GRACE CHAPEL

27501 SW PARKWAY AVE. WILSONVILLE, OREGON

WILSONVILLE, OR

GRACE CHAPEL OWNER

9025 SW HILLMAN COURT, SUITE 3128 WILSONVILLE, OREGON 97214 +503-570-2988

ARCHITECT / STRUCTURAL ENGINEER CIDA, INC.

AAI ENGINEERING

CIVIL ENGINEER / LANDSCAPE ARCHITECT

BEAVERTON, OR 97005

YORKE & CURTIS CONTRACTOR

CCB: 55644 BEAVERTON, OR 97005 +503-646-2123 CONTACT: ERIK TIMMONS / JEREMIAH DODSON

PROJECT SUMMARY

REMODEL OF EXISTING BUILDING (FORMER PIONEER PACIFIC COLLEGE) WITH ADDITION FOR GRACE CHAPEL. EXISTING BUILDING TO HOUSE CHILDREN PROGRAMS WITH ADDITION USED AS CHAPEL AND MULTI-PURPOSE SPACE.

ZONING CODE INFORMATION

TAX MAP: 3 1W 11

TAX LOT: 00301

ZONE: PDI (PLANNED DEVELOPMENT INDUSTRIAL)

SITE AREA: 1.9 AC

PARKING REQUIRED: PLACES OF PUBLIC ASSEMBLY: 1 SPACE/ 4 SEATS, OR 8 FT OF BENCH LENGTH IN THE MAIN AUDITORIUM. MAX: 0.8 PER SEAT 319 SEATS = 80 REQUIRED 87 SPACES PROVIDED

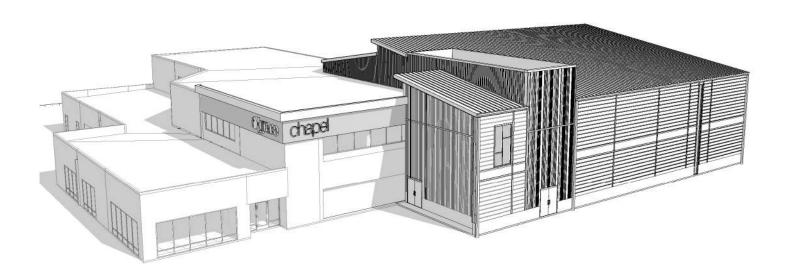
BUILDING SETBACKS REQUIRED: N=30'-0", 69'-5" PROVIDED 'S = 30'-0", 53'-2" PROVIDED

BUILDING HEIGHT LIMIT: NO LIMIT, 40'-5" PROVIDED

BUILDING CODE INFORMATION

2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)





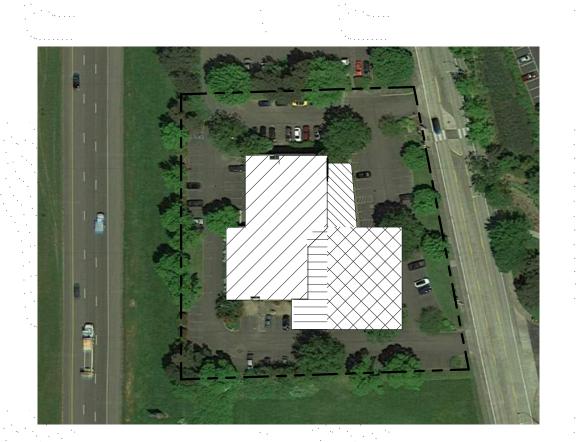


NW BIRDS EYE

			RELEASES			
SHEET NUMBER	SHEET NAME		CURRENT REV	/ISION	DATE	CURREI RELEAS
01_GENER	AL					
CS1	COVER SHEET		DESIGN REVIEW		08/10/18	Х
02_CIVIL	· · · · · · · · · · · · · · · · · · ·			· · · · · · · · · · · · · · · · · · ·		
01	SURVEY		DESIGN REVIEW		08/10/18	Х
C0.1	GENERAL NOTES	in the second	DESIGN REVIEW		08/10/18	Х
C0.2	EXISTING CONDITIONS		DESIGN REVIEW		08/10/18	Х
C0.3	DEMOLITION PLAN		DESIGN REVIEW	• .	08/10/18	Х
C1.0	SITE PLAN	· · · · · · · · · · · · · · · · · · ·	DESIGN REVIEW		08/10/18	Х
C1.5	CIVIL DETAILS	*****	DESIGN REVIEW		08/10/18	Х
C2.0	GRADING PLAN		DESIGN REVIEW		08/10/18	Х
C3.0	UTILITY PLAN		DESIGN REVIEW		08/10/18	Х
C4.0	DETAILS		DESIGN REVIEW		08/10/18	Х
C4.1	DETAILS		DESIGN REVIEW		08/10/18	Х
L1.0 L1.1	TREE PRESERVATION & REMOVAL PLAN PLANTING PLAN		DESIGN REVIEW DESIGN REVIEW		08/10/18 08/10/18	X
L2.0	PLANTING DETAILS		DESIGN REVIEW	•	08/10/18	X
L2.1	IRRIGATION DETAILS		DESIGN REVIEW		08/10/18	X
L3.0	PLANTING & IRRIGATION	SPECS	DESIGN REVIEW		08/10/18	X
04_ARCHIT A0.1 A0.2 A0.3	SITE PLAN SITE DETAILS SITE DETAILS		DESIGN REVIEW DESIGN REVIEW DESIGN REVIEW		08/10/18 08/10/18 08/10/18	X X X
A0.3 A1.0	EXISTING FLOOR PLANS		DESIGN REVIEW		08/10/18	X
A1.0 A1.1	FLOOR PLAN		DESIGN REVIEW	· .	08/10/18	X
A1.2	FLOOR PLAN		DESIGN REVIEW		08/10/18	X
A2.0	EXISTING ELEVATIONS		DESIGN REVIEW	· · ·	08/10/18	X
A2.0 A2.1	ELEVATIONS		DESIGN REVIEW		08/10/18	X
A2.1 A2.2	ELEVATIONS		DESIGN REVIEW	· · · · · · · · · · · · · · · · · · ·	08/10/18	X
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07_ELECTF	RICAL					



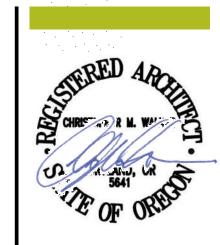




- NEW LOBBY
- NEW CHAPEL / MULTI PURPOSE ADDITION
- OFFICE MEZZANINE
- (E) BUILDING (KID VENTURE / ARDENT PROGRAM



City of Wilsonville



FAX: 503.226.1670

W W W . C I D A I N C . C O N

COVER SHEET

NOT

- 1. UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBER 18039858 AND 18039861. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- 2. FIELD WORK WAS CONDUCTED FEBRUARY 20, 23, 26, 2018.
- 3. VERTICAL DATUM: ELEVATIONS ARE BASED WASHINGTON COUNTY BENCHMARK NO. 405, BEING A BRASS DISK AT THE NORTHWEST CORNER OF THE ELLIGSEN ROAD OVERPASS ON I-5, AT THE NORTH WILSONVILLE EXIT. ELEVATION OF BENCHMARK = 281.55 (NGVD 29) FEET. USING NGS VERTCON SOFTWARE AND GPS OBSERVATIONS, ELEVATION OF BENCHMARK = 285.09 (NAVD 88). ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 DATUM.
- 4. THIS MAP DOES NOT CONSTITUTE A PROPERTY BOUNDARY SURVEY.
- 5. SURVEY IS ONLY VALID WITH SURVEYOR'S STAMP AND SIGNATURE.
- 6. BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
- 7. CONTOUR INTERVAL IS 1 FOOT.

TREE NUMBER

10193

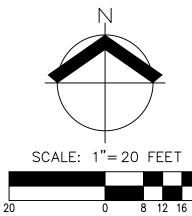
8. TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE DETERMINED BY VISUAL INSPECTION. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.

TREE TABLE

TYPE

DECIDUOUS

DBH (IN.)



		l
10196	DECIDUOUS	12
10197	DECIDUOUS	21
10199	DECIDUOUS	14
10201	DECIDUOUS	12
10204	DECIDUOUS	17
10217	DECIDUOUS	10,10
10262	CONIFEROUS	10,14
10263	DECIDUOUS	17
10276	DECIDUOUS	4
10277	DECIDUOUS	15
10505	DECIDUOUS	15
10512	DECIDUOUS	12
10564	DECIDUOUS	18
10565	DECIDUOUS	12
10566	DECIDUOUS	19
10567	CONIFEROUS	20
10840	DECIDUOUS	24
10949	DECIDUOUS	16
10950	CONIFEROUS	14
10951	DECIDUOUS	12,12
10952	CONIFEROUS	12,16
10954	CONIFEROUS	6,6,12,20
11095	DECIDUOUS	10
11098	DECIDUOUS	10
11138	CONIFEROUS	16
11139	DECIDUOUS	20
11140	DECIDUOUS	16
11141	DECIDUOUS	0
11142	DECIDUOUS	14
11165	DECIDUOUS	16,18,18,24
11166	CONIFEROUS	16,16
11167	CONIFEROUS	20
11168	CONIFEROUS	24
11169	CONIFEROUS	6,6,8,20
11170	DECIDUOUS	24
11180	DECIDUOUS	16

& FORESTRY, LLC
NT WY STE 100
SIBVEVING MATHEM BESOIIBGES

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RKW

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AKS ENGINEERING & FORESTRY, I 3052 NW MERCHANT WY STE 100 BEND, OR 97703 P: 541.382.0385 dks-eng.com

OREGON

OLACKAMAS CO

VILSONVILL

EXISTING CONDITIONS PLAN

DESIGNED BY:

DRAWN BY:

CHECKED BY:

MSK

SCALE:

AS NOTED

DATE: 03/01/2018

REGISTERED
PROFESSIONAL
LAND SURVEYOR

WEGON
WARY 12, 2016
AND SURVEYOR

MICHAEL S. KALINA
89558PLS
RENEWS: 6/30/19

JOB NUMBER
6613
SHEET

01

GENERAL NOTES

- 1. CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- 2. PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- 4. WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- 5. BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- 6. CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- 7. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2015 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2014 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF WILSONVILLE.
- 8. THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- 9. ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- 10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- 11. THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- 12. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CITY OF WILSONVILLE FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- 14. TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF WILSONVILLE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- 16. NOTIFY THE CITY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY REPRESENTATIVE SHALL BE REQUIRED.
- 17. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL
- 18. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24—HOUR NOTICE IS REQUIRED.
- 19. EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 209.155.

CONSTRUCTION NOTES

DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
- 2. EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
- 3. ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
- 4. ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- 5. CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
- 6. SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

<u>UTILITIES</u>

- 1. ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- 2. CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- 3. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- 4. BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

STORM AND SANITARY

- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 00490, "WORK ON EXISTING SEWERS AND STRUCTURES".
- 2. BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
- 3. ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.

EARTHWORKS

- 1. CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- 2. TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- 3. SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

<u>PAVING</u>

1. SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

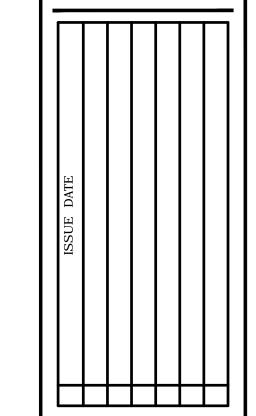
MATERIAL NOTES

- 1. GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- 2. STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE CONFORMING TO THE PROJECT SPECIFICATIONS; AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2'OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- 3. CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.

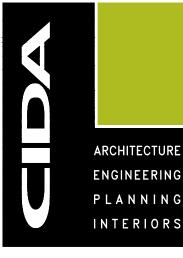
SEPARATION STATEMENT

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.









15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1670

W W W . C I D A I N C . C O M

HAPEL KWAY AVE.

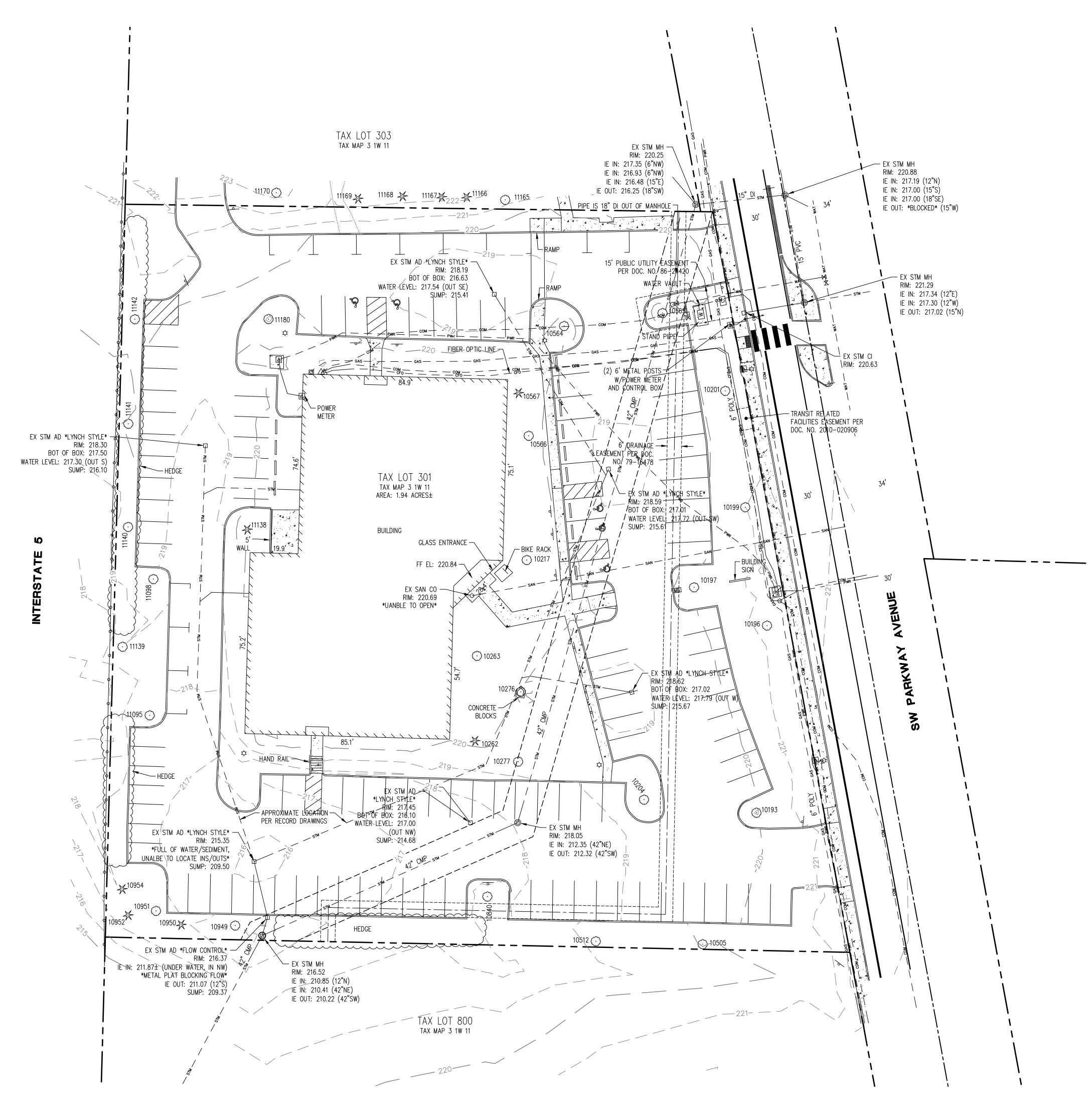
SW PARKWAY ONVILLE, OREGO

2750

GENERAL NOTES



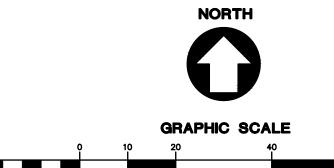
170288.03 018 CIDA, P.C./CIDA ALL RIGHTS RESERVE



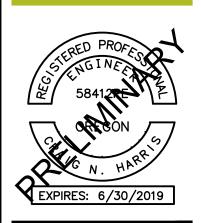
SURVEYOR NOTES

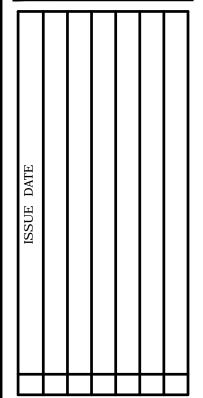
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- 3. VERTICAL DATUM: ELEVATIONS ARE BASED WASHINGTON COUNTY BENCHMARK NO. 405, BEING A BRASS DISK AT THE NORTHWEST CORNER OF THE ELLIGSEN ROAD OVERPASS ON I-5, AT THE NORTH WILSONVILLE EXIT. ELEVATION OF BENCHMARK = 281.55 (NGVD 29) FEET. USING NGS VERTCON SOFTWARE AND GPS OBSERVATIONS, ELEVATION OF BENCHMARK = 285.09 (NAVD 88). ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 DATUM.
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- 7. CONTOUR INTERVAL IS 1 FOOT.
- 8. TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE DETERMINED BY VISUAL INSPECTION. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.

	TREE TABLE	
TREE NUMBER	TYPE	DBH (IN.)
10193	DECIDUOUS	14
10196	DECIDUOUS	12
10197	DECIDUOUS	21
10199	DECIDUOUS	14
10201	DECIDUOUS	12
10204	DECIDUOUS	17
10217	DECIDUOUS	10,10
10262	CONIFEROUS	10,14
10263	DECIDUOUS	17
10276	DECIDUOUS	4
10277	DECIDUOUS	15
10505	DECIDUOUS	15
10512	DECIDUOUS	12
10564	DECIDUOUS	18
10565	DECIDUOUS	12
10566	DECIDUOUS	19
10567	CONIFEROUS	20
10840	DECIDUOUS	24
10949	DECIDUOUS	16
10950	CONIFEROUS	14
10951	DECIDUOUS	12,12
10952	CONIFEROUS	12,16
10954	CONIFEROUS	6,6,12,20
11095	DECIDUOUS	10
11098	DECIDUOUS	10
11138	CONIFEROUS	16
11139	DECIDUOUS	20
11140	DECIDUOUS	16
11141	DECIDUOUS	0
11142	DECIDUOUS	14
11165	DECIDUOUS	16,18,18,24
11166	CONIFEROUS	16,16
11167	CONIFEROUS	20
11168	CONIFEROUS	24
11169	CONIFEROUS	6,6,8,20
11170	DECIDUOUS	24
11180	DECIDUOUS	16
	1	1



(IN FEET)
1 inch = 20 feet





AAI at the associates, inc.
ENGINEERING

4875 SW Griffith Drive | Suite 300 | Beaverton, OR | 97005 503.620,3030 tel. | 503.620,5539 fax | www.aaieng.com Project No. A18105.10



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1285
FAX: 503.226.1670
WWW.CIDAINC.COM

CHAPEL
PARKWAY AVE.
LE, OREGON

27501 SW PA WILSONVILLE

EXISTING CONDITIONS

CO.2

170288.03

2018 CIDA, P.C./CIDA ALL RIGHTS RESE

- 1. SEE SHEET CO.1 FOR GENERAL SHEET NOTES.
- 2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
- 3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
- 4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
- 5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
- 6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
- 7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
- 8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
- 9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
- 10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
- 11. PROTECT ALL EXISTING VEGETATION TO REMAIN.

PROTECTION NOTES

- 1 PROTECT EXISTING TREE
- 2 PROTECT EXISTING UTILITY
- 3 PROTECT EXISTING STRUCTURE
- 4 PROTECT EXISTING CURB. CONTRACTOR TO REVIEW EXISTING CURB CONDITIONS WITH THE OWNER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY LOCATIONS SHALL BE REPLACED.
- 5 PROTECT EXISTING POLE
- 6 PROTECT EXISTING SURFACE
- 7 PROTECT EXISTING SIGN

DEMOLITION NOTES

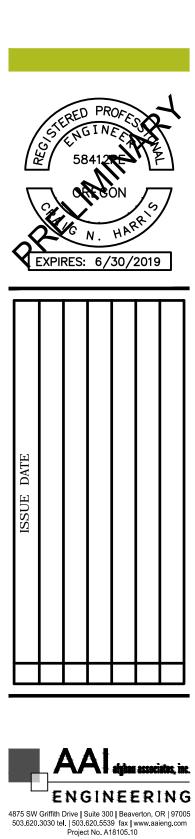
- 1 REMOVE TREE
- 2 REMOVE CURB
- 3 REMOVE SURFACE
- 4 REMOVE STAIRS 5 REMOVE STORM LINE
- 6 REMOVE SIGN
- 7 REMOVE MAILBOX
- 8 REMOVE POLE
- 9 REMOVE CATCH BASIN
- 10 REMOVE DRIVEWAY
- 11 REMOVE STORM MANHOLE



DEMOLITION PLAN

170288.03

(IN FEET) 1 inch = 20 feet







15895 SW 72ND AVE SUITE 200 PORTLAND, OREGON 97224 TEL: 503.226.1285 F A X : 5 0 3 . 2 2 6 . 1 6 7 0 W W W . C I D A I N C . C O M

ARKWAY

WILSONVILL

- 1. SEE SHEET CO.1 FOR GENERAL SHEET NOTES.
- 2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
- 3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- 4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

CONSTRUCTION NOTES

- 1 ASPHALT SURFACE PER DETAIL 1/C4.0
- 2 PRIVATE SIDEWALK PER DETAIL 2/C4.0
- 3 PRIVATE CURB PER DETAIL 3/C4.0
- 4 PARKING STRIPING, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 5 ADA PARKING LAYOUT, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 6 STORMWATER FACILITY, SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- 7 TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 8 PROPOSED STORM EASEMENT, SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- 9 ADA RAMP PER DETAIL 4/C4.0
- 10 DRIVEWAY PER CITY OF WILSONVILLE DETAIL 1095/C4.0
- 11 CONCRETE STAIRS, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 12 INSTALL WHEEL STOPS PER DETAIL 5/C4.0
- 13 INSTALL CONCRETE FACILITY INLET PER CITY OF WILSONVILLE DETAIL 6012/C4.0

LEGEND

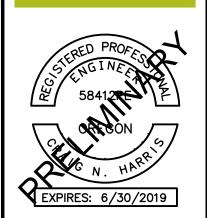
PROPERTY LINE

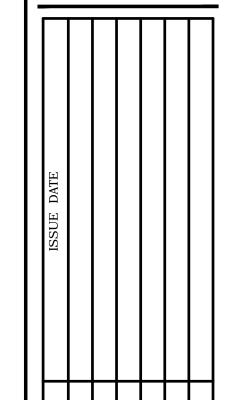
PROPOSED CURB

CONCRETE SIDEWALK

SURFACING

ASPHALT SURFACING





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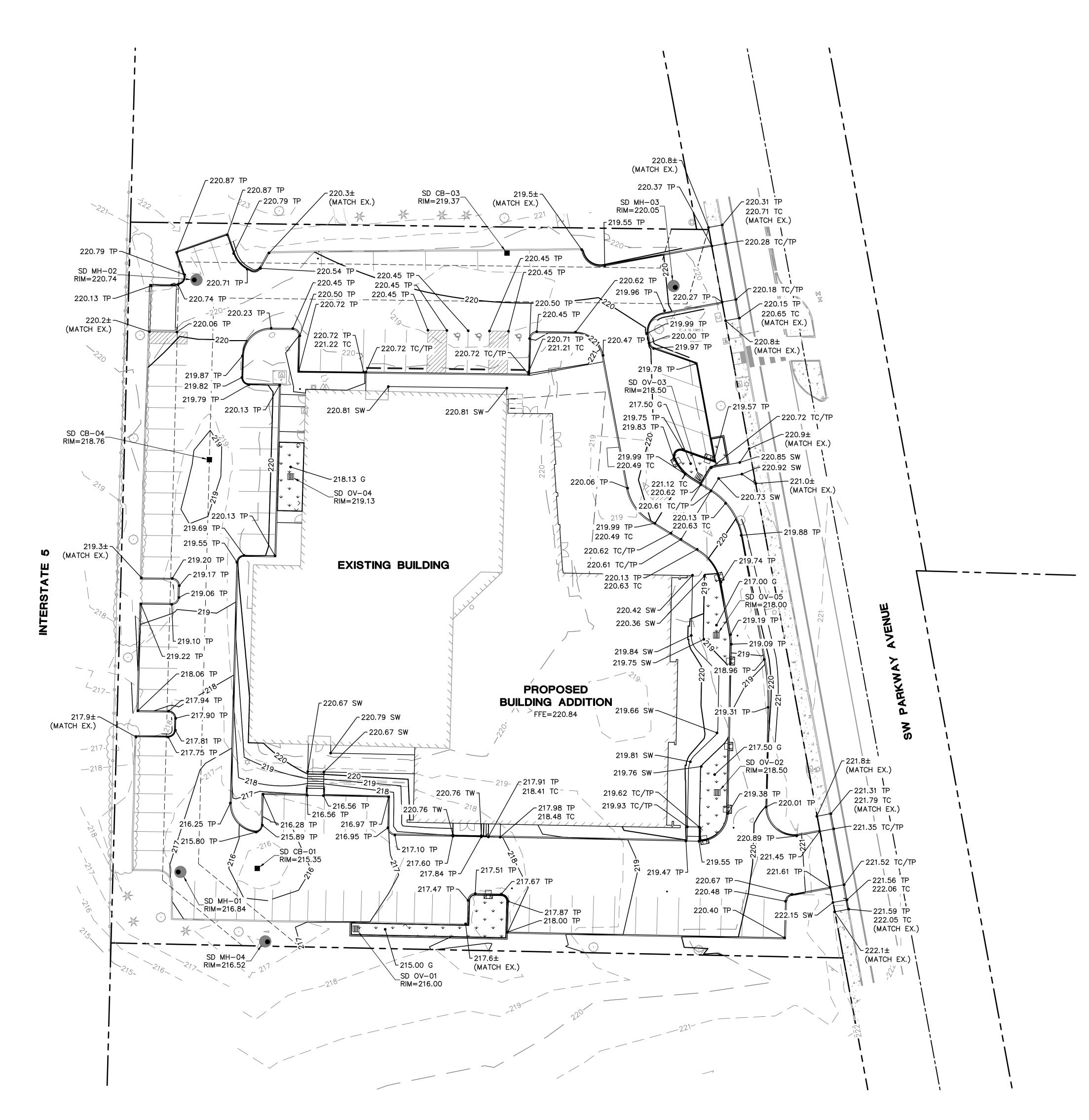
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WILSONVILLE, 27501

SITE PLAN

170288.03

(IN FEET) 1 inch = 20 feet



- 1. SEE SHEET CO.1 FOR GENERAL SHEET NOTES.
- 2. CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
- 3. LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- 4. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- 5. ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMPS WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- 6. FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
- 7. GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

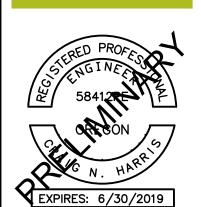
GRADING LABEL LEGEND

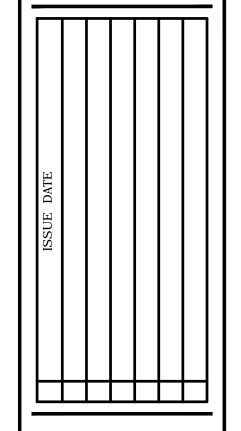
<u>CALLOUT</u>	<u>DESCRIPTION</u>
	— SPOT ELEVATION — DESCRIPTION LISTED BELOW.
XX.XX XX FFE G SW TC TP TW	FINISHED FLOOR ELEVATION GROUND SIDEWALK TOP OF CURB TOP OF PAVEMENT TOP OF WALL

LEGEND

EXISTING CONTOUR MINOR	— — — — 102 — — —
EXISTING CONTOUR MAJOR	100
PROPOSED CONTOUR MINOR	102 —
PROPOSED CONTOUR MAJOR	100 —

(IN FEET) 1 inch = 20 feet





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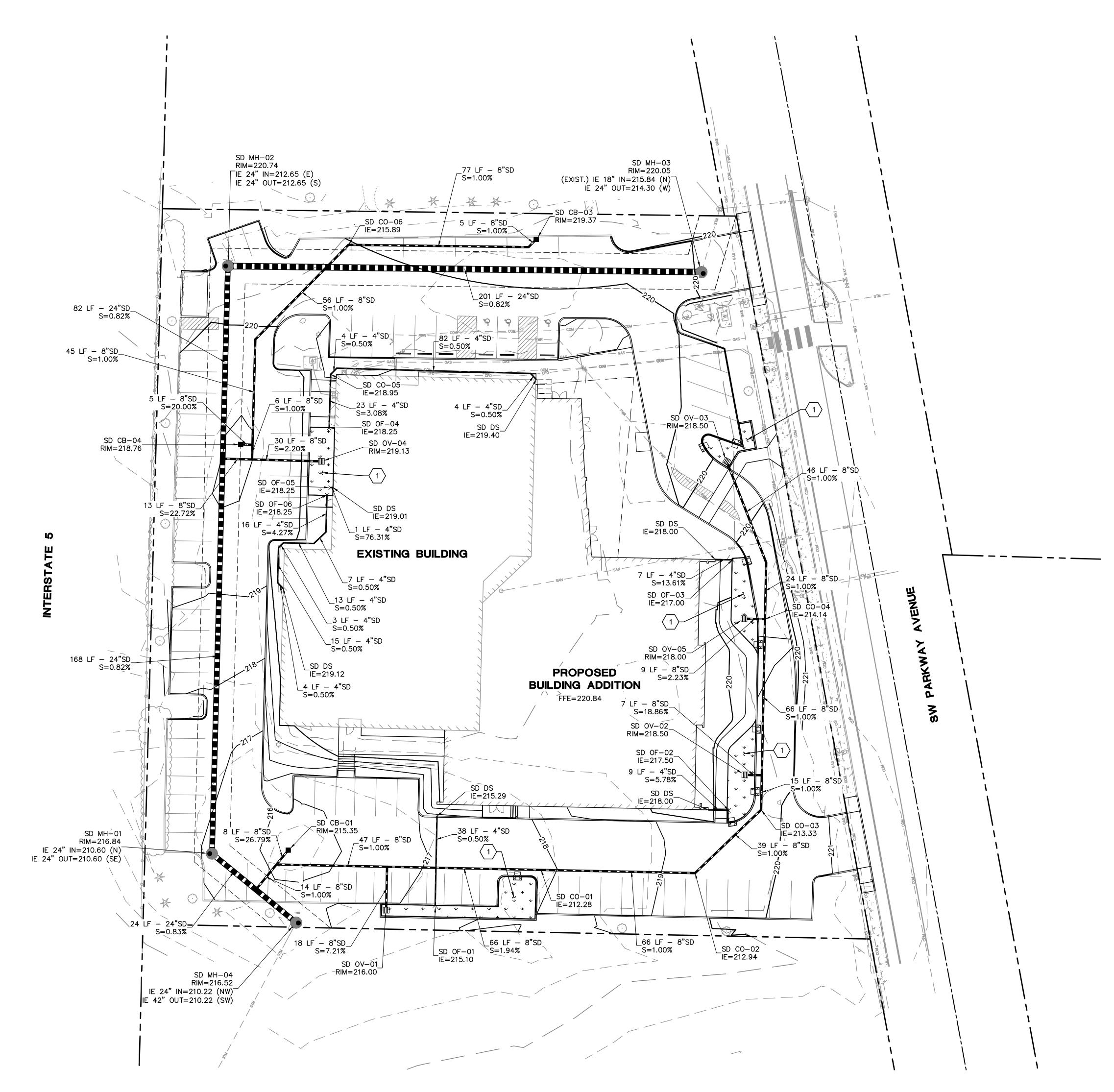
FAX: 503.226.1670 W W W . C I D A I N C . C O M

OREGON

PARKWAY

WILSONVILLE, 27501

GRADING PLAN



- 1. SEE SHEET CO.1 FOR GENERAL SHEET NOTES.
- 2. STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- 3. PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE PER DETAIL 1/C4.1.
- 4. ALL STORM PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- 5. THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- 6. CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN.
- 7. UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- 8. INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.

LABEL LEGEND

PIPE LABELS

UTILITY LENGTH

UTILITY SIZE

UTILITY TYPE

XXLF - XX" XX

S=X.XX%

SLOPE (WHERE APPLICABLE)

STRUCTURE LABELS

UTILITY TYPE (FP=FIRE PROTECTION, S=SANITARY, SD=STORM DRAINAGE, W=WATER)

STRUCTURE TYPE CALLOUT (SEE BELOW)

ID NUMBER (WHERE APPLICABLE)

XX XX-XX
RIM=XX.XX

IE IN=XX.X STRUCTURE INFO (WHERE APPLICABLE)
IE OUT=XX.X

STRUCTURE TYPES

CALLOUT
CB
CATCH BASIN, PER DETAIL 2/C4.1

CO CLEANOUT, PER DETAIL 4/C4.1
DS DOWNSPOUT, SEE PLUMBING PLANS FOR CONTINUATION

MH MANHOLE, PER DETAIL 5/C4.1
OF OUTFALL

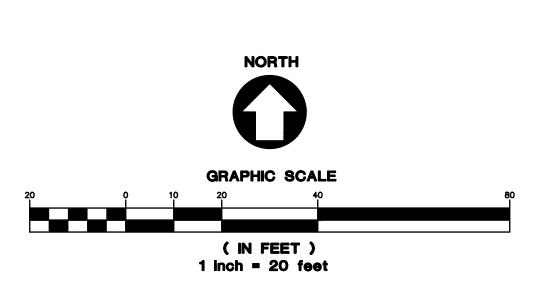
OV OVERFLOW FLOW CONTROL, PER DETAIL 3/C4.1

LEGEND

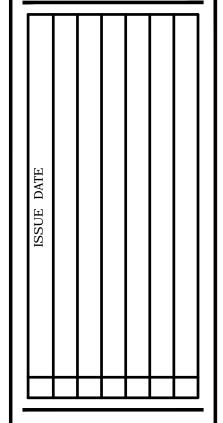
STORM LINE

× STORM NOTES

1 CONSTRUCT STORMWATER FACILITY PER CITY OF WILSONVILLE DETAIL ON SHEET C4.1







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OF

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PARKWAY AVE.
LE, OREGON

GRACE CH 27501 SW PARKY WILSONVILLE, (

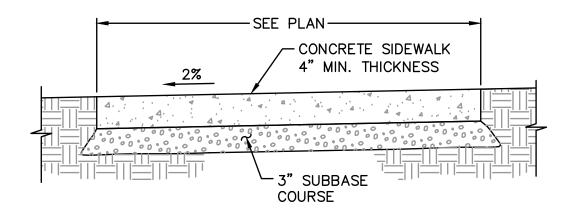
ADDITION

UTILITY PLAN

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ASPHALT PAVEMENT SECTION



CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING, AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY, UNLESS NOTED OTHERWISE.

- 2. CONCRETE SHALL BE 3000 P.S.I AT 28 DAYS, 6 SACK MIX, SLUMP RANGE OF 1-1/2" TO 3".
- 3. PANELS SHALL BE 5 FEET LONG.
- 4. EXPANSION JOINTS TO BE PLACED AT SIDES OF DRIVEWAY APPROACHES, UTILITY VAULTS, WHEELCHAIR RAMPS, AND AT SPACING NOT TO EXCEED 45
- 5. FOR SIDEWALKS ADJACENT TO THE CURB AND POURED AT THE SAME TIME AS THE CURB, THE JOINT BETWEEN THEM SHALL BE A TROWELED JOINT WITH A MINIMUM 1/2" RADIUS.
- SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 6 INCHES IF MOUNTABLE CURB IS USED OR IF SIDEWALK IS INTENDED AS PORTION OF DRIVEWAY. OTHERWISE SIDEWALK SHALL HAVE A MINIMUM THICKNESS OF 4 INCHES.
- DRAIN BLOCKOUTS IN CURBS SHALL BE EXTENDED TO BACK OF SIDEWALK WITH 3" DIA. PVC PIPE AT 2% SLOPE. CONTRACTION JOINT TO BE PLACED OVER

CONCRETE SIDEWALK SCALE: NTS

-BACKFILL TO TOP OF CURB PAVEMENT

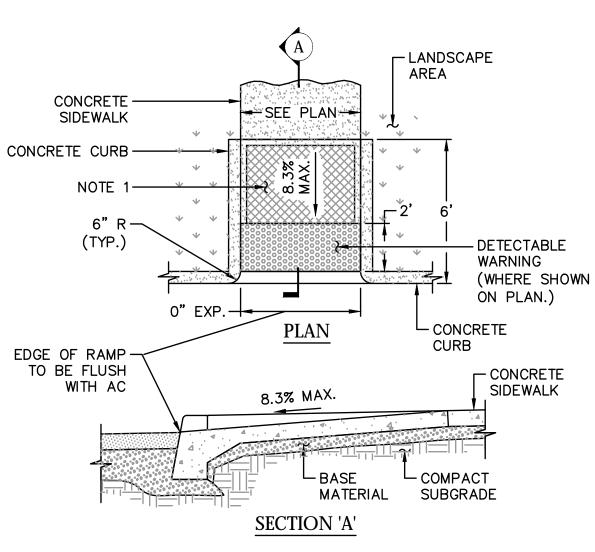
4" OF SUBBASE

COURSE

NOTES: 1. CURB EXPOSURE 'E' = 6", TYP. VARY AS SHOWN ON PLANS OR AS DIRECTED.

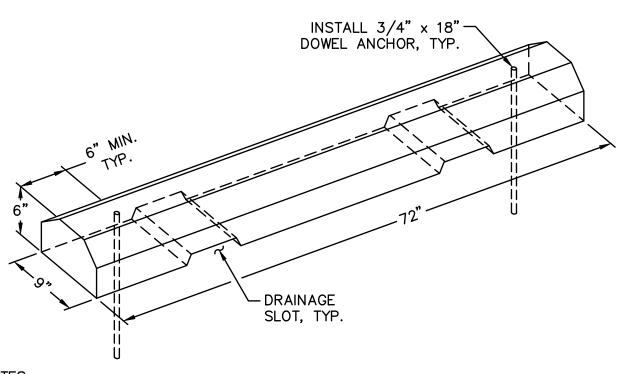
- 2. CONSTRUCT CONTRACTION JOINTS AT 15' MAX. SPACING AND AT RAMPS. CONSTRUCT EXPANSION JOINTS AT 200' MAX SPACING AT POINTS OF TANGENCY AND AT ENDS OF EACH DRIVEWAY.
- 3. TOPS OF ALL CURBS SHALL SLOPE TOWARD THE ROADWAY AT 2% UNLESS OTHERWISE SHOWN OR AS DIRECTED.
- 4. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM WITH CURB MACHINE AS APPROVED BY THE ENGINEER.

CONCRETE CURB - STANDARD SCALE: NTS



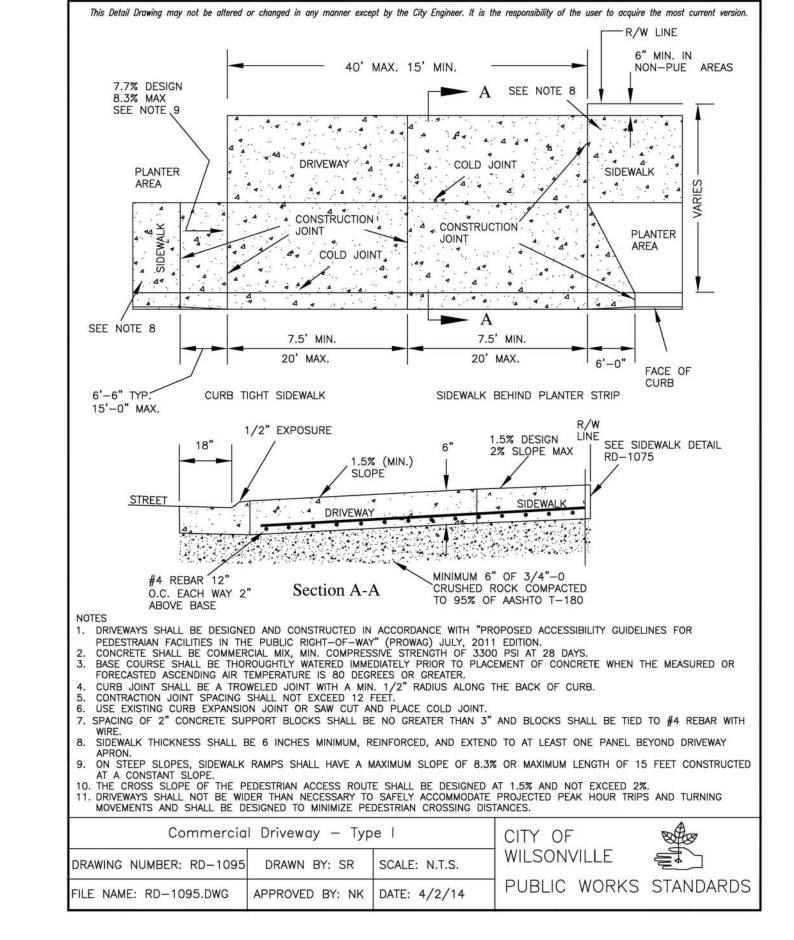
1. PROVIDE RAMP TEXTURING WITH AN EXPANDED METAL GRATE PLACED ON AND REMOVED FROM WET CONCRETE TO LEAVE A DIAMOND PATTERN. EACH DIAMOND SHALL BE 1 1/4" LONG BY 1/2" WIDE WITH THE LONG SECTION AXIS ORIENTED PERPENDICULAR TO THE CURB. THE GROOVES SHALL BE 1/8" DEEP BY 1/4"

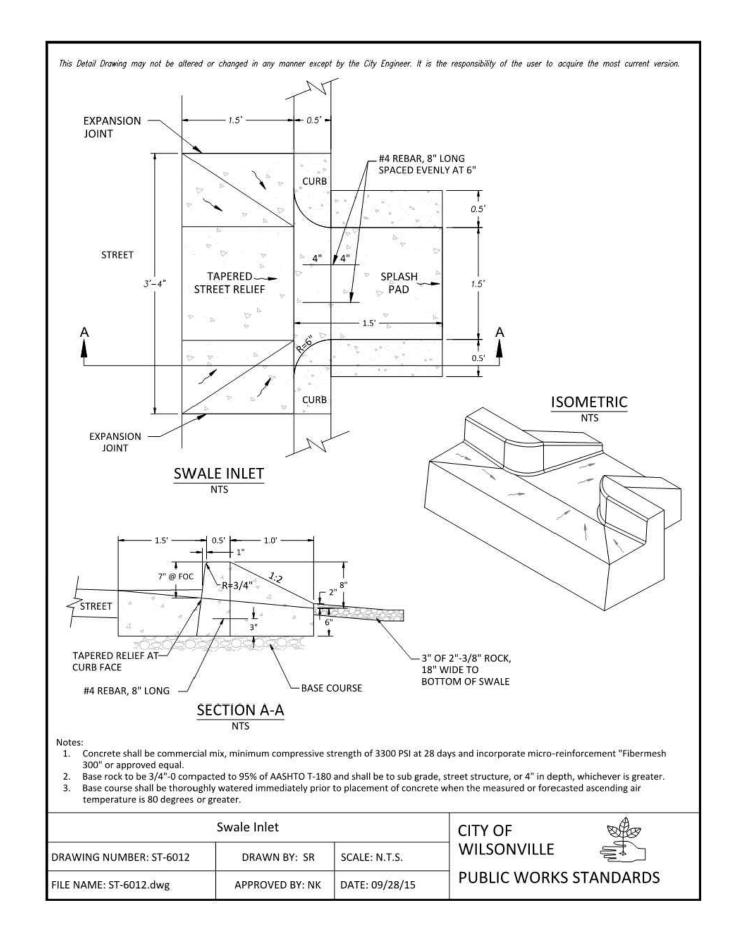
ADA RAMP SCALE: NTS

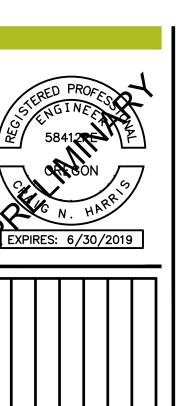


1. DIMENSIONS ARE NOMINAL AND MAY VARY TO CONFORM TO MANUFACTURER'S PRODUCTS APPROVED BY ENGINEER.

PRECAST CONCRETE WHEEL STOP SCALE: NTS







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PORTLAND, OREGON 9722 TEL: 503.226.128 FAX: 503.226.1670 W W W . C I D A I N C . C O M

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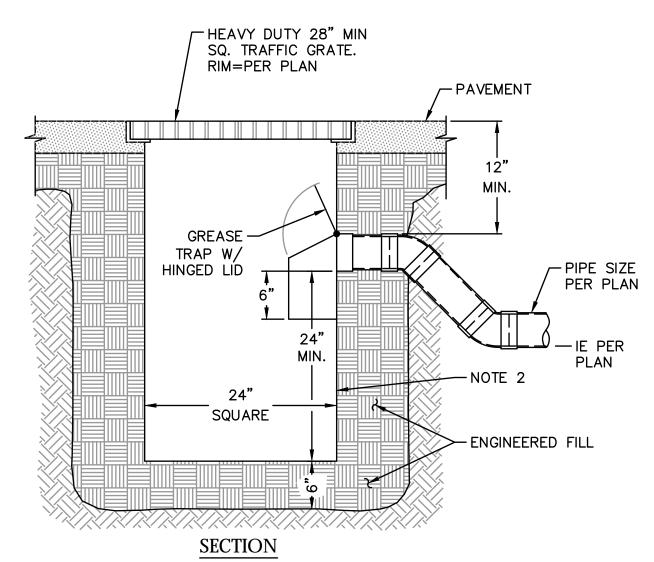
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DETAILS

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TYPICAL PIPE BEDDING AND BACKFILL SCALE: NTS

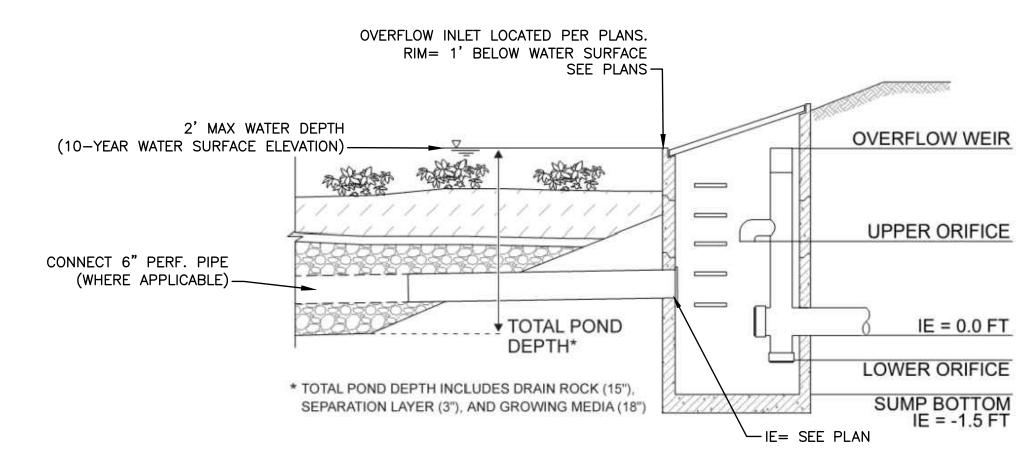


NOTES:

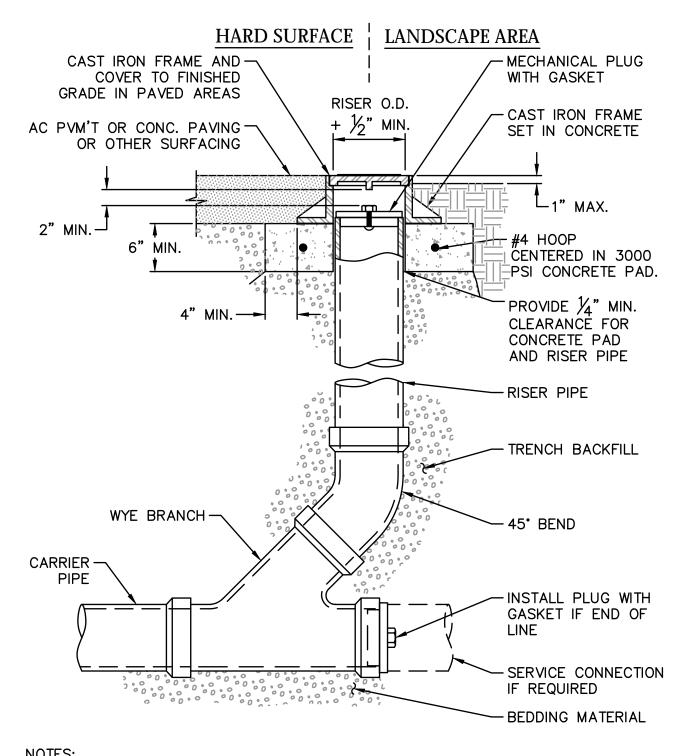
1. CONTRACTOR TO WIDEN EXCAVATION AS REQUIRED TO OBTAIN COMPACTION WITH CONTRACTORS COMPACTION EQUIPMENT.

2. 1/4" STEEL PLATE, BITUMINOUS COATED. AS MANUFACTURED BY GIBSON STEEL BASINS OR APPROVED EQUAL.

TRAPPED CATCH BASIN SCALE: NTS



OVERFLOW INLET SCALE: NTS



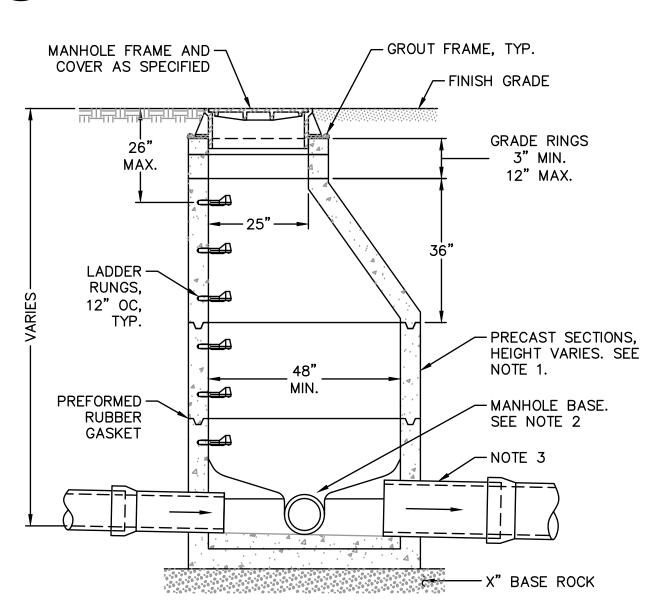
NOTES: 1. CAST IRON FRAME AND COVER SHALL MEET H-20 LOAD REQUIREMENT.

2. FOR CARRIER PIPE SIZE 6"\$\Phi\$ AND LESS, PROVIDE RISER PIPE SIZE TO MATCH CARRIER PIPE.

3. FOR CARRIER PIPE SIZE 8"Ø AND LARGER, RISER PIPE SHALL BE 6"Ø.

4. RISER PIPE MATERIAL TO MATCH CARRIER PIPE MATERIAL.

STANDARD CLEANOUT (COTG)



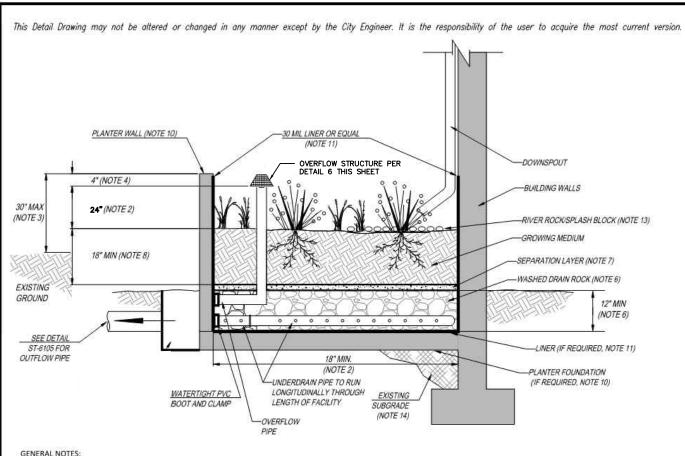
NOTES:

1. ALL PRECAST SECTIONS SHALL CONFORM TO REQUIREMENTS OF ASTM C-478.

2. MANHOLE BASE MAY BE PRECAST OR CAST IN PLACE. SEE STANDARD MANHOLE BASE DETAILS.

3. ALL CONNECTING PIPES SHALL HAVE FLEXIBLE, GASKETED AND UNRESTRAINED JOINT WITHIN 18" OF MANHOLE VAULT..

STANDARD MANHOLE SCALE: NTS



1. PROVIDE PROTECTION FROM ALL VEHICLE TRAFFIC, EQUIPMENT STAGING, AND FOOT TRAFFIC IN PROPOSED INFILTRATION AREAS PRIOR TO, DURING AND AFTER CONSTRUCTION. WRAP UNDER-DRAIN IN FILTER FABRIC TO REDUCE TRANSPORT OF FINES.

HEIGHT/SETBACK
-PLANTERS SHALL BE LESS THAN 30" IN HEIGHT ABOVE SURROUNDING AREA
-PLANTERS SHALL BE MINIMUM OF 5 FEET FROM PROPERTY LINE

I. OVERFLOW:
-INLET ELEVATION SHALL ALLOW FOR 4" OF FREEBOARD, MINIMUM

PIPING:
-PERFORATED UNDER-DRAIN PIPING: SHALL RUN LONGITUDINALLY THROUGH LENGTH OF FACILITY, SHALL BE ABS SCH. 40, CAST IRON, OR PVC SCH.40, 6" MINIMUM DIAMETER. PIPING SHALL HAVE 1% GRADE AND FOLLOW THE UNIFORM PLUMBING CODE. PVC NOT ALLOWED ABOVE GROUND. WRAP UNDER-DRAIN IN FILTER FABRICATION. REDUCE TRANSPORT OF FINES.
-OVERFLOW PIPING: SHALL BE ABS SCH.40, CAST IRON, OR PVC SCH.40 AND SHALL NOT BE PERFORATED. MINIMUM DIAMETER IS 6". PIPING SHALL HAVE 1% GRADE AND FOLLOW THE UNIFORM PLUMBING CODE. PVC NOT ALLOWED ABOVE GROUND.

6. DRAIN ROCK:
-SIZE FOR FLOW-THROUGH PLANTER: 1 1/2" - 3/4" WASHED
-DEPTH: 12" MINIMUM

-SEE APPENDIX A FOR SPECIFICATION OR USE SAND/LOAM/COMPOST 3-WAY MIX.
-FACILITY SURFACE AREA MAY BE REDUCED BY 25% WHEN GROWING MEDIA DEPTH IS INCREASED TO 30" OR MORE.

VEGETATION: FOLLOW LANDSCAPE PLANS OR REFER TO PLANTING REQUIREMENTS IN APPENDIX A.

9. VEGETATION: FOLLOW LANDSCAPE PLANS OR REFER TO PLANTING REQUIREMENTS IN APPENDIX A.

10. PLANTER FOUNDATION AND WALLS:
-MATERIALS SHALL BE 4" REINFORCED CONCRETE, STONE, BRICK, OR OTHER DURABLE MATERIAL.
-CONCRETE, BRICK, OR STONE WALLS SHALL BE INCLUDED ON FOUNDATION PLANS.
-INSTALL INVERTED CURB AS NEEDED BETWEEN PLANTER AND ROAD SUBGRADE.
-SUBMIT RETAINING WALL DESIGN IN ACCORDANCE WITH APPLICABLE STRUCTURAL CODES FOR REVIEW AND APPROVAL.

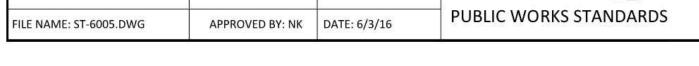
11. WATERPROOF LINER (IF REQUIRED):
-LINER SHALL BE 30 MIL PVC OR EQUIVALENT, FOR FLOW THROUGH FACILITIES.

-A WATERPROOF LINER IS NOT REQUIRED IF THE FOUNDATION OR WALL MATERIAL IS WATERPROOF REINFORCED CONCRETE OR APPROVED EQUAL.

FLOW CONTROL STRUCTURE. SEE DETAIL 6 THIS SHEET

INSTALL RIVER ROCK SPLASH PAD OVER A NON WOVEN GEO TEXTILE FABRIC TO TRANSITION FROM INLETS TO GROWING MEDIUM. SIZE OF ROCK SHALL BE 1" - 3", 4

Stormwater Planter - Filtration CITY OF WILSONVILLE RAWING NUMBER: ST-6005 DRAWN BY: SR | SCALE: N.T.S. PUBLIC WORKS STANDARDS ILE NAME: ST-6005.DWG APPROVED BY: NK DATE: 6/3/16



This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

Stormwater Planters Operations & Maintenance Plan

What to Look For	What to Do
Structural Components, including inlets	s and outlets/overflows, shall freely convey stormwater.
Clogged inlets or outlets	 -Remove sediment and debris from catch basins, trench drains and curb inlets and pipes to maintain at least 50% conveyance capacity at all times.
Cracked Drain Pipes	-Repair/seal cracks. Replace when repair is insufficient.
Check Dams	-Maintain 4 to 10 inch deep rock check dams at design intervals.
Vegetation	
Dead or strained vegetation	 -Replant per original planting plan, or substitute from Appendix A. -Irrigate as needed. Mulch banks annually. DO NOT apply fertilizers, herbicides, or pesticides.
Tall Grass and Vegetation	-Cut back grass and prune overgrowth 1-2 times per year. Remove cuttings
Weeds	-Manually remove weeds. Remove all plant debris.
Growing/Filter Medium, including soil a	and gravels, shall sustain healthy plant cover and infiltrate within 72 hours.
Gullies	-Fill, lightly compact, and plant vegetation to disperse flow
Erosion	-Replace splash blocks or inlet gravel/rock.
Slope Slippage	-Stabilize 3:1 slopes/banks with plantings from Appendix A
Ponding	-Rake, till, or amend to restore infiltration rate.

Summer. Make any structural repairs. Improve filter medium as needed. Clear drain. Irrigate as needed. Fall. Replant exposed soil and replace dead plants. Remove sediment and plant debris. Winter. Monitor infiltration/flow-through rates. Clear inlets and outlets/overflows to maintain conveyance. Spring. Remove sediment and plant debris. Replant exposed soil and replace dead plants. Mulch. All seasons. Weed as necessary.

Maintenance Records: Record date, description, and contractor (if applicable) for all structural repairs, landscape maintenance, and facility cleanout activities. Keep work orders and invoices on file and make available upon request of the inspector.

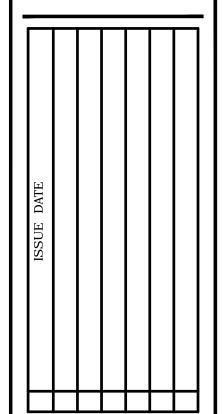
Access: Maintain ingress/egress to design standards. Infiltration/Flow Control: All facilities shall drain within 72 hours. Record time/date, weather, and site conditions when ponding

Pollution Prevention: All sites shall implement best management practices to prevent hazardous or solid wastes or excessive oil and sediment from contaminating stormwater. Contact ______ for immediate assistance responding to spills. Record time/date, weather, and site conditions if site activities contaminate stormwater. Vectors (Mosquitoes & Rodents): Stormwater facilities shall not harbor mosquito larvae or rats that pose a threat to public

health or that undermine the facility structure. Monitor standing water for small wiggling sticks perpendicular to the water's surface. Note holes/burrows in and around facilities. Call Clackamas County Vector Control for immediate assistance to eradicate vectors. Record time/date, weather, and site conditions when vector activity observed.

Stormwater Planter O & M Plan CITY OF WILSONVILLE **E**\$_ DRAWING NUMBER: ST-6015 DRAWN BY: SR SCALE: N.T.S. PUBLIC WORKS STANDARDS APPROVED BY: NK DATE: 10/8/14 FILE NAME: ST-6015.DWG





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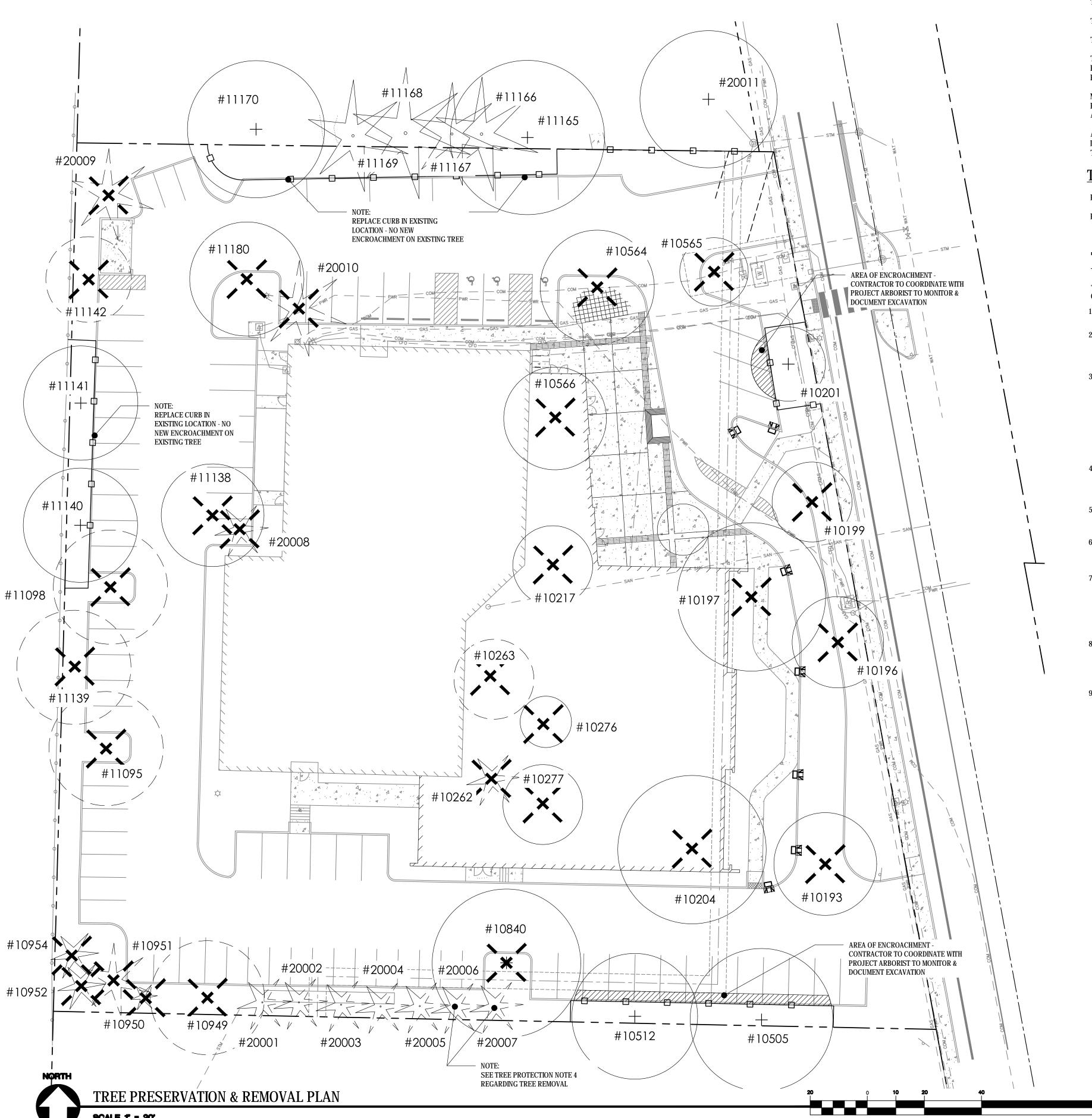
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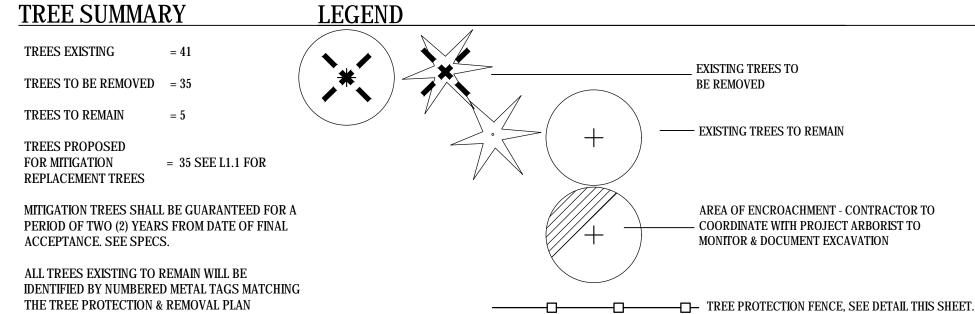
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DETAILS

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TREE REPLACEMENT COST ESTIMATE

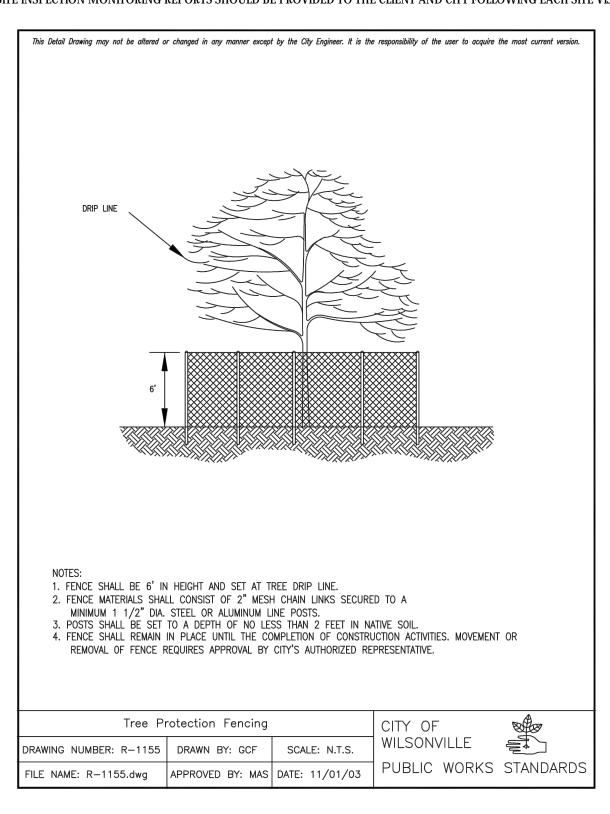
PROPOSED 2" CAL. DECIDUOUS TREES = 31 @ \$ 600.00 = \$18,600.00

PROPOSED 6'-0" EVERGREEN TREES = 4 @ \$ 400.00 = \$1,600.00

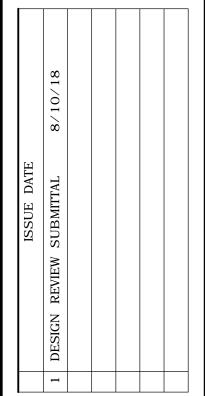
TREE PROTECTION NOTES:

THE ON SITE TREES PLANNED FOR RETENTION AND OFF SITE TREES ADJACENT TO THE PROJECT SITE WILL NEED SPECIAL CONSIDERATION TO ASSURE THEIR PROTECTION DURING CONSTRUCTION. TREE PROTECTION MEASURES INCLUDE:

- 1. PRECONSTRUCTION CONFERENCE. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER TO REVIEW TREE PROTECTION MEASURES AND ADDRESS QUESTIONS ON SITE PRIOR TO THE START OF CONSTRUCTION ACTIVITY.
- 2. FENCING. TREES TO REMAIN ON SITE SHALL BE PROTECTED BY INSTALLATION OF TREE PROTECTION FENCING AS DEPICTED ON THE TREE PRESERVATION AND REMOVAL PLAN IN ORDER TO PREVENT INJURY TO TREE TRUNKS OR ROOTS, OR SOIL COMPACTION WITHIN THE ROOT PROTECTION AREA. FENCES SHALL BE A MINIMUM 6 FOOT HIGH 2 INCHCHAIN LINK MESH SECURED TO A MINIMUM 1.5 INCH STEEL OR ALL MINIMUM POSTS STEEL ON CONCRETE BLOCKS OR DRIVEN INTO THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH A QUALIFIED ARBORIST PRIOR TO OPENING, ADJUSTING, OR REMOVING TREE PROTECTION FENCING.
- 3. TREE PROTECTION ZONE. WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR BENEATH THE DRIPLINE OF ANY PROTECTED
 - a) GRADE CHANGE OR CUT AND FILL;
 - b) NEW IMPERVIOUS SURFACES;
 - c) UTILITY OR DRAINAGE FIELD PLACEMENT;
 - d) STAGING OR STORAGE OF MATERIALS AND EQUIPMENT; OR E) VEHICLE MANEUVERING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER PRIOR TO WORKING BENEATH PROTECTED TREE DRIPLINES. ROOT PROTECTION ZONES MAY BE ENTERED FOR TASKS
 LIKE SURVEYING, MEASURING, AND, SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS.
- 4. TREES TO BE REMOVED SHALL BE CLEARLY IDENTIFIED WITH TREE MARKING PAINT OR OTHER METHODS APPROVED IN ADVANCED BY THE PROJECT ARBORIST. THE STUMP FROM TREES #20006 AND
- #20007 SHALL EITHER REMAIN IN PLACE, BE REMOVED BY STUMP GRINDING, OR EXTRACTED FROM THE GROUND UNDER ARBORIST SUPERVISION, IN ORDER TO HELP MINIMIZE IMPACTS TO THE LIKELY INTERCONNECTED ROOTS OF PROTECTED TREE #10840.
- 5. PRUNING MAY BE NEEDED TO PROVIDE OVERHEAD CLEARANCE AND TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST CAN HELP IDENTIFY WHERE PRUNING IS NECESSARY ONCE TREES RECOMMENDED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS PREPARED FOR CONSTRUCTION. TREE REMOVAL AND PRINING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.
- 6. DEMOLITION. IF ROOTS OF PROTECTED TREES MEASURING 1 INCH OR LARGER IN DIAMETER ARE REVEALED DURING THE DEMOLITION OF EXISTING INFRASTRUCTURE, THE CONTRACTOR SHALL COORDINATE WITH A QUALIFIED ARBORIST WITHIN 24 HOURS OF EXPOSING ROOTS. THE ARBORIST SHALL ASSESS THE EXPOSED ROOTS AND PROVIDE ON THE GROUND RECOMMENDATIONS AND DOCUMENT ALLOWED ROOT PRUNING OR ROOT PROTECTION MEASURES.
- 7. EXCAVATION. EXCAVATION WITHIN THE ALLOWED ENCROACHMENT AREAS IDENTIFIED ON THE TREE PRESERVATION AND REMOVAL PLAN SHALL BE CONDUCTED UNDER THE ON STIE SUPERVISION OF A QUALIFIED ARBORIST. EXCAVATION IMMEDIATELY ADJACENT TO ROOTS LARGER THAN 2 INCHES IN DIAMETER BENEATH THE DRIPLINE OF RETAINED TREES SHALL BE BY HAND OR OTHER NON INVASIVE TECHNIQUES TO ENSURE THAT ROOTS ARE NOT DAMAGED. WHERE FEASIBLE, MAJOR ROOTS SHALL BE PROTECTED BY TUNNELING OR OTHER MEANS TO AVOID DESTRUCTION OR DAMAGE. EXCEPTIONS CAN BE MADE IF, IN THE OPINION OF THE QUALIFIED ARBORIST, UNACCEPTABLE DAMAGE WILL NOT OCCUR TO THE TREE. WHERE SOIL GRADE CHANGES AFFECT THE ROOT PROTECTION AREA, THE GRADE LINE SHOULD BE MEANDERED WHEREVER PRACTICABLE. THIS WILL REQUIRE ON SITE COORDINATION TO ENSURE A REASONABLE BALANCE BETWEEN ENGINEERING, CONSTRUCTION, AND THE NEED FOR TREE PROTECTION.
- 8. LANDSCAPING. FOLLOWING CONSTRUCTION AND WHERE LANDSCAPING IS DESIRED, APPLY APPROXIMATELY 3 INCHES OF MULCH BENEATH THE DRIPLINE OF PROTECTED TREES IN A MINIMUM 5 FOOT RADIUS AROUND TREE TRUNKS; DO NOT PILE MULCH DIRECTLY AGAINST TREE TRUNKS. SHRUBS AND GROUND COVER PLANTS MAY BE PLANTED WITHIN THE GRASS FREE MULCHRINGS. IF IRRIGATION IS USED, USE DRIP IRRIGATION OR LOW FLOW EMITTERS INSTALLED AT NATIVE GRADE (NO TRENCHING) ONLY BENEATH THE DRIPLINES OF PROTECTED TREES. LANDSCAPING SHALL BE PERFORMED BY HAND AND WITH HAND TOOLS ONLY BENEATH PROTECTED TREE DRIPLINES; ADJUST THE LOCATION OF PLANTS TO AVOID TREE ROOT IMPACTS.
- 9. QUALITY ASSURANCE. A QUALIFIED ARBORIST SHOULD SUPERVISE PROPER EXECUTION OF THIS PLAN ON CALL DURING CONSTRUCTION ACTIVITIES THAT COULD ENCROACH ON RETAINED TREES. TREE PROTECTION SITE INSPECTION MONITORING REPORTS SHOULD BE PROVIDED TO THE CLIENT AND CITY FOLLOWING EACH SITE VISIT PERFORMED DURING CONSTRUCTION







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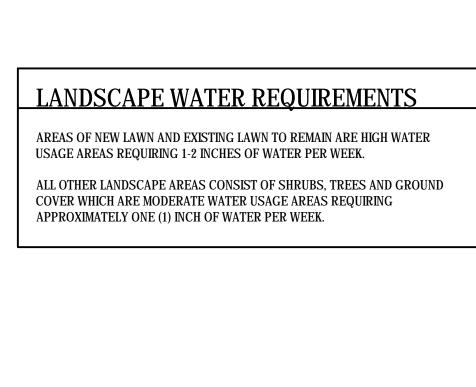
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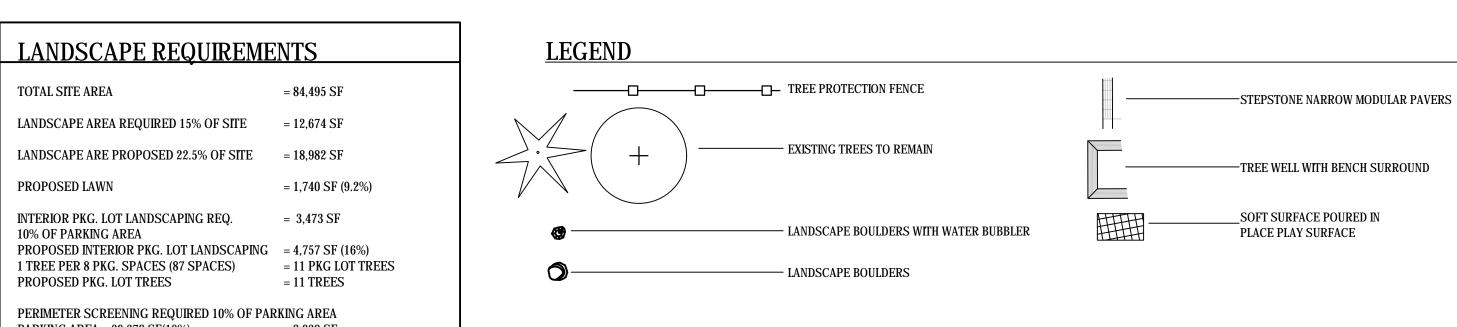
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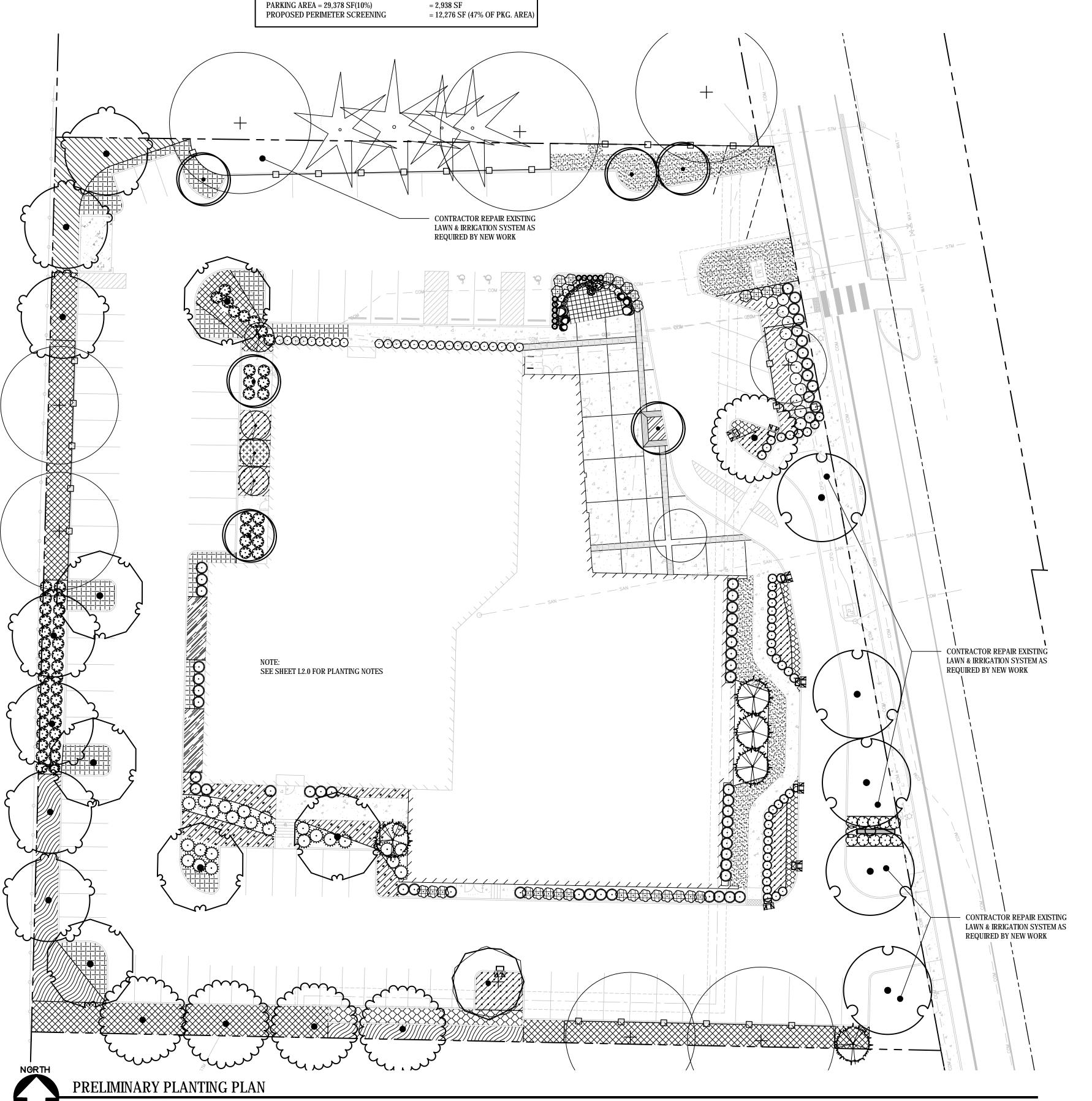
TREE PRESERVATION & REMOVAL PLAN

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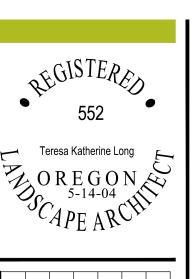
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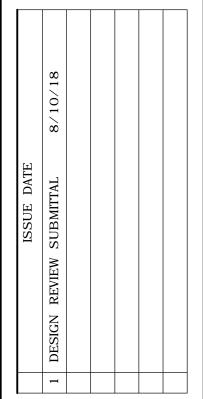






PLANT SCHEI TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
$\left\langle \cdot \right\rangle$	AF	5	ACER RUBRUM `FRANKSRED` TM	RED SUNSET MAPLE	2" CAL.	
$\overline{(\cdot)}$	GI	7	GLEDITSIA TRIACANTHOS INERMIS `TRUESHADE`	THORNLESS HONEY LOCUST	2" CAL.	
$\overline{\bigcirc}$	MS	1	MAGNOLIA VIRGINIANA	SWEET BAY	2" CAL.	
	NW	5	NYSSA SYLVATICA `WILDFIRE`	WILDFIER TUPELO	2" CAL.	
·	PJ	6	PARROTIA PERSICA 'JL COLUMNAR' P.A.F.	PERSIAN SPIRE PARROTIA	2" CAL.	
	UP	6	ULMUS X `PIONEER`	PIONEER ELM	2" CAL.	
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	СР	5	CHAMAECYPARIS NOOTKATENSIS `PENDULA`	WEEPING NOOTKA FALSE CYPRESS	6` HT.	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	AC	4	ACER CIRCINATUM	VINE MAPLE	10 GAL.	
	СВ	28	CISTUS X CYPRIUS	BICOLOR ROCK ROSE	2 GAL.	
0	CK2	41	CORNUS SERICEA `KELSEYI`	KELSEYI DOGWOOD	2 GAL.	
0	JS	25	JUNIPERUS CHINENSIS `SAN JOSE`	SAN JOSE JUNIPER	2 GAL.	
\odot	LM	11	LONICERA PILEATA `MOSS GREEN`	MOSS GREEN HONEYSUCKLE	1 GAL.	
Sec. 3	MD	56	MICROBIOTA DECUSSATA	SIBERIAN CARPET CYPRESS	2 GAL.	
\odot	SR	26	SARCOCOCCA RUSCIFOLIA	FRAGRANT SARCOCOCCA	2 GAL.	
\odot	VO	13	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL.	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
	CZ	9	COREOPSIS VERTICILLATA `ZAGREB`	ZAGREB THREAD LEAF COREOPSIS	1 GAL.	
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
WANTED THE STATE OF THE STATE O	CK	11	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER`	FEATHER REED GRASS	1 GAL.	
Manager Manage	MP	57	MISCANTHUS SINENSIS `PURPURESCENS`	FLAME GRASS	1 GAL.	
\bigcirc	PH	9	PENNISETUM ALOPECUROIDES `HAMELN`	HAMELN DWARF FOUNTAIN GRASS	1 GAL.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACI
	AU	176	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	1 GAL.	24" o.c.
	CD3	2,362	CAREX DENSA	DENSE SEDGE	4" POT	6" o.c.
	++ ++ ++ ++ ++ ++ ++	394	CAREX RUPESTRIS	CURLY SEDGE	4" POT	6" o.c.
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	FS	357	FRAGARIA X `LIPSTICK`	FALSE STRAWBERRY	4" POT	24" o.c.
	GS	290	GAULTHERIA SHALLON	SALAL	4" POT	24" o.c.
	JP2	2,982	JUNCUS PATENS	CALIFORNIA GRAY RUSH	4" POT	6" o.c.
	LM2	47	LIRIOPE MUSCARI `MONROE WHITE`	MONROE WHITE LIRIOPE	1 GAL.	12" o.c.
	MO	72	MAHONIA AQUIFOLIUM `ORANGE FLAME`	OREGON GRAPE	1 GAL.	24" o.c.
	MN	800	MAHONIA NERVOSA	OREGON GRAPE	4" POT	24" o.c.
	6 R3	84	ROSA X `NOALA`	FLOWER CARPET CORAL GROUNDCOVER ROSE	1 GAL.	36" o.c.
	RE	82	RUBUS CALYCINOIDES `EMERALD CARPET`	EMERALD CARPET CREEPING RASPBERRY	4" POT	24" o.c.
			LAWN, SEE SPECS	•	<u> </u>	1





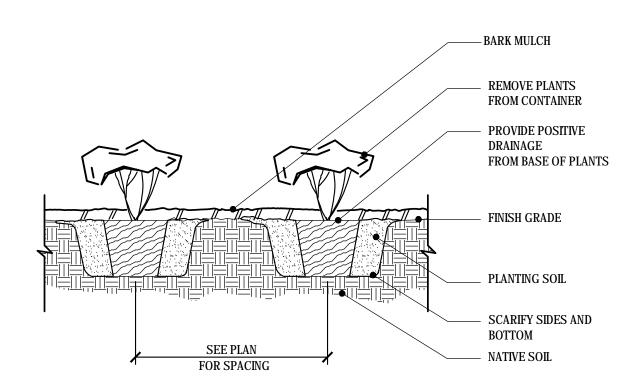
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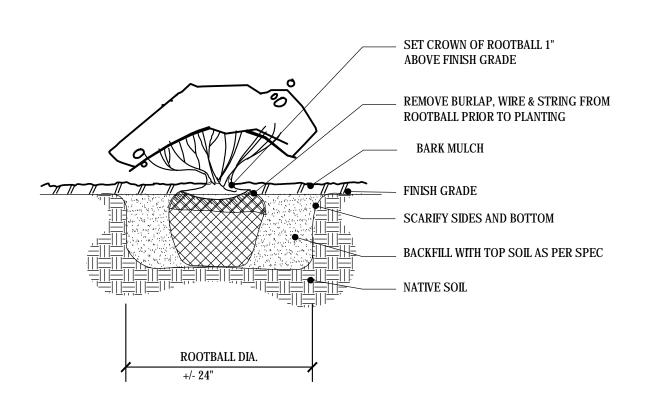
OREGON WILSONVILLE, 27501

PLANTING PLAN

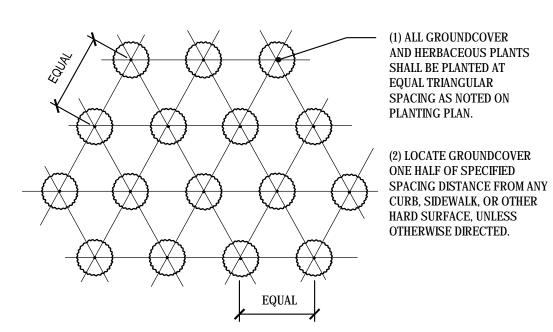


1 GROUNDCOVER & HERBACEOUS PLANT PLANTING DETAIL

L2.0 | SCALE: NTS



4 SHRUB PLANTING
L2.0 SCALE: NTS



2 GROUNDCOVER & HERBACEOUS PLANT PLANTING PLAN

L2.0 | SCALE: NTS

SPECIFIED TREE - (2) 2" DIAM. STAKES, AS SPECIFIED. STAKING PLAN ATTACH TO TREE WITH CHAINLOCK #4 OR APPROVED EQUAL. STAIN 120 deg. TREE STAKES AS PER SPEC. SET CROWN OF ROOTBALL MIN. 1 ABOVE FINISH GRADE REMOVE BURLAP, WIRE BASKET & STRING FROM ROOTBALL PRIOR TO BACKFILLING & AFTER STAKING - TOP DRESS WITH BARK MULCH DEPTH - FORM BARK MULCH IN 3" HT. CIRCULAR SAUCER, SOAK SAUCER WITH WATER AFTER PLANTING BARK MULCH CIRCLE SHALL EXTEND 6" BEYOND TREE STAKES IN TURF AREAS - FINISH GRADE - BACKFILL WITH TOP SOIL AS PER SPEC - UNDISTURBED NATIVE SOIL ROOTBALL DIA. ▶ PLUS 24" STAKES SHALL EXTEND MINIMUM OF SCARIFY SIDES THREE FEET INTO UNDISTURBED SOIL & BOTTOM

5 CONIFER TREE PLANTING DETAIL

12.0 SCALE: NTS

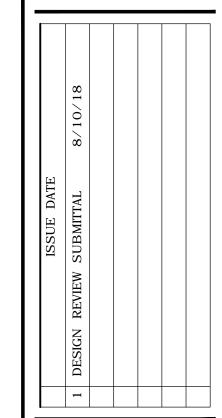
DO NOT CUT MAIN LEADER STAKING PLAN (2) 2" DIAM. STAKES, AS SPECIFIED. 🍬 🔒 120 deg. ATTACH TO TREE WITH CHAINLOCK #4 OR APPROVED EQUAL. STAIN TREE STAKES AS PER SPEC. SET CROWN OF ROOTBALL MIN. 1" ABOVE FINISH GRADE TOP DRESS WITH BARK MULCH FORM BARK MULCH IN 3" HT. CIRCULAR SAUCER, SOAK SAUCER WITH WATER AFTER PLANTING BARK MULCH CIRCLE SHALL EXTEND 6" BEYOND TREE STAKES IN TURF AREAS BACKFILL WITH TOP SOIL AS PER SPEC NATIVE SOIL STAKES SHALL EXTEND MINIMUM OF •ROOTBALL DIA. THREE FEET INTO UNDISTURBED SOIL PLUS 24" SCARIFY SIDES & BOTTOM REMOVE BURLAP, WIRE BASKET & STRING FROM ROOTBALL PRIOR TO BACKFILLING & AFTER STAKING

3 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS

PLANTING NOTES

- 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF WILSONVILLE STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- 2. VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- 3. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- 4. PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN LE. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 5. VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- 6. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- 7. MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- 8. COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- 9. INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF WILSONVILLE STANDARDS PRIOR TO SITE WORK AND LANDSCAPE
- 10. CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL AS PER THE SPECIFICATIONS.
- 11. CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION.
- 12. CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS.
- 13. CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- 14. ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- 15. ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR DESIGN BUILD REQUIREMENTS.
- 16. CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURE'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- 17. CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL. SEE SPECS.
- 18. PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- 19. ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. ALL TREES SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE.





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CHAPEL

M PARKWAY AVE.

750

PLANTING DETAILS

L2.0
170288.03

2018 CIDA, P.C./CIDA ALL RIGITS RESERVED

 $\fbox{1}$ AUTOMATIC CONTROLLER WITH LOCKING ACCESS DOOR. 2" DIA. P.V.C. CONDUIT FOR COMMON AND CONTROL WIRES TO 5' BEYOND EDGE OF BUILDING.

CONDUIT FOR 120 VOLT ELECTRICAL SERVICE WITH JUNCTION BOX.

(4) BUILDING WALL.

5 BUILDING FLOOR.

6 FINISH GRADE.

7) SWEEP EL ON ALL ELECTRICAL CONDUIT.

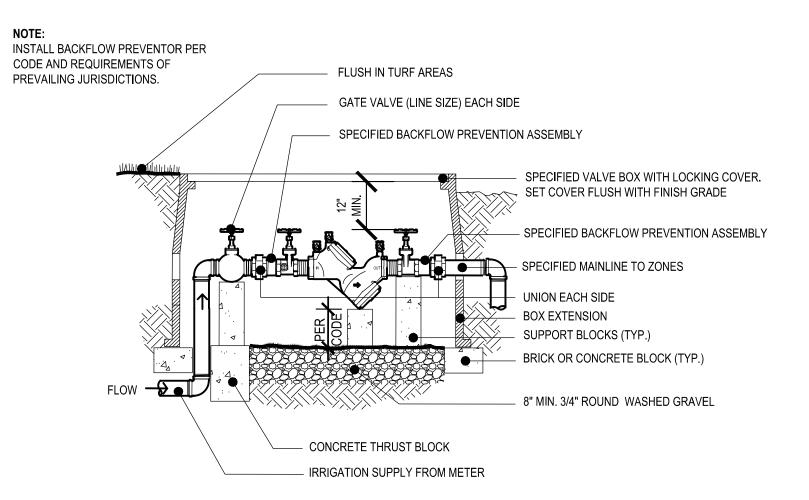
ALL WIRES TO BE INSTALLED AS PER LOCAL CODE.

2 VERIFY LOCATION PRIOR TO INSTALLATION.

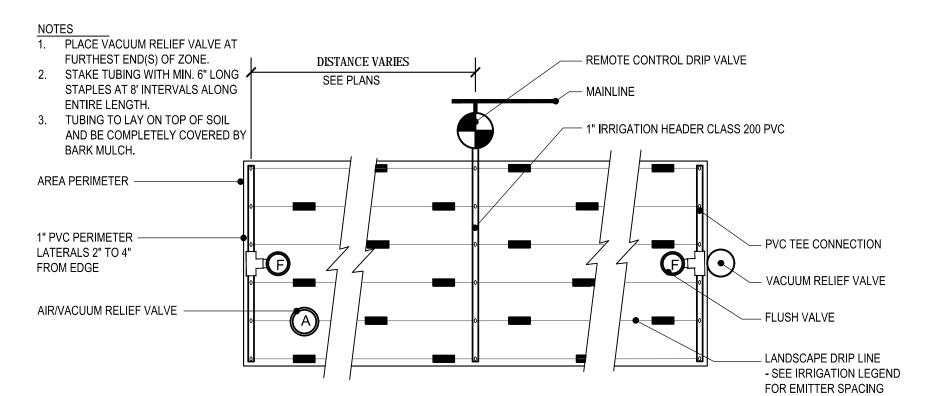
3 INSTALL CONTROLLER PER MANUFATURER'S INSTRUCTIONS.

WALL MOUNTED CONTROLLER

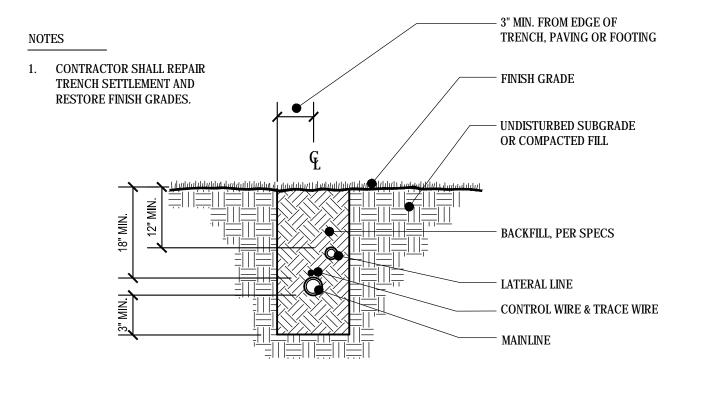
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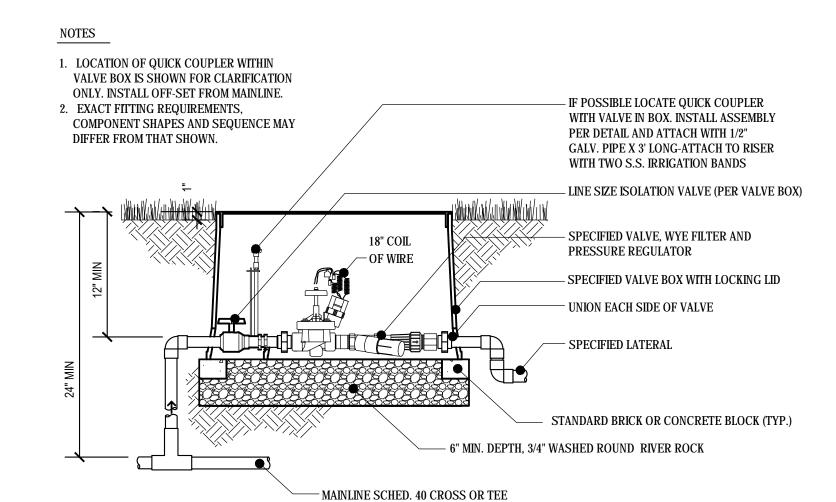
BACKFLOW PREVENTION DEVICE ASSEMBLY



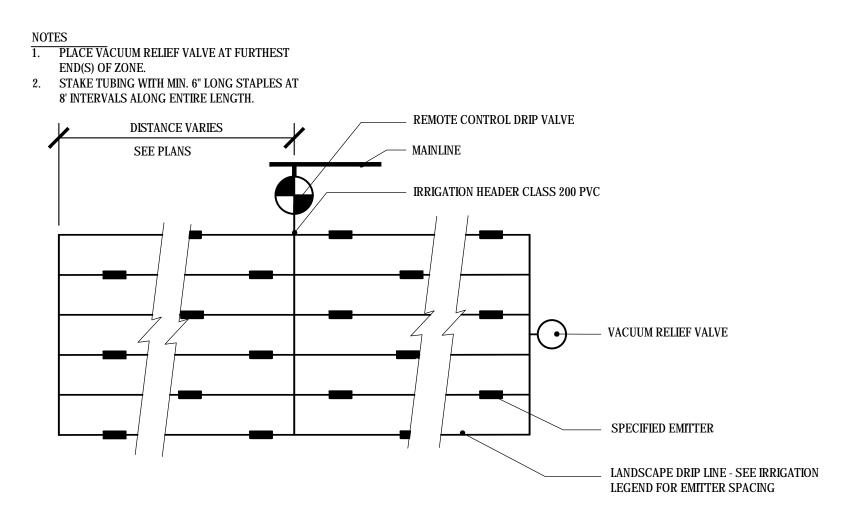




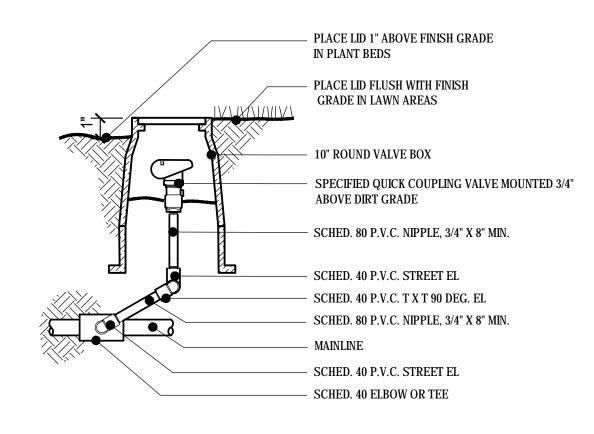




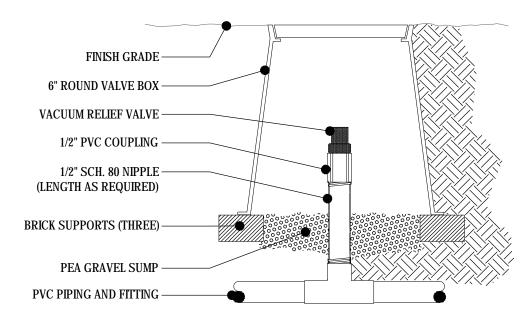


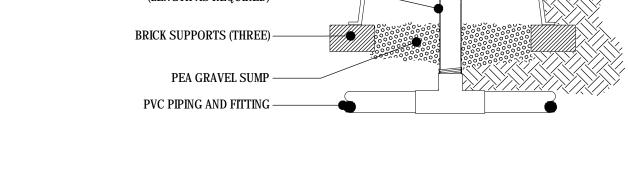




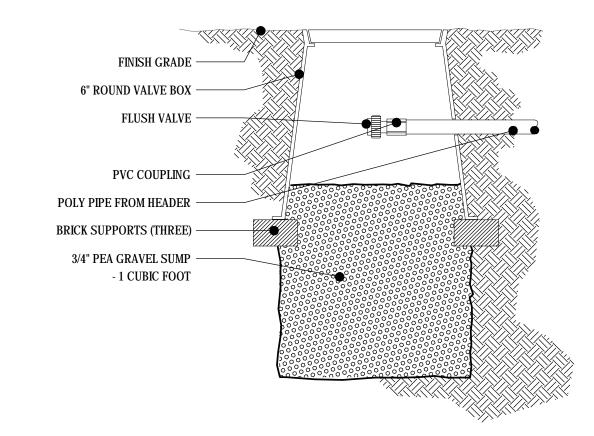




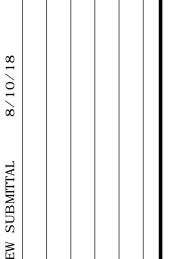


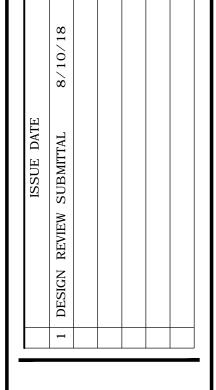




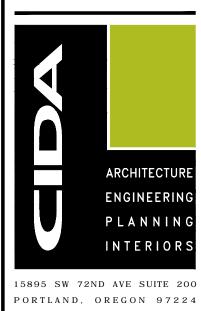








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OREGON

WILSONVILLE, 27501

170288.03

IRRIGATION DETAILS

<u>General</u>

- 1. Municipal, County, State and Federal laws, regarding uses and regulations governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the contractor.
- 2. The Contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The location of utilities, structures, services shown on these plans are approximate only. Any discrepancies between these plans and the actual field conditions shall be reported to the Owner's representative.
- 3. The Contractor shall locate and protect all existing utilities, features and plants on and adjacent to the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.
- 4. The Contractor shall obtain all necessary valid licenses, permits, and insurance required to perform the work indicated herein before commencing work, and shall be responsible for coordinating work with all parties involved, including jurisdictional agencies.
- 5. The Contractor shall use all means necessary to protect the public at all times during the construction process.
- 6. In the event of conflict between pertinent codes, regulations, structural notes, and/or requirements, or the referenced standards of these Specifications, the provisions of the more stringent shall govern.
- 7. Weather Limitations: Soil work shall be performed only when the weather conditions do not detrimentally affect the quality of work.

Mandatory Site Inspection Schedule

1. Schedule for Mandatory site inspection procedures. The mandatory site inspections include but are not limited to the following:

Pre-Construction Site Meeting

Contractor shall be notified a minimum of 48 hours prior to meeting to review site conditions, proposed construction and construction schedule, and review construction specifications prior to commencement of construction operations.

Rough Grading Inspection

Contractor shall notify Owner's Representative a minimum 48 hours prior to request for inspection of rough soil grades. All rough grading operations shall be completed per specifications and prepared for inspection. No topsoil placement or backfilling in areas to be landscaped should occur until written approval by Owner's Representative has been issued.

Open Trench Irrigation Inspection

Contractor shall notify Owner's Representative 24 hours prior to inspection for written approval of irrigation trench depths, piping conditions, and pressure testing. (Refer to Irrigation Specification for inspection procedures)

Plant Material Inspection

Plant material quality and layout inspection and written approval shall occur with 24 hours notice to Owner's Representative prior to installation of any plant material. (Refer to Planting Specification for inspection procedures)

<u>Final Landscape Areas and Irrigation Performance Inspection</u>

Contractor shall notify Owner's Representative 48 hours prior to inspection for approval of landscape and irrigation work. Irrigation operations and coverage shall be inspected. Plant quality and layout shall be inspected. Written approval shall be issued upon inspection approval of specified construction. (Refer to relative specification sections)

Erosion Control

- 1. Provide and maintain positive drainage patterns throughout the construction process, and as directed by the Owner's Representative if weather or construction activity creates drainage conflicts detrimental to construction process or environmental conditions. Comply with jurisdictional requirements.
- 2. Maintain erosion measures throughout the landscaping process. Restore erosion control measures disturbed by landscaping operations. Remove only upon approval of Owner's Representative.

$\underline{\textbf{Invasive Weed Control Prior to Construction}}$

1. Verify and identify conditions requiring eradication of invasive weeds and grasses prior to existing soil surface disturbance as directed by Owner's Representative. Stockpiled topsoil shall be treated to eradicate weeds prior to soil ripping and stockpiling. Weed eradication shall include herbicide and non-herbicide methods only administered by a currently licensed applicator. Eradication shall include and is not limited to elimination of the following invasive species from areas to be landscaped:

Cirsium arvense (Canadian Thistle) Lotus corniculatus (Bird's foot Trefoil Convolvulus spp. (Morning Glory) Lythrium salicaria (Purple Loosestrife) Cytisus scoparus (Scotch Broom) Melilotus spp. (Sweet Clover) Dipsacus sylvestris (Common Teasel) Myriophyllum spicatum (Eurasian Milfoil) Equisetum spp. (Horsetail) Phalaris arundinaceae (Reed Canary Grass) Festuca arundinaceae (Tall Fescue) Rubus discolor (Himalayan Blackberry) Hedera helix (English Ivy) Solanum spp. (Nightshade) Holcus canatus (Velvet Grass) Trifolium spp. (Clovers) Lolium spp. (Rye Grasses)

Rough Grade Inspection

- 1. Conditions and quality of rough grade shall be inspected and approved by Owner's Representative prior to the commencement of specified work in areas to be landscaped. The contractor shall then be responsible for completion of activities specified herein, and defined on the plan.
- 2. In all plant bed areas the sub-grade shall be free of unsuitable material such as stumps, roots, rocks, concrete, asphalt, or metals, for a minimum depth of 24 inches, and in all lawn or seeded areas the sub-grade shall be free of unsuitable material for a minimum depth of 12 inches
- The Owner's Representative, at their discretion, shall direct further rough grading or soil preparation if specified activities have not created a surface satisfactory for further work to commence. Compensation for additional surface work created by conditions unknown at the outset and as directed in writing by the Owner's Representative shall be negotiated at the time of the directive, and prior to the commencement of particular construction activities.

Finish Grading

1. Verify that rough grade in landscape areas is sufficiently below proposed final grade for planting beds and lawn areas to allow for placement of topsoil mix. Refer to grading plans for finish grade references. Verify that grades provide positive drainage at all landscape areas, and slope away from structures at a minimum of 2% slope. Final grades in all landscape areas shall be crowned at center to facilitate proposed drainage.

Installation Of Irrigation Sleeving

1. Sleeving conduit shall be installed at existing and proposed paved areas as per specifications, as directed by the Owner's Representative, or as irrigation installation requirements, prior to preparation for paving construction. Set piping to provide minimum covers of:

18-inch for sleeving beneath walkways;

24-inch for sleeving beneath vehicular traffic or structures.

Mark each end of sleeving with a 2 x 4 stake with 24" exposed, clearly marked 'SLEEVE LOCATION'. Contractor shall maintain staking identification and location throughout construction process. Protect all existing paving when installing sleeving. Restore all paving damaged by sleeve installation.

- 2. Size of sleeving conduit pipe shall be a minimum of two times the diameter of the bell end of the pipe that is to be fed into the sleeve.
- 3. Set sleeving in a compacted bed of material that will not damage the pipe during compaction of surface backfill material.

Design / Build Irrigation Specification

- 1.1 DESIGN BUILD SUBMITTALS AND REQUIREMENTS
- A. Design Criteria: Submitted plan shall meet the following criteria and shall be approved for construction only upon verification that all required criteria have been met.
- 1. Drawings submitted for design approval:
- a. Must clearly illustrate irrigation heads, dripline, valve, controller and point of connection locations. Individual valves and controllers shall be numbered sequentially. The size and maximum flow through each valve and capacity of each controller shall be clearly noted.
- b. Must clearly illustrate pipe sizes from all laterals and mainline pipe.
- c. Drawings must be to a standard measurable engineering scale that is at a minimum of 1"=30-0".
- d. Drawings must be CAD generated.
- e. Drawings must include a legend that describes all symbols and materials represented on the plan.
- f. Drawings must clearly illustrate that the proposed irrigation system meets all performance criteria described by these specifications.
- g. Must utilize graphics that clearly distinguish between lateral and mainline pipe and sleeves under pavement; dripline; manual or automatic control valves, isolation valves and drain valves; irrigation controllers and all other equipment located on the plan.
- B. Irrigation system as designed and installed shall perform within the tolerances and specification of the specified manufacturers.
- C. The system shall be fully adjustable to fine-tune the system performance for specific zones. Indicate water pressure and gallonage parameters at available water source on the required submittal.
- D. Irrigation system shall be designed so that planting beds, sloped banks and lawn zones are on separate control valves to facilitate the different water requirements of each area.
- E. System shall be designed to supply manufacturer's specified minimum operating pressure to furthest emitter from water meter. Water flow through piping shall not exceed a velocity of 5 feet per second.
- F. System shall furnish components to allow operation within manufacturer's specified tolerances for optimum performance. Undersized components shall not be approved for installation.
- 5. Upon completion of the irrigation system installation and as a condition of it's acceptance, deliver to the Owner's representative the following 'As- built' drawings; Three prints and one reproducible sepia of all changes to the irrigation system including a Controller Zone Reference chart. Instruct owner of system components operation, system winterization, and controller adjustment processes. Instruct owner of precipitation requirements and schedule of anticipated controller adjustments as landscape matures.
- 6. Protect existing buildings, walls, pavements, reference points, monuments, and markers on this site. Verify location of and protect all utilities. Protect adjacent property. Protect work and materials of other trades. Protect irrigation system materials before, during, and after installation. In the event of damage, repair or replace items as necessary to the approval of the Owner's representative and at no additional cost to the Owner. Use all means necessary to protect the public from injury at all times.
- 7. Provide warranty for all installed materials and work for one year beyond the date of final acceptance of the irrigation system installation.
- 8. Verify gallonage, pressure, size, and location of service water line. The Contractor shall guarantee an irrigation system that functions to manufacturer's specifications with the source volume and pressure afforded to site. Make arrangements for water shut-off during construction if necessary, notify owner 24 hours prior to suspension of water service.
- 9. Irrigation trenches shall be a depth to provide a minimum cover of 18 inches for sleeving beneath walkways; 18 inches for all pressurized main lines; 36 inches for sleeving beneath asphalt paving, and 12 inches for all lateral lines. Backfill with clean fill void of material injurious to system components. All sleeving under vehicular traffic to be Class 200 PVC, all other sleeving shall be class 200 PVC Locate top of zone valves a minimum of 6" below finish grade.

$10. \ Combine \ wire \ and \ piping \ where \ possible.$

11. Contractor shall follow manufacturer's instructions for solvent welding of PVC pipe and fittings to achieve tight and inseparable joints. Utilize single wrap Teflon tape at all threaded joints.

- 12. Install all valves with fittings that facilitate maintenance removal and place valve boxes at location that are easily serviced but not in conspicuous locations. Locate in planting beds wherever possible, away from mower, edger, or de-thatcher operations.
- 13. Contractor shall install one manual drain valve at discharge side of each remote control valve and at all low points in mainline pipe so as to allow for complete drainage of all main lines. Mark with a painted sleeve cover and indicate locations on As-Built drawings.
- 14. Contractor shall provide backflow prevention as required per local and state codes, installed as per manufacturer's specifications.
- 15. Contractor shall install irrigation controller in accordance with manufacturer's specifications. Verify a 120 V.A.C. electrical source and a min. 1 1/2" conduit from controller location open to all electrical zone valves in field. Weatherproof any exterior wall penetrations.
- 16. Automatic Controller: Rainbird or Hunter capable of meeting Water Sense EPA Criteria with evapotranspiration (ET) or approved equal. Controller shall have ability for all zones to fully operate and meet both normal and specified low volume system requirements as specified herein, and as required by site conditions. Coordinate location in field with owner's representative.
- 17. Install all wire in accordance with manufacturer's specifications with a minimum of 18 inch looped inside valve box at each remote control valve and at the controller. All splices shall occur within valve boxes with water-proof connectors.
- 18. Contractor shall install all sprinkler heads with flexible risers, using flexible polyethylene pipe not to exceed 18 inches in length or PVC swing joints. Tee fittings shall extend horizontally from pipe.
- 19. Contractor shall thoroughly flush irrigation system after piping, risers, and valves are installed but prior to installing sprinkler heads. Thoroughly clean, adjust and balance the installed irrigation system. Adjust spray pattern of nozzles to minimize throw of water onto buildings, walls, roads and parking lots. Adjust controller for optimum performance and precipitation rates utilizing proper water conservation measures.

Topsoil Placement and Soil Preparation

- 1. Contractor shall submit certified topsoil analysis report for owner's approval prior to plant installation.
- 2. Contractor is responsible for any amendments to soil PH, fertility and/or drainage conditions necessary to ensure proper growing conditions for proposed planting.
- 3. Topsoil shall be friable soil from existing stockpiled material or imported, with added soil amendments as specified. It shall not be delivered while in a frozen or muddy condition. Protect from erosion at all times. Utilize existing stockpiled topsoil only under the direction of the Owner's Representative. Do not place topsoil in areas that have not been cleared of weeds listed herein. Topsoil shall meet the following requirements:
 - a. Free of roots and rocks larger than 1/2 inch,
 - b. Free of subsoil, debris, large weeds, foreign matter and any other material
 - deleterious to plant material health.
 - c. Acidity range (pH) of 5.5 to 7.5.d. Containing a minimum of 4 percent and a maximum of 25 percent inorganic
 - matter with decaying matter of 25 percent content by volume or less. e. Textural gradations shall be sand: 45-75%, silt: 15-35%, clay: 05-20%.
- 4. Commercial fertilizer shall be an organic base, complete fertilizer containing in available form by within a minimum of 10N 10P 5K with 50 percent of the available nitrogen in slow-release formula, Webfoot Organic Delux, or approved equal.a
- 5. Compost shall be yard debris compost meeting industry and jurisdictional standards.
- 6. Contractor shall remove all debris, rocks one inch in diameter or larger, sticks, mortar, concrete, asphalt, paper, contaminated soil and any material harmful to plant life, in all planting areas.
- 7. Contractor shall rototill subgrade four inches deep before placing topsoil. Specified imported topsoil shall be placed at a minimum depth of **12**" in all planting areas, floated to a level, sloped or mounded grade between any existing or constructed point on the site, such as curbs, walls, walks, paving and the like. Final soil grades in planting beds shall be 2" below adjacent paving and curbs for mulch application.
- 8. Distribute following soil amendments to all landscape areas in even layers and power rototill or spade to a minimum depth of 4-6 inches into topsoil, as follows;

Planting Beds:

- a. Compost: Apply nine cubic yards per 1000 sq. ft.b. Commercial Fertilizer: Apply 50 pounds per 1000 sq. ft.
- b. Commercial Ferunzer: Apply 50 pounds per 1000 sq. 1

9. Preparation of backfill planting soil mix shall be as follows:

- Thoroughly blend and mix the following proportion of materials while in a moist
 - amon: - Three cubic yards topsoil
- 1 1/2 cubic yards compost
- 1 1/2 cubic yards medium bark
- 10 pounds commercial fertilizerFive pounds bonemeal
- 10. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus materials. Any paved area or surfaces stained or soiled from landscaping materials shall be cleaned with a power sweeper using water under pressure. Building surfaces shall be washed with proper equipment and materials as approved by the Owner's representative.

Stormwater Facility Growing Medium
Furnish imported growing medium for vegetated stormwater facilities conforming to the following:
A.3.1 Standard Blend. Standard Blend for Public and Private Facilities: Use this blend for all vegetated stormwater management facilities, except those in the right-of-way where compaction from foot traffic is a

- a. General Composition: The medium should be a blend of loamy soil, sand, and compost that is 30 to 40 percent compost (by volume) and meets the criteria in this specification.
- b. Analysis Requirements for the Blended Material:
 Particle Gradation: A particle gradation of the
 blended material, including compost, should be in
 conformance with ASTM C1 17/C13 (AASHTO
 T11/T27)
- c. Organic Matter Content: The soil organic matter content should be in conformance with ASTM D2974 (loss on ignition test). The soil organic matter content should be a minimum of 10 percent.
- d. pH: The blended material should have a pH of 5.5 to 7.

A.3.2 General Requirements for the Blended Material: a. The material should be loose and friable.

- b. It should be well mixed and homogenous.
 c. It should be free of wood pieces, plastic, screened and free of stones 1inch (25 mm) or larger in any dimension; free of roots, plants, sod, clods, clay lumps, pockets of coarse sand, paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, building debris, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, acid, and other extraneous materials harmful to plant growth; and free of weeds and invasive
- d. Protection of the Growing Medium: The growing medium should be protected from all sources of contamination, including weed seeds, while at the supplier, in conveyance, and at the project site.
- e. Placement of the Growing Medium: The medium should be placed in loose lifts, not to exceed 8 inches each and each lift should be compacted with a water-filled landscape roller. The material should not otherwise be mechanically compacted. Timing of Plant Installation: Weather permitting, plants should be installed as soon as possible after placing and grading the growing medium in order to minimize erosion and further compaction.
- order to minimize erosion and further compaction.

 f. Erosion Control: Temporary erosion control
 measures may be required until permanent
 stabilization measures are functional, including
 protection of overflow structures.
- g. Protection of the Facility: In all cases, the facility must be protected from foot or equipment traffic that is unrelated to the construction of the facility. Temporary fencing or walkways should be installed as needed to keep workers, pedestrians, and equipment out of the facility. Under no circumstances should materials and equipment be
- stored in the facility.

 h. Sediment protection: Stormwater facilities should be kept clean and should not be used as erosion and sediment control structures during construction.
- i. Wet and Winter Conditions: Placement of the growing medium is not recommended when the ground is frozen or saturated or when the weather is determined to be too wet.

A.3.5 Watering, Fertilizing, and Mulching

- a. Water all plants during establishment to maintain all plantings in a healthy thriving condition.
- b. Fertilizers should generally be avoided in stormwater facilities. Fertilize all plants during establishment as needed with slow release, organic (low material.
- c. Mulch for Vegetated Stormwater Facilities: Mulch cover should be maintained throughout the life of the stormwater facility with minimum thickness of 2 inches in depth.

Seeded Lawn and Fieldgrass Installation

- Seeding operations shall occur only between March 15 and October 15.
- 2. Seeding is not permitted during cold weather (less than 32 degrees F), hot weather (greater than 80 degrees F), when soil temperature is less than 55 degrees F, when ground is saturated, or when wind velocity is greater than 10 mph.
- Contractor shall float rough graded seedbed. Do not disturb natural drainage patterns. Remove rocks, clumps, or debris at surface. Lightly scarify surface.
- Contractor shall apply 10 pounds commercial fertilizer per 1,000 square feet of surface area before spreading seed.
- Lawn Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Northwest Supreme Lawn Mix" grass seed per 1,000 square feet.
- Fieldgrass Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Diamond Green" grass seed per 1,000 square feet.
- 7. The Contractor shall protect and maintain the seeded area by fencing, watering, feeding, reseeding, mowing and repairing as necessary to establish a thick, uniform stand of grass acceptable to the Owner's representative. Contractor to maintain lawn for a minimum of 3 mowings.

Trees, Shrubs, & Groundcover Installation

- Contractor shall guarantee materials and workmanship in general landscape areas for one year from date of conditional acceptance. Plant material shall be in accordance with American Standard for Nursery Stock (ANSI Z60.1), shall comply with State and Federal laws with respect to inspection for insect infestation and plant diseases and shall be free of insect pests and plant diseases.
- 2. Plant materials shall have a minimum of 6 inches of prepared soil under the root ball, and a minimum of 6 inches on each side of the root ball. Tree roots or root ball shall have a minimum of 12 inches of plant soil under the root ball and a minimum of 12 inches on each side of the root ball, or roots. Final grade should maintain root ball slightly above surrounding grade (not to exceed one inch) for bark mulch installation.
- 3. Root control barrier shall be installed in trenches, alongside hardscape structures and utility lines such as sidewalks, curbs, pavement, walls, and concrete located within 15 feet of new trees measured from the trunk. Root barrier is to be DeepRoot UB-24, or approved equal.
- 4. Mulch all planting beds after planting, final raking, grading and leveling of the planting beds with a layer of Hem/Fir medium screened bark mulch as specified on the plans.
- 5. Balled and burlapped trees, boxed trees or bare root trees shall be either guyed or staked as detailed on the plans.
- 6. Remove all dead or dying branches and criss-crossing branches from trees. Do not cut leader.
- 7. Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus material. All paved areas or surfaces stained or soiled from landscape material shall be cleaned with a water-pressure power sweeper. Building surfaces shall be washed with proper equipment and materials as approved by the Owner.
- River Rock Mulch:
 River rock mulch shall be minimum 3/4" to maximum 1-1/2"
 diameter washed round river rock, uniform in size. All fines shall be screened from the aggregate within a one-quarter inch (1/4") tolerance. Color shall be white to light brown.
 Contractor shall provide the owner with samples of river rocks

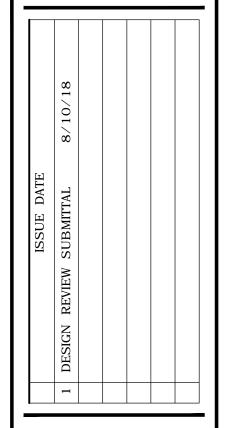
Maintenance

 Contractor shall maintain general landscape areas for one year after accepted completion of project.

for approval prior to installation.

- Maintenance shall include; all grade resettlement, weeding, policing and removal of plant material debris during maintenance period. Remove and replace dead plant material as needed at no cost to owner for maintenance period. Seasonal leaf fall removal is outside the scope of this maintenance specification.
- 3. Any unsatisfactory condition arising during this maintenance period shall be brought to the attention of the Owner's Representative immediately.









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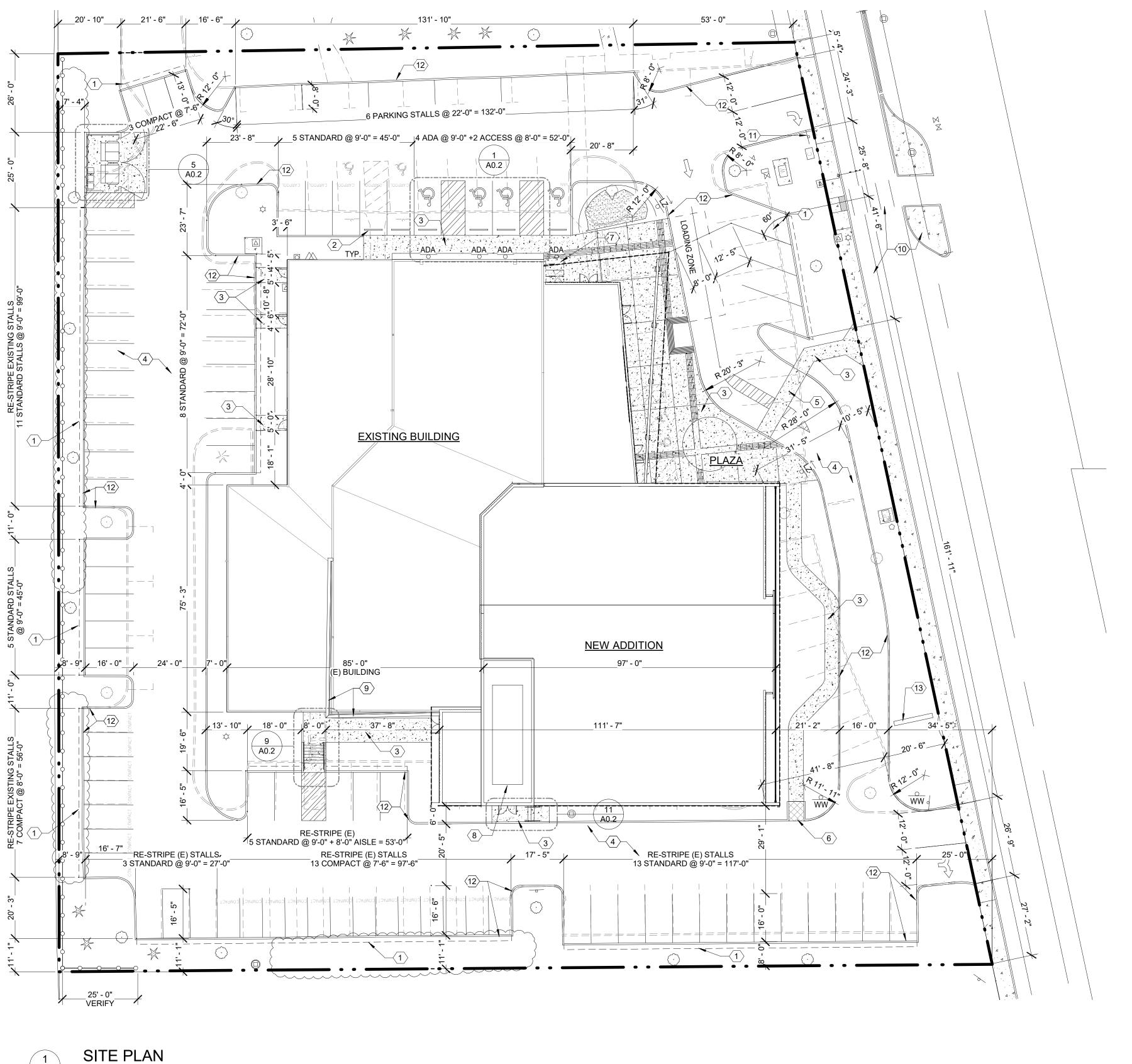
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GRACE CHAPEL 27501 SW PARKWAY AV WILSONVILLE, OREGON

PLANTING & IRRIGATION SPECS

170288.03

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1" = 20'-0"

SITE PLAN NOTES

- CURB RADIUS AT PARKING AREA TO BE 3'-0" UNLESS NOTED OTHERWISE. EXISTING CONDITIONS SHOWN ARE BASED ON SURVEY DONE BY AKS
- AND DATED 03/01/18. CONTRACTOR TO CONFIRM EXISTING CONDITION SHOWN ON IMPLIED PRIOR TO START OF CONSTRUCTION AND NOTIFY A/E OF ANY
- DISCREPANCIES. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION. DIRECTIONAL & WAYFINDING SIGNAGE TO BE COORDINATED W/ OWNER FOR QUANTITY & LOCATIONS.
- SEE SITE LIGHTING PLANS FOR ADDITIONAL INFORMATION. SEE COVERSHEET FOR SITE & BUILDING DATA INCLUDING ZONING SUMMARY. SEE FIRE LIFE SAFETY SHEETS FOR BUILDING CODE
- 8. ALL PAINT STRIPING TO BE 4" WHITE UNLESS NOTED OTHERWISE.

LEGEND

	EXISTING CONDITION TO BE REMOVED
Ğ	ACCESSIBLE PARKING STALL. VAN ACCESSIBLE WHERE NOTED
(E)	EXISTING
ADA	ADA PARKING SIGNAGE - SEE 8/A0.2
	LOADING ZONE SIGNAGE - "PASSENGER LOADING AND UNLOADING ONLY BETWEEN SIGNS" BLACK LETTERING ON WHITE REFLECTIVE SIGN FACE ON 7' POLES SET IN GROUTED SLEEVE W/ WHITE PAINTING CURB BETWEEN SIGNS "LOADING / UNLOADING" STENCILED EVERY 25'
<u>₩W</u>	"WRONG WAY - DO NOT ENTER" SIGN MOUNTED ON 7' POLE
	PAINTED CURB - YELLOW - W/ "NO PARKING" STENCILED EVERY 25'
=	PAINTED CURBS - RED - W/ "NO PARKING" STENCILED EVERY 25'
Þ	FIRE HYDRANT
\$	LIGHT POLE

KEYNOTES

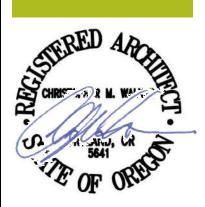
1	2'-0" BUMPER OVERHANG.
2	CONCRETE WHEEL STOP.
3	CONCRETE PAVING - PLAZA - SEE LANDSCAPE PLAN FOR ADDITIONAL INFO.
4	ASPHALT PAVING PER - PER CIVIL.

5 STAMPED CONCRETE CROSSWALK - 5'-0" WIDE - FLUSH W/ SIDEWALK & PLAZA. 6 CONCRETE CURB RAMP 1:12 SLOPE W/ DIAMOND PATTERN. 7 LOOP STYLE BIKE RACK - SEE 11/A0.2.

EXISTING FENCING WHERE OCCURS

5'-0" HIGH BLACK VINYL CHAIN LINK FENCE - REMOVE

- 8 HVAC UNIT LOCATED IN ROOF/ SCREEN WELL SEE A2.1. 9 BUILDING MOUNTED ACCENT BANDS AND SIGNAGE - SEE A2.1 / A2.2.
- 10 EXISTING RIGHT-OF-WAY IMPROVEMENT TO REMAIN (SIDEWALK, CURB, CROSSWALK, MEDIAN & LIGHTING).
- 11 EXISTING RIGHT TURN ONLY SIGN TO REMAIN.
- 12 CONCRETE CURB NEW CURBING THROUGHOUT. REVIEW CONDITION W/ OWNER - REPLACE
- 13 MONUMENT SIGN (DOUBLE SIDED) ON 1'-0" CONCRETE BASE SEE 7/A0.2.



0 m 4

CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT AND / OR ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF WORK.

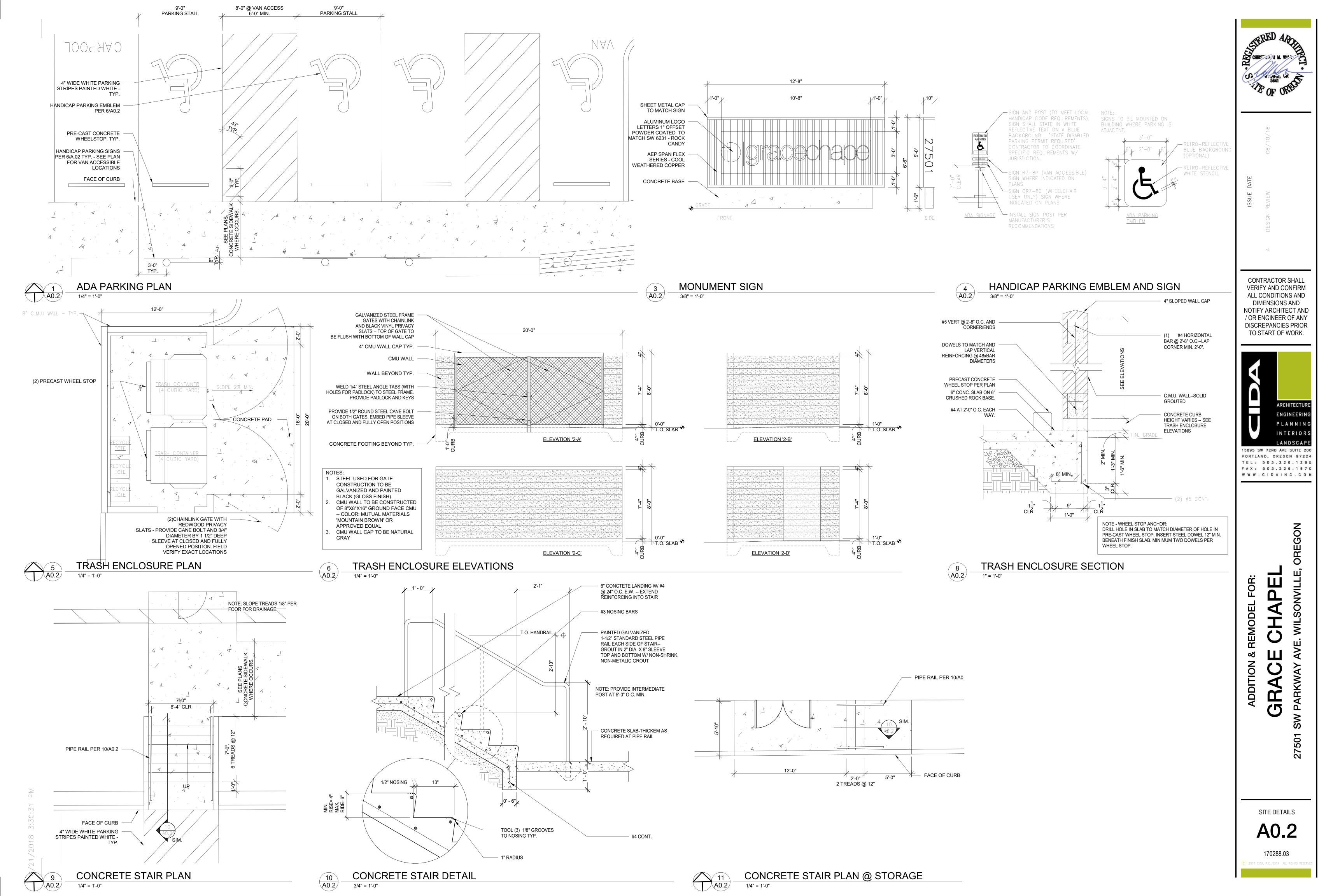


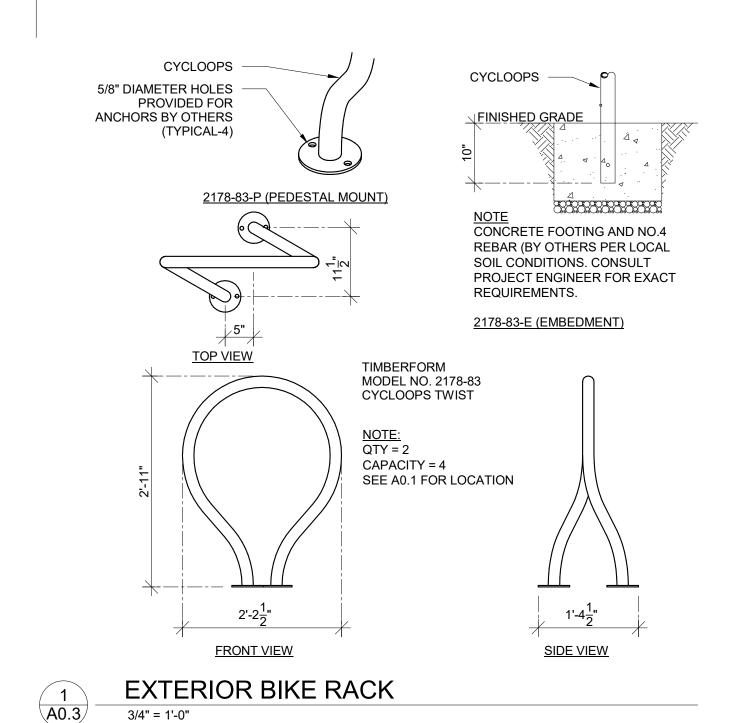
LANDSCAPE 15895 SW 72ND AVE SUITE 200 PORTLAND, OREGON 97224 TEL: 503.226.1285 FAX: 503.226.1670

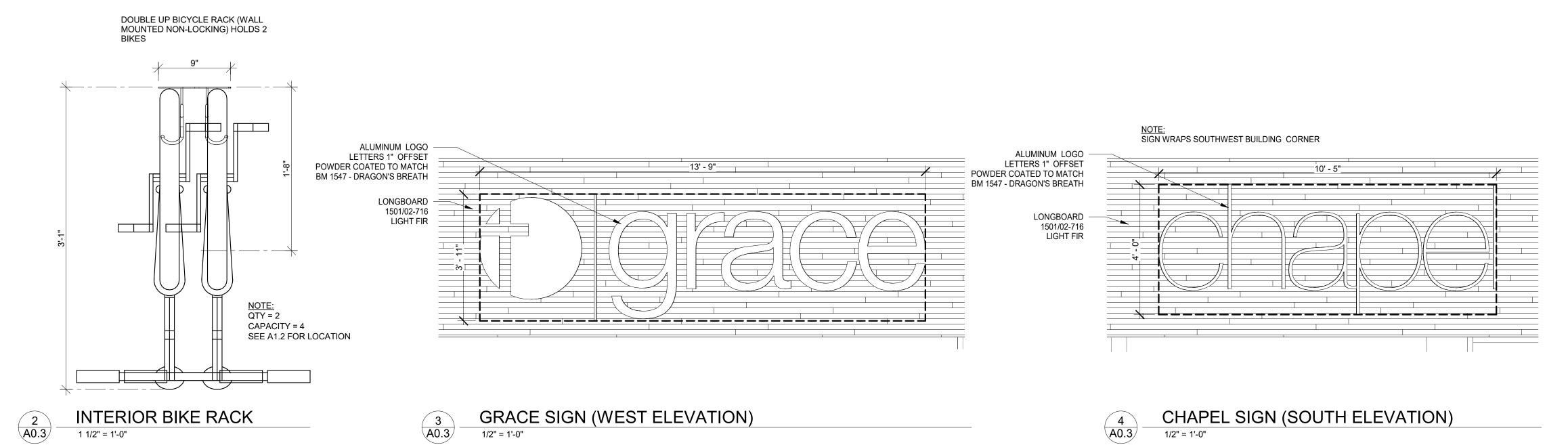
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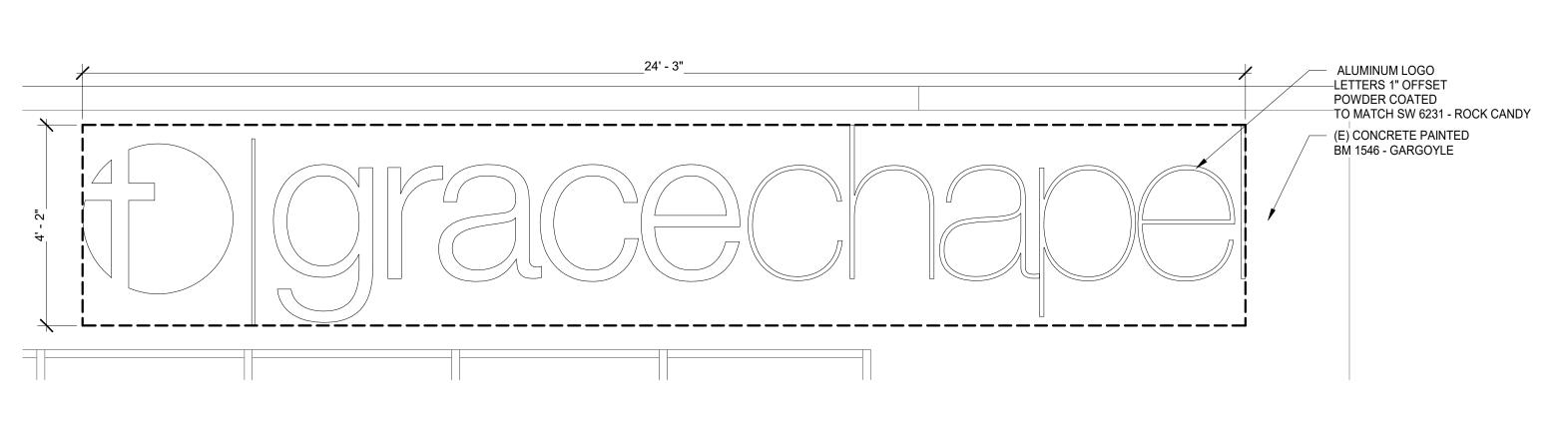
ADDITION

SITE PLAN

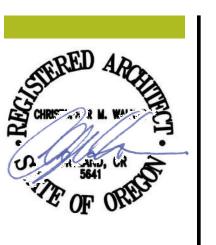












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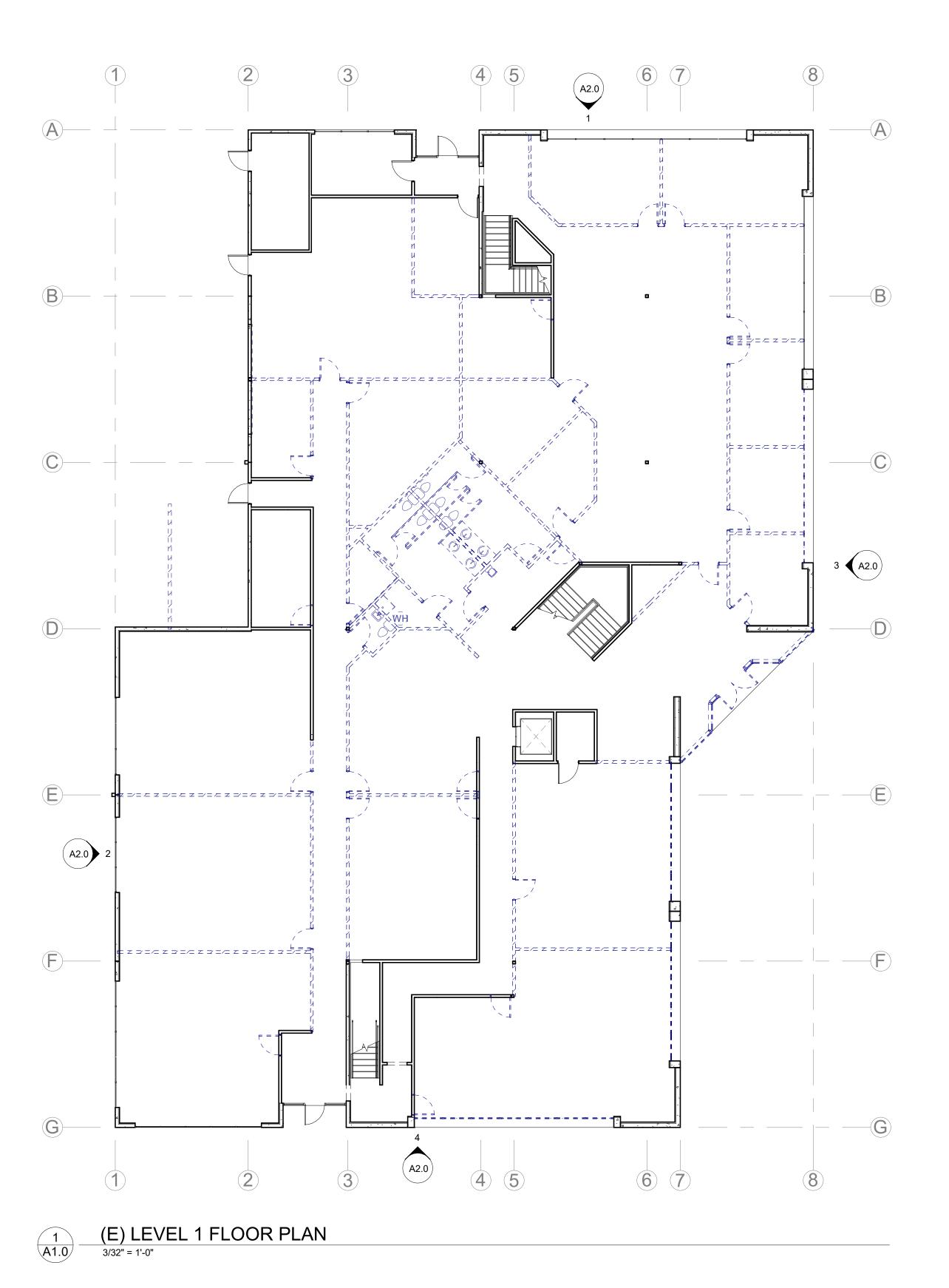


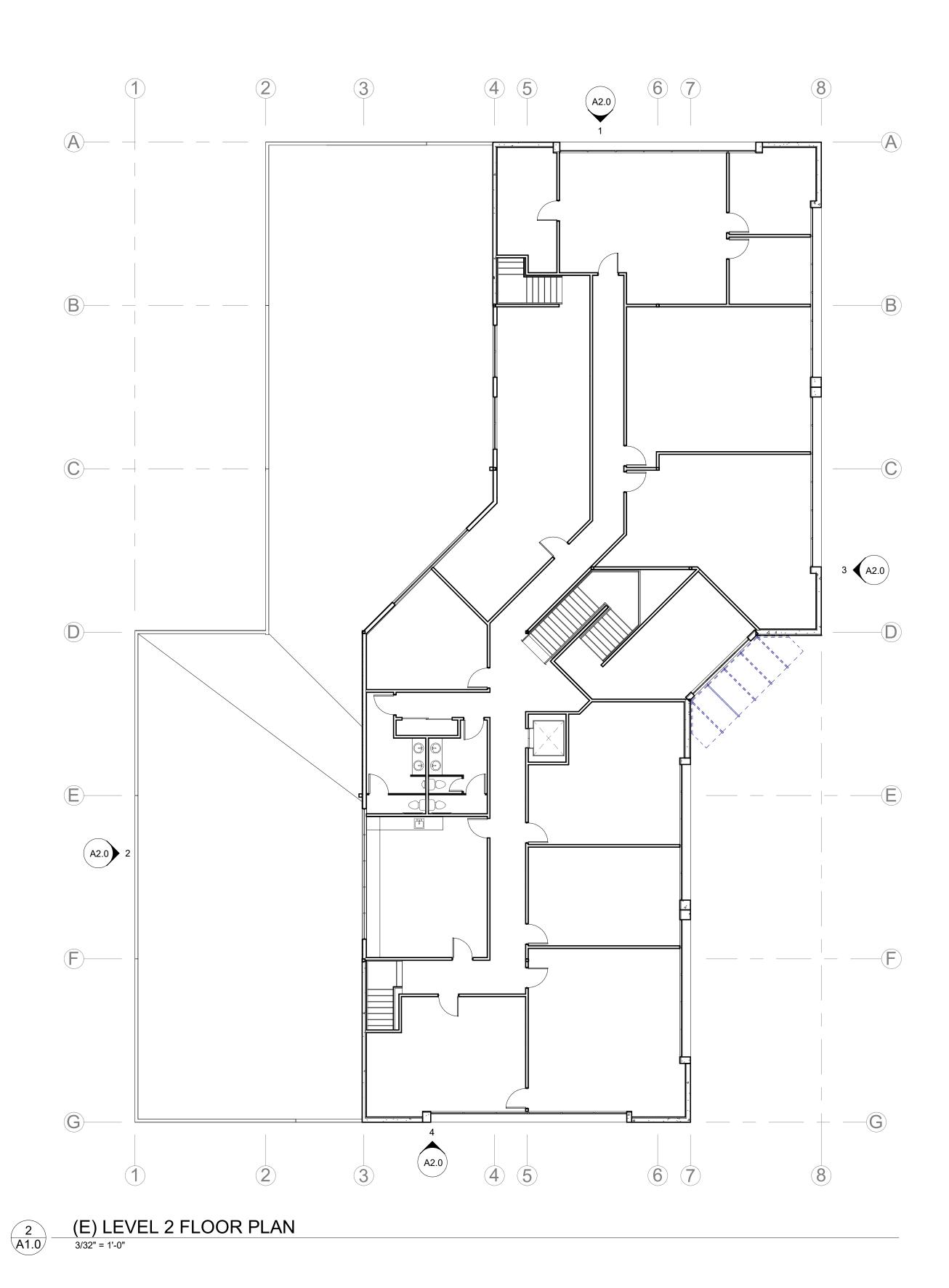
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ADDITION &

SITE DETAILS A0.3



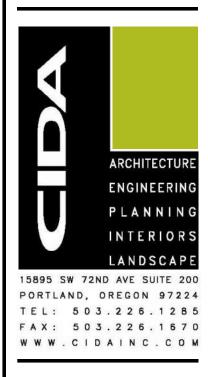


CHRISTIAN M. WALLES

ISSUE DATE

DESIGN REVIEW 08/10

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ADDITION & REMODEL FOR:

3RACE CHAPPEL

PARKWAY AVE WILLSONWILLE OREGIN

EXISTING FLOOR PLANS

A1.0

LEVEL 1 FLOOR PLAN
1/16" = 1'-0"

CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT AND / OR ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF WORK.



F A X: 5 0 3 . 2 2 6 . 1 6 7 0 W W W . C I D A I N C . C O M

ADDITION & REMODEL FOR:

FLOOR PLAN A1.1 170288.03



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/ OR ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF WORK.



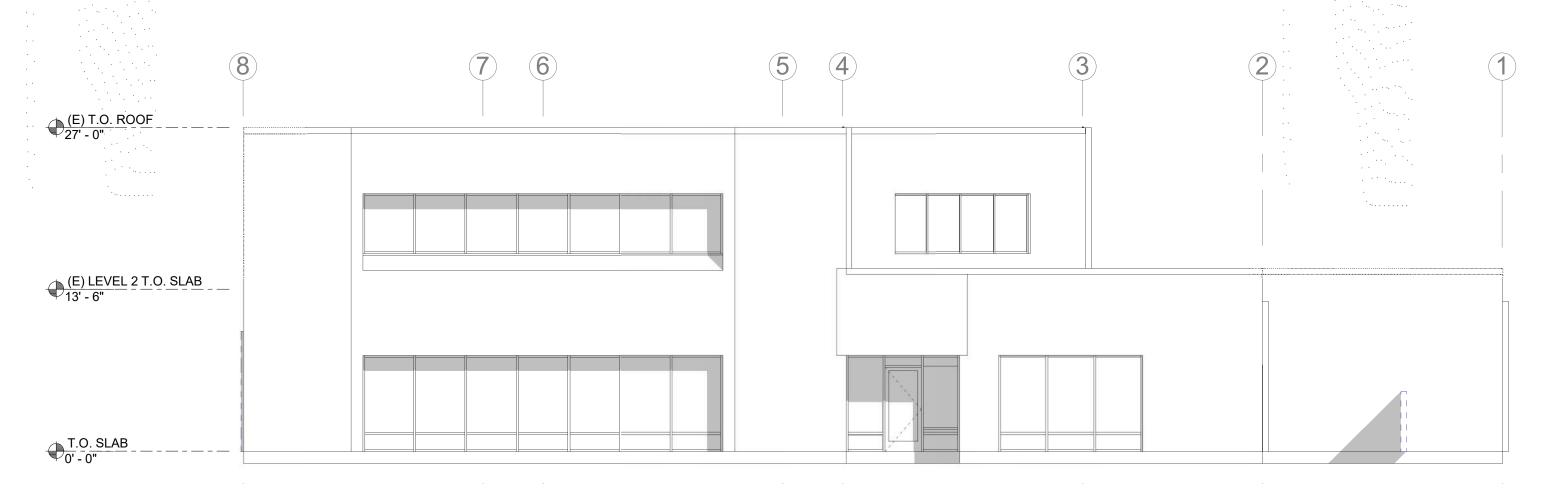
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ADDITION & REMODEL FOR:

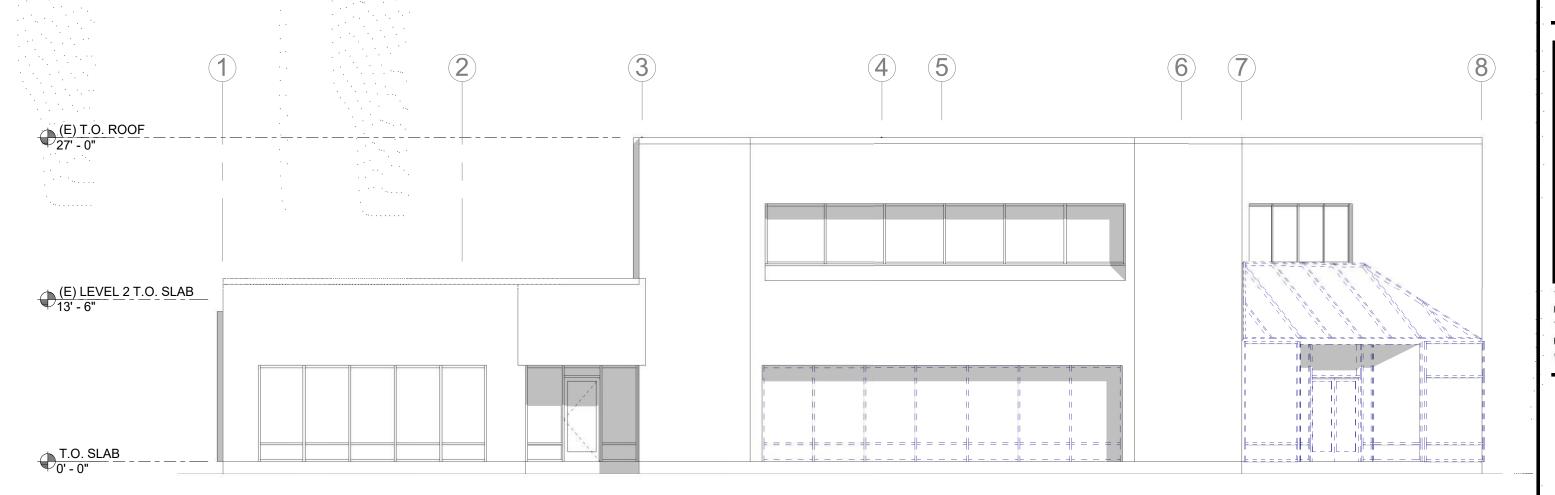
FLOOR PLAN A1.2

(E) BUILDING ELEVATION - EAST

1/8" = 1'-0"

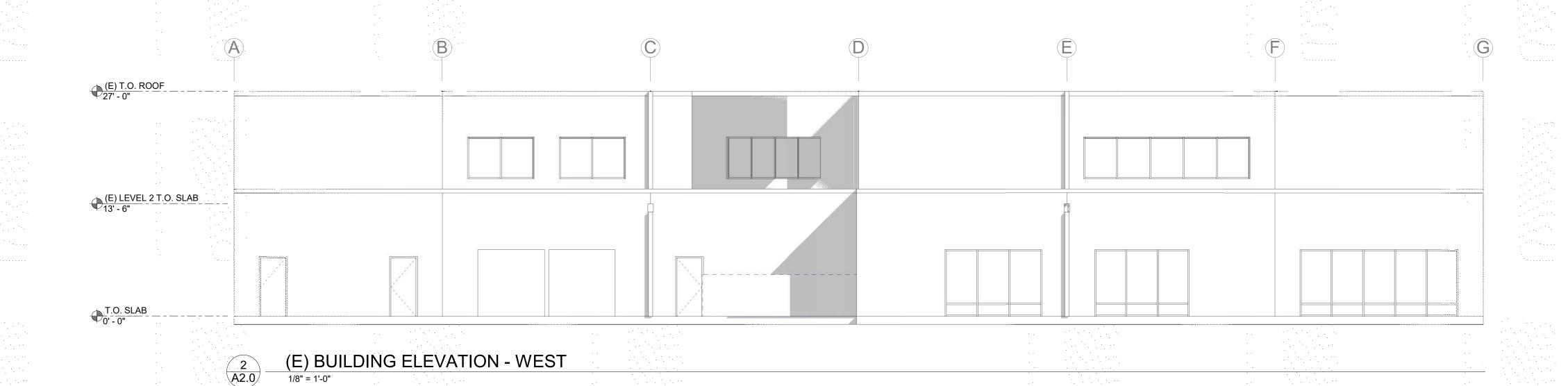


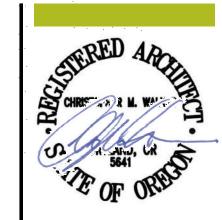
(E) BUILDING ELEVATION - NORTH



(E) BUILDING ELEVATION - SOUTH

1/8" = 1'-0"





FOR REFERENCE ONLY

CONTRACTOR SHALL
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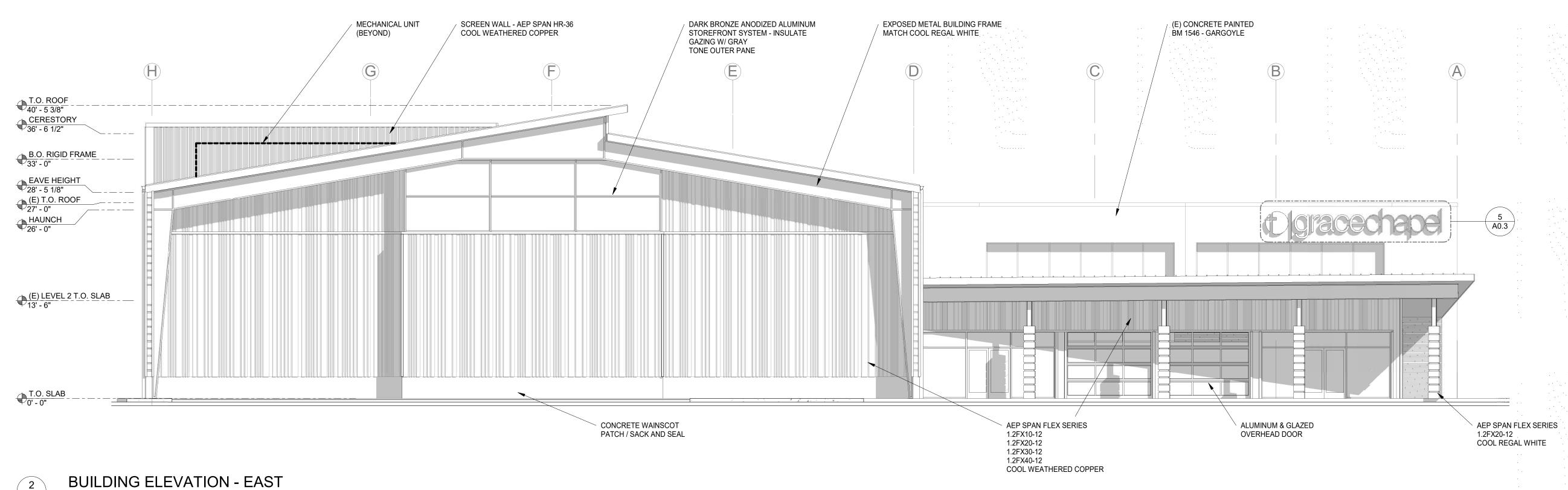
DISCREPANCIES PRIOR TO START OF WORK.



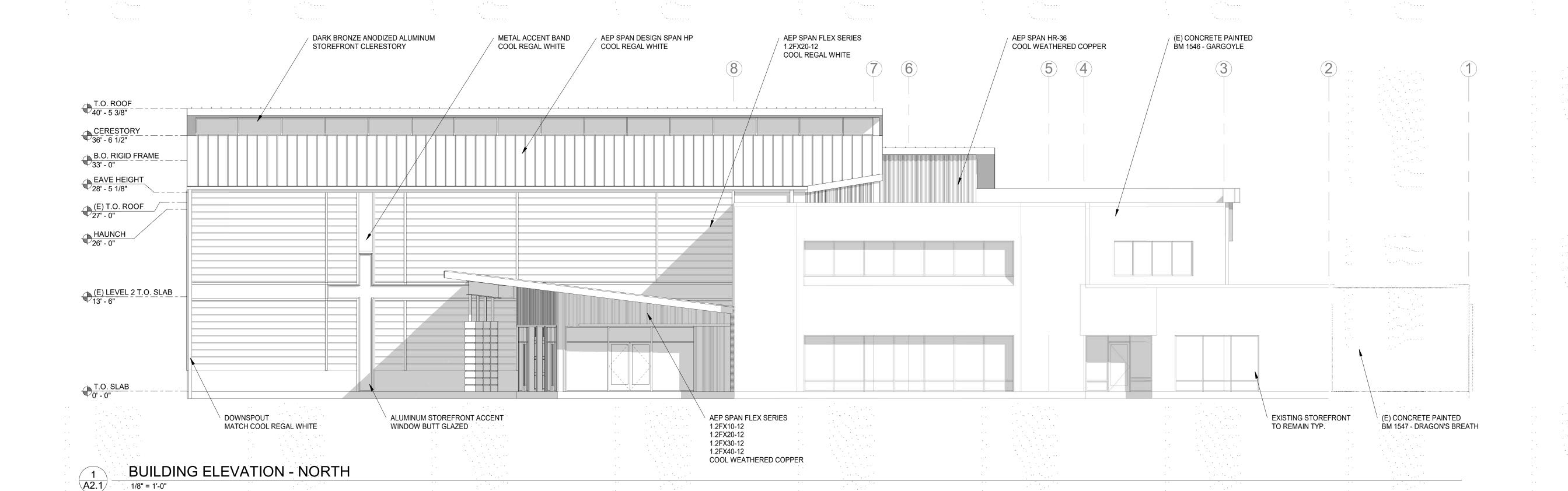
EXISTING ELEVATIONS

A2.0

NOTES

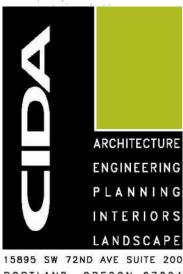


A2.1 1/8" = 1'-0"



CHRISTIAN W. W. W. SEAT OF OF ORDERS

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ADDITION & REMODEL FOR:

ARACE CHAPEL

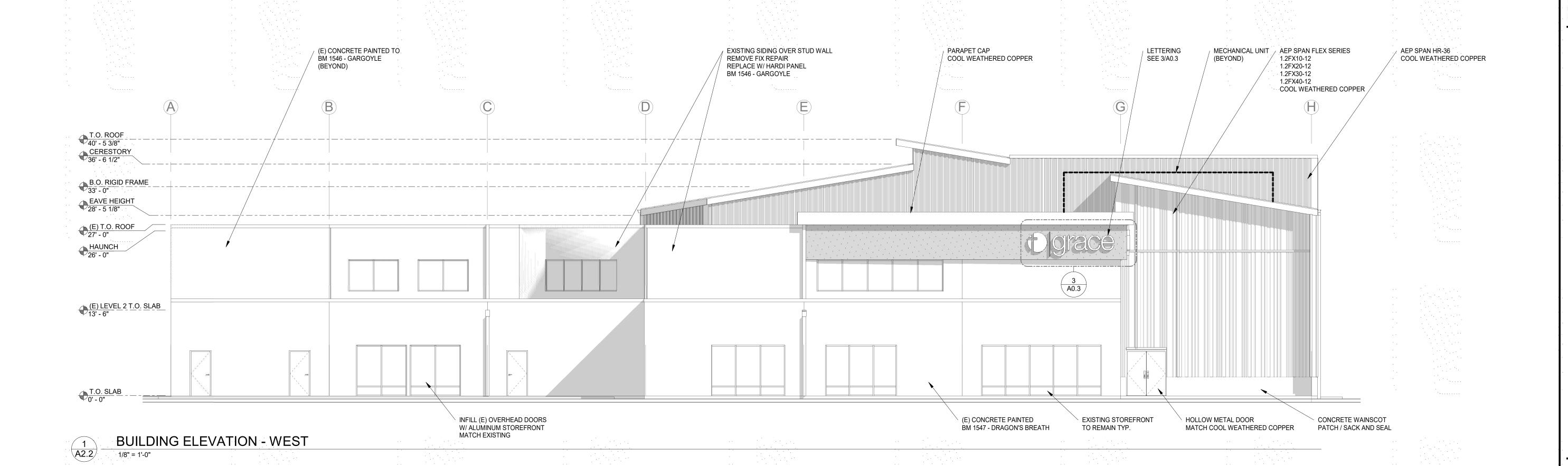
PARKWAY AVE. WILSONVILLE, OREGON

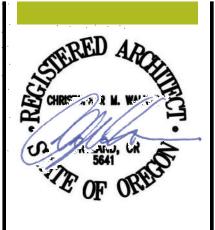
ELEVATIONS

501

A2.1

1/8" = 1'-0"





ISSUE DATE

WECHANICAL SIZING

The Design Review

CONTRACTOR SHALL
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/ OR ENGINEER OF ANY
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ADDITION & REMODEL FOR:

ARACE CHAPEL

PARKWAY AVE. WILSONVILLE, OREGON

GRAC 27501 SW PARKWA

ELEVATIONS A2.2

170288 03

S - 2 5 4 5 9 9615 S.W. Allen Blvd., Suite 107 Beaverton, Oregon 97005 Phone: (503) 726-3317 Fax: (503) 726-3326 E-mail: rweng@rweng.com Project No.: 382.082.001 Contact: DENNIS HALL

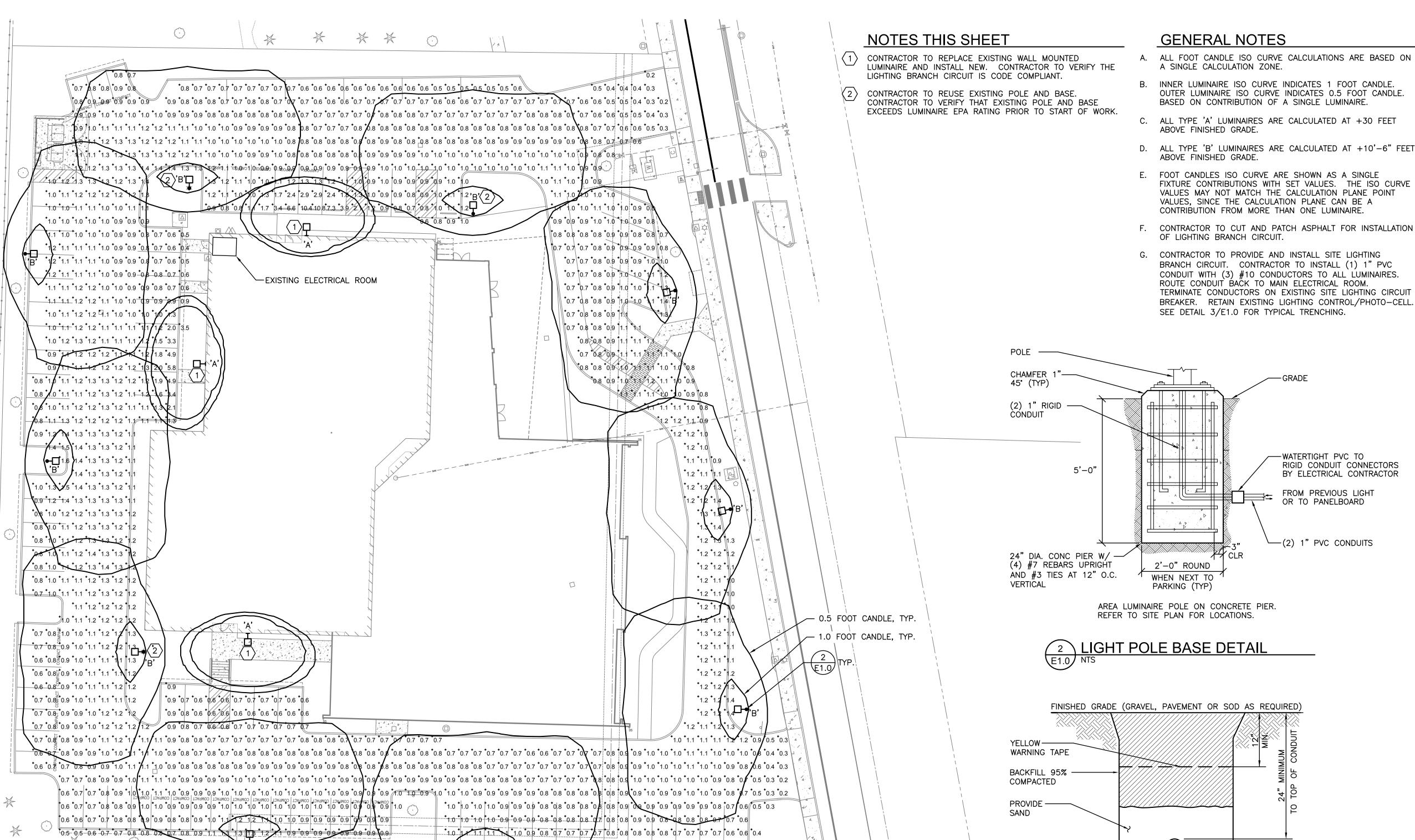


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> Wilsonville Park

SITE PLAN - LIGHTING

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1.0 1 1.2 3 1.2 1.1 0.9 0.8 0.7 0.7 0.7 0.7 0.7 0.7 0.7 0.7 0.6 0.6 0.6 0.6 0.6 0.5 0.4

STATIS		DESI	GN VA	LUES		TARGET	VALUES	
DESCRIPTION	CLASSIFICATION	SYMBOL	AVG	MAX	MIN	AVG/MIN	AVG	AVG/MIN
PARKING LOT	_	+	1.0 fc	10.8 fc	0.2 fc	5.0:1	<u>></u> 1.0	<u>≤</u> 6.0:1

LIGHTING LOAD							
TYPE	QUANTITY	LOAD	SUB-TOTAL				
TYPE 'A'	3	50W	150W				
TYPE 'B'	10	70W	700W				
TOTAL			950W				

VALUES			LUMINA	IRE SCHED	ULE		
AVG/MIN	FIXTURE TYPE	DESCRIPTION	LAMP TYPE	BALLAST/ DRIVER	LOCATION	MANUFACTURER AND MODEL NUMBER	INPUT WATTS
<u><</u> 6.0:1	'A'	17" WIDE, 8-1/2" DEEP WALL SCONCE, 3 LIGHT ENGINE, TYPE 3 MEDIUM DISTRIBUTION, DARK BRONZE, DIECAST ALUMINUM HOUSING, ACRYLIC LENS, VISUAL COMFORT WIDE.	(10) LED 6689 LUMENS 4000K, 70 CRI	DRIVER 700mA MVOLT	SURFACE	LITHONIA LIGHTING: WST LED SERIES OR APPROVED	50W
	'B'	POLE MOUNTED LUMINAIRE, 30 LEDS, 4000K, TYPE 3 MEDIUM DISTRIBUTION, DARK BRONZE FINISH MVOLT DRIVER, DARK SKY RATED, FULLY GASKETED, DIE—CAST ALUMINUM HOUSING, 4" ARM, 30—FOOT POLE, HOUSE SIDE—SHIELD	(30) LED 8,901 LUMENS 4000K 70CRI	DRIVER 700mA MVOLT	POLE MOUNTED	LITHONIA LIGHTING: DSX1 SERIES OR APPROVED.	70W
	30' POLE	POLE FOR LUMINAIRE SHALL BE 30'-0" STRAIGHT SQUARE STEEL, RECTANGULAR COVER PLATE. POLE TO WITHSTAND 100 MILE PER HOUR WINDS. (TEMPLATE PROVIDED WITH POLE) FINISH DARK BRONZE TO MATCH LUMINAIRE.				LITHONIA LIGHTING: SSS SERIES, SPAULDING LIGHTING OR APPROVED.	

L = LIGHTING