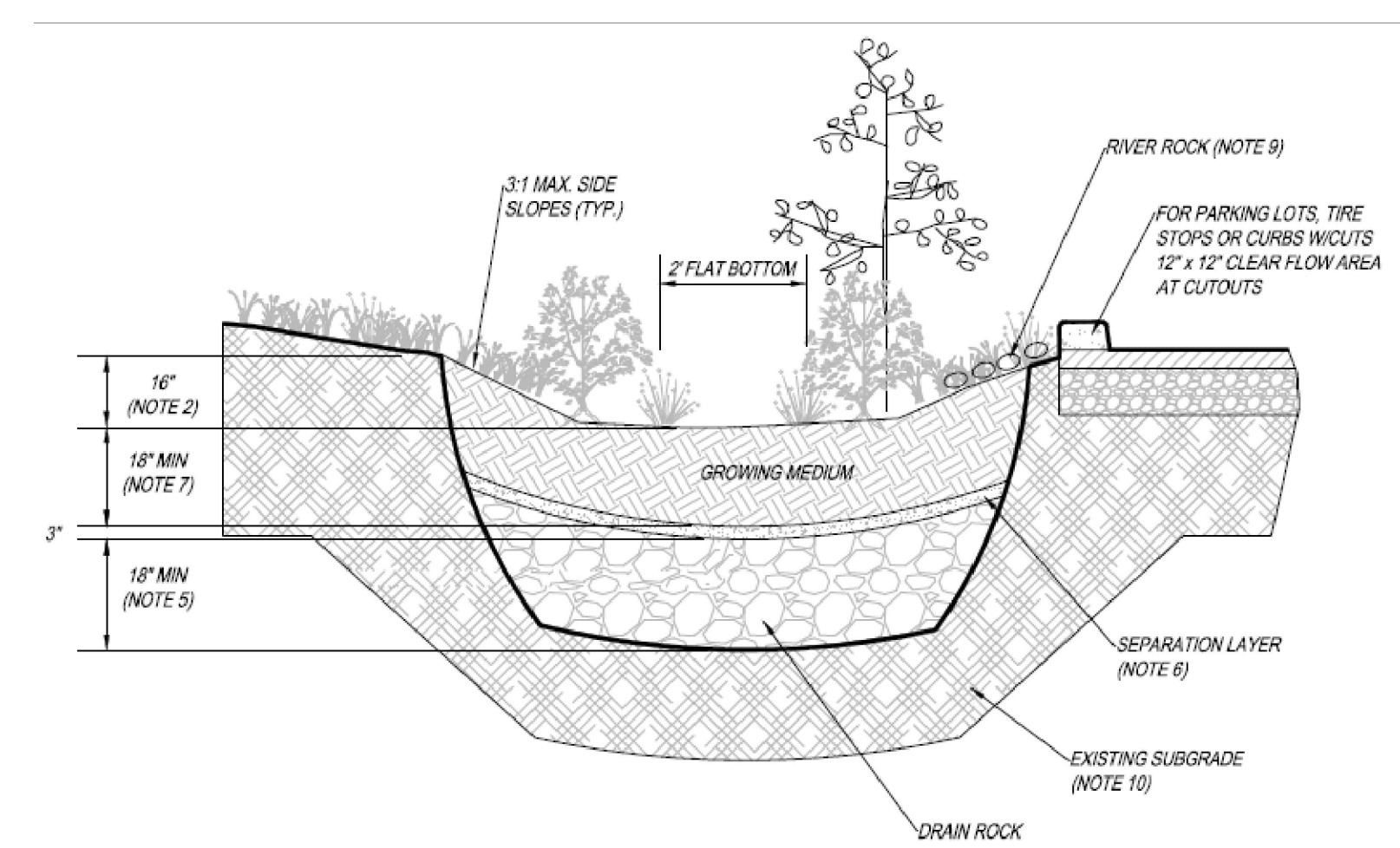
PLANT SCHEDULE - STORMWATER PLANTER #4							
SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
LARGE TREES (MOISTURE ZONE A: 208 S.F.)							
	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	D	2" CAL.	AS SHOWN	CONTAINER	1
LARGE SHRUBS/SMALL TREES (MOISTURE ZONE A: 208 S.F.)							
SD	SPIREA DOUGLASII	DOUGLAS SPIREA	D	3 GAL.	AS SHOWN	CONTAINER	6
SMALL SHRUBS / HERBACEOUS PLANTS (MOISTURE ZONE A: 208 S.F.)							
	JUNCUS PATENS	SPREADING RUSH	E	1 GAL.	12" O.C.	CONTAINER	8
GROUNDCOVER (MOISTURE ZONE A: 208 S.F.)							
	ARCTOSTAPHYLOS UVA URSI	KINNICKINNICK	E	1 GAL.	12" O.C.	CONTAINER	230

STORMWATER FACILITY PLANTING NOTES

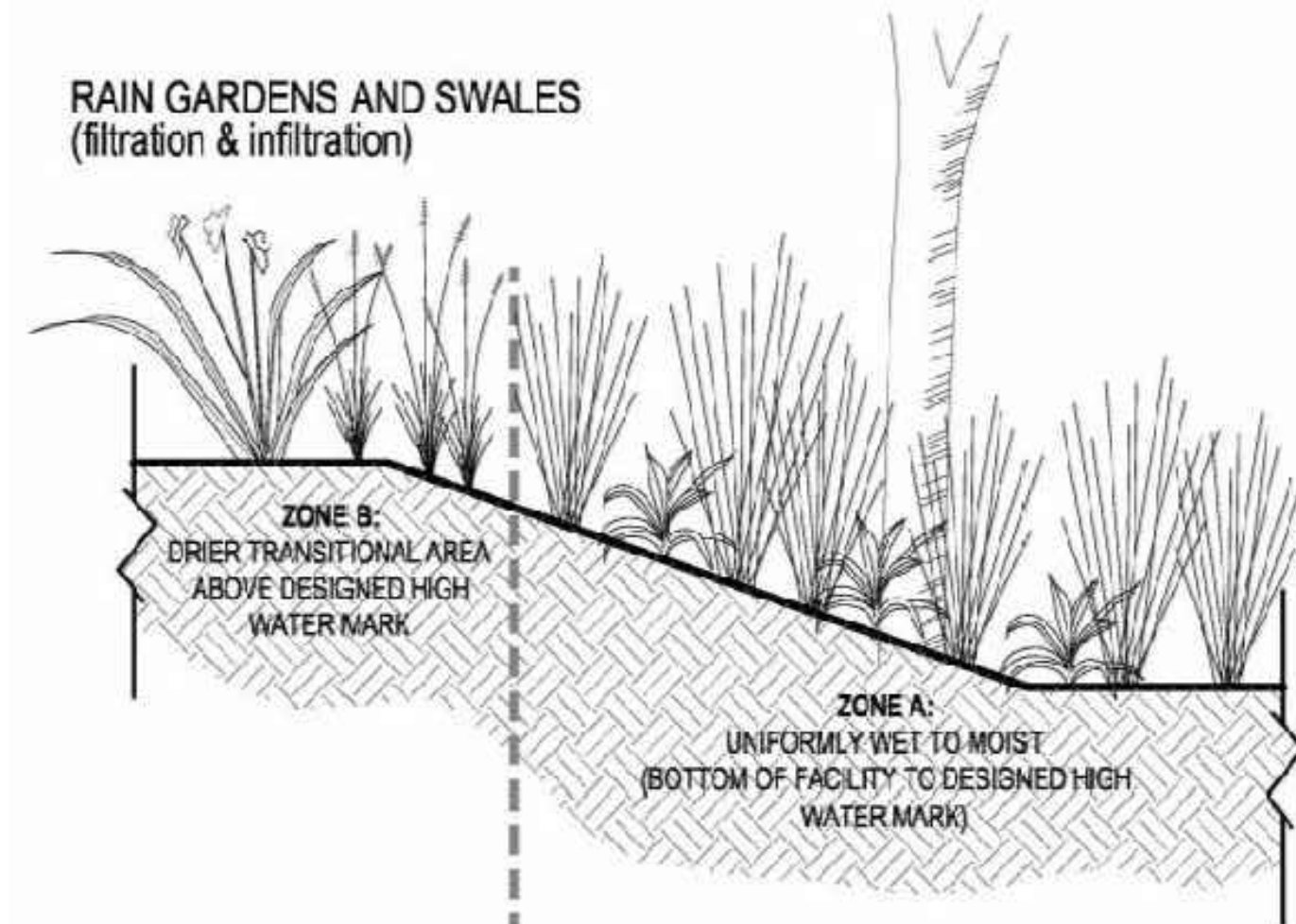
ALL PLANTS SELECTED FROM CITY OF WILSONVILLE'S STORMWATER FACILITY PLANT LISTS WITH A PRIORITY ON NATIVES AND EASE OF MAINTENANCE.

AT LEAST 50% OF PLANTINGS ARE EVERGREEN WITH AT LEAST 2 SPECIES CHOSEN FROM THE HERBACEOUS AND SMALL SHRUBS/GROUNDCOVER PLANT COMMUNITIES.

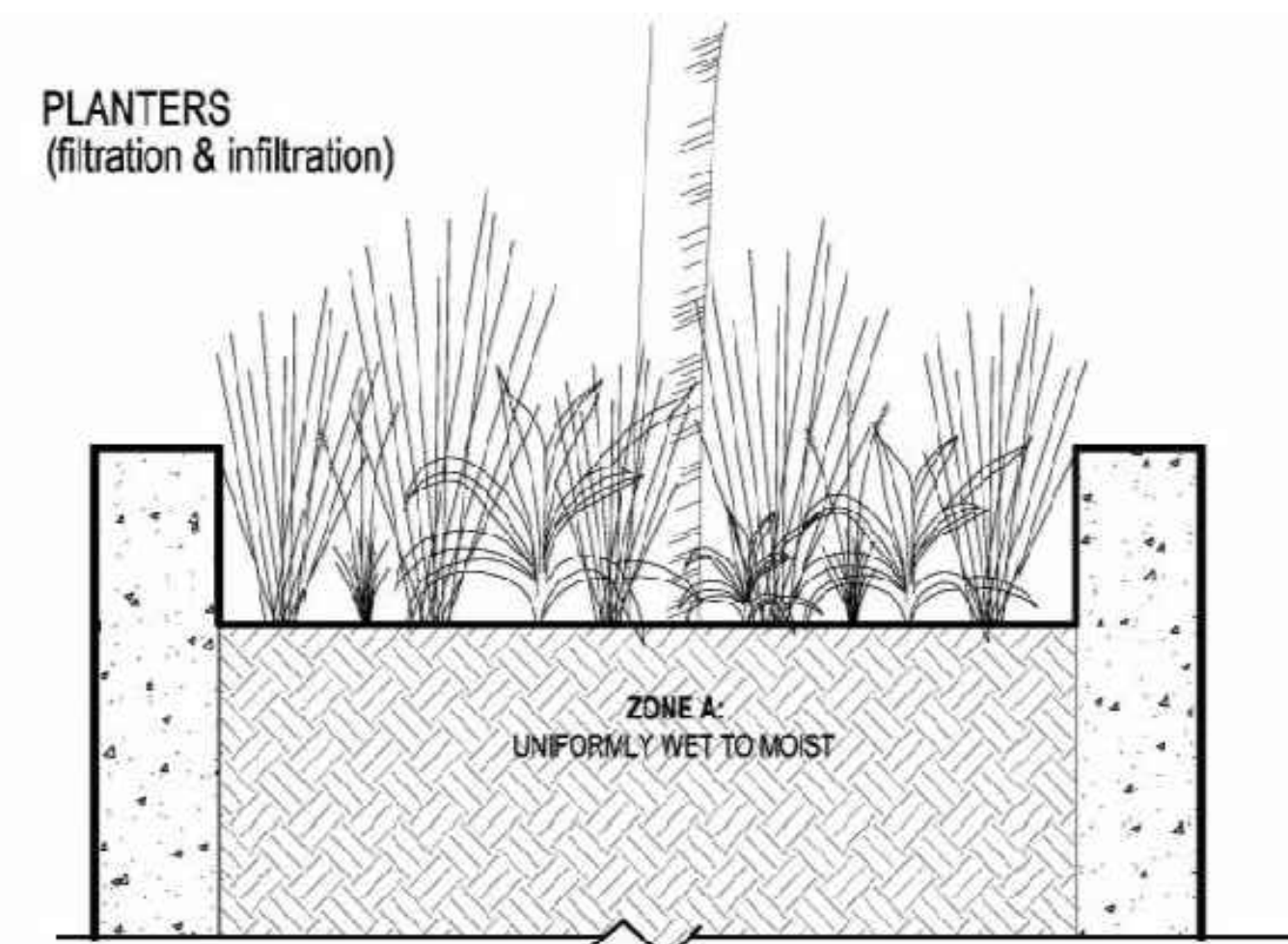
ALL PLANT MATERIALS SHALL BE INSTALLED TO CURRENT INDUSTRY STANDARDS AND SHALL BE PROPERLY STAKED TO ASSURE SURVIVAL. SUPPORT DEVICES SHALL NOT BE ALLOWED TO INTERFERE WITH NORMAL PEDESTRIAN OR VEHICULAR MOVEMENT.



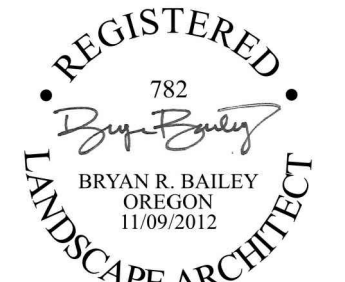
01 STORMWATER PLANTING BED SOIL PREP
NOT TO SCALE SECTION



02 VEGETATED SWALE PLANTING ZONES
NOT TO SCALE SECTION



03 STORMWATER PLANTER PLANTING ZONES
NOT TO SCALE SECTION



ISSUED DATE: 11/04/10/20 PERMIT SET



NEW CONSTRUCTION FOR:

DP NICOLI

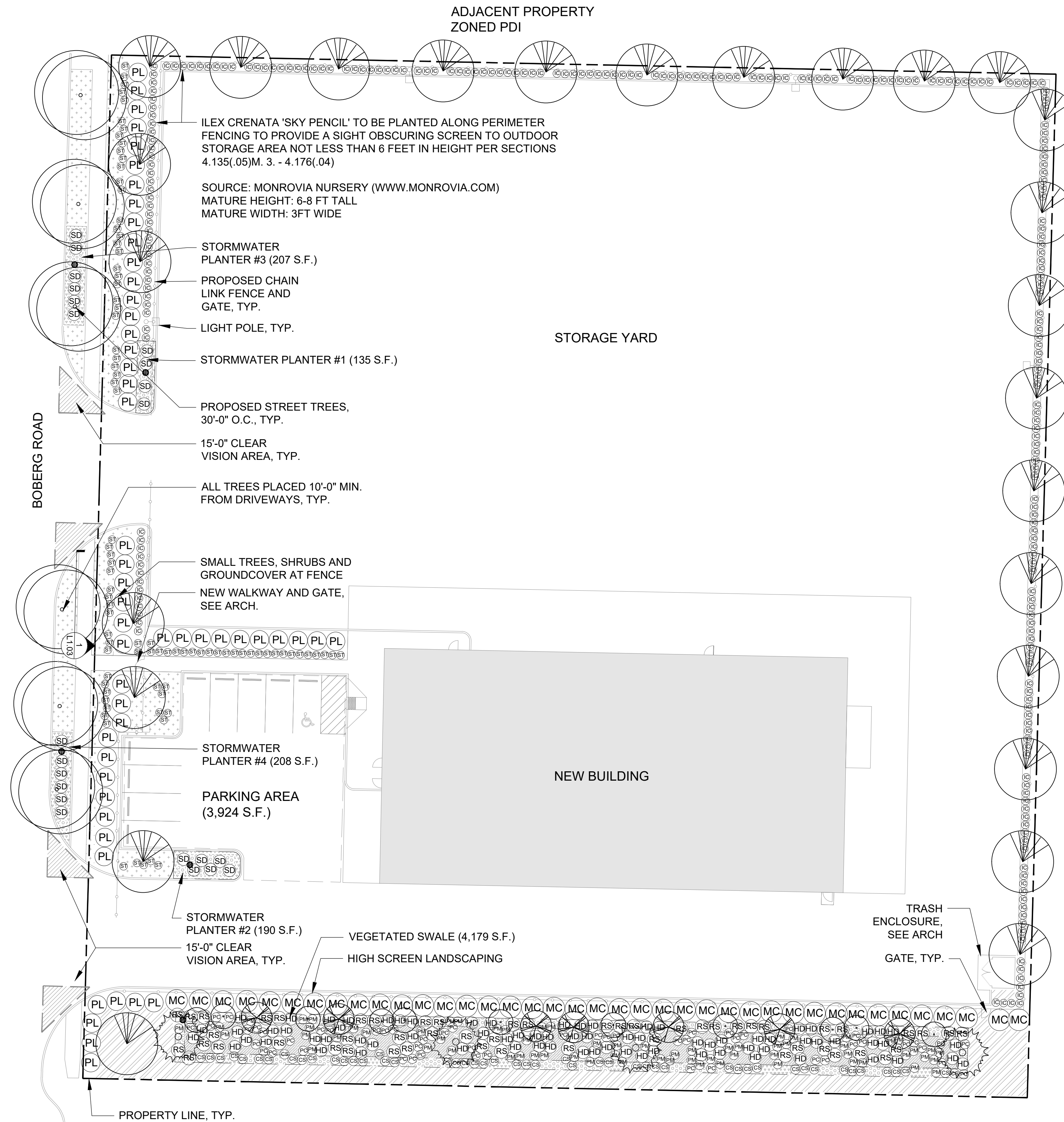
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L1.01

STORMWATER PLANTING SCHEDULE & DETAILS

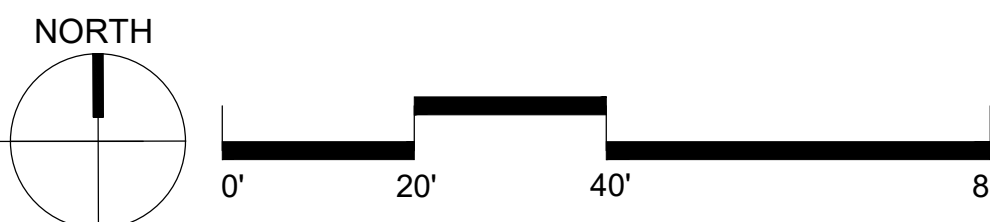
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01 LANDSCAPE PLAN

1" = 20'-0"



TREE SCHEDULE | NON-STORMWATER

SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
⊙	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	D	2" CAL.	AS SHOWN	CONTAINER	4
⊙	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEAM	D	2" CAL.	AS SHOWN	CONATINER	26

PLANT SCHEDULE | NON-STORMWATER

SHRUBS AND GRASSES

SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
IC	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	E	3 GAL.	AS SHOWN	CONTAINER	245
MC	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	E	5 GAL.	AS SHOWN	CONTAINER	39
PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	E	5 GAL.	AS SHOWN	CONTAINER	52
ST	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	ORNAMENTAL	1 GAL.	AS SHOWN	CONTAINER	88

GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
⊙	JUNIPERUS HORIZONTALIS 'WILTONII'	CREEPING JUNIPER	E	1 GAL.	30" O.C.	CONTAINER	480
⊙	MAHONIA REPENS	CREEPING MAHONIA	E	1 GAL.	36" O.C.	CONTAINER	295

LANDSCAPE CODE REQUIREMENTS FOR ZONE RA-H

PERIMETER LANDSCAPING

- PROPOSED SCREENING NORTH..... HIGH SCREEN: 6' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND
- PROPOSED SCREENING WEST.....HIGH SCREEN: 6' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND
- PROPOSED SCREENING SOUTH.....HIGH SCREEN: 6' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND
- PROPOSED SCREENING EAST.....LOW SCREEN: 3' HIGH SHRUB SCREEN, 90% OPAQUE YEAR-ROUND HIGH SCREEN AT OUTDOOR STORAGE AREA.
- 1 TREE PER 30 LINEAR FEET IS REQUIRED ON ALL SIDES

MINIMUM LANDSCAPED AREA

- OVERALL SITE AREA..... 101,225 SF
- PARKING AREA..... 3,924 SF
- REQUIRED 15% OF SITE..... 15,184 SF
- REQUIRED 10% OF PARKING AREA..... 392 SF
- SITE LANDSCAPING PROVIDED..... 16,644 SF (16.4%)
- PARKING LOT LANDSCAPING PROVIDED..... 1,962 SF (50.0%)

TREE REQUIREMENT

- REQUIRED TREE QTY..... 1 TREE PER 30 LINEAR FEET OF PERIMETER = 42 TREES TOTAL

GENERAL LANDSCAPING REQUIREMENT WHERE LANDSCAPED AREA IS 30'-0" DEEP OR GREATER (SOUTH PROPERTY LINE)

- TOTAL LANDSCAPED AREA..... 8,949 S.F.
- REQUIRED TREE QTY.....1 TREE REQUIRED FOR EVERY 800 S.F. (11 REQUIRED, 23 PROVIDED)
- REQUIRED SHRUB QTY.....2 HIGH SHRUBS FOR EVERY 400 S.F. (45 REQUIRED, 47 PROVIDED)

PLANT SELECTION IS BASED ON EASE OF MAINTENANCE, WITH THE USE OF NATIVE PLANTS WHERE APPROPRIATE.

STREET TREE SPECIES CHOSEN FROM CITY OF WILSONVILLE LIST OF ENCOURAGED SPECIES PER SECTION 4.176 MUNICIPAL CODE.

THIS PLAN ONLY INCLUDES TREES THAT WILL BE AFFECTED BY DEVELOPMENT. SEE ARBORIST REPORT FOR ADDITIONAL TREES OUTSIDE THE LIMIT OF DEVELOPMENT.

EVERGREEN LANDSCAPE BUFFERS WILL BE PROVIDED TO SCREEN VIEWS TO ADJACENT PROPERTIES AND PROVIDE A SENSE OF PRIVACY AND SECURITY WITHIN THE PROPERTY.

ALL SHRUBS AND GROUNDCOVERS WILL BE OF SUFFICIENT SIZE AND NUMBER TO COVER AT LEAST 80% OF PLANTING AREAS WITHIN 3 YEARS.

ALL PLANT MATERIALS SHALL BE INSTALLED TO CURRENT INDUSTRY STANDARDS AND SHALL BE PROPERLY STAKED TO ASSURE SURVIVAL. SUPPORT DEVICES SHALL NOT BE ALLOWED TO INTERFERE WITH NORMAL PEDESTRIAN OR VEHICULAR MOVEMENT.

NATIVE TOPSOIL SHALL BE PRESERVED AND REUSED TO THE EXTENT FEASIBLE. SURFACE MULCH TO BE FULLY RAKED INTO SOIL OF APPROPRIATE DEPTH, SUFFICIENT TO CONTROL EROSION, AND ARE CONFINED TO AREAS AROUND PLANTINGS.

IRRIGATION NOTES

A PERMANENT, BUILT-IN, AUTOMATIC IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY CONTRACTOR TO PROVIDE FULL COVERAGE TO ALL PROPOSED PLANTING AREAS TO ASSURE THAT PLANTS WILL SURVIVE THE CRITICAL ESTABLISHMENT PERIOD AND PERIODS OF DROUGHT.

PLANTING WATER CONSUMPTION ZONES

ALL PLANTING BEDS REQUIRE LOW WATER USAGE (LESS THAN ONE INCH PER WEEK).

ALL LAWN AREAS REQUIRE MODERATE WATER USAGE (+/- TWO INCHES PER WEEK)



ISSUED DATE: 1/04/2020 PERMIT SET



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NEW CONSTRUCTION FOR:

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L1.02
LANDSCAPE PLAN

JOB NO. 180146.03
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NON-STORMWATER PLANT PALETTE

TREES



COLUMNAR RED MAPLE
STREET TREE



EUROPEAN HORNBEAM
SCREEN TREE

LARGE EVERGREEN SHRUBS



PACIFIC WAX MYRTLE



LAUREL



SALAL



JAPANESE HOLLY

SMALL SHRUBS, GRASSES AND GROUNDCOVER



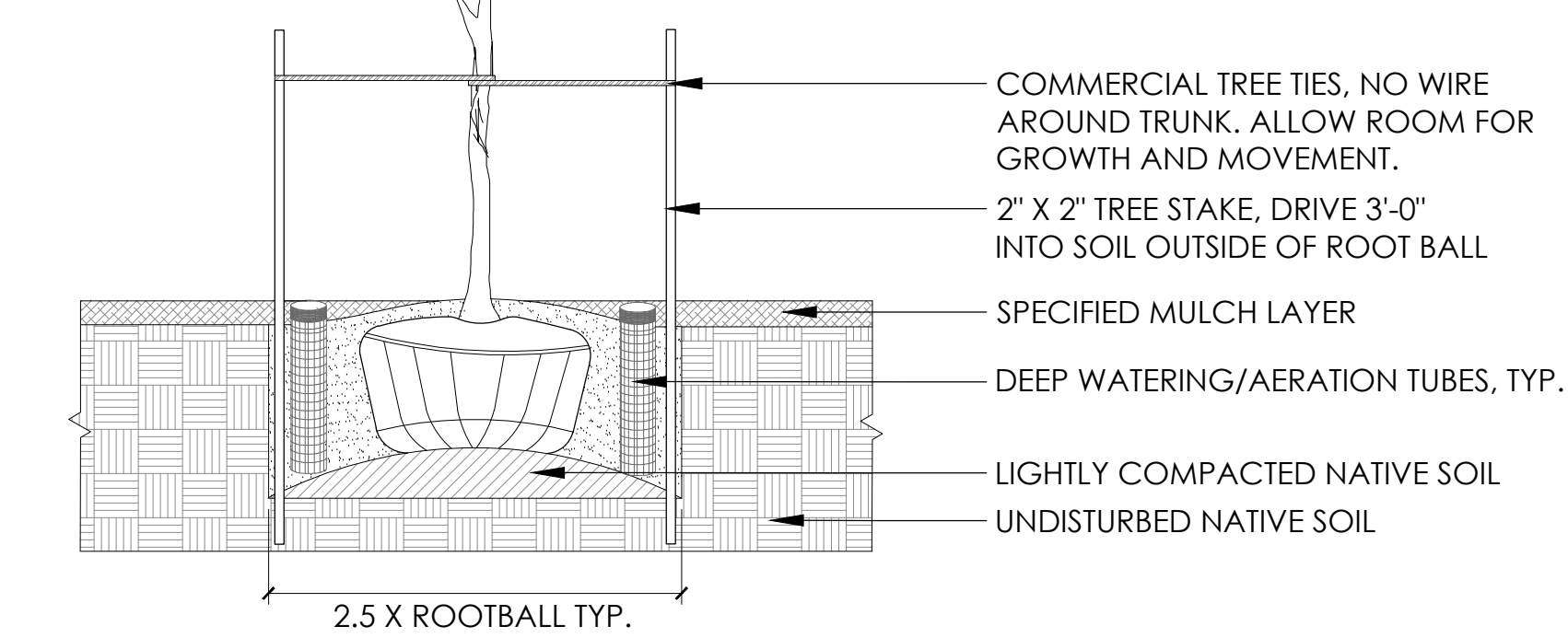
CREeping MAHONIA



CREeping BLUE JUNIPER



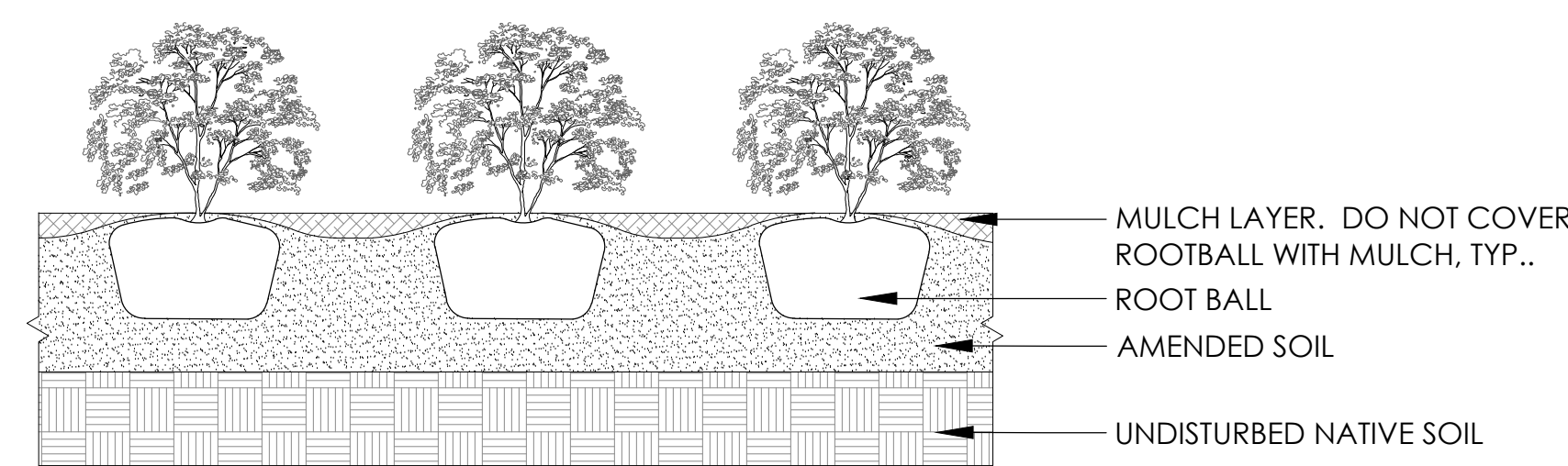
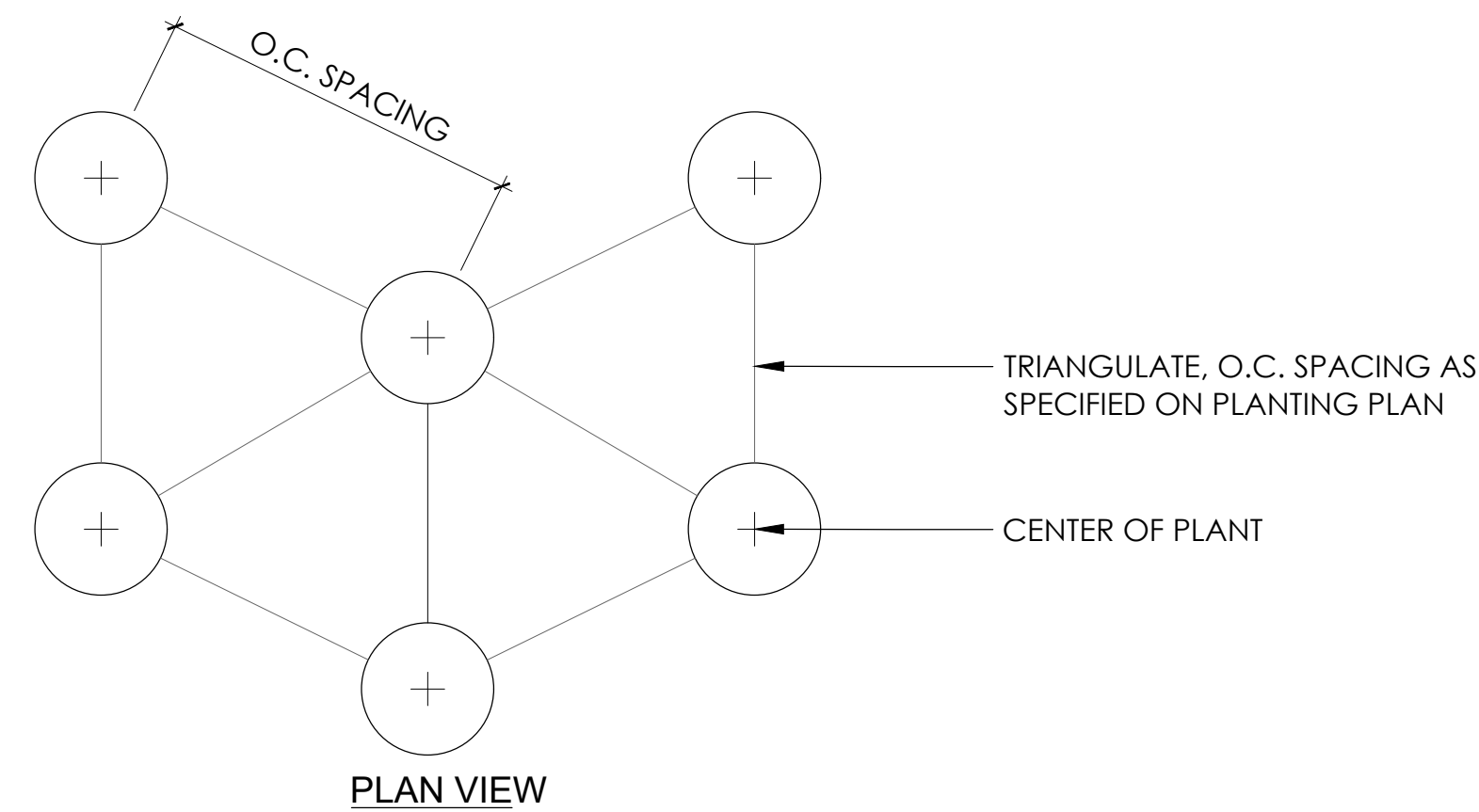
MEXICAN FEATHER GRASS



02 BROADLEAF TREE PLANTING

NTS

SECTION



03 GROUND COVER PLANTING

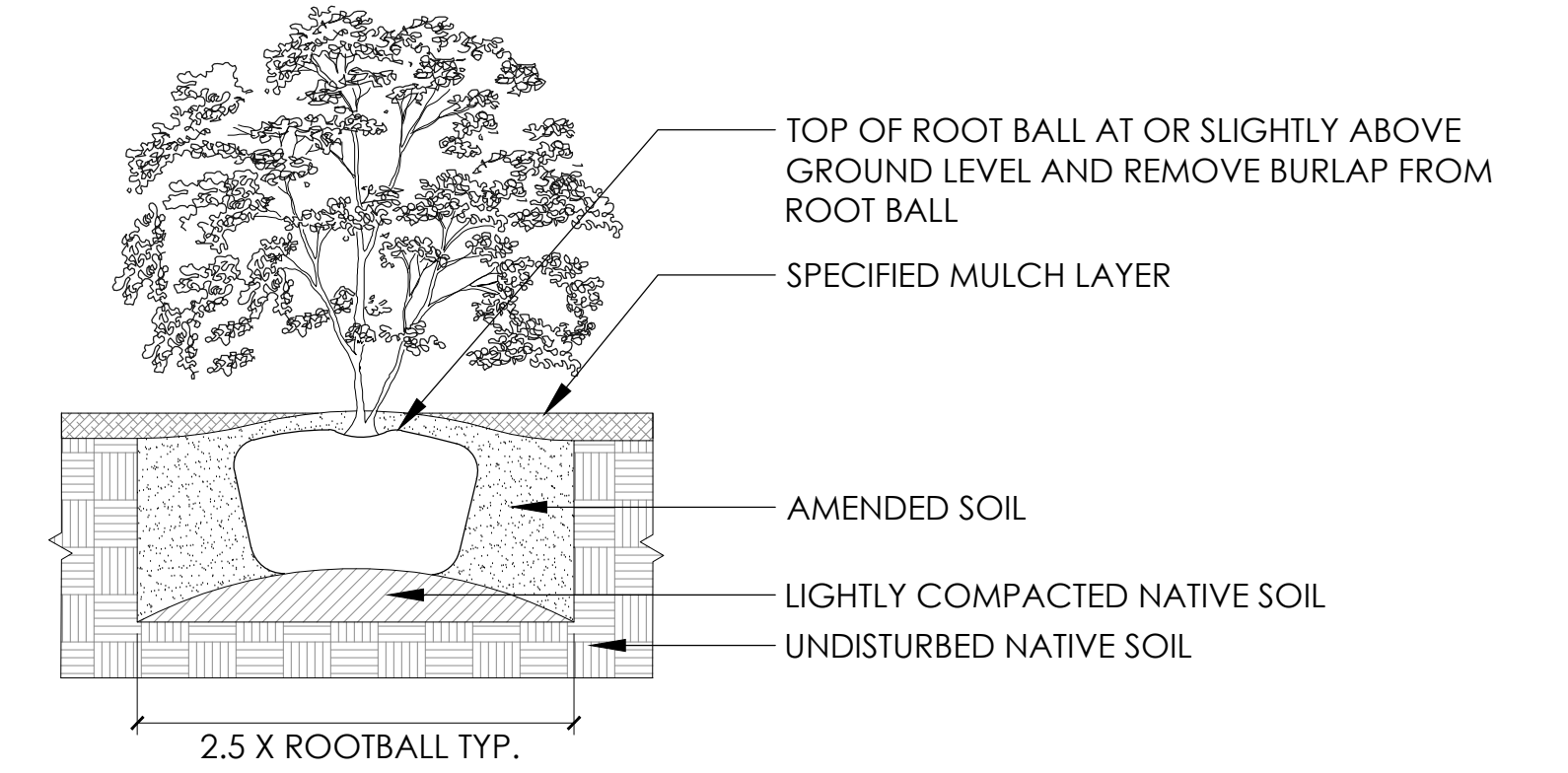
NTS

SECTION/PLAN



01 TYPICAL ELEVATION ALONG BOBERG ROAD - STORAGE SCREEN

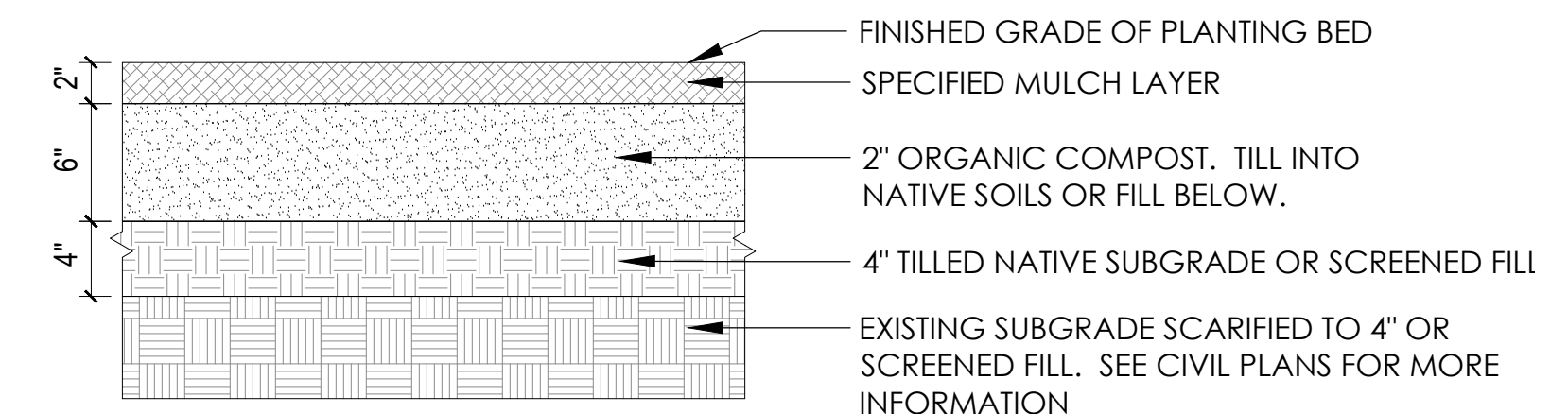
NOT TO SCALE



04 SHRUB PLANTING

NTS

SECTION



05 PLANTING BED SOIL PREPARATION

NTS

SECTION



ISSUED DATE
1 04/10/20 PERMIT SET



NEW CONSTRUCTION FOR:

DP NICOLI

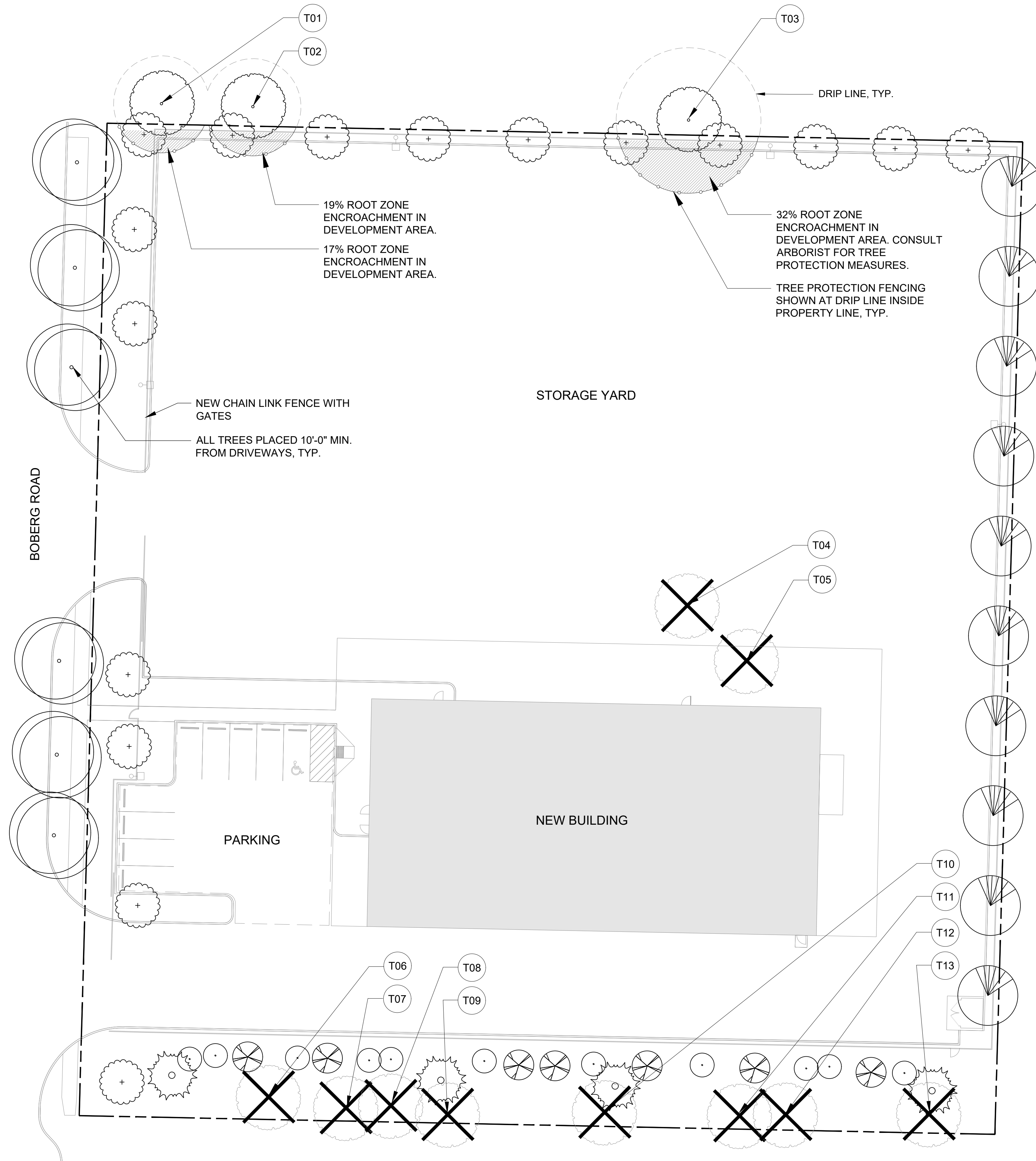
NO SITUS - 31W14A 00500
WILSONVILLE, OR 97070

L1.03

PLANTING IMAGES & DETAILS

JOB NO. 180146.03

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TREE SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	DECIDUOUS / EVERGREEN	SIZE	SPACING	CONDITION	QTY
○	ACER CIRCINATUM	VINE MAPLE	D	2" CAL.	AS SHOWN	B & B	11
○	ACER GRISEUM	PAPERBARK MAPLE	D	2" CAL.	AS SHOWN	B & B	16
○	ACER RUBRUM 'COLUMNARE'	COLUMNAR RED MAPLE	D	2" CAL.	AS SHOWN	B & B	6
○	CARPINUS BETULUS 'FASTIGIATA'	UPRIGHT EUROPEAN HORNBEAM	D	2" CAL.	AS SHOWN	B & B	10
○	CORNUS NUTTALII	PACIFIC DOGWOOD	D	2" CAL.	AS SHOWN	B & B	7
○	THUJA PLICATA	WESTERN RED CEDAR	D	6-8' TALL	AS SHOWN	B & B	4

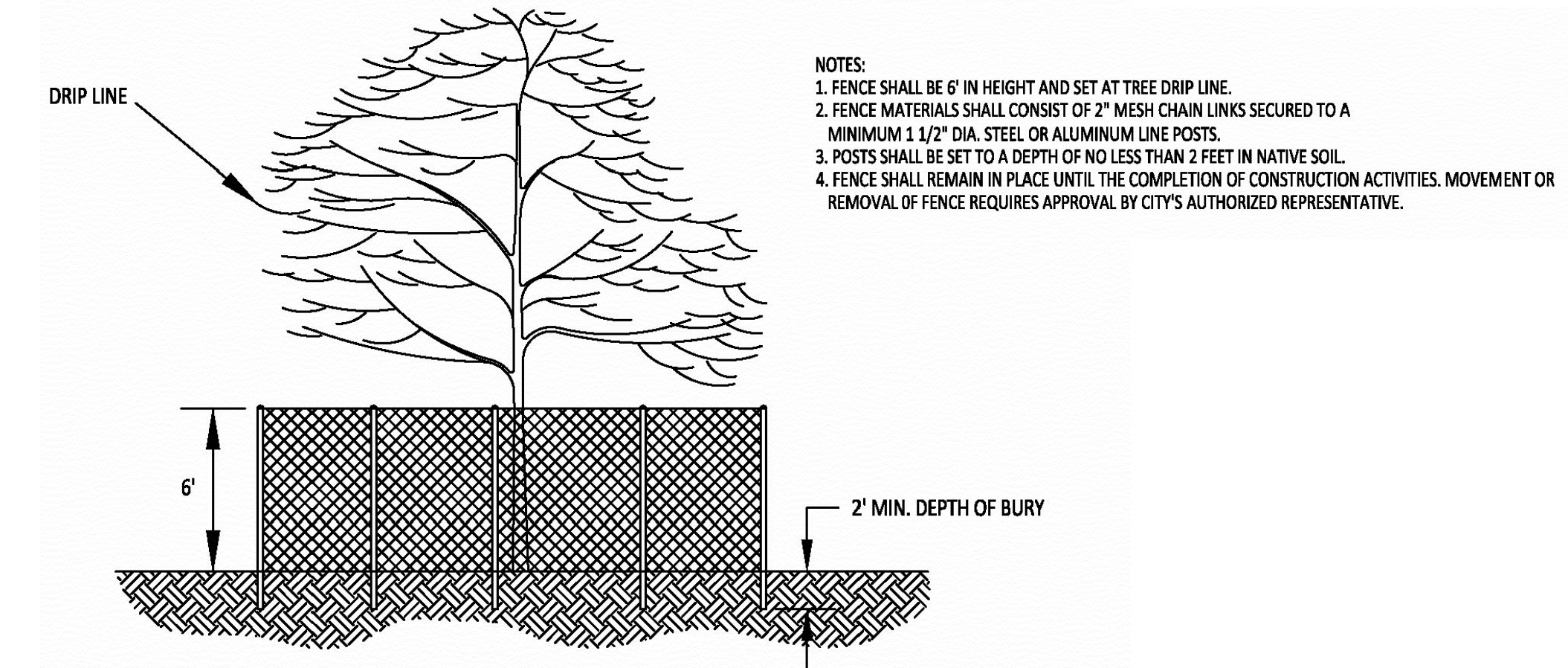
TREE REMOVAL AND PROTECTION LEGEND

---	PROPERTY LINE
—+—	TREE PROTECTION FENCING
○	EXISTING TREES TO BE PROTECTED
⊗	EXISTING TREES TO BE REMOVED

EXISTING TREE TABLE

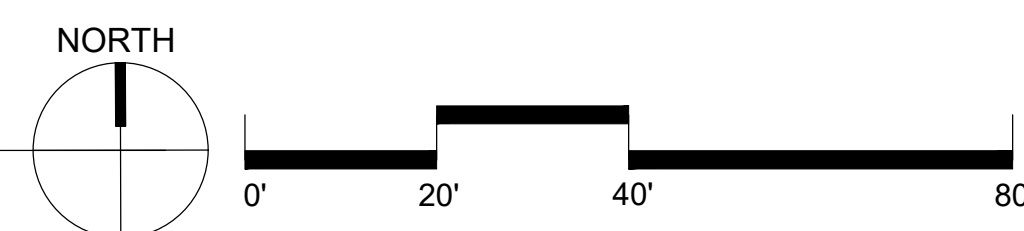
TREE NO.	TRUNK DIA.	PROTECTION ZONE	SPECIES	PROTECT	REMOVE	CONDITION/ NOTES
1	16"	CONSULT ARBORIST	DECIDUOUS	X		
2	16"	CONSULT ARBORIST	DECIDUOUS	X		
3	24"	CONSULT ARBORIST	DECIDUOUS	X		
4	13.5"	N/A	RED OAK		X	FAIR
5	13.5"	N/A	RED OAK		X	FAIR
6	22"	N/A	HAWTHORN		X	POOR
7	27"	N/A	BIG LEAF MAPLE		X	POOR
8	MULTI-STEM	N/A	HAZELNUT		X	POOR
9	MULTI-STEM	N/A	HAZELNUT		X	POOR
10	MULTI-STEM	N/A	HAZELNUT		X	POOR
11	6"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE
12	6"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE
13	6"	N/A	BIG LEAF MAPLE		X	FAIR CONDITION, POOR STRUCTURE

- ### TREE PRESERVATION AND REMOVAL NOTES
- TREE PROTECTION ZONE SHOWN AT 1'-0" RADIUS FOR EVERY CALIPER INCH OF TREE TRUNK. ARBORIST TO RECOMMEND ALTERNATIVE PROTECTION MEASURES WHERE GROUND DISTURBANCE IS WITHIN PROTECTION ZONE.
 - SEE ARBORIST'S REPORT FOR PRESERVATION AND PRUNING RECOMMENDATIONS.
 - THIS PLAN ONLY INCLUDES TREES THAT WILL BE AFFECTED BY DEVELOPMENT. SEE ARBORIST REPORT FOR ADDITIONAL TREES OUTSIDE THE LIMIT OF DEVELOPMENT.
 - SUITABLE PROTECTION FENCING AS IDENTIFIED BY ARBORIST SHALL BE INSTALLED BEFORE ANY GROUND DISTURBING ACTIVITIES INCLUDING CLEARING AND GRADING, OR CONSTRUCTION STARTS; AND SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION.
 - ALL TREES TO BE PROTECTED ON SITE ARE TO BE DESIGNATED WITH METAL TAGS TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION. TAGS WILL BE NUMBERED AND KEYED TO TREE PLAN.



02 RD - 1230 TREE PROTECTION FENCING
NTS ELEVATION

01 TREE PLAN
1" = 20'-0"



ISSUED DATE: 11/04/10/20 PERMIT SET



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NEW CONSTRUCTION FOR:
DP NICOLI
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L1.04
TREE PLAN

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GENERAL NOTES

CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY A/E OF ANY DISCREPANCIES.

TYPICAL CURB RADIUS = 3' UNLESS NOTED OTHERWISE

SEE CIVIL AND LANDSCAPE DRAWING PACKAGE FOR ADDITIONAL INFORMATION

PROJECT INFO

SITE AREA:	101,225 SF (2.32 ACRES) - LOT LINE ADJUSTMENT AND DEDICATION APPLIED
BUILDING AREA:	11,400 SF FOOTPRINT 2024 SF OFFICE 11,176 SF WAREHOUSE (INCLUDES 1,800 SF MEZZANINE)
IMPERVIOUS AREA:	84,581 SF
LANDSCAPING AREA:	LANDSCAPING AREA REQUIREMENTS: 15,184 SF = 15% LANDSCAPING AREA PROVIDED: 16,644SF = 16.4%
PARKING COUNTS:	PARKING SPACE REQUIREMENTS: 9 PARKING SPACES PROVIDED: 9 SPACES 9 STANDARD (1 ADA) 0 COMPACT
BICYCLE PARKING COUNT:	PARKING SPACE REQUIREMENTS: 4 PARKING SPACES PROVIDED: 4 2 SHORT TERM 2 LONG TERM (INSIDE)

LEGEND

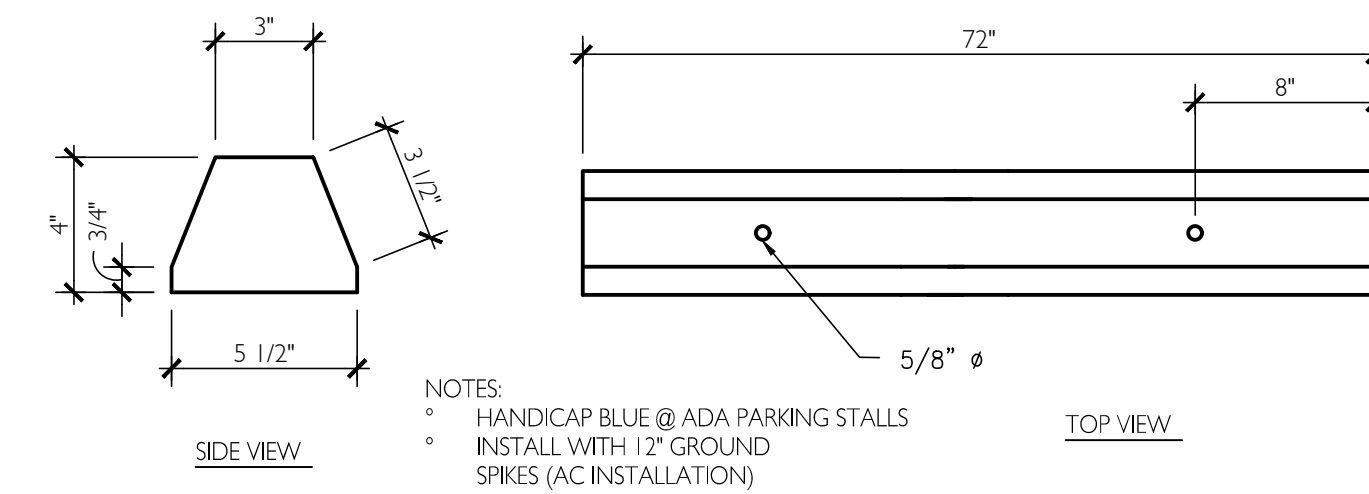
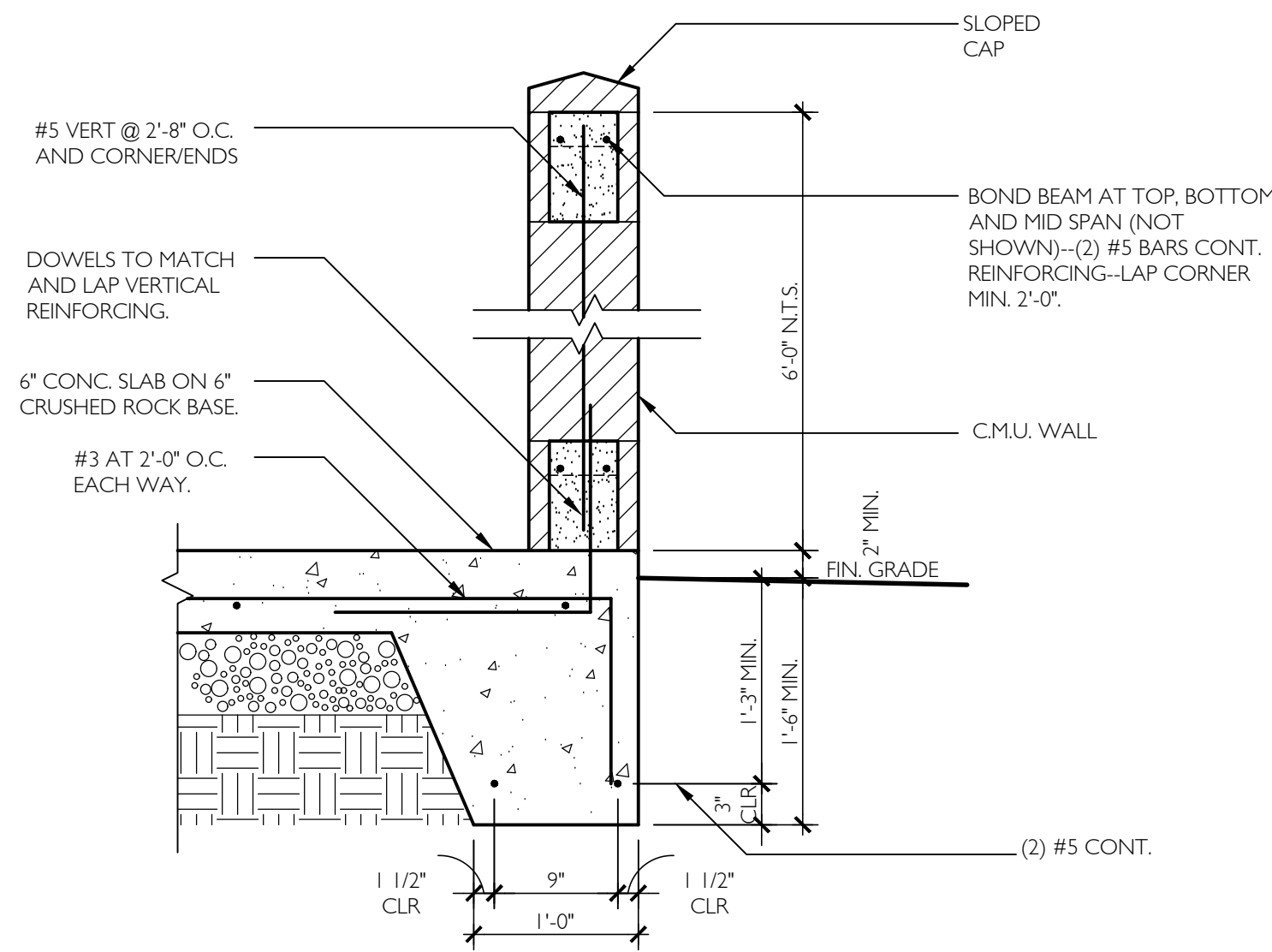
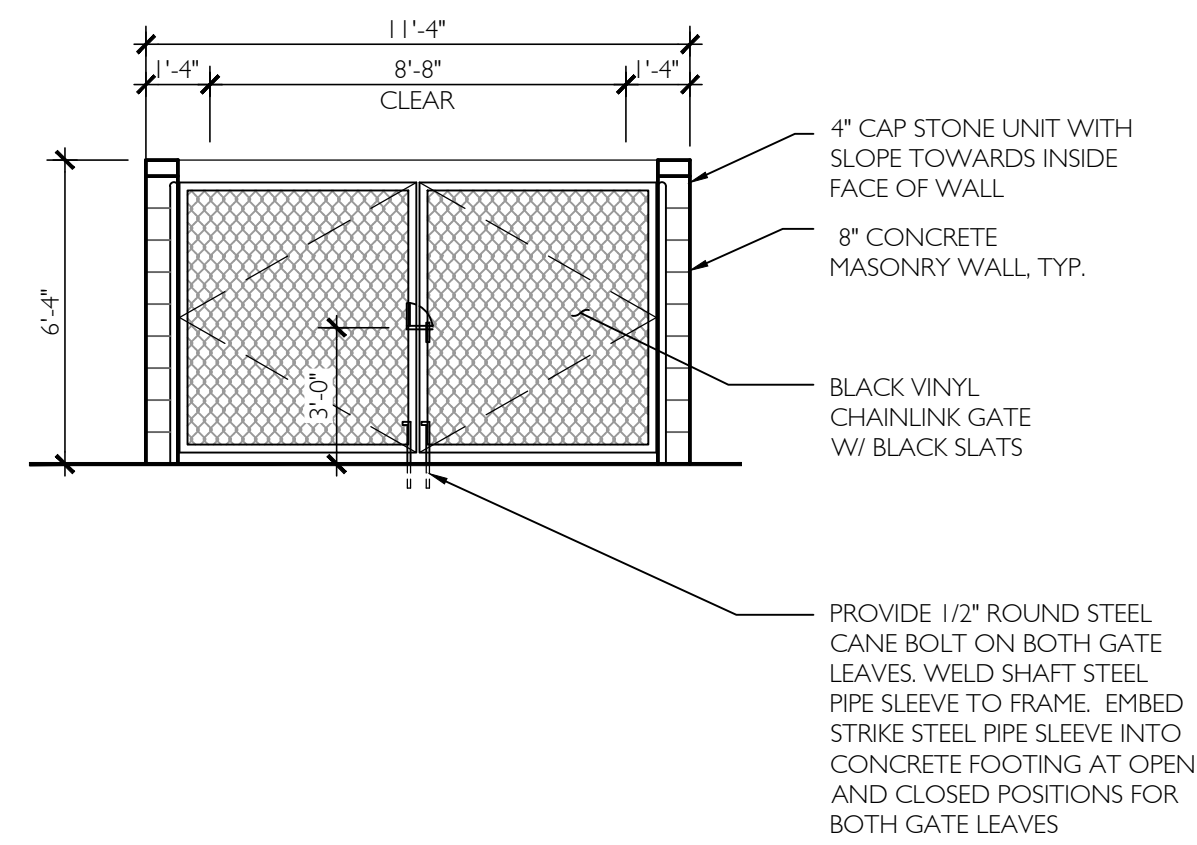
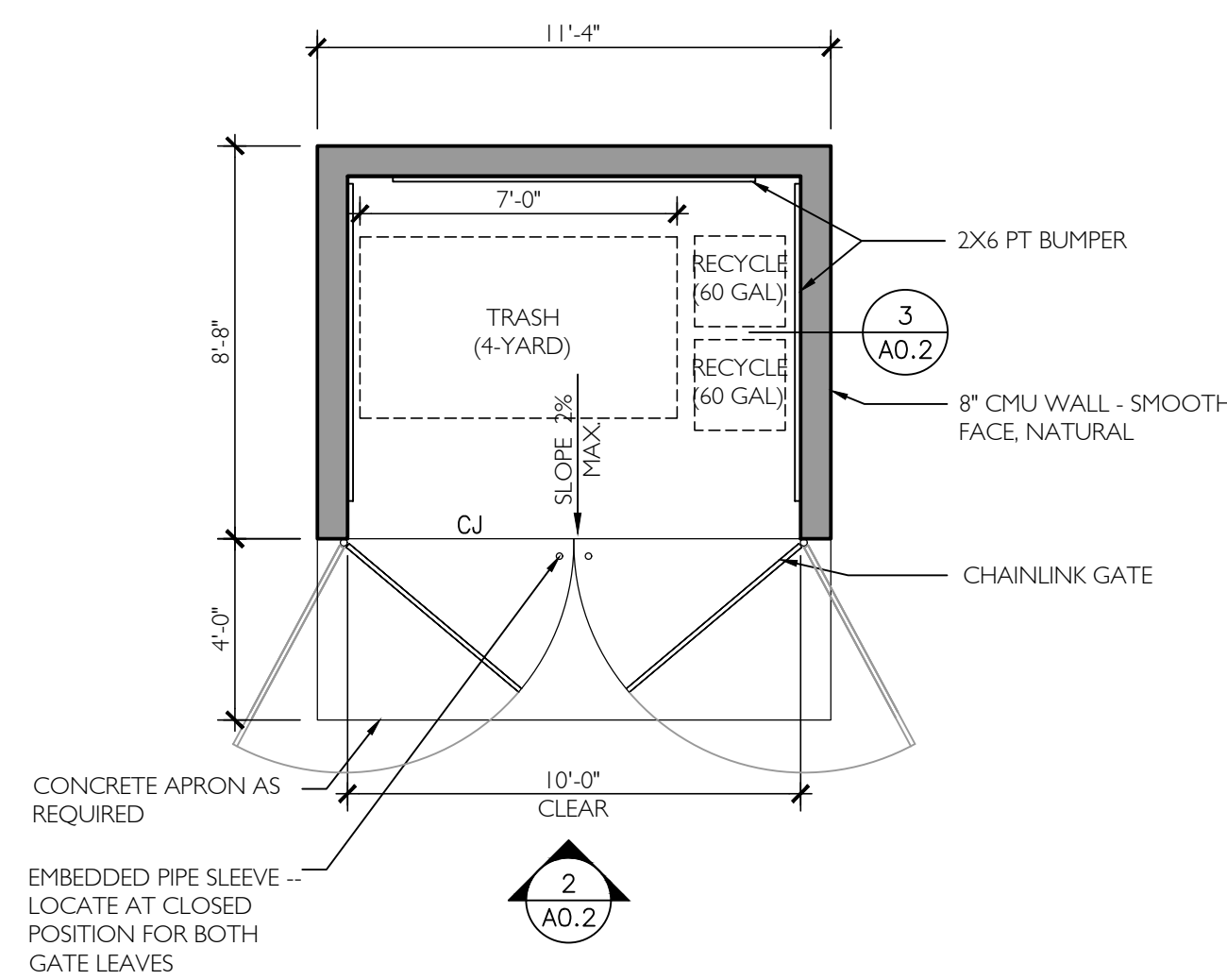
	ACCESSIBLE PARKING STALL		STREET LIGHT
	DRIVE IN		POLE MOUNTED PARKING LOT LIGHT FIXTURE -- SEE A0.4
	DOWNSPOUT		FIRE HYDRANT
	HOSE BIB		
	NEW ASPHALT		
	PAINT STRIPED ACCESSIBLE AISLE AND NO PARKING AREA		
	LANDSCAPE (PRIVATE)		
	SWALE		

KEYNOTES

- 1 NEW PROPERTY LINE (UNDER REVIEW WITH CLACKAMAS COUNTY, FINAL PLAT TO BE SUBMITTED TO CITY OF WILSONVILLE UNDER SEPARATE PERMIT)
- 2 3.5' LANDSCAPE DEDICATION/NEW PROPERTY LINE
- 3 MAN GATE - ADA COMPLIANT SEE 3/A0.3
- 4 BIKE RACKS - SEE 7/A0.2 - (2) STALLS
- 5 TRASH ENCLOSURE - SEE 1/A0.2
- 6 PAD FOR WASH BOX - TO BE POURED AFTER EQUIPMENT INSTALLATION
- 7 (E) FIRE HYDRANT TO BE RELOCATED - SEE CIVIL DRAWINGS
- 8 (E) TREES TO BE REMOVED - 10 TOTAL
- 9 (E) ELECTRICAL LINE - OVERHEAD POWER POLES
- 10 (E) ELECTRICAL LINE
- 11 (E) WATER LINE -- SEE CIVIL
- 12 (E) SEWER LINE -- SEE CIVIL
- 13 (E) MOBILE HOME - AT OR NEAR PROPERTY LINE
- 14 LANDSCAPE RETAINING WALL - SEE CIVIL
- 15 ELECTRIC GATE W/ KNOX BOX -- SEE A0.3
- 16 CHAIN LINK FENCE W/ BLACK PRIVACY SLATS
- 17 8' UTILITY EASEMENT
- 18 NEW STREET LIGHTS - TENTATIVE LOCATIONS - ILLUMINATION STUDY IN PROGRESS
- 19 CONCRETE APRON
- 20 NEW LOCATION OF FIRE HYDRANT
- 21 ASPHALT PAVEMENT -- SEE CIVIL FOR SECTION
- 22 CONCRETE CIP CURB
- 23 PRE-CAST WHEEL STOP -- SEE 4/A0.2 (9 TOTAL)
- 24 BOLLARD -- SEE 9/A0.2
- 25 42" CHAIN LINK FENCE



1 ARCHITECTURAL SITE PLAN
A0.1
1"=20'-0"

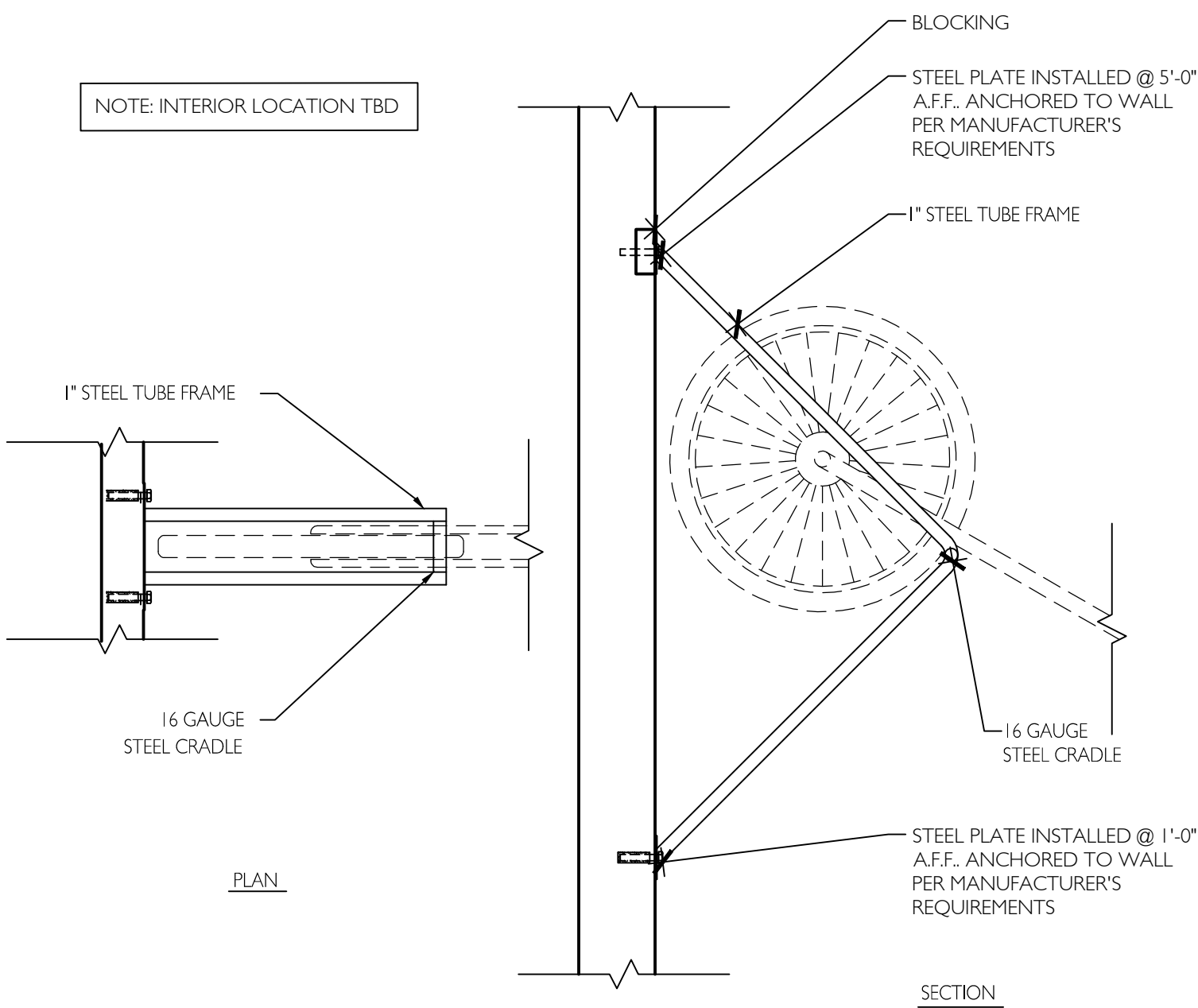
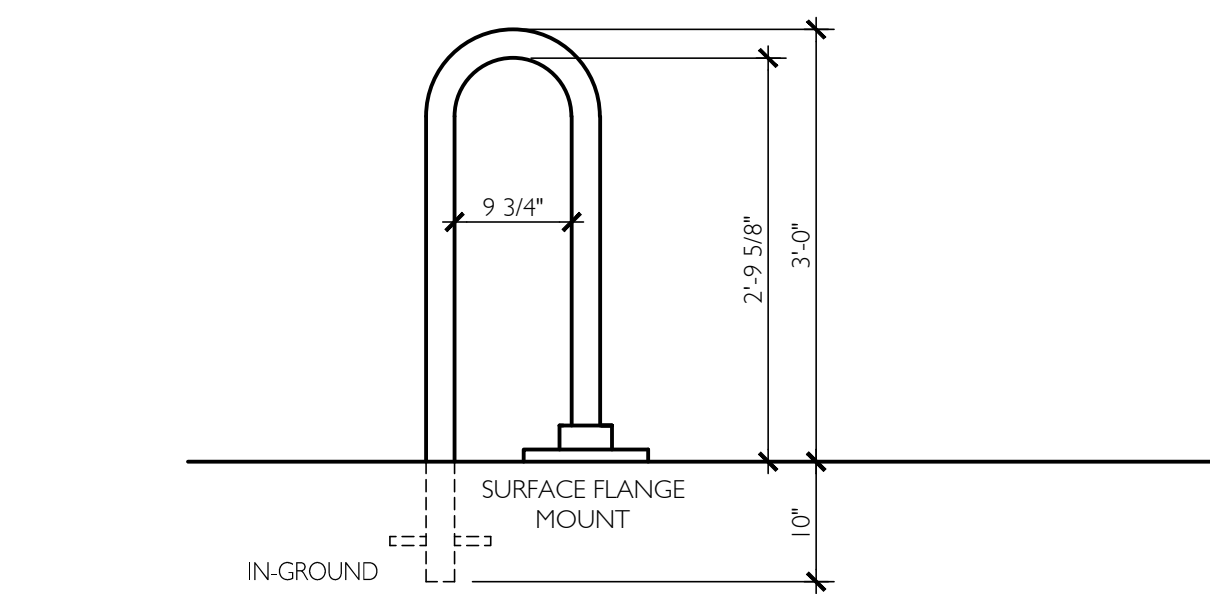
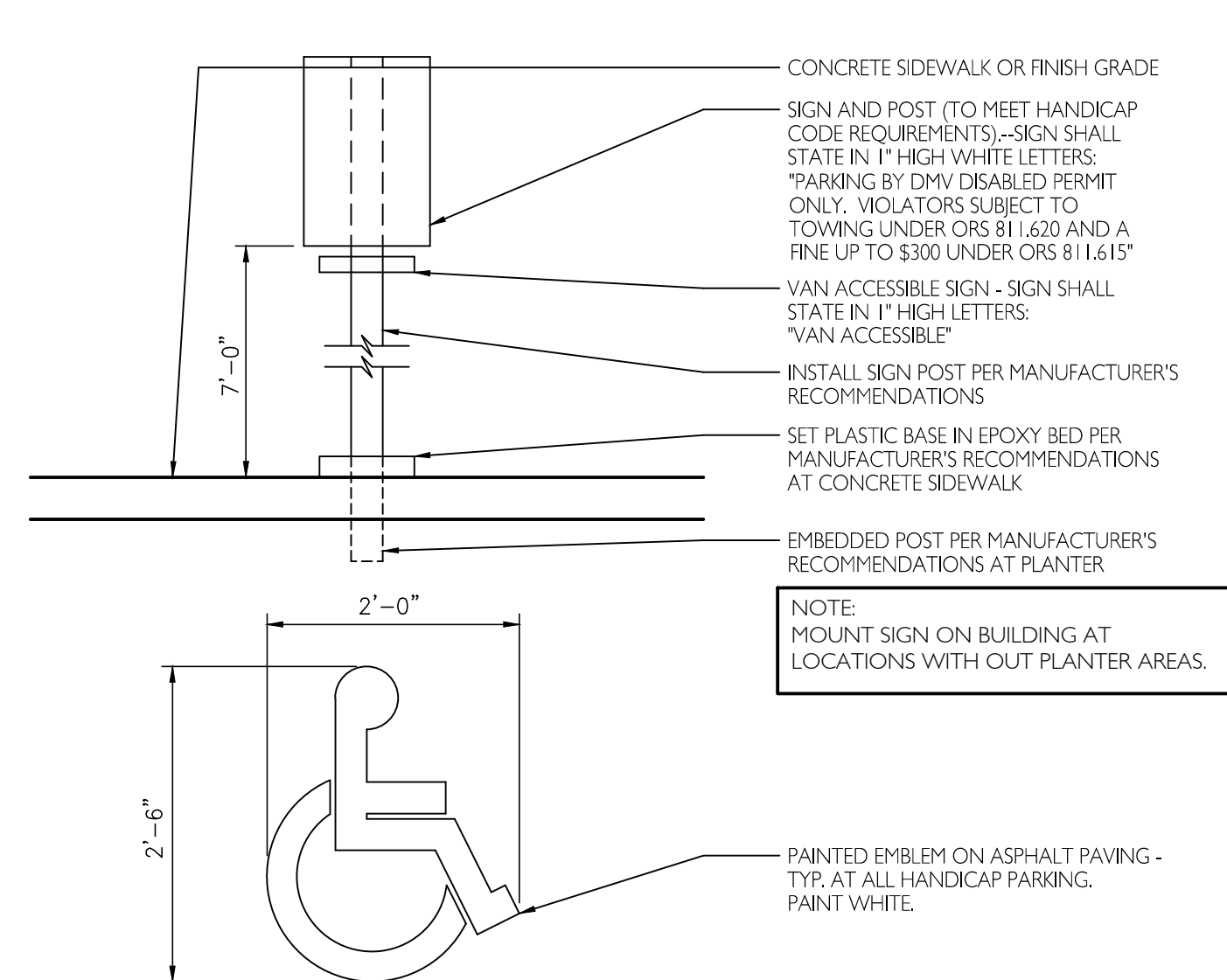
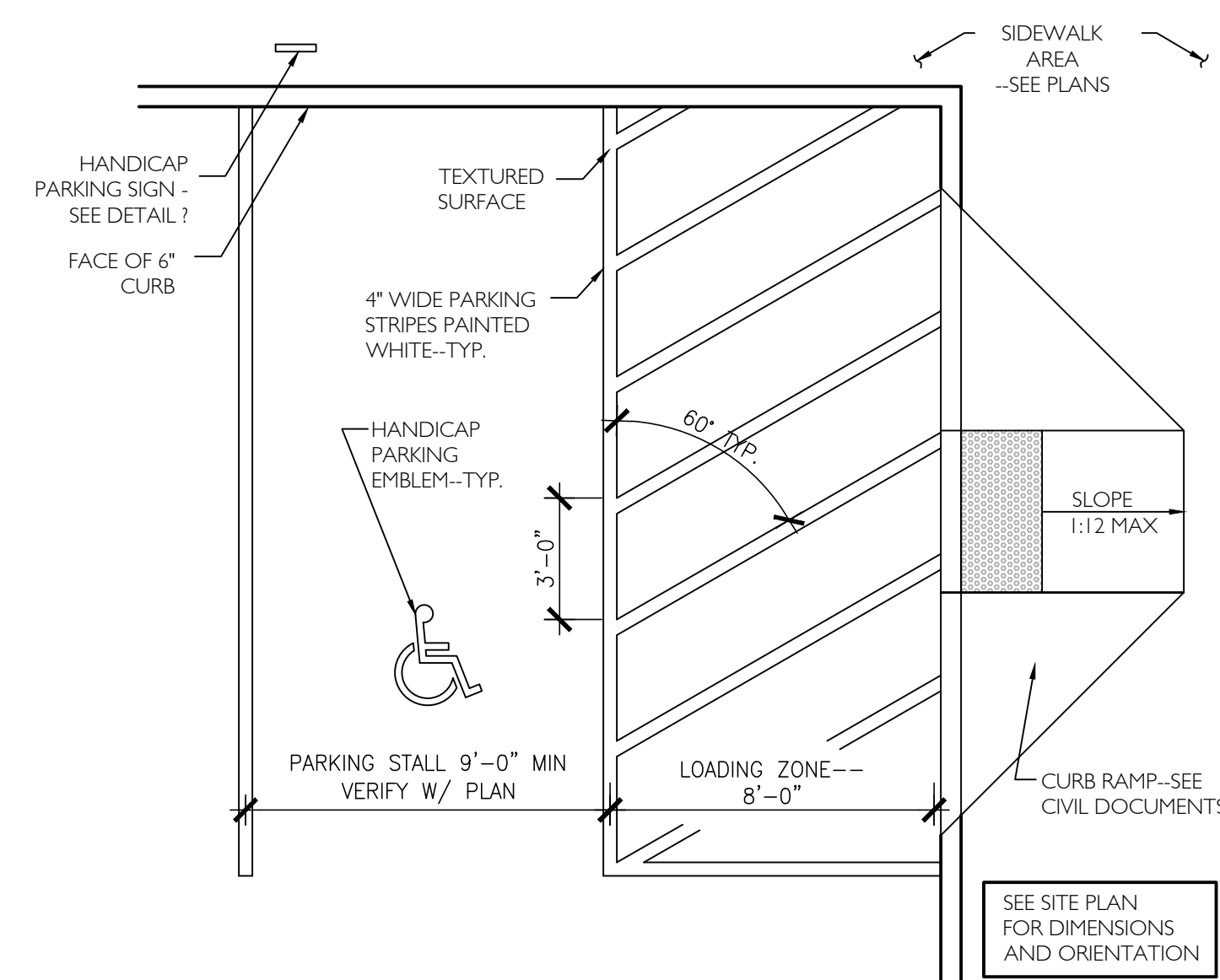


1 TRASH/RECYCLING ENCLOSURE - PLAN
A0.2 1/4" = 1'-0"

2 TRASH/RECYCLING ENCLOSURE - ELEVATION
A0.2 1/4" = 1'-0"

3 TYP. WALL SECTION @ TRASH/RECYCLING
A0.2 1" = 1'-0" 04300-02

4 PRECAST CONCRETE WHEELSTOP
A0.2 3" = 1'-0" 02580-06

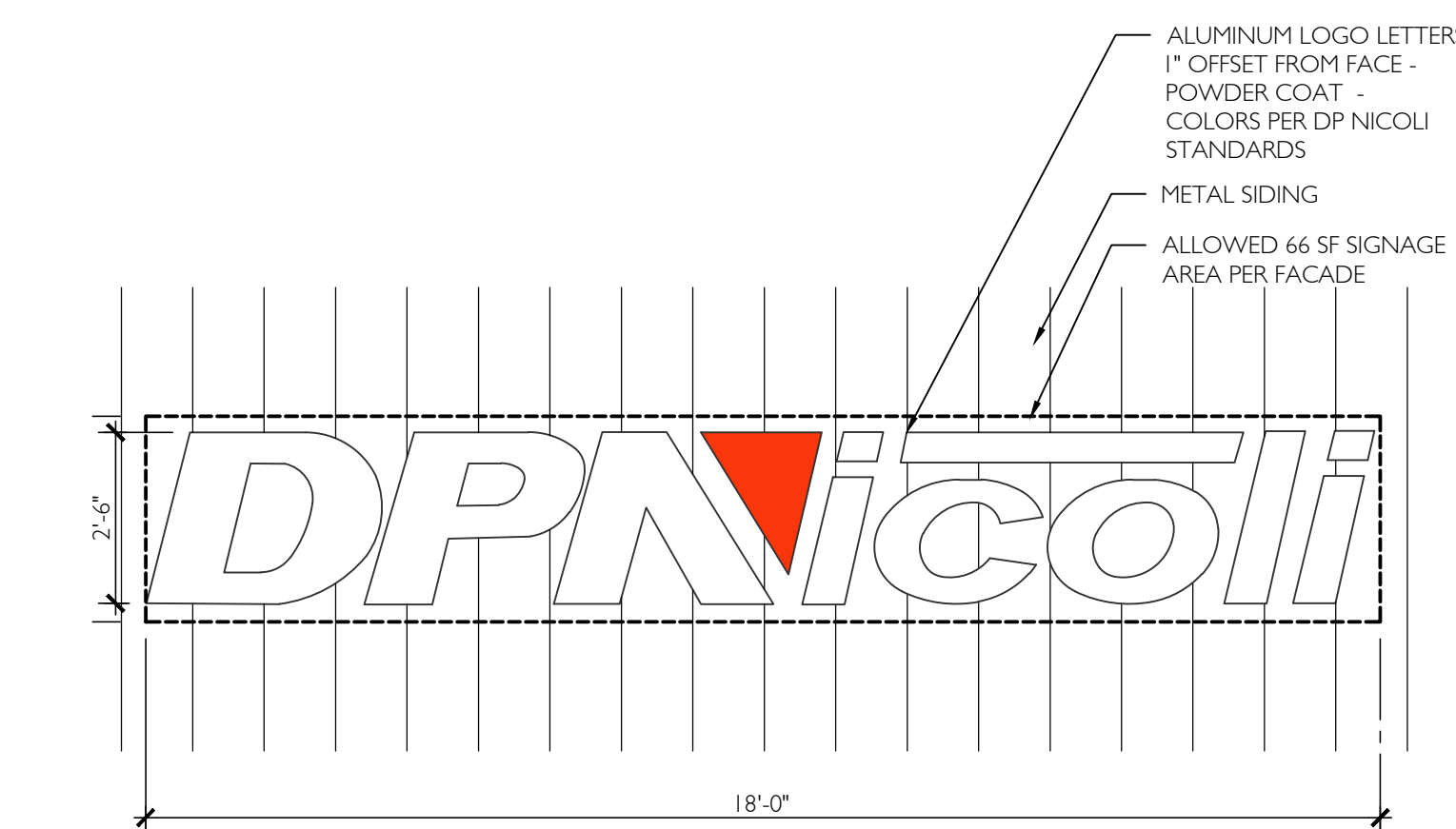
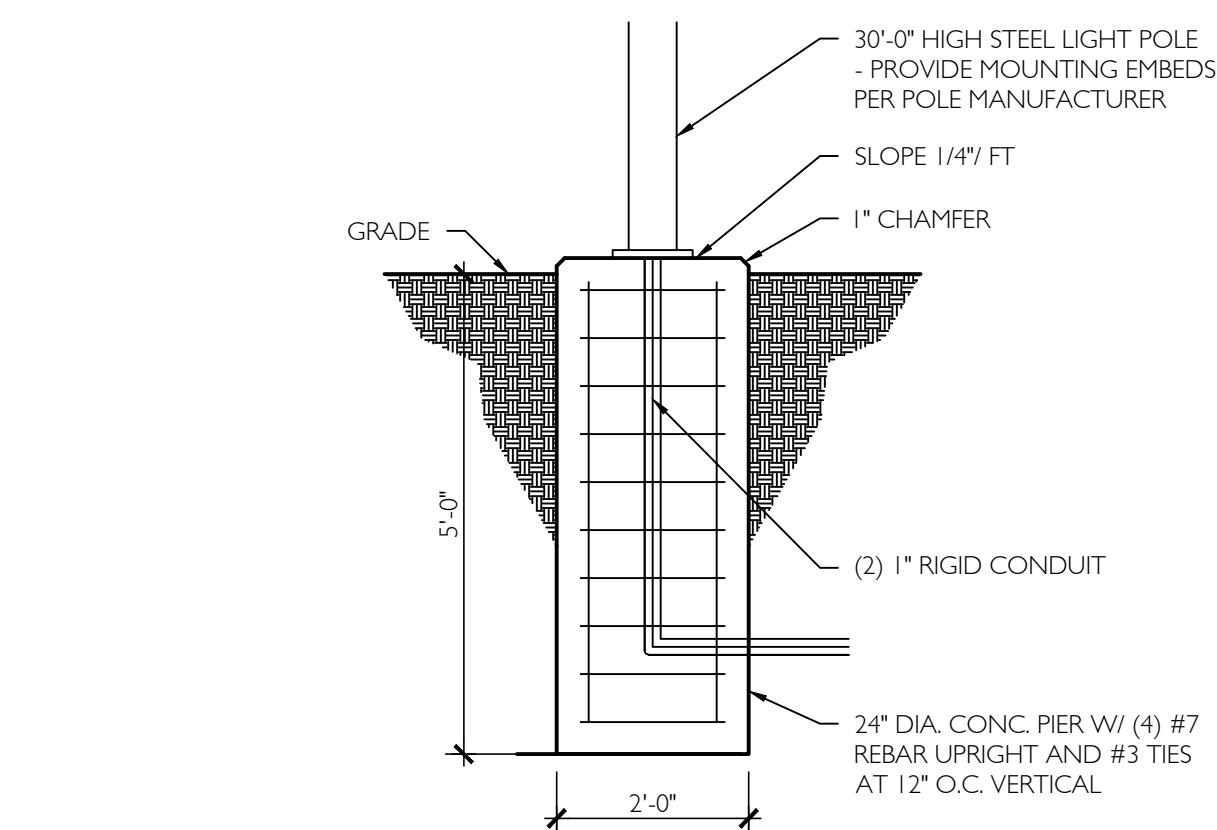
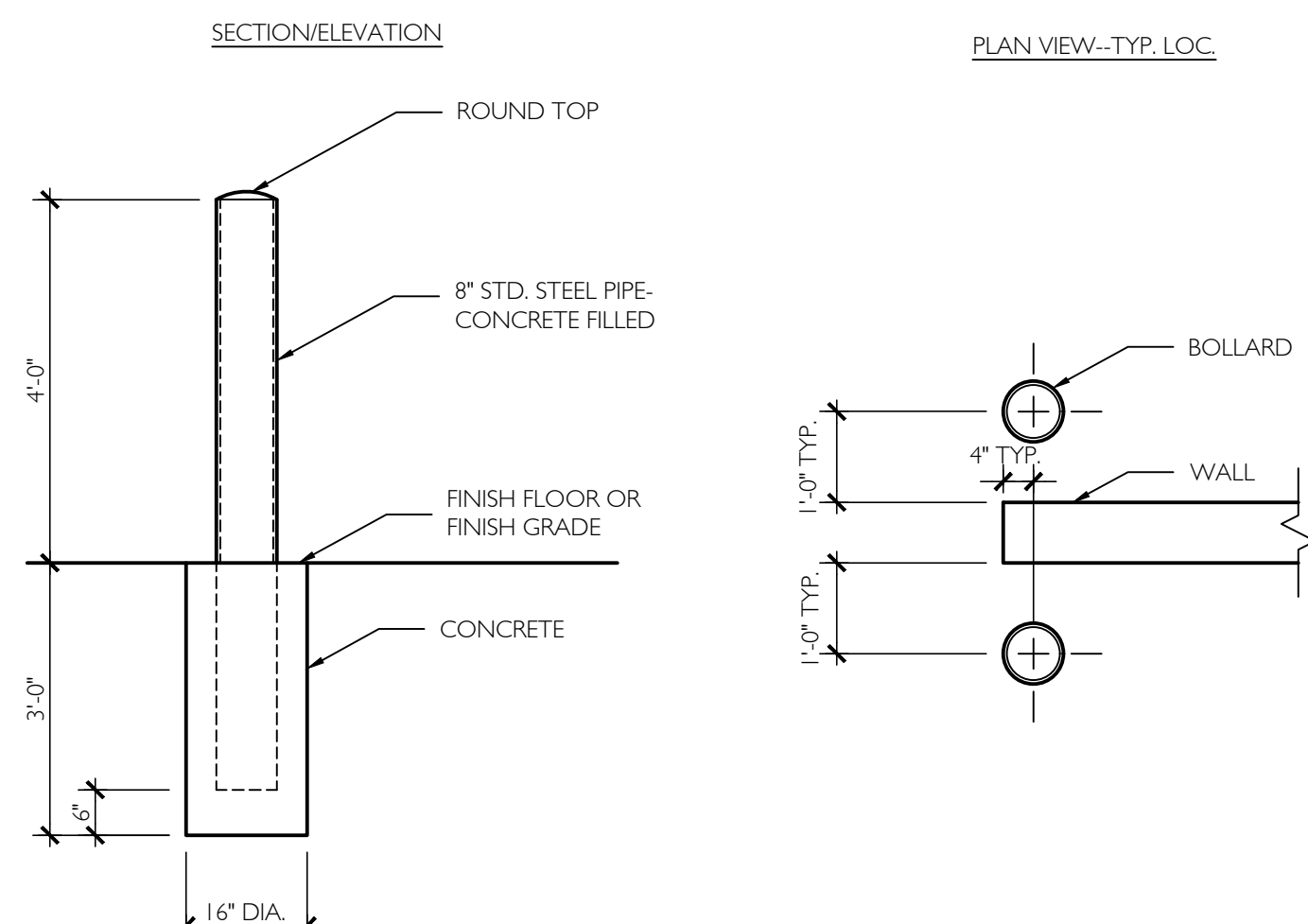


5 SINGLE LOADING HANDICAP PARKING STALL
A0.2 1/4" = 1'-0"

6 HANDICAP PARKING EMBLEM AND SIGN
A0.2 N.T.S.

7 BICYCLE RACK
A0.2 N.T.S. 02580-08

8 WALL MOUNTED BICYCLE RACK
A0.2 N.T.S.



9 BOLLARD DETAIL
A0.2 1/2" = 1'-0"

10 LIGHT POLE BASE
A0.2 1/2" = 1'-0"

11 BUILDING MOUNTED SIGN
A0.2 N.T.S.

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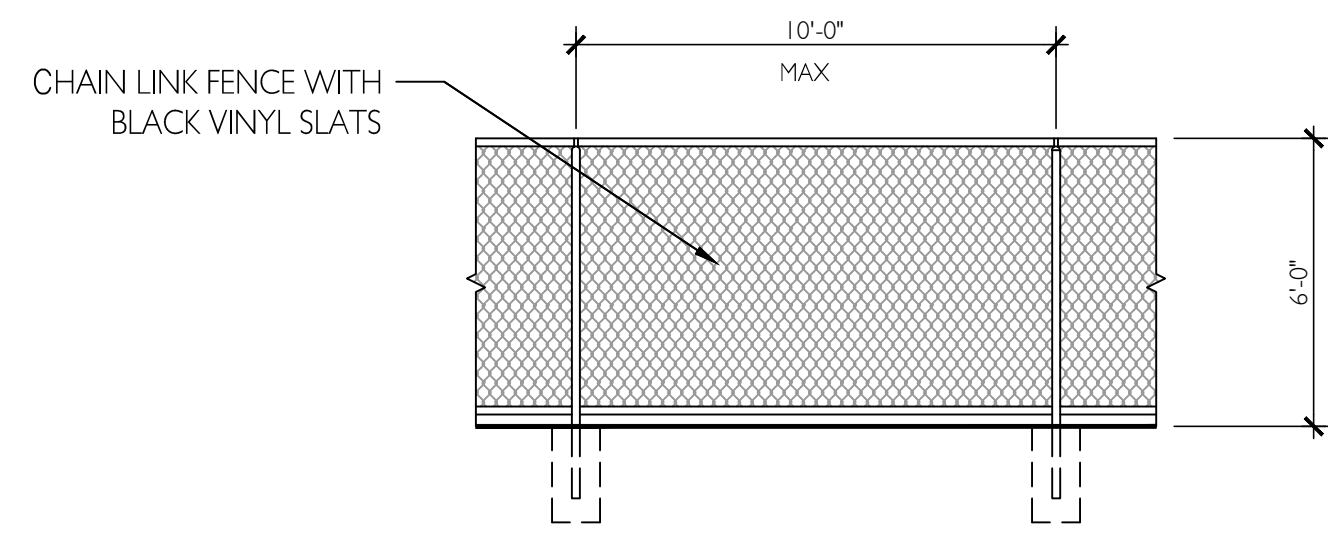
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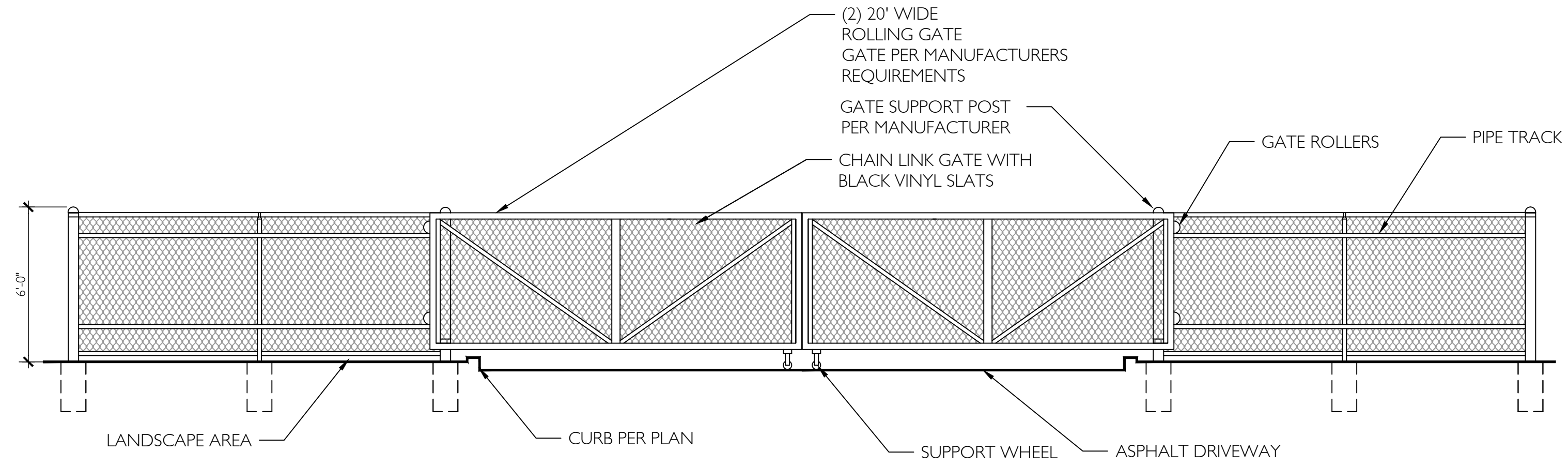
NEW CONSTRUCTION FOR:
DP NICOLI
NO SITUS - 31W14A 00500
WILSONVILLE, OR 97070

SITE DETAILS
A0.2

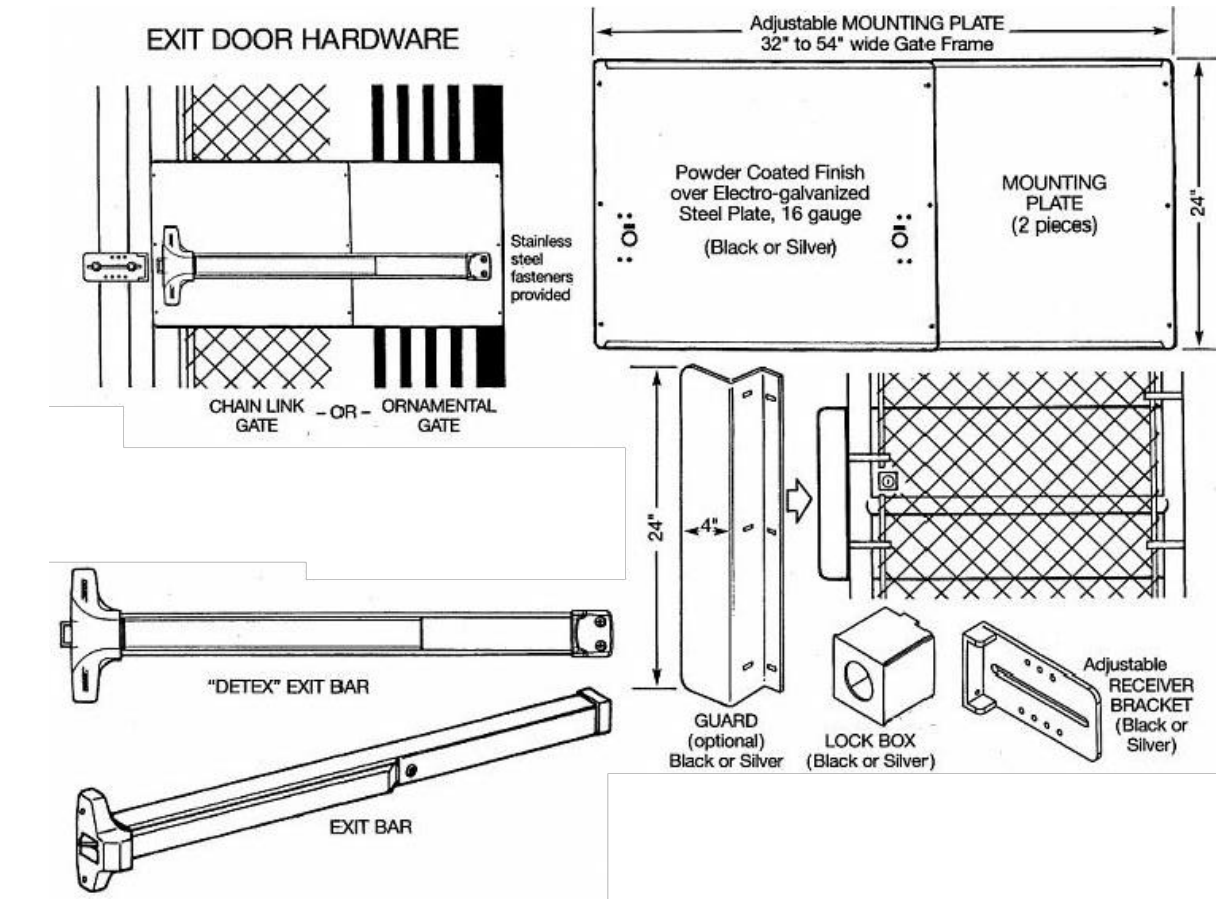
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1
A0.3 CHAINLINK FENCE
1/4" = 1'-0"



2
A0.3 ROLLING GATE ELEVATION
1/4" = 1'-0"



3
A0.3 CHAIN LINK GATE EXIT DOOR HARDWARE
N.T.S.

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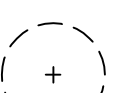
DP NICOLI
NO SITUS - 31W14A 00500
WILSONVILLE, OR 97070

SITE DETAILS
A0.3





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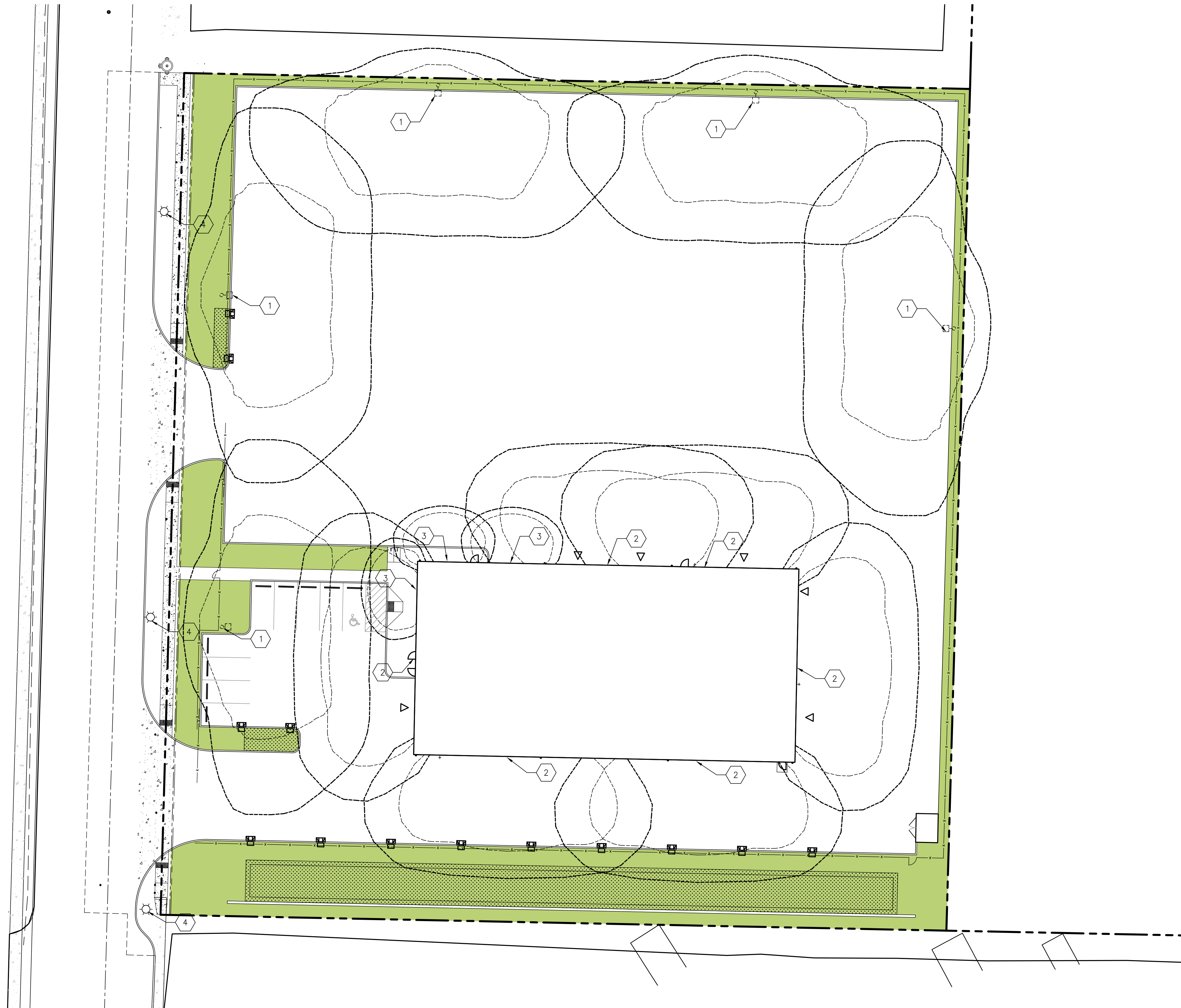
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LEGEND

-  POLE MOUNTED LIGHT FIXTURE
-  BUILDING MOUNTED LIGHT FIXTURE
-  APPROXIMATE 0.5 FC ISOLUM
-  APPROXIMATE 1.0 FC ISOLUM

KEYNOTES

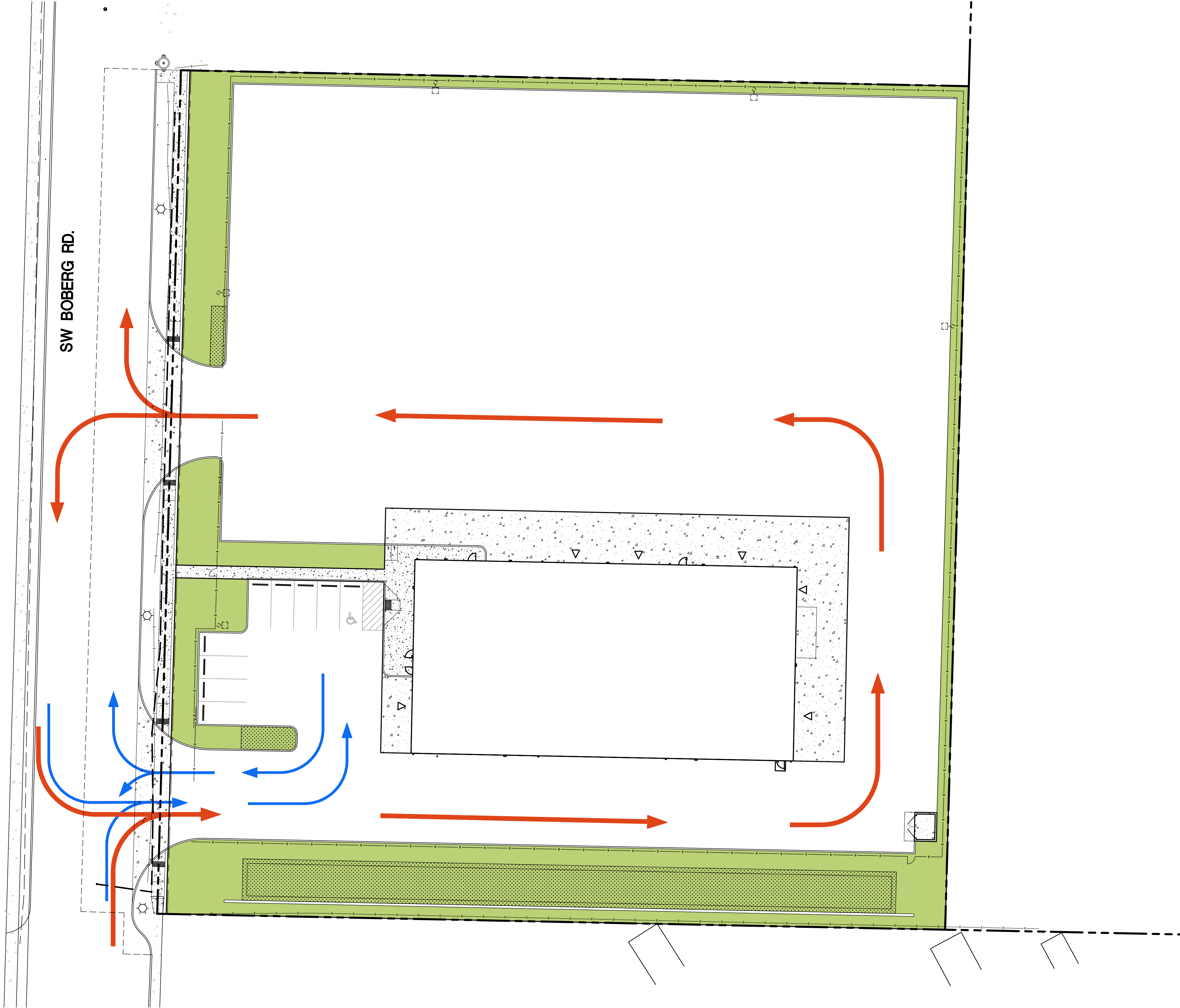
-  POLE MOUNTED LIGHT FIXTURE @ 30'-0"
- LITHONIA LIGHTING - DSX1 SERIES OR APPROVED EQUAL- TYPE 3 MEDIUM DISTRIBUTION, BLACK, DARK SKY RATED, W/ CUTOFFS - SQUARE POLE MOUNTED.
-  BUILDING MOUNTED LIGHT FIXTURE @ 22'-0" AFF
- LITHONIA LIGHTING - WDGE3 LED OR APPROVED EQUAL - P3 70 CRI R3 40K - BLACK
-  BUILDING MOUNTED LIGHT FIXTURE @ 11'-0" AFF
- LITHONIA LIGHTING - WDGE2 LED OR APPROVED EQUAL - P3SW 40K 90 CRI VW - BLACK
-  STREET LIGHTS PER CITY OF WILSONVILLE STANDARD - TENTATIVE LOCATIONS - ILLUMINATION STUDY IN PROGRESS



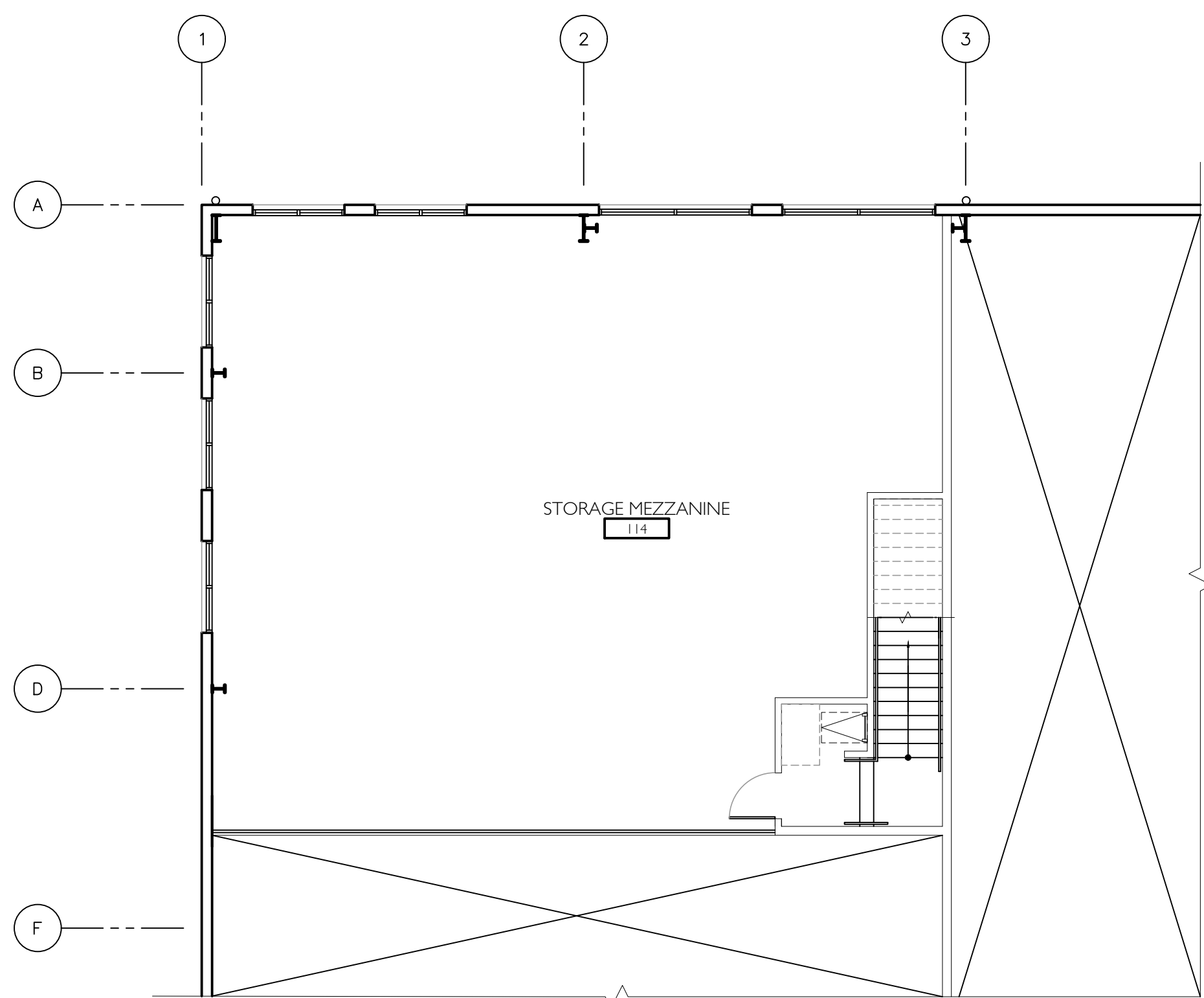
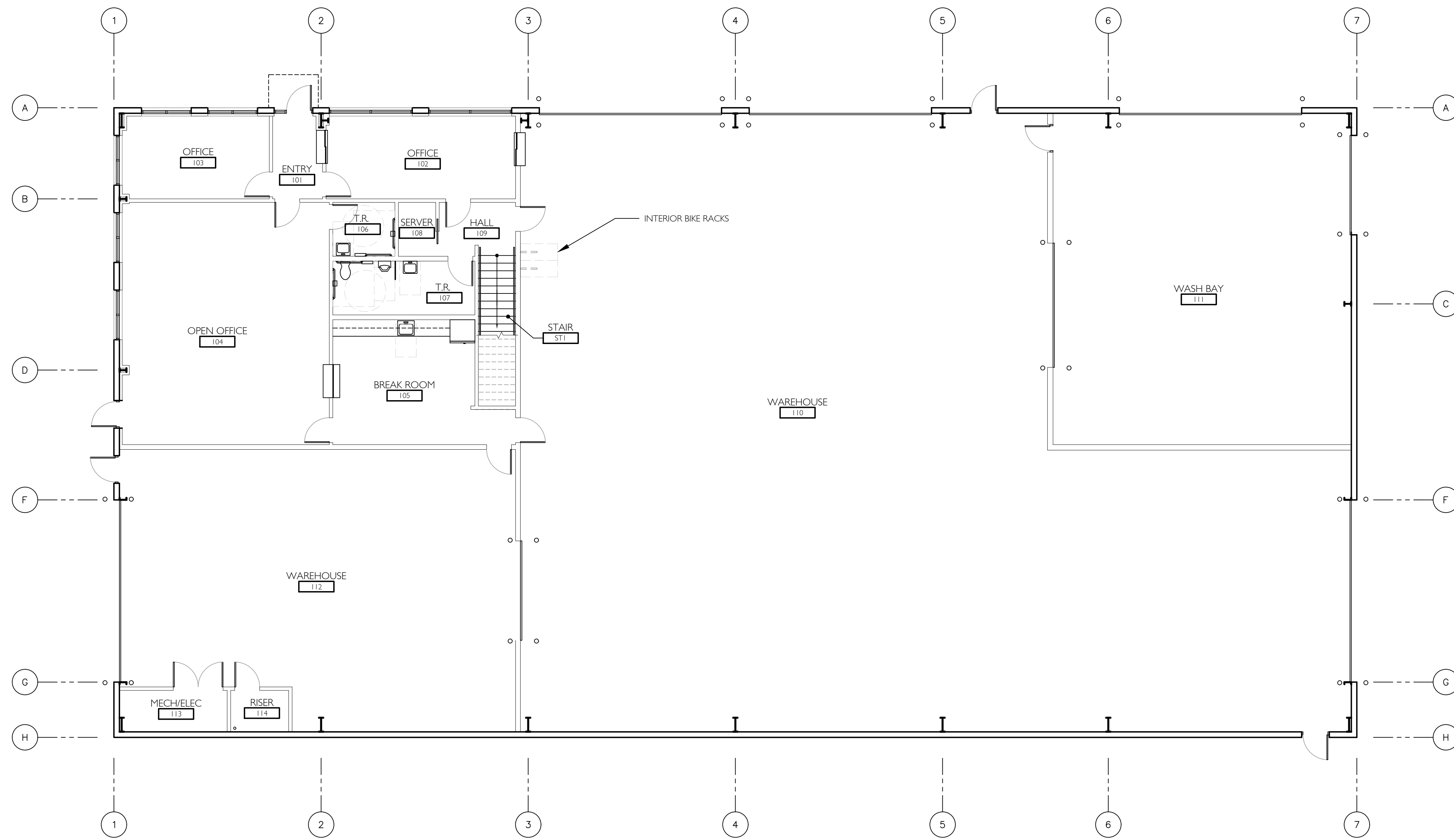
NORTH
 **1**
A0.4 SITE LIGHTING PLAN
1"=20'-0"

LEGEND

- STANDARD VEHICLES
- SEMI TRUCKS & OTHER SERVICE VEHICLES



NORTH
1
A0.5
ARCHITECTURAL SITE PLAN - VEHICLE CIRCULATION
1"=30'-0"



FLOOR PLAN GENERAL NOTES

-APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. SPECIFICATIONS AND STANDARDS SHALL MEAN, AND ARE INTENDED TO BE THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.

-CONTRACTOR SHALL COORDINATE ANY NECESSARY TESTING AND INSPECTIONS.

-ALL HARDWARE SHALL COMPLY WITH REQUIREMENTS OF THE ADA.

-FIRE EXTINGUISHERS SHALL BE LOCATED AS REQUIRED BY SECTION 906, IFC. COORDINATE FINAL LOCATION WITH FIRE MARSHALL.

-GLASS USED IN DOORS OR GLAZING LOCATED WITHIN A 24" ARC OF THE NEAREST VERTICAL EDGE OF A DOOR OR IN AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL BE TEMPERED OR OF AN APPROVED SAFETY GLAZING MATERIAL PER SECTION 2406, IBC.

-LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION 1203 & 1205, IBC.

-ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS IN SECTION 719, IBC FOR SMOKE DENSITY AND FLAME SPREAD.

-PROVIDE EXIT ILLUMINATION AND SIGNAGE PER SECTION 1006 & SIGNAGE PER SECTION 1011 OF THE OSSC.

-DIMENSIONS ARE TO CENTER OF WALL UNLESS NOTED OTHERWISE.

-SEE PRE-ENGINEERED METAL BUILDING PACKAGE FOR ADDITIONAL INFORMATION.

LEGEND

- EXTERIOR WALL
- INTERIOR WALL
- ROOM NAME AND NUMBER
- 101-A DOOR TYPE -- SEE DOOR SCHEDULE - A1

NORTH

1 FLOOR PLAN
 A1.1 1/8" = 1'-0"

NORTH

1 FLOOR PLAN - MEZZANINE
 A1.1 1/8" = 1'-0"

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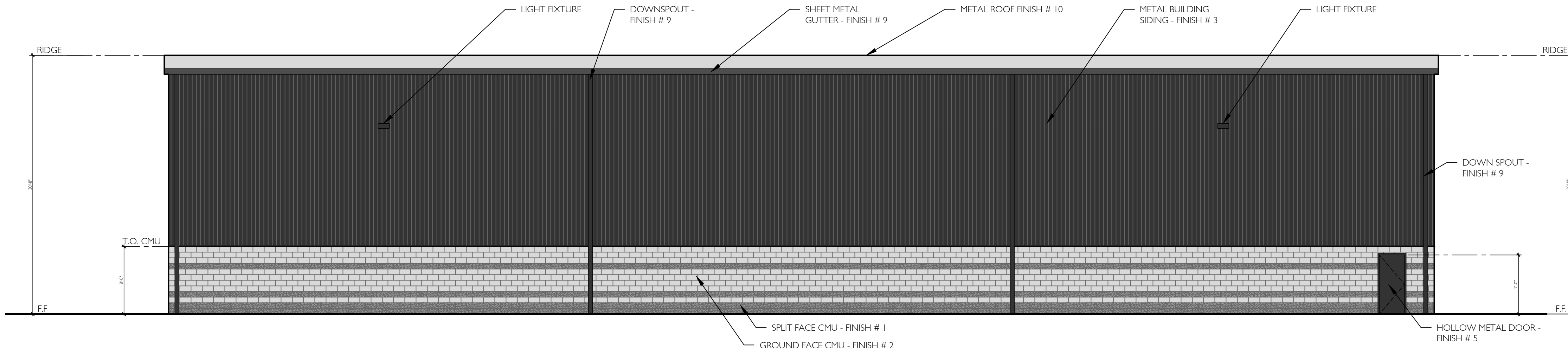
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FLOOR PLAN

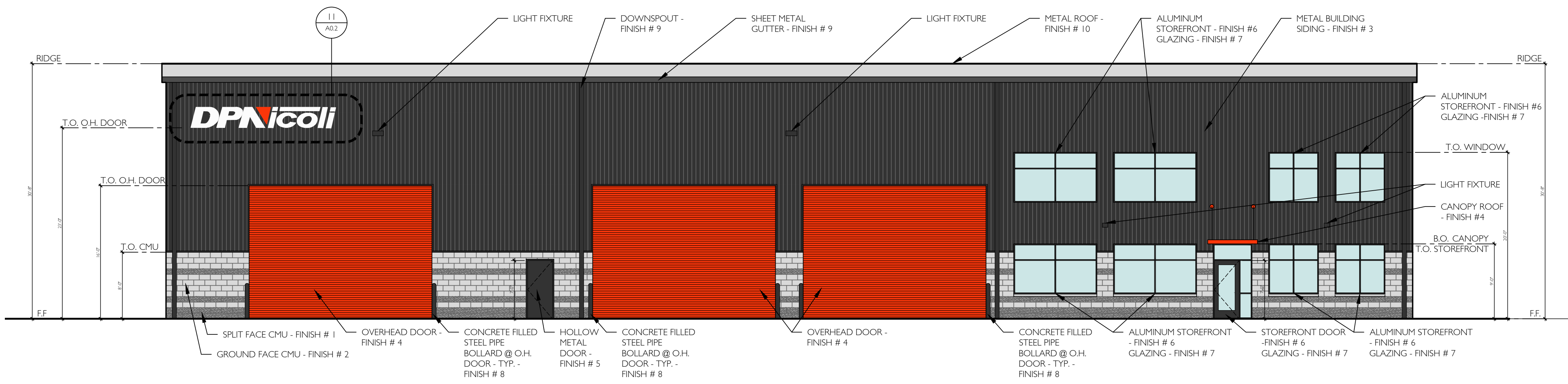
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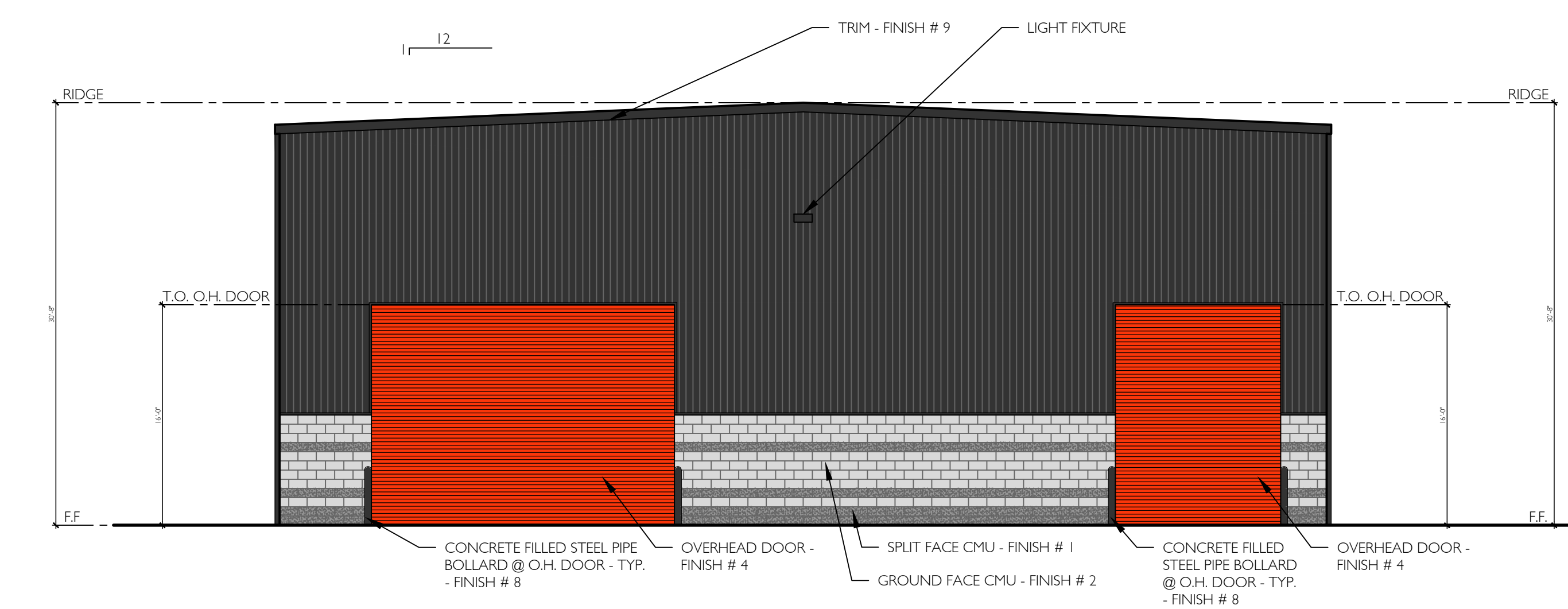
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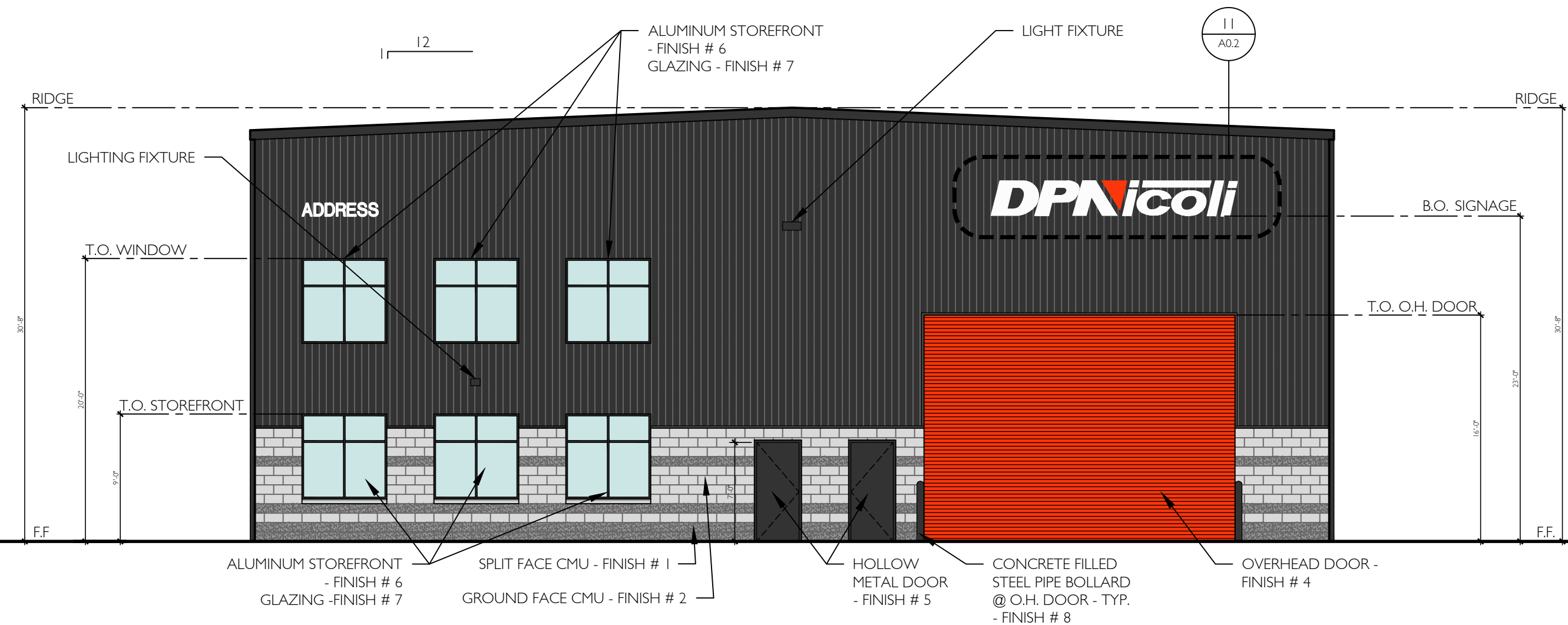
1 SOUTH ELEVATION
A2.1 1/8" = 1'-0"



2 NORTH ELEVATION
A2.1 1/8" = 1'-0"



3 EAST ELEVATION
A2.1 1/8" = 1'-0"



4 WEST ELEVATION
A2.1 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
#	MATERIAL	COLOR NAME	PRODUCT #/MANUF*
1	SPLIT FACE CMU	NATURAL	MUTUAL MATERIALS
2	GROUND FACE CMU	WILLOW	MUTUAL MATERIALS
3	METAL SIDING	MATT BLACK	AEP SPAN
4	OVERHEAD DOORS + CANOPY	CAYENNE	SHERWIN WILLIAMS
5	HOLLOW METAL DOOR	BLACK	---
6	ALUMINUM STOREFRONT GLAZING	BLACK	---
7	ALUMINUM STOREFRONT GLAZING	SOLAR GRAY	VITRO
8	BOLLARD	BLACK	---
9	PAINTED METAL	BLACK	---
10	STANDING SEAM METAL ROOF	ZINCALUME	AEP SPAN

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EXTERIOR ELEVATIONS

A2.1
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