

PHASE 2 CENTRAL MODIFICATION VILLEBOIS VILLAGE MIXED-USE PRELIMINARY DEVELOPMENT PLAN

TL 2100, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

COSTA PACIFIC
14350 SE INDUSTRIAL WAY
CLACKAMAS, OR 97015
[P] 503-314-8014
CONTACT: RUDY KADLUB

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JAKI HUNT, PE

SURVEYOR:

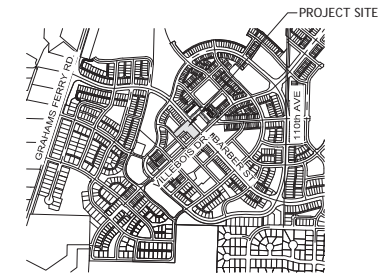
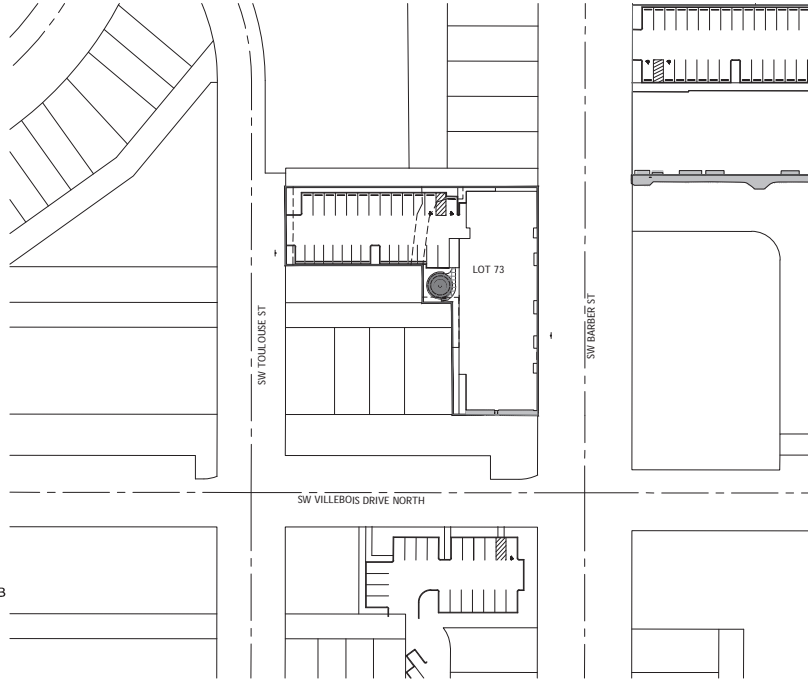
PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
703 BROADWAY ST., STE 650
VANCOUVER, WA 98660
[P] 503-968-8787
CONTACT: SCOTT MCDEVITT, PE



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	COMCAST

BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS & DEMOLITION PLAN
- 3 SITE / LAND USE PLAN
- 4 PRELIMINARY GRADING & EROSION CONTROL PLAN
- 5 PRELIMINARY COMPOSITE UTILITY PLAN
- 6 PRELIMINARY CIRCULATION PLAN
- 7 PRELIMINARY PARKING PLAN
- 8 PRELIMINARY TREE PRESERVATION PLAN
- L1 STREET TREE LAYOUT PLANTING PLAN



ELEVATION DATUM: NAVD 88



REVISIONS	
DATE	DESCRIPTION

PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

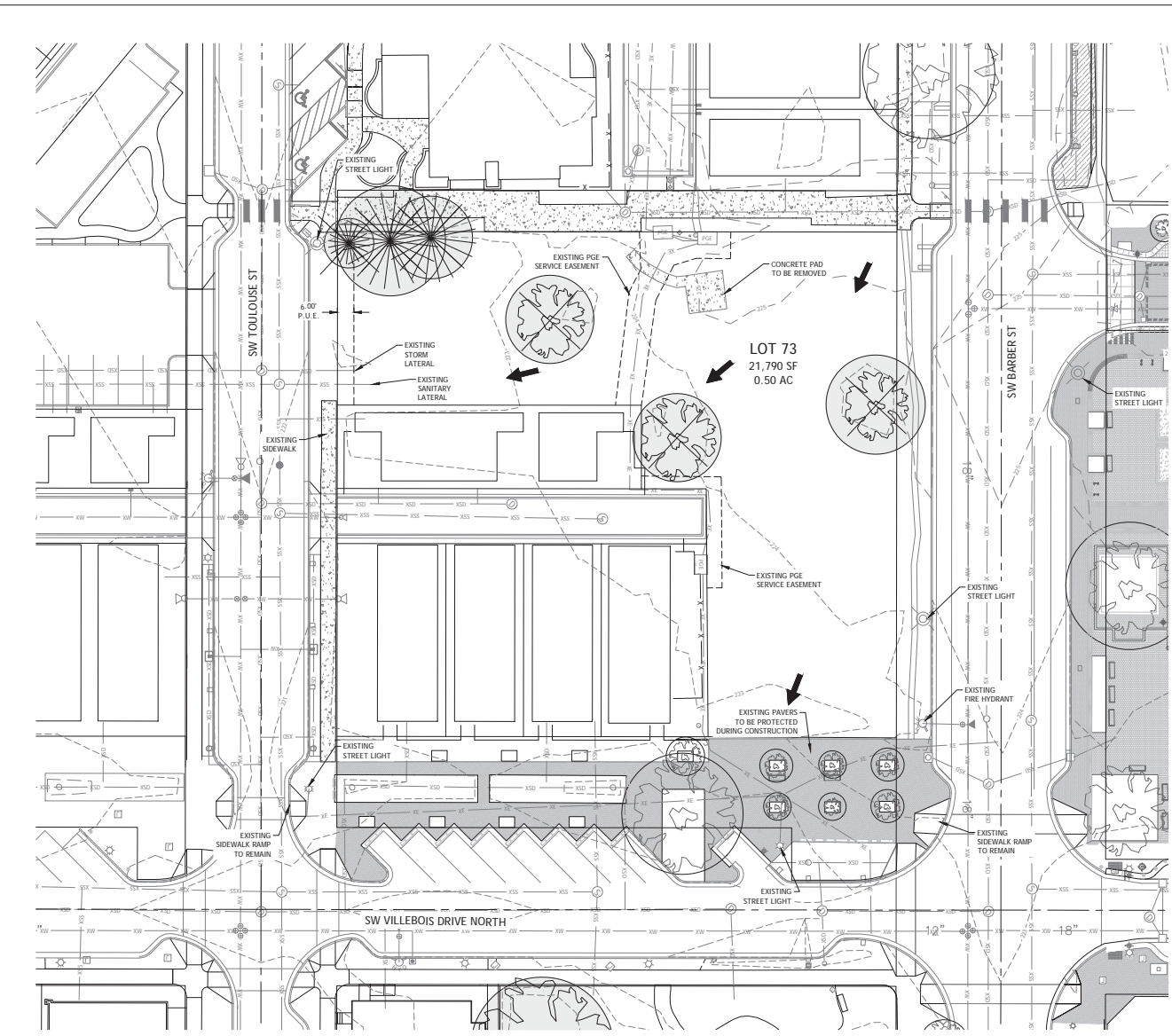
Preliminary
Development
Plan

COVER
SHEET

2nd Submittal Date: 05/14/2021

1

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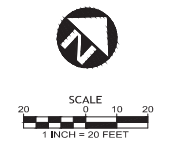
ELEVATION DATUM: NAVD 88

LEGEND

- EASEMENT LINES
- - - - - EXISTING RIGHT-OF-WAY
- - - - - EXISTING CENTERLINE
- - - - - EXISTING PROPERTY LINE
- - - - - EXISTING BOUNDARY LINE
- - - - - EXISTING SIDEWALK
- - - - - EX 1-FOOT CONTOURS
- - - - - EX 5-FOOT CONTOURS
- - - - - EX SANITARY SEWER
- - - - - EX STORM DRAIN
- - - - - EX WATER LINE
- - - - - EX GAS LINE
- - - - - EX BURIED POWER LINE
- - - - - EX OVERHEAD POWER LINE
- - - - - EX CABLE TV LINE
- - - - - EX TELEPHONE LINE
- EX SANITARY MANHOLE
- EX SANITARY CLEANOUT
- EX STORM MANHOLE
- EX AREA DRAIN
- EX CURB INLET
- EX STORM CLEANOUT
- EX FIRE HYDRANT
- EX WATER METER
- EX WATER VALVE
- EX BLOW-OFF
- EX AIR RELEASE VALVE
- EX GAS VALVE
- EX CABLE RISER
- EX TELEPHONE RISER
- EX LIGHT POLE
- EXISTING FENCE
- EXISTING ELECTRIC VAULT
- EXISTING RETAINING WALL
- EX TREES TO REMAIN
- DRAINAGE SLOPE DIRECTION

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- EXISTING TREES TO REMAIN
- EXISTING TREES LIKELY TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCING



C2K
ARCHITECTURE

P&D
PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR 97223
(T) 503-941-9484
GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

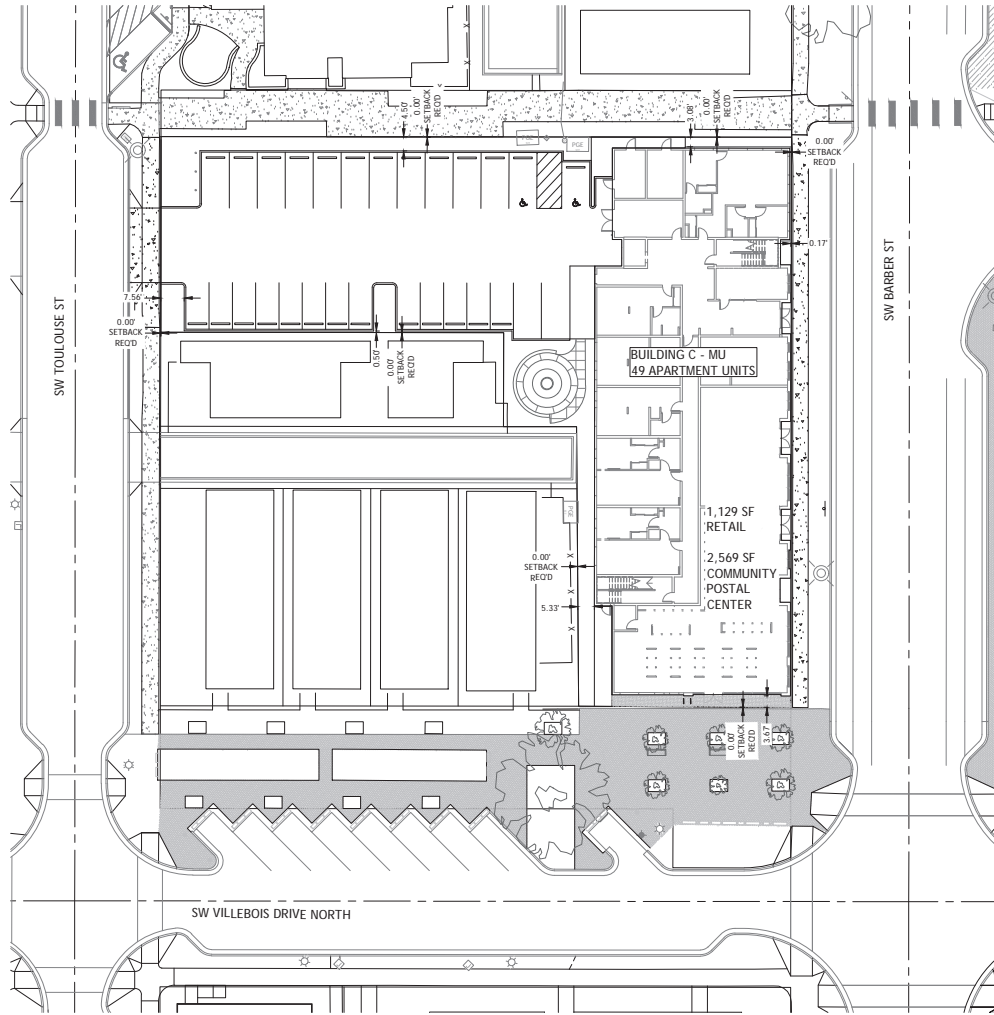
EXISTING
CONDITIONS
AND
DEMOLITION
PLAN

2nd Submittal Date: 05/14/2021

2

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ELEVATION DATUM: NAVD 88



LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- EXISTING PROPERTY LINE
- EXISTING SETBACK
- EXISTING PROPERTY LINE
- EXISTING SETBACK
- PDP BOUNDARY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK BY OTHERS
- EXISTING SIDEWALK

LEGEND:

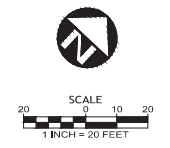
MU MIXED USE OCCUPANCY

LOT/UNIT COUNT:

49	APARTMENT UNITS
49	TOTAL

LAND AREA TABLE:

TOTAL AREA:	0.50 AC
BUILDING:	0.25 AC
PARKING LOT:	0.18 AC
LANDSCAPE:	0.06 AC
PATIO:	0.01 AC
AVG. DENSITY PER NET ACRE:	98 UNITS / AC
49 / 0.50 =	



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97223
(503) 503-9414
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REVISIONS

DATE	DESCRIPTION
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PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

SITE/
LAND USE
PLAN

2nd Submittal Date: 05/14/2021

3

N:\proj\316\06\07 Drawing\03 Planning\Sheets - Planning\Submission\pdp_2c\316b03 (0)\PDP_2C_GWA.DWG - SHEET 4 - May 12, 21 - 3:42 PM jmn

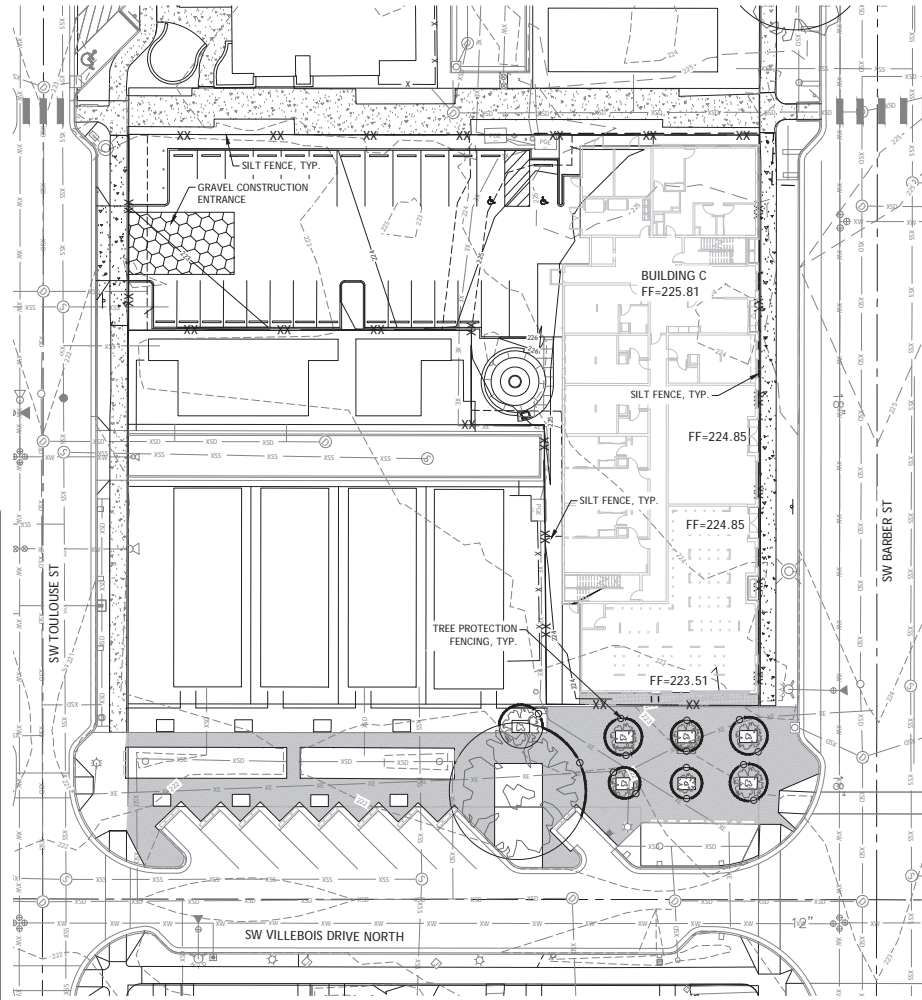
This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

NOTES:

1. FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIP LINE.
2. FENCE MATERIALS SHALL CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1 1/2" DIA. STEEL OR ALUMINUM LINE POSTS.
3. POSTS SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
4. FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

Tree Protection Fencing			 CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1230	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1230.DWG	APPROVED BY: NK	DATE: 4/2/14	

ELEVATION DATUM: NAVD 88

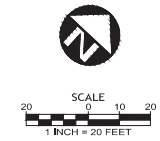


LEGEND:

- 324 --- EX 2-FT CONTOUR
- 320 --- EX 10-FT CONTOUR
- 324 --- FG 2-FT CONTOUR
- 320 --- FG 10-FT CONTOUR
- PROPOSED RETAINING WALL
- GRADING LIMITS
- EXISTING FENCE
- XX XX SEDIMENT FENCE
- WATTLES
- ☀ EX TREES TO REMAIN
- SECTION CUT LINE, SEE SHEET X FOR DETAILS.

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- ☉ EXISTING TREES TO REMAIN
- ⊗ EXISTING TREES LIKELY TO BE REMOVED
- ⊗ EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCING



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REVISIONS
DATE DESCRIPTION

PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

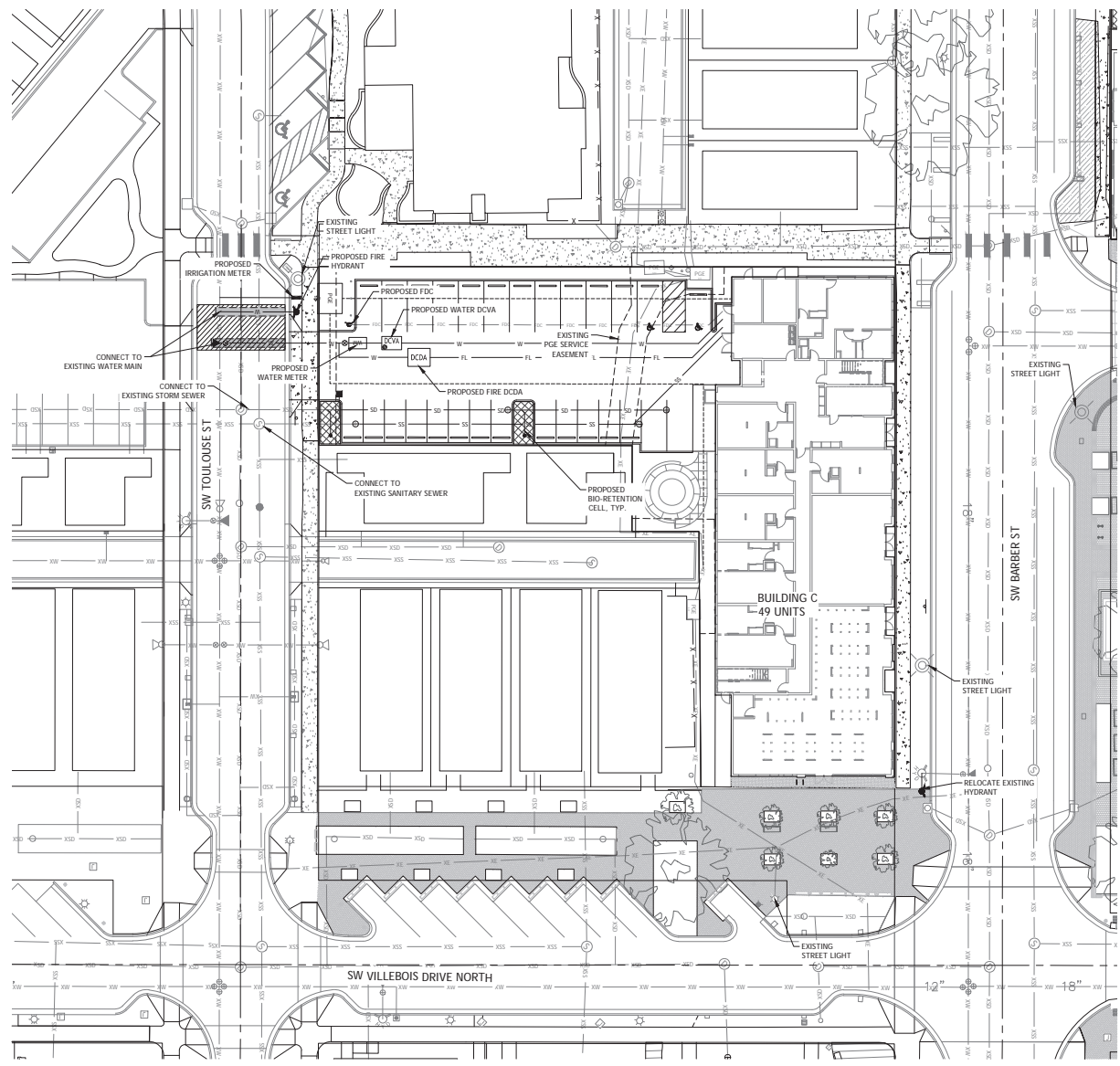
Preliminary
Development
Plan

PRELIMINARY
GRADING
& EROSION
CONTROL
PLAN

2nd Submittal Date: 05/14/2021

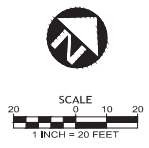
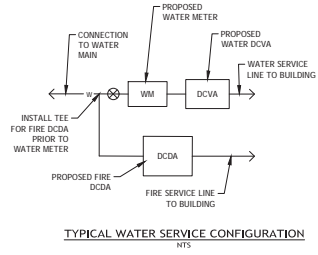
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ELEVATION DATUM: NAVD 88

LEGEND	
---	EASEMENT LINES
SS	PROPOSED SANITARY SEWER
XS	EX SANITARY SEWER
SD	PROPOSED STORM DRAIN
XS	EX STORM DRAIN
W	PROPOSED WATER LINE
XS	EX WATER LINE
GS	EX GAS LINE
PL	EX BURIED POWER LINE
OS	EX OVERHEAD POWER LINE
CS	EX CABLE TV LINE
XT	EX TELEPHONE LINE
●	PROPOSED SANITARY MANHOLE
○	EX SANITARY MANHOLE
○	PROPOSED SANITARY CLEANOUT
○	EX SANITARY CLEANOUT
○	PROPOSED STORM MANHOLE
○	EX STORM MANHOLE
■	PROPOSED CATCH BASIN
□	EX CATCH BASIN
○	PROPOSED STORM CLEANOUT
○	EX STORM CLEANOUT
○	PROPOSED FIRE HYDRANT
○	EX FIRE HYDRANT
○	PROPOSED WATER METER
○	EX WATER METER
○	PROPOSED WATER VALVE
○	EX WATER VALVE
○	PROPOSED BLOW-OFF
○	EX BLOW-OFF
○	PROPOSED AIR RELEASE VALVE
○	EX AIR RELEASE VALVE
○	PROPOSED THRUST BLOCK
○	EX THRUST BLOCK
○	EX GAS VALVE
○	EX CABLE RISER
○	EX TELEPHONE RISER



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VILLEBOIS VILLAGE
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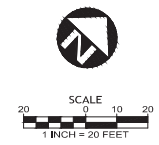
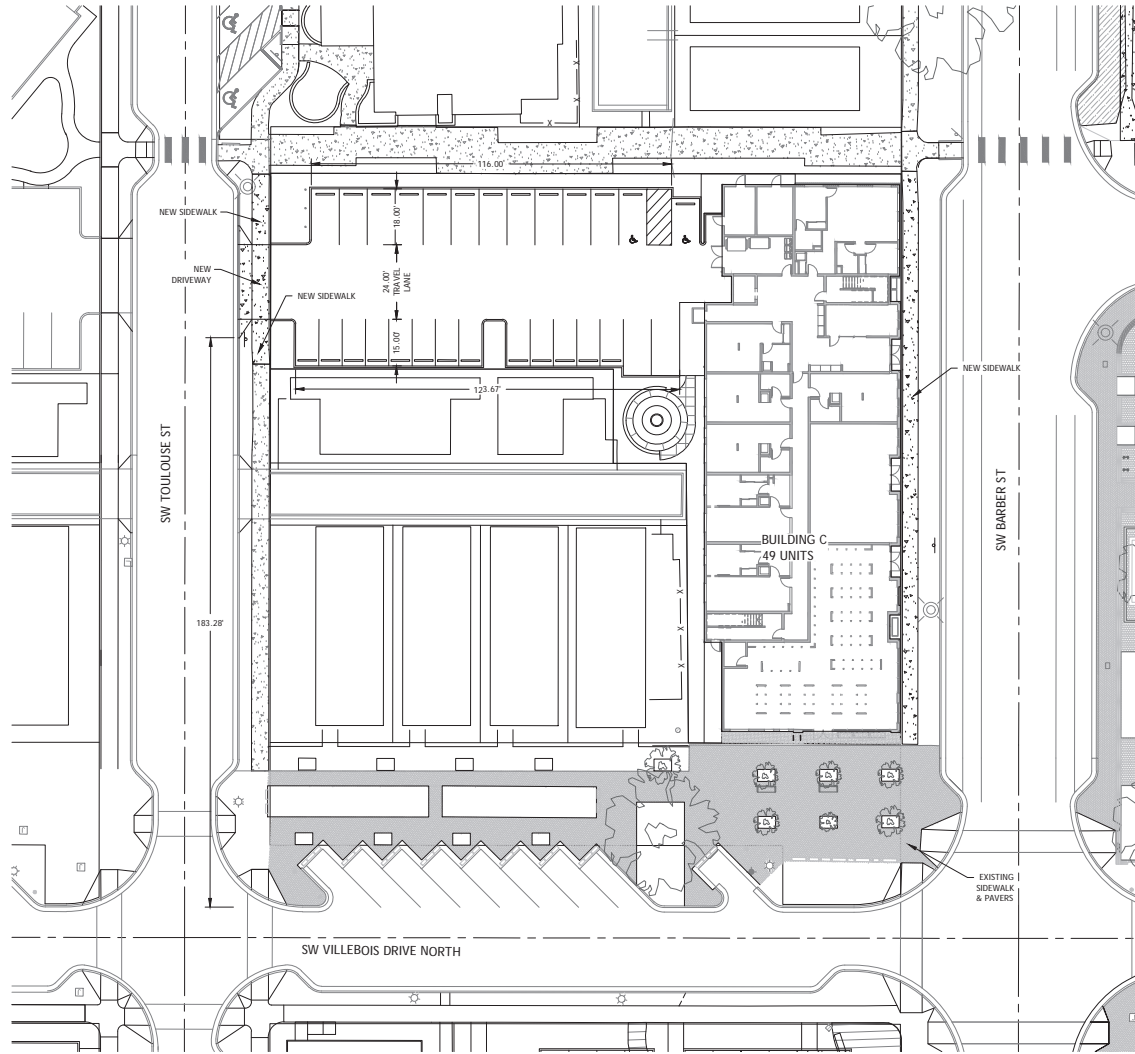
PRELIMINARY
COMPOSITE
UTILITY
PLAN

2nd Submittal Date: 05/14/2021

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ELEVATION DATUM: NAVD 88



Villebois
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 12564 SW Main Street Tigard, OR
 97223
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 GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 2C MOD
 VILLEBOIS VILLAGE
 MIXED-USE

Preliminary
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 Plan

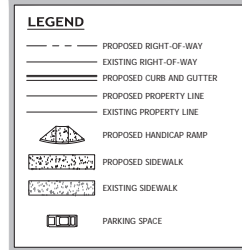
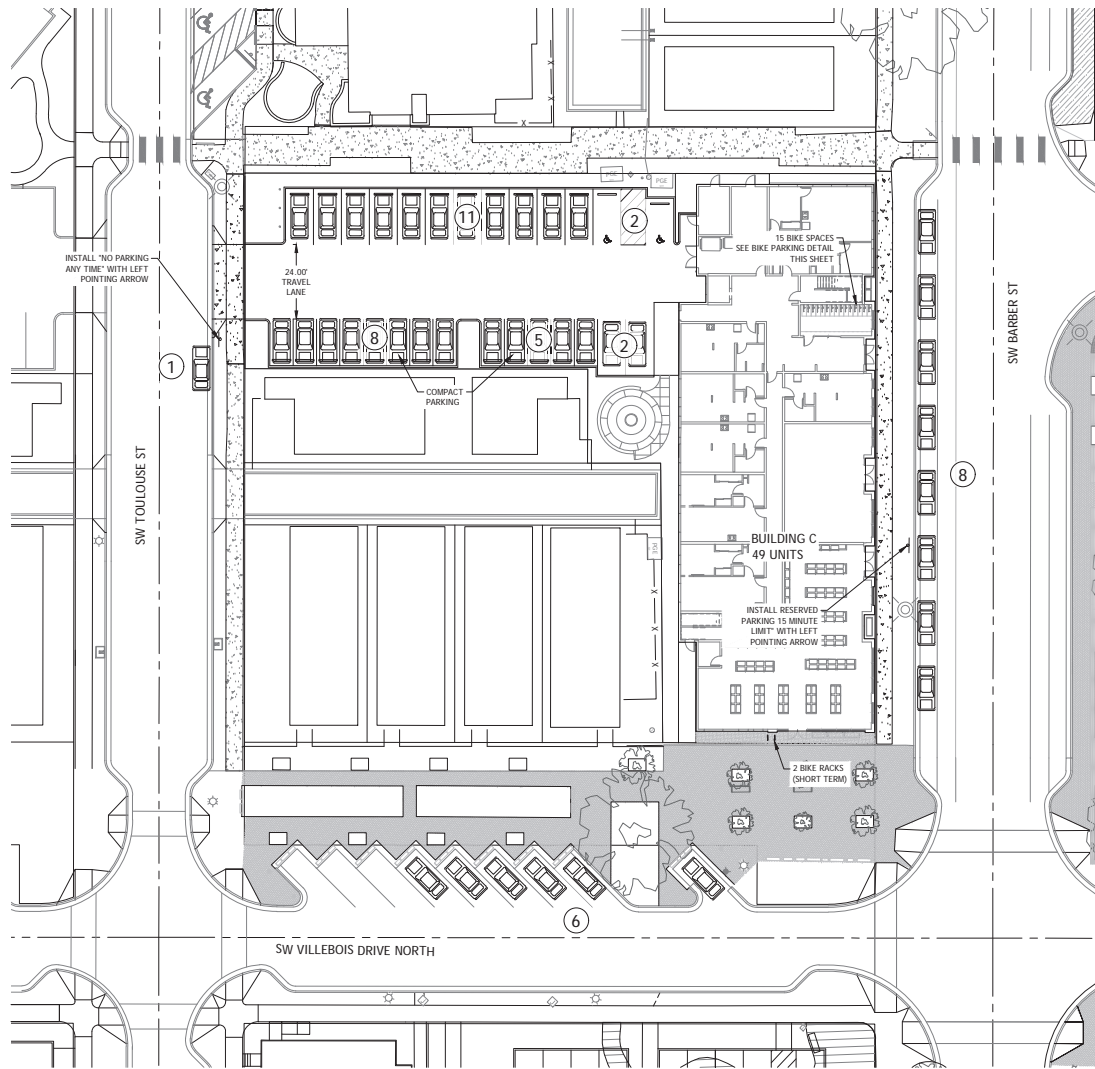
PRELIMINARY
 CIRCULATION
 PLAN

2nd Submittal Date: 05/14/2021

6

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ELEVATION DATUM: NAVD 88



Off-Street Parking Requirements according to Section 4.125 Table V-2:

Multi-Family Dwellings	
16 Studio Units at 1.0 space/unit	= 16 spaces
26 1-Bed Units at 1.0 spaces/unit	= 26 spaces
7 2-Bed Units at 1.5 spaces/unit	= 11 spaces

Retail/ Commercial	= 2 spaces
1,129 sq. ft. at 2.0 Spaces/ 1,000 sq. ft.	= 23 spaces

Vehicle Parking Requirements per Section 4.125 Table V-2 = 55 spaces

Vehicle Parking Provided with Buildings "C" on Lot 73:

Off-Street Standard Spaces	= 13 spaces
Off-Street Compact Spaces	= 13 spaces
Off-Street ADA Spaces	= 2 spaces
On-Street - SW Barber Street	= 5 spaces
On-Street - SW Barber Street (15-min parking for Mail Room)	= 3 spaces
On-Street - SW Villebois Drive North	= 4 spaces
On-Street - SW Toulouse Street	= 1 spaces

Vehicle Parking Provided = 43 spaces

Bicycle Parking Requirements according to Section 4.125 Table V-2:

Multi-Family Dwellings	
Short Term 49 units at 1.0 space/ 20 units	= 2 spaces
Long Term 49 units at 1.0 space per 4 units	= 12 spaces

Retail/ Commercial

Short Term	= 2 spaces
1,129 sq. ft. at 1.0 space/10,000 sq. ft. (Min. 2 spaces)	= 2 spaces
Long Term	= 2 spaces
1,129 sq. ft. at 1.0 Spaces/ 40,000 sq. ft. (Min. 2 spaces)	= 2 spaces

Total Short Term Bicycle Parking Spaces Required = 4 spaces

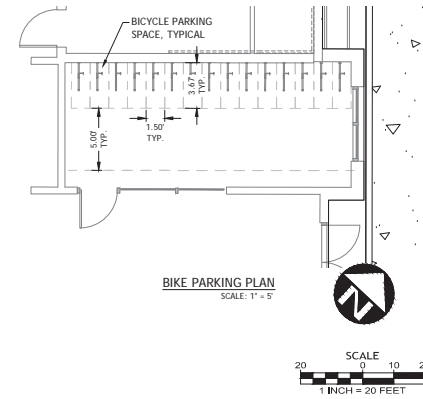
Total Long Term Bicycle Parking Spaces Required = 14 spaces

Total Bicycle Parking Spaces Required = 18 spaces

Bicycle Parking Provided:

Short Term	= 4 spaces
Exterior Bike Racks	= 15 spaces
Long Term	= 49 spaces
Bike Storage Room on 1st Floor	= 49 spaces
49 units at 1.0 Space per Unit	= 49 spaces

Total Bicycle Parking Provided = 68 spaces



Villebois
C2K
 ARCHITECTURE
PCD
 PACIFIC COMMUNITY DESIGN
 12544 SW Main Street Tigard, OR 97223
 (503) 503-9414
 GEODESIGN, INC.

REVISIONS

DATE	DESCRIPTION

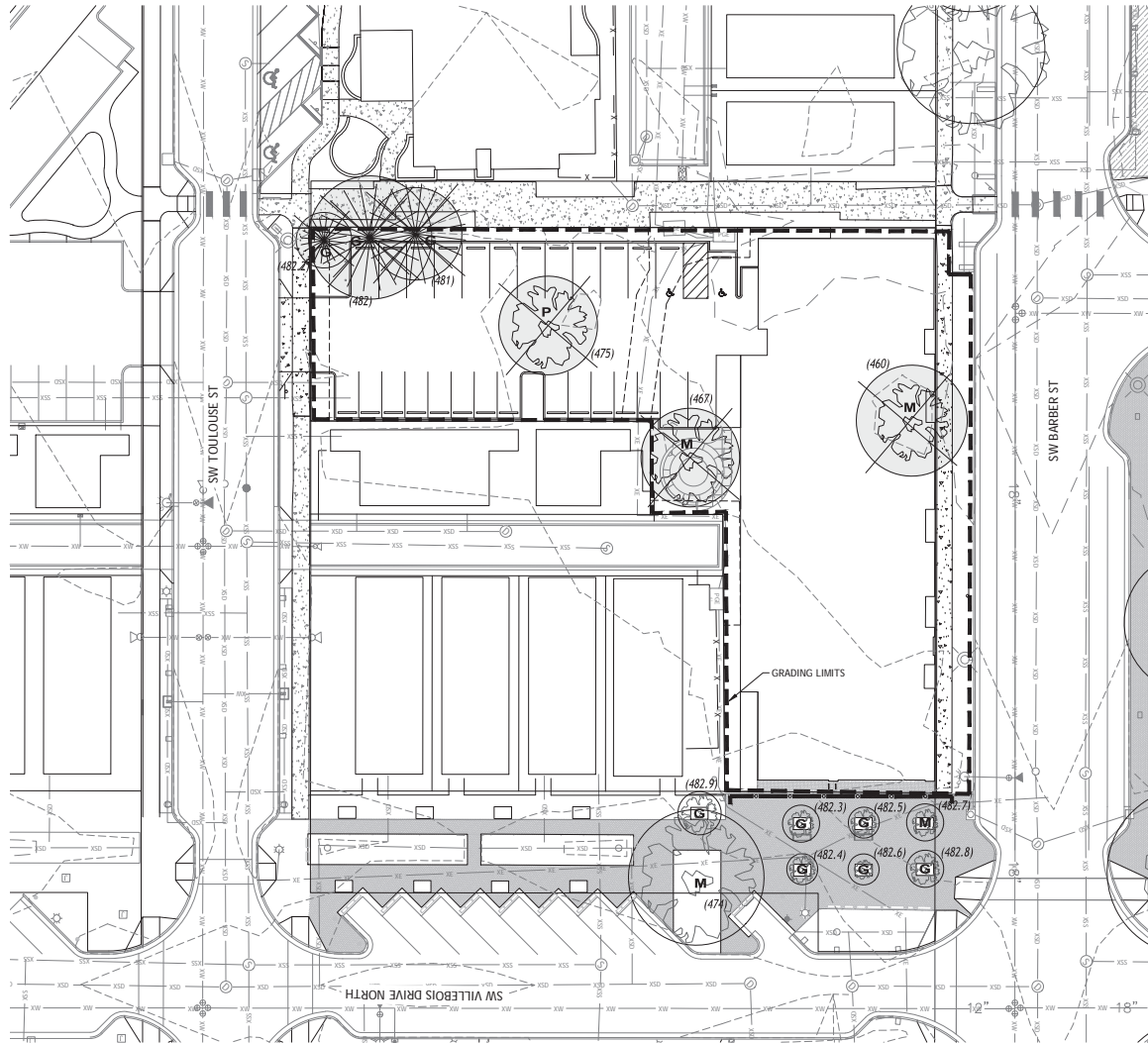
PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary Development Plan

PRELIMINARY PARKING PLAN

2nd Submittal Date: 05/14/2021

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LEGEND:

I	IMPORTANT
G	GOOD
M	MODERATE
P	POOR
NE	NOT EXAMINED
(Tree symbol with solid circle)	EXISTING TREES TO REMAIN
(Tree symbol with dashed circle)	EXISTING TREES TO BE REMOVED
(Dashed line)	TREE PROTECTION FENCING
(Solid line)	GRADING LIMITS

TREE PROTECTION NOTES

- PRECONSTRUCTION CONFERENCE.** THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER TO REVIEW TREE PROTECTION MEASURES AND ADDRESS QUESTIONS ON-SITE PRIOR TO THE START OF CONSTRUCTION ACTIVITY.
- TREE PROTECTION ZONE.** WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR BENEATH THE ORIPLINE OF ANY PROTECTED TREE:
 - GRADE CHANGE OR CUT AND FILL;
 - NEW IMPERVIOUS SURFACES;
 - UTILITY OR DRAINAGE FIELD PLACEMENT;
 - STAGING OR STORAGE OF MATERIALS AND EQUIPMENT, OR VEHICLE MANEUVERING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER PRIOR TO WORKING BENEATH PROTECTED TREE DRINKS. ROOT PROTECTION ZONES MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING, AND SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS.
- PRUNING.** PRUNING MAY BE NEEDED TO PROVIDE OVERHEAD CLEARANCE AND TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST SHOULD HELP IDENTIFY WHERE PRUNING IS NECESSARY ONCE TREES RECOMMENDED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS PREPARED FOR CONSTRUCTION. TREE REMOVAL AND PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.

GENERAL NOTES

ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARBORIST.

CONTACT: MORGAN HOLLEN
PHONE: 503-846-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

- HEALTH
- SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
- COMPATIBILITY WITH DEVELOPMENT
- FORM / VISUAL INTEREST / MATURE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

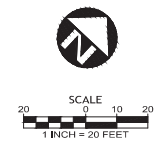
TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

- THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLLEN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



ELEVATION DATUM: NAVD 88

Villebois

C2K ARCHITECTURE

P&D PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR 97223
(T) 503-941-9484
GEODESIGN, INC

REVISIONS	DATE	DESCRIPTION

PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

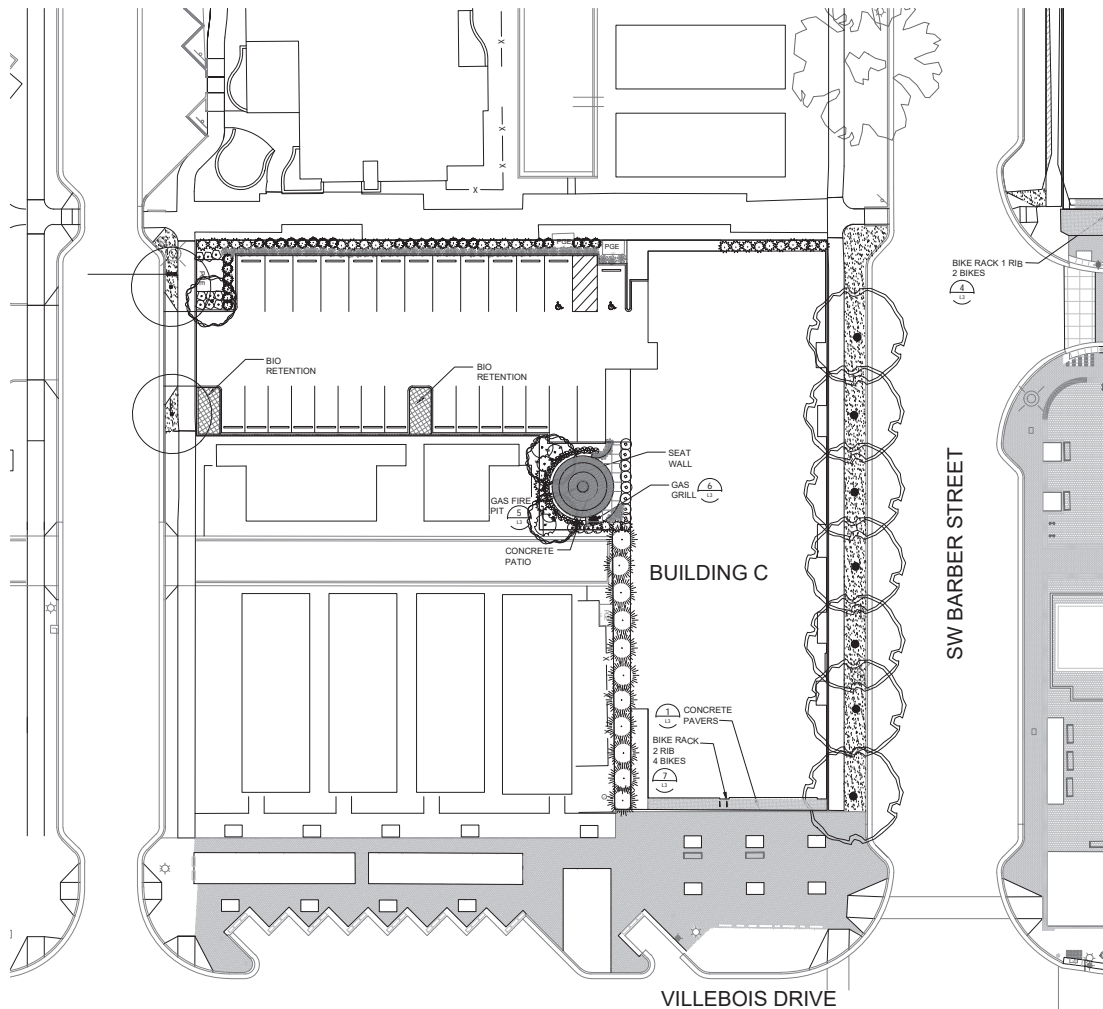
Preliminary
Development
Plan

PRELIMINARY
TREE
PRESERVATION
PLAN

2nd Submittal Date: 05/14/2021

8

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1 PDP 2C MOD SITE C STREET TREE / LAYOUT PLAN

ELEVATION DATUM: NAVD 88

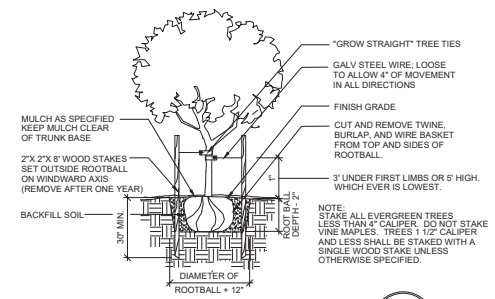
PLANTING LEGEND
STREET TREES

SYMBOL QUANTITY COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION

	7	VILLAGE GREEN ZELKOVA / ZELKOVA SERRATA 'VILLAGE GREEN': 2" CAL., B&B, 25' O.C.
	2	AUTUMN BLAZE MAPLE / ACER FREEMANI 'AUTUMN BLAZE': 2 1/2" CAL. B&B, 25' O.C.

LAWN - STREET TREES

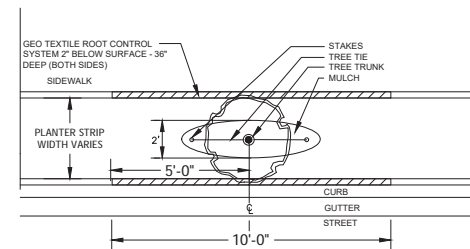
	SIZE AND DESCRIPTION
	LAWN (SEEDED) PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. RATE 8 LBS/1000 SQUARE FEET.



TREE STAKING DETAIL

SCALE: N.T.S.

1
L1



TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S.

2
L1



Villebois

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VILLEBOIS VILLAGE
MIXED-USE

Final
Development
Plan

STREET TREE
PLANTING
LAYOUT
PLAN

2nd Submittal Date: 05/14/2021

L1

PHASE 2 CENTRAL MODIFICATION VILLEBOIS VILLAGE MIXED-USE FINAL DEVELOPMENT PLAN

TL 2100, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

COSTA PACIFIC
14350 SE INDUSTRIAL WAY
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CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JAKI HUNT, PE

SURVEYOR:

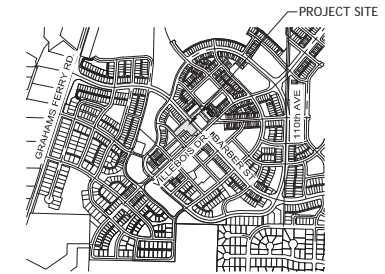
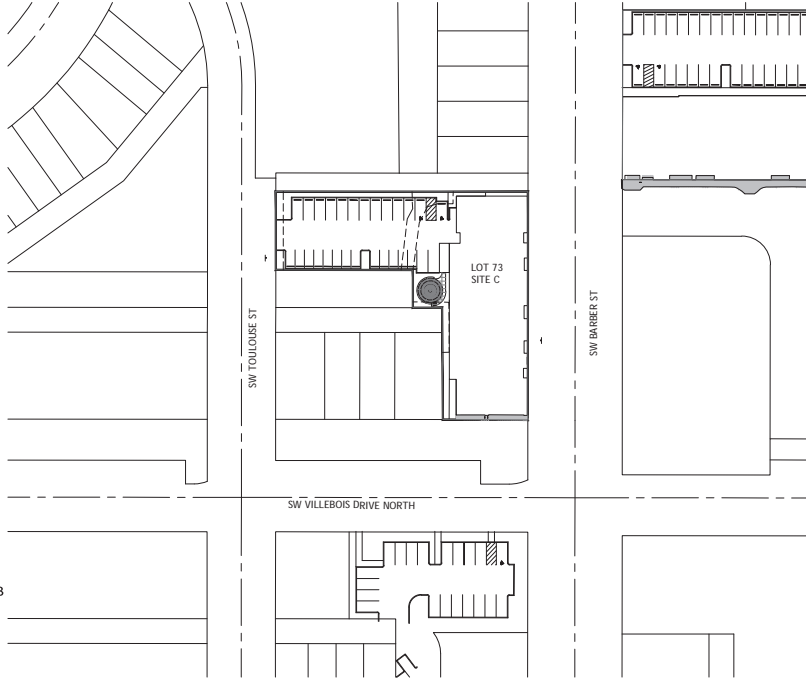
PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
703 BROADWAY ST., STE 650
VANCOUVER, WA 98660
[P] 503-968-8787
CONTACT: SCOTT MCDEVITT, PE



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	COMCAST

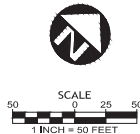
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 UNIT SITE PLAN
- 3 PRELIMINARY PARKING PLAN
- L1 STREET TREE PLANTING LAYOUT PLAN
- L2 PLANTING DETAILS & NOTES
- L3 DETAILS



ELEVATION DATUM: NAVD 88



REVISIONS	
DATE	DESCRIPTION

PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

Final
Development
Plan

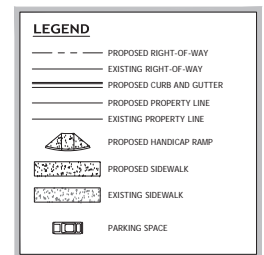
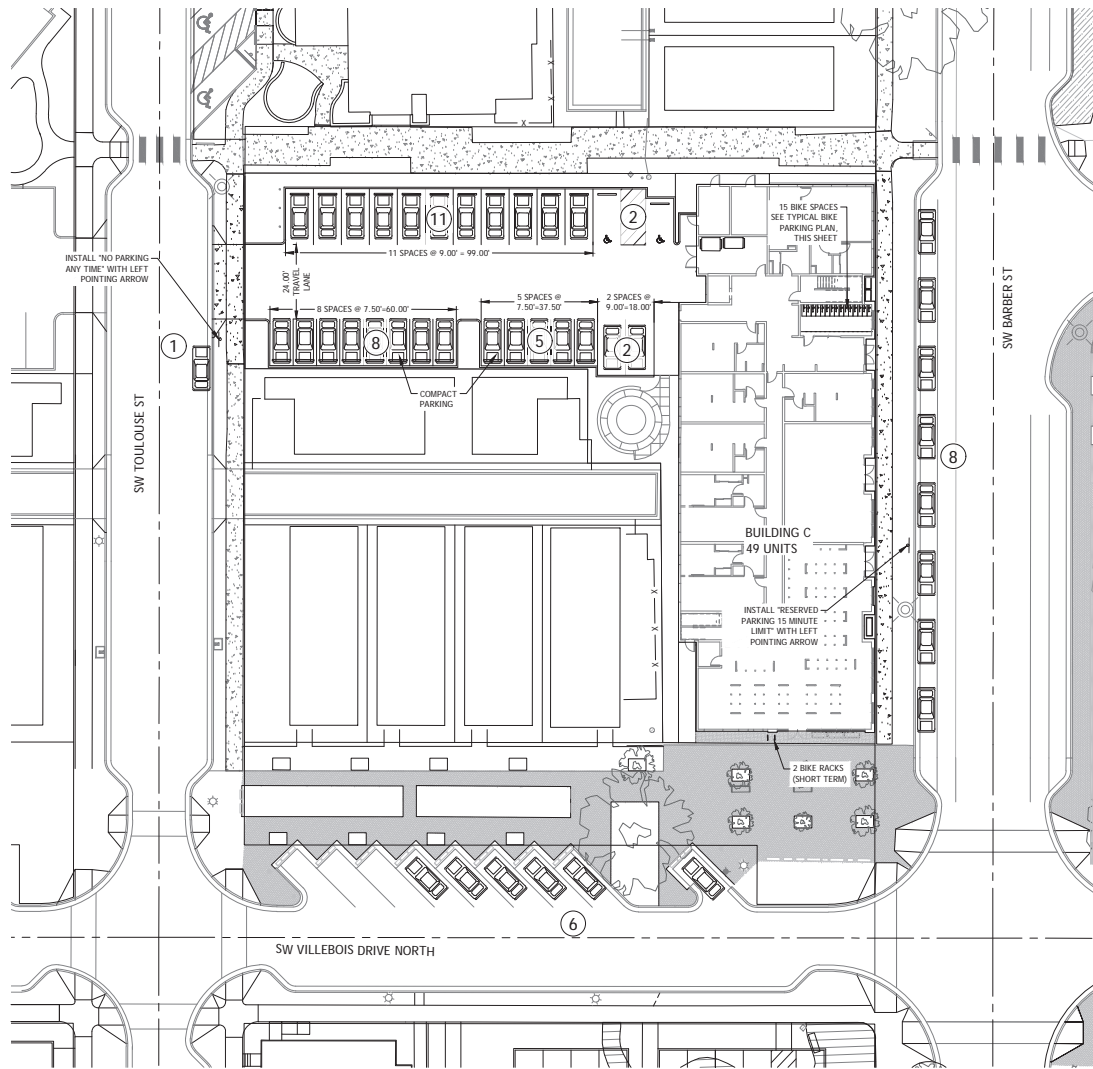
COVER
SHEET

2nd Submittal Date: 05/14/2021

1

N:\proj\18-063\07 Drawings\03 Planning\Sheets - Planning\Submittal\DP-2C-139603-DP-2C-Parking.dwg - SHEET 3 - May 12, 21 - 12:27 PM pm

ELEVATION DATUM: NAVD 88



Off-Street Parking Requirements according to Section 4.125 Table V-2:

Multi-Family Dwellings	
16 Studio Units at 1.0 space/ unit	= 16 spaces
26 1-Bed Units at 1.0 spaces/ unit	= 26 spaces
7 2-Bed Units at 1.5 spaces/ unit	= 11 spaces
Retail/ Commercial	
1,129 sq. ft. at 2.0 Spaces/ 1,000 sq. ft.	= 2 spaces

Vehicle Parking Requirements per Section 4.125 Table V-2 = 55 spaces

Vehicle Parking Provided with Buildings 'C' on Lot 73:

Off-Street Standard Spaces	= 13 spaces
Off-Street Compact Spaces	= 13 spaces
Off-Street ADA Spaces	= 2 spaces
On-Street - SW Barber Street	= 5 spaces
On-Street - SW Barber Street (15-min parking for Mail Room)	= 3 spaces
On-Street - SW Villebois Drive North	= 6 spaces
On-Street - SW Toulouse Street	= 1 spaces

Vehicle Parking Provided = 43 spaces

Bicycle Parking Requirements according to Section 4.125 Table V-2:

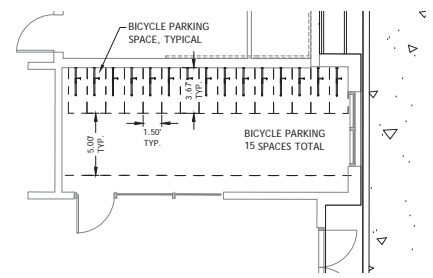
Multi-Family Dwellings	
Short Term 49 units at 1.0 space/ 20 units	= 2 spaces
Long Term 49 units at 1.0 space per 4 units	= 12 spaces
Retail/ Commercial	
Short Term 1,129 sq. ft. at 1.0 space/ 10,000 sq. ft. (Min. 2 spaces)	= 2 spaces
Long Term 1,129 sq. ft. at 1.0 Spaces/ 40,000 sq. ft. (Min. 2 spaces)	= 2 spaces

Total Short Term Bicycle Parking Spaces Required = 4 spaces
 Total Long Term Bicycle Parking Spaces Required = 14 spaces
 Total Bicycle Parking Spaces Required = 18 spaces

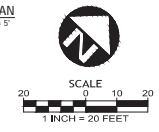
Bicycle Parking Provided:

Short Term	= 4 spaces
Exterior Bike Racks	= 15 spaces
Long Term	= 49 spaces
Bike Storage Room on 1st Floor 49 units at 1.0 Space per Unit	= 49 spaces

Total Bicycle Parking Provided = 68 spaces



TYPICAL BIKE PARKING PLAN
SCALE: T = 5"



REVISIONS
DATE DESCRIPTION

PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

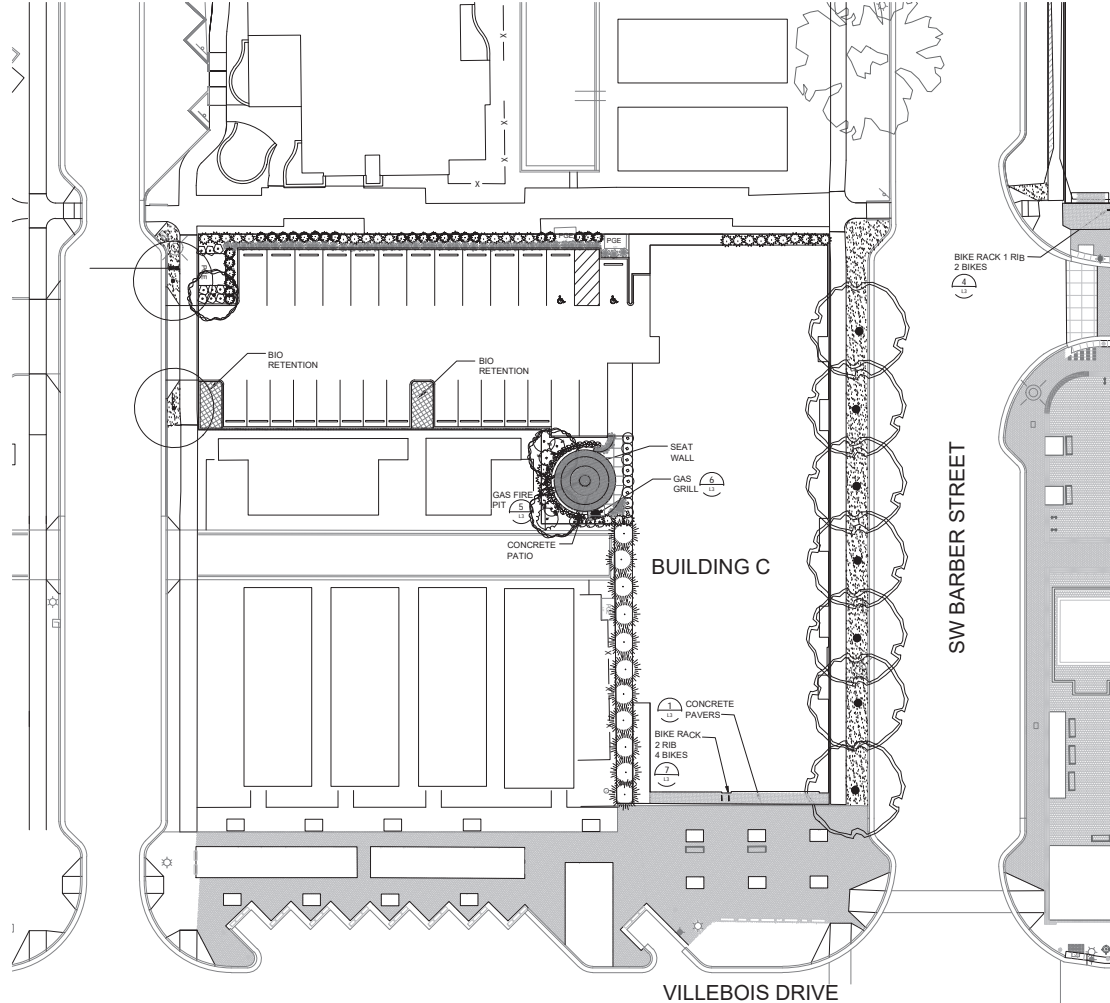
Final
Development
Plan

PRELIMINARY
PARKING
PLAN

2nd Submittal Date: 05/14/2021

3

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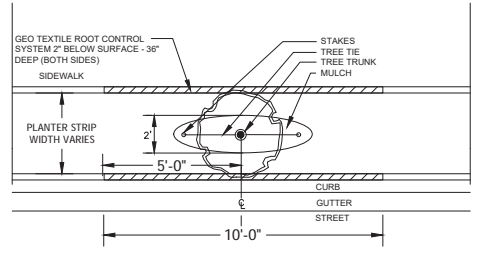
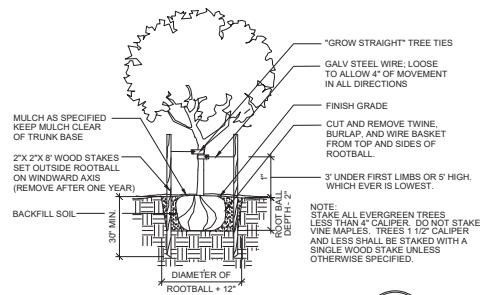
PLANTING LEGEND

STREET TREES

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION
	7	VILLAGE GREEN ZELKOVA / ZELKOVA SERRATA 'VILLAGE GREEN': 2" CAL., B&B, 25' O.C.
	2	AUTUMN BLAZE MAPLE / ACER FREEMANI 'AUTUMN BLAZE': 2 1/2" CAL. B&B, 25' O.C.

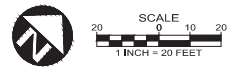
LAWN - STREET TREES

SYMBOL	SIZE AND DESCRIPTION
	LAWN (SEEDED) PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. RATE 8 LBS/1000 SQUARE FEET.



1 PDP 2C MOD SITE C STREET TREE / LAYOUT PLAN

ELEVATION DATUM: NAVD 88



Villebois

C2K
ARCHITECTURE

POD
PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR
97223
(T) 503-941-9484
GEODESIGN, INC

REVISIONS
DATE DESCRIPTION

**PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE**

Final
Development
Plan

**STREET TREE
PLANTING
LAYOUT
PLAN**

2nd Submittal Date: 05/14/2021

L1



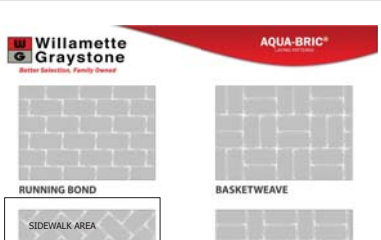
WILLAMETTE GRAYSTONE
Aqua-Bric®
 Better Solutions. Family Owned.

HIGHLIGHTS/RECOMMENDED USE
 SIDEWALKS, DRIVEWAYS, PATIOS, DECKS & STAIRS
 PERMEABLE DRIVEWAYS (PERMITS WATER INFILTRATION)

Aqua-Bric® is a pedestrian friendly concrete paver and sub-irrigated using the environmentally sound Bio-Aquifer Storm System (BASIS™) provides a permeable solution for storm water management. The Aqua-Bric® paver is a superior choice for projects where function and design blend to create exceptional, aesthetic spaces.

Product Information
 Aqua-Bric® is made of concrete and is made in the USA.
 Aqua-Bric® is made of concrete and is made in the USA.
 Aqua-Bric® is made of concrete and is made in the USA.

ITEM	DESCRIPTION	UNIT	PRICE
1000	1000	1000	1000
2000	2000	2000	2000
3000	3000	3000	3000
4000	4000	4000	4000
5000	5000	5000	5000
6000	6000	6000	6000
7000	7000	7000	7000
8000	8000	8000	8000
9000	9000	9000	9000
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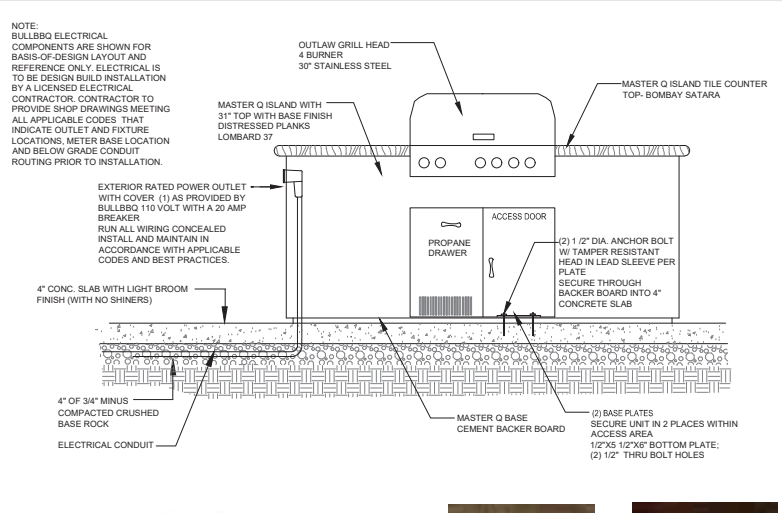


WILLAMETTE GRAYSTONE
Aqua-Bric®
 Better Solutions. Family Owned.

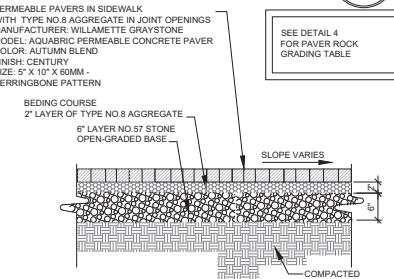
PAVER PATTERNS

- RUNNING BOND
- BASKETWEAVE
- SIDEWALK AREA
- 45° HERRINGBONE
- MODIFIED BASKETWEAVE
- 90° HERRINGBONE
- STACK BOND

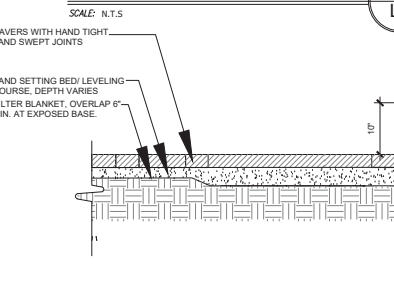
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6000	6000	6000	6000
7000	7000	7000	7000
8000	8000	8000	8000
9000	9000	9000	9000
10000	10000	10000	10000



AQUA - BRIC CUT SHEET
 SCALE: N.T.S.



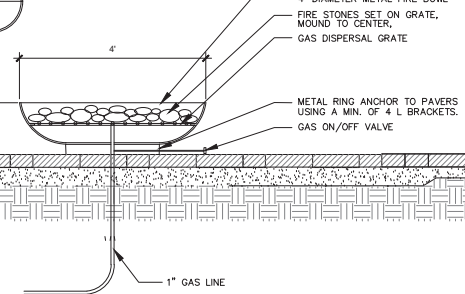
SIDEWALK AREA- 60 MM PERMEABLE PAVER- AUTUMN BLEND
 SCALE: N.T.S.



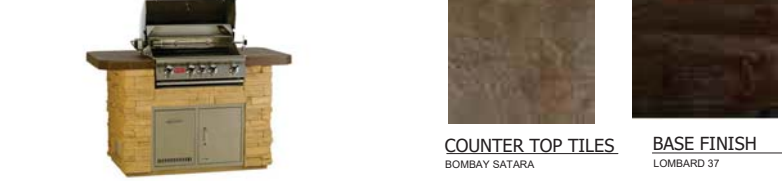
PAVER PATTERNS
 SCALE: N.T.S.



PAVERS
 SCALE: N.T.S.



FIRE BOWL DETAIL
 SCALE: N.T.S.



GAS GRILL
 SCALE: N.T.S.

BBQ GRILL HEAD
 MANUFACTURER: BULL BBQ
 MODEL: OUTLAW
 ITEM # LP 26038 NP 26039
 4-BURNER 30" STAINLESS STEEL BUILT-IN PROPANE GAS

BULL BBQ
 2483 WEST WALNUT AVE, RIALTO CA, 92376
 TOLL FREE: (800) 521.2855
 WEB SITE: HTTP://WWW.BULLBQ.COM
 EMAIL: CONTACT@BULLBQ.COM

GAS GRILL
 SCALE: N.T.S.



BIKE RACK
 SCALE: N.T.S.

ELEVATION DATUM: NAVD 88

Villebois
C2K ARCHITECTURE
P&D PACIFIC COMMUNITY DESIGN
 12544 SW Main Street Tigard, OR 97223
 (T) 503-941-9484
 GEODESIGN, INC.

REVISIONS
 DATE DESCRIPTION

PDP 2C MOD VILLEBOIS VILLAGE MIXED-USE

Final Development Plan

DETAILS

2nd Submission Date: 05/14/2021

L3

N:\pdp\2c\05\07 Drawing\03 Planning\Sheets - Planning\Submission\Landscaping\PDP 2C\3786651.L3\DETAILS - PDP 2C.dwg - SHEET L4 - May 12, 21 - 1:03 PM - rishma

VILLEBOIS VILLAGE CENTER APARTMENTS

WILSONVILLE, OR
RESIDENTIAL MIXED-USE DEVELOPMENT



BUILDING C

PROJECT DIRECTORY

OWNER

COSTA PACIFIC COMMUNITIES
1435 SE INDUSTRIAL WAY
CLACKAMAS, OR 97015
CONTACT: RUDY KAGLER

ARCHITECT

C2K ARCHITECTURE INC.
1645 NW HOYT ST
PORTLAND, OREGON 97209
P. 503.444.2200
CONTACT: JOHN WRIGHT

CIVILLANDSCAPE

PACIFIC COMMUNITY DESIGN
12564 SW MAIN STREET
TIGARD, OR 97223
P. 503.828.5207
CONTACT: STACY CONNERY

BUILDING C OVERVIEW

WE ARE PROPOSING 1 NEW BUILDING ON LOT 73, WHICH IS CURRENTLY VACANT. LOT 73 CREATES THE PLAZA BORDER ACROSS SW BARBER ST. THE TOTAL LOT SIZE IS APPROX 0.50 ACRES.

BUILDING C IS LOCATED ON THE NORTHWEST CORNER OF SW VILLOBOIS DR AND SW BARBER ST. THE PROPOSED 4 STORY WOOD-FRAMED APARTMENT BUILDING CONSISTS OF 48 TOTAL RESIDENTIAL UNITS WITH GRADE LEVEL PARKING. BUILDING C WILL ALSO HOUSE THE COMMUNITY POSTAL CENTER, RELOCATING THE MAILBOXES CURRENTLY AT SW VILLOBOIS DR AND MONT BLANC ST. THE TOTAL BUILDING AREA IS APPROXIMATELY 42,100 SF.

SEE SEPARATE LUR APPLICATION PACKAGE FOR BLDGS A AND B, WHICH ARE INCLUDED WITHIN THIS PROPOSED PROJECT.

BUILDING C SUMMARY

NEW BUILDING - GROUND FLOOR											
Room	Area	Volume	Count	Unit	Area	Volume	Count	Unit	Area	Volume	Count
Garage	10,000	10,000	1	Garage	10,000	10,000	1	Garage	10,000	10,000	1
...
TOTAL	42,100	42,100	48	Units	42,100	42,100	48	Units	42,100	42,100	48

NEW BUILDING - SECOND FLOOR											
Room	Area	Volume	Count	Unit	Area	Volume	Count	Unit	Area	Volume	Count
...
TOTAL	10,000	10,000	1	Garage	10,000	10,000	1	Garage	10,000	10,000	1

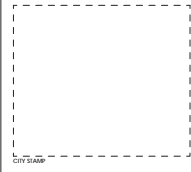
DRAWING INDEX_BLDG C

A.002	COVER SHEET - BLDG C
A.122	MATERIALS BOARD - BLDG C
A.123	EXTERIOR VERTICAL ASSEMBLIES - BLDG C
A.202	ARCHITECTURAL SITE PLAN - BLDG C
A.211	BUILDING C LEVEL 1 PLAN
A.212	BUILDING C LEVEL 2-4 PLAN
A.213	BUILDING C ROOF PLAN
A.214	BUILDING C UNIT PLANS
A.311	BUILDING C ELEVATIONS
A.312	BUILDING C ELEVATIONS
A.411	SIGNAGE PLAN - BLDG C
A.412	SIGNAGE PLAN - BLDG C
A.413	SIGNAGE PLAN - BLDG C
A.414	SIGNAGE PLAN - BLDG C
A.502	SITE LIGHTING PLAN - BLDG C

VICINITY MAP



C2K
ARCHITECTURE
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200



VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
DRAWN: Author
DATE: 14 MAY 2021
LAND USE REVIEW

REVISION: DESCRIPTION

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LAND USE REVIEW

PRELIMINARY NOT FOR CONSTRUCTION

SHEET TITLE:
COVER SHEET - BLDG C

SHEET NO.:
A.002

C:\Draws\Locales\18115_Villobois\mdundant

6/3/2021 11:24:46 AM



BUILDING C



CITY'S PLANNING

**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

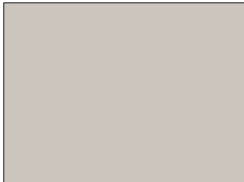
PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW

REVISION: DESCRIPTION:

BRICK VENEER:
 MUANA LOA (MUTUAL MATERIALS)



FIBER CEMENT BOARD AND BATTEN PANEL:
 ALPACA (SW 7022)



FIBER CEMENT REVEAL PANEL:
 MARIGOLD ORANGE (SW 6664)



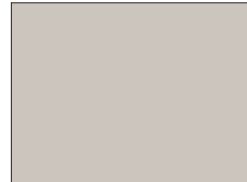
FIBER CEMENT LAP SIDING:
 ROCK BOTTOM (SW 7062)



FLASHING / BAND / TRIM:
 IRON ORE (SW 7069)



FIBER CEMENT LAP SIDING:
 ALPACA (SW 7022)



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 FOR CONSTRUCTION**

LAND USE REVIEW

SHEET TITLE:
MATERIALS BOARD - BLDG C

SHEET NO.:
A.122



**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW

REVISION: DESCRIPTION:

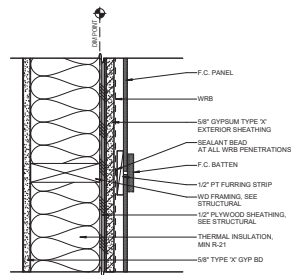
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SHEET TITLE:
**EXTERIOR VERTICAL ASSEMBLIES -
 BLDG C**

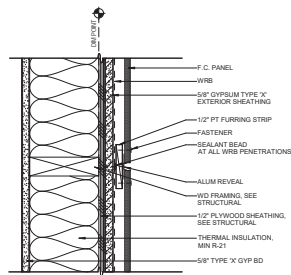
SHEET NO.:
A.152

LAND USE REVIEW



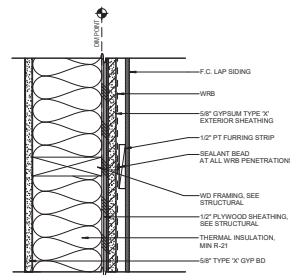
NOTES:
 1. FIRE RATING: 1 HR, GA FILE NO. WP 8105
 2. PLYWOOD SHEATHING PERMITTED PER GA-600-2012 NOTE 23

4 04 - EXT - 1 HR F.C. BOARD & BATTEN - BLDG C
 1/16" 3" = 1'-0"



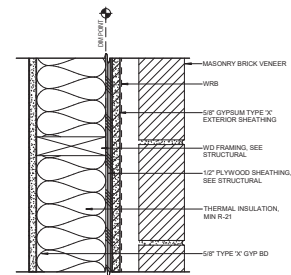
NOTES:
 1. FIRE RATING: 1 HR, GA FILE NO. WP 8105
 2. PLYWOOD SHEATHING PERMITTED PER GA-600-2012 NOTE 23

3 03 - EXT - 1 HR F.C. REVEAL PANEL WALL - BLDG C
 1/16" 3" = 1'-0"



NOTES:
 1. FIRE RATING: 1 HR, GA FILE NO. WP 8105
 2. PLYWOOD SHEATHING PERMITTED PER GA-600-2012 NOTE 23

2 02 - EXT - 1 HR F.C. LAP SIDING WALL - BLDG C
 1/16" 3" = 1'-0"



NOTES:
 1. FIRE RATING: 1 HR, GA FILE NO. WP 8105
 2. PLYWOOD SHEATHING PERMITTED PER GA-600-2012 NOTE 23

1 01 - EXT - 1 HR BRICK VENEER WALL - BLDG C
 1/16" 3" = 1'-0"

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03/2021 11:24:49 AM

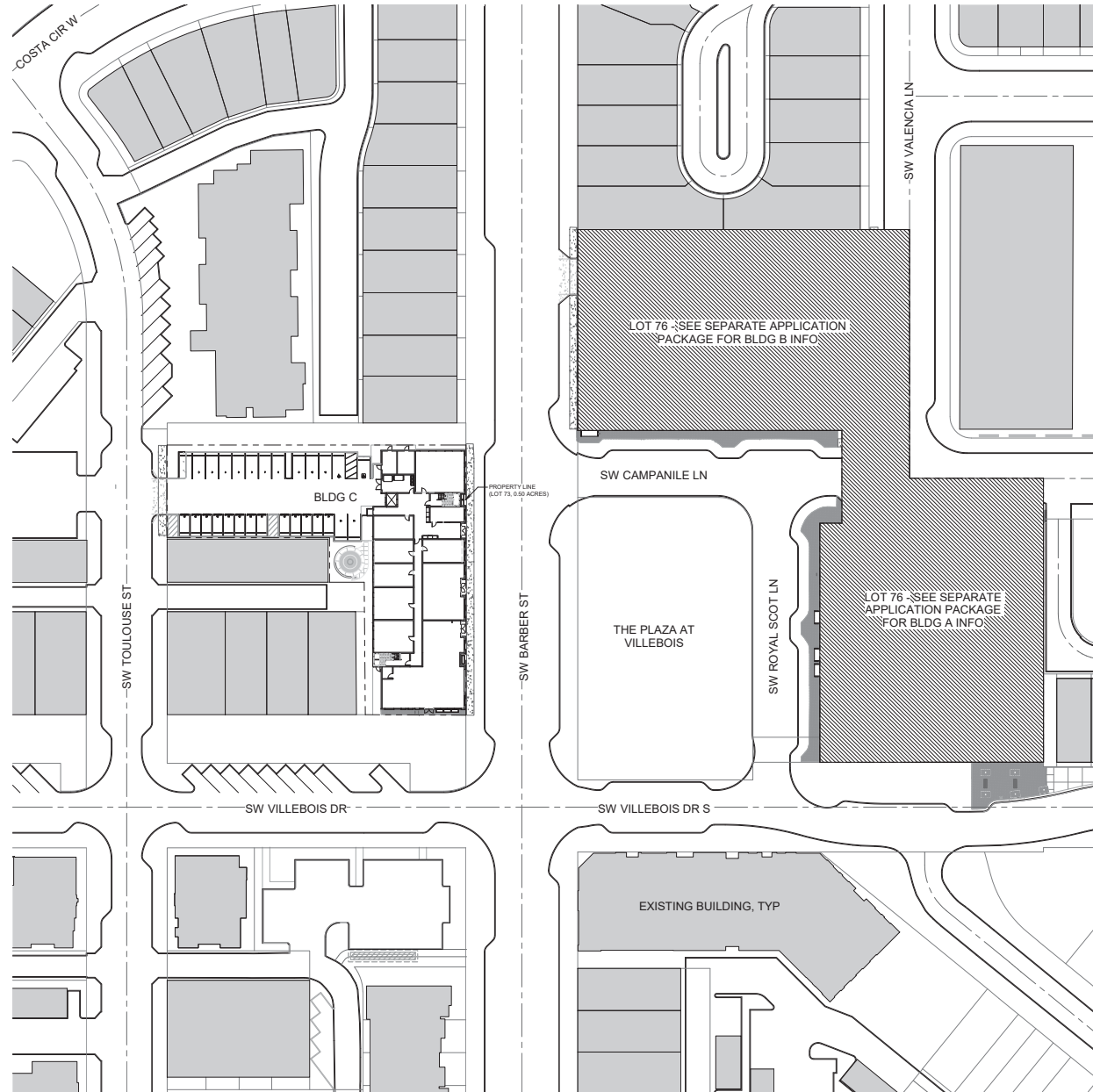
ARCH SITE PLAN - GENERAL NOTES

- SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION. ARCHITECTURAL SITE PLAN FOR REFERENCE REGARDING ARCHITECTURAL DRAWINGS.

PHASED DEVELOPMENT PLAN

- TOTAL CONSTRUCTION TIME FOR BUILDINGS A, B, AND C IS ESTIMATED TO LAST BETWEEN 16 AND 18 MONTHS
- BUILDING B WILL BE DELIVERED FIRST, FOLLOWED BY A, THEN BY C ALL ROUGHLY 1 MONTH APART
- SITE WORK WILL BE COMPLETED DURING THE LAST 3-4 MONTHS OF CONSTRUCTION

NOTE: SEE SEPARATE APPLICATION PACKAGE FOR BLDGS A & B. BLDG A & B INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.



1 SITE PLAN - BLDG C
 A.202
 1" = 30'-0"



CITY BLOCK

**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW
 REVISION: DESCRIPTION

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 FOR CONSTRUCTION**

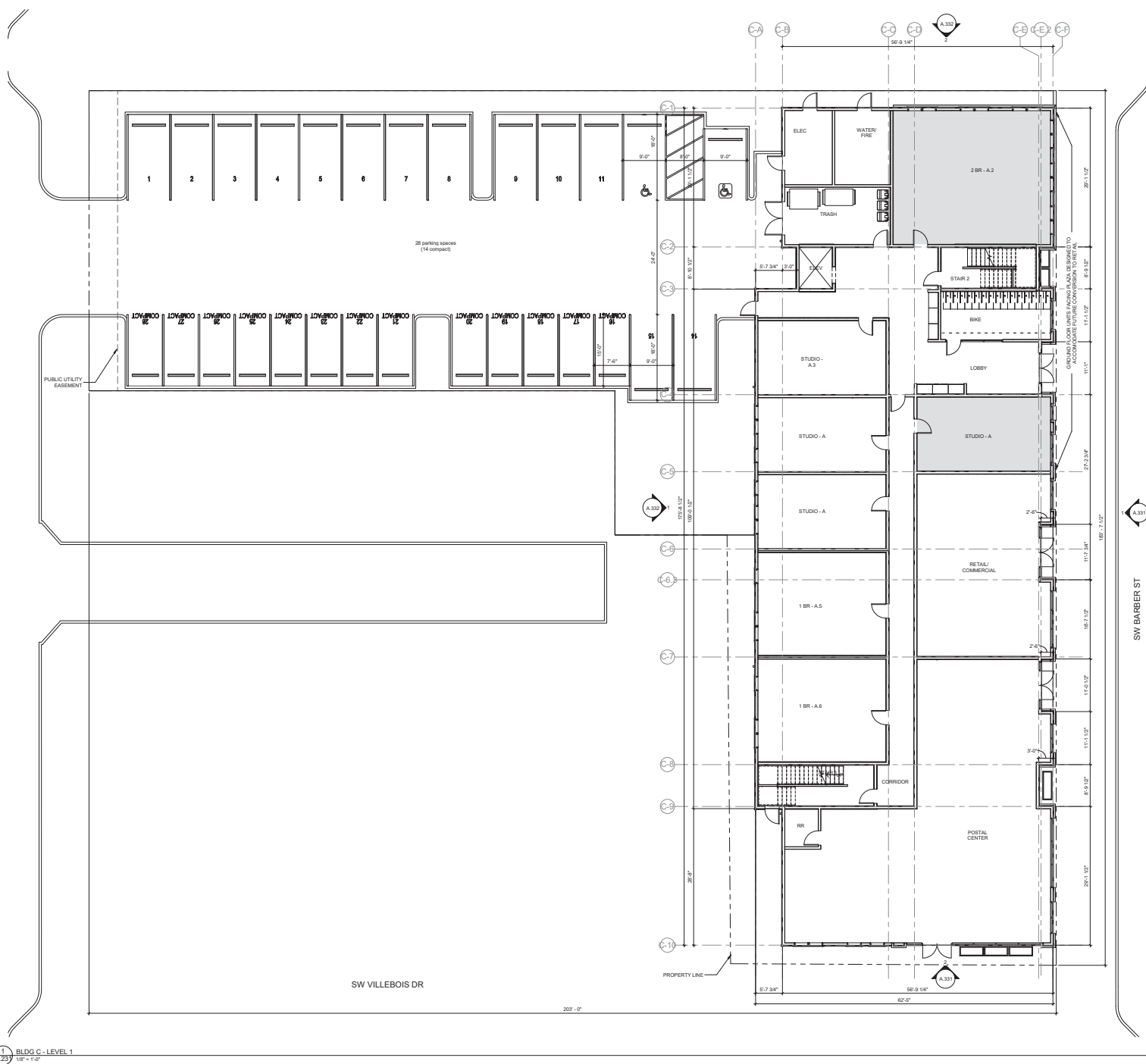
LAND USE REVIEW

SHEET TITLE:
**ARCHITECTURAL SITE PLAN -
 BLDG C**

SHEET NO.:
A.202

GENERAL NOTES - PLANS

1. ALL CORRIDOR AND DEMISING WALLS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM. ALL WALLS BETWEEN RETAIL SERVICES OR FUTURE RETAILS AND OTHER BUILDING FUNCTIONS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM.
2. ALL STAIR, ELEVATOR, AND SHAFT WALLS TO HAVE A 2 HR FIRE RESISTANCE RATING.
3. ALL EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF 1 HR PER THE EXTERIOR VERTICAL ASSEMBLY SHEET.



VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW

REVISION: DESCRIPTION:

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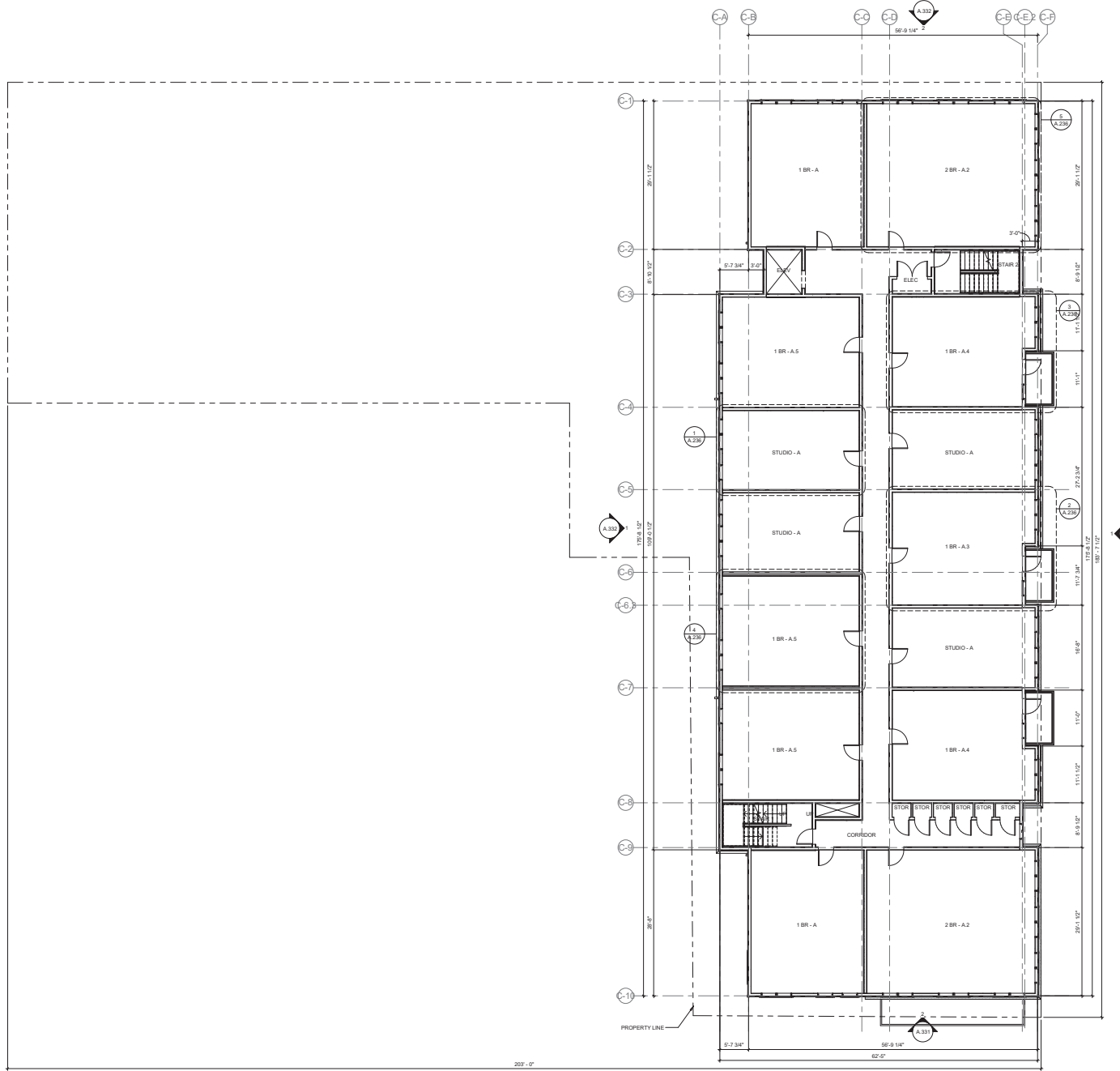
LAND USE REVIEW

SHEET TITLE:
BUILDING C LEVEL 1 PLAN

SHEET NO.:
A.231

GENERAL NOTES - PLANS

1. ALL CORRIDOR AND DEMING WALLS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM. ALL WALLS BETWEEN RETAIL SERVICES OR FUTURE RETALS AND OTHER BUILDING FUNCTIONS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM.
2. ALL STAIR, ELEVATOR, AND SHAFT WALLS TO HAVE A 2 HR FIRE RESISTANCE RATING.
3. ALL EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF 1 HR PER THE EXTERIOR VERTICAL ASSEMBLY SHEET.



**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW

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 FOR CONSTRUCTION**

LAND USE REVIEW

SHEET TITLE:
BUILDING C LEVEL 2-4 PLAN

SHEET NO.:
A.232



VILLEBOIS VILLAGE CENTER

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW
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LAND USE REVIEW

SHEET TITLE:
BUILDING C ROOF PLAN

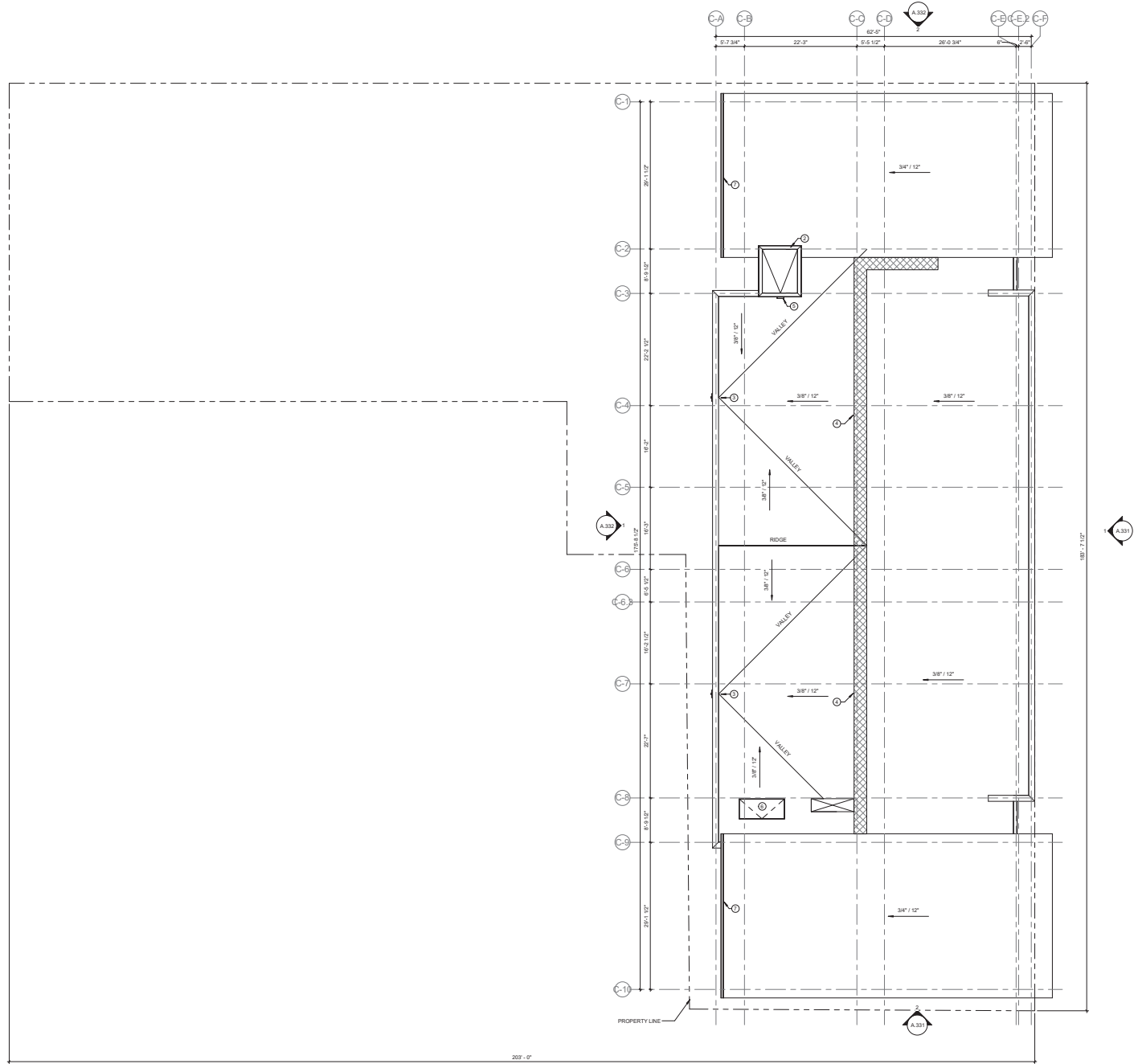
SHEET NO.:
A.235

GENERAL NOTES - ROOF PLAN

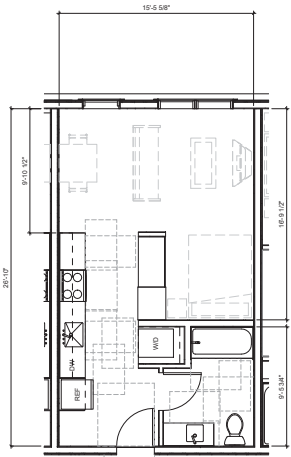
1. ROOF SLOPES ARE 1/2" / 12" MIN UON.
2. PROVIDE ROOF CRICKETS AT ALL CURBS.

KEYNOTES - LUR ROOF PLAN

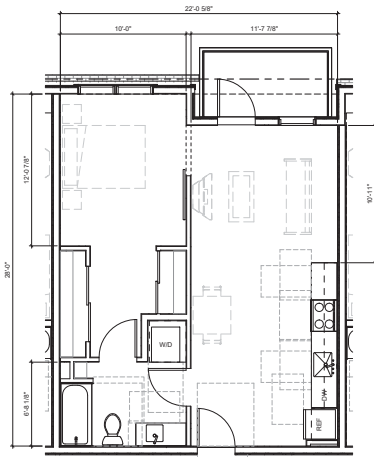
1	ELEVATOR OVERRUN
2	ROOF DRAIN W/ DOWNSPOUT
3	WALKWAY PIS
4	THROUGH WALL SCUPPER
5	ROOF PATCH
6	GUTTER AND DOWNSPOUT



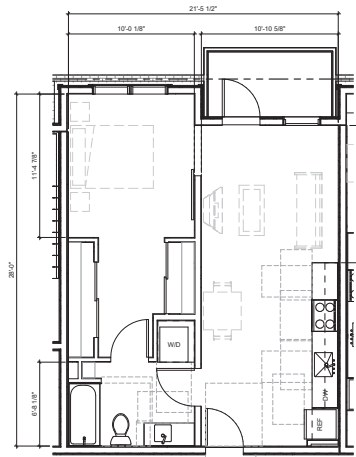
1 BLDG C - ROOF PLAN
 1/2" = 1' - 0"



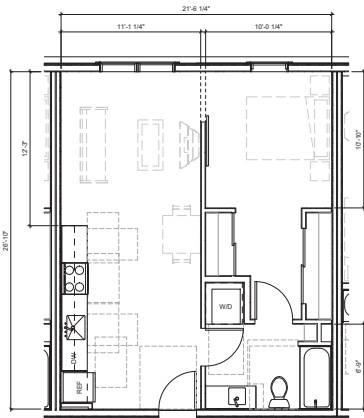
1 STUDIO - A
 1/4" = 1'-0"



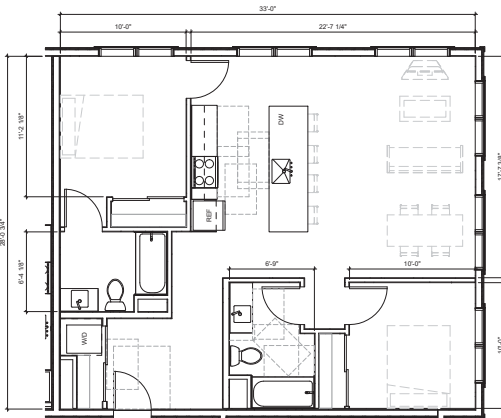
2 1 BR - A.3
 1/4" = 1'-0"



3 1 BR - A.4
 1/4" = 1'-0"



4 1 BR - A.5
 1/4" = 1'-0"



5 2 BR - A.2
 1/4" = 1'-0"

00
 CITY STATE

VILLEBOIS VILLAGE CENTER

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
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LAND USE REVIEW 6

PRELIMINARY NOT
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SHEET TITLE:
BUILDING C UNIT PLANS

SHEET NO.:
A.236

KEYNOTES - LUR ELEVATIONS	
1	FIBER CEMENT LAP SIDING - PEPPER CORN
2	FIBER CEMENT LAP SIDING - ONE T OF WHITE
3	FIBER CEMENT LAP SIDING - SUNFLOWER ORANGE
4	FIBER CEMENT LAP SIDING - ROCK BOTTOM
5	FIBER CEMENT LAP SIDING - ALPACA
6	FIBER CEMENT REVEAL PANEL - WHITE
7	FIBER CEMENT REVEAL PANEL - GRANITE 1 GRAY
8	FIBER CEMENT REVEAL PANEL - MARIGOLD ORANGE
9	FIBER CEMENT REVEAL PANEL - SUNFLOWER ORANGE
10	BRICK VENER - ASPEN
11	BRICK VENER - COAL CREEK
12	BRICK VENER - MAMMA LOA
13	FIBER CEMENT BOARD AND BATTEN PANEL - ALPACA
14	CRITTER AND DOWNSPOUT - PAINTED BLACK
15	FIBER CEMENT REVEAL PANEL - CAVIAR
16	CABLE RAILING BOLTON BALCONY (5'-6" x 10'-0" PLAN DIMS)
17	CABLE RAILING BOLTON BALCONY (5'-6" x 10'-0" PLAN DIMS)
18	PAINTED STEEL CHANNEL CANOPY
19	METAL COPING - BLACK
20	METAL COPING - 3/8" - BLACK
21	FIBER CEMENT - FACIAL BRANDE - IRON ORE
22	PAINTED METAL ANGLE FLASHING BETWEEN LAP SIDING AND BRICK PANEL - TOP
23	HARDE REVEAL
24	METAL PRE-FORMED OUTSIDE CORNERS @ LAP SIDING
25	1/4" FIBER CEMENT EDGE TRIM
26	PAINTED PLATE STEEL CANOPY
27	VINYL WINDOW
28	STOREFRONT SYSTEM



1 BLDG C - ELEVATION - EAST
 1/8" = 1'-0"



2 BLDG C - ELEVATION - SOUTH
 1/8" = 1'-0"



CITY SITE

VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
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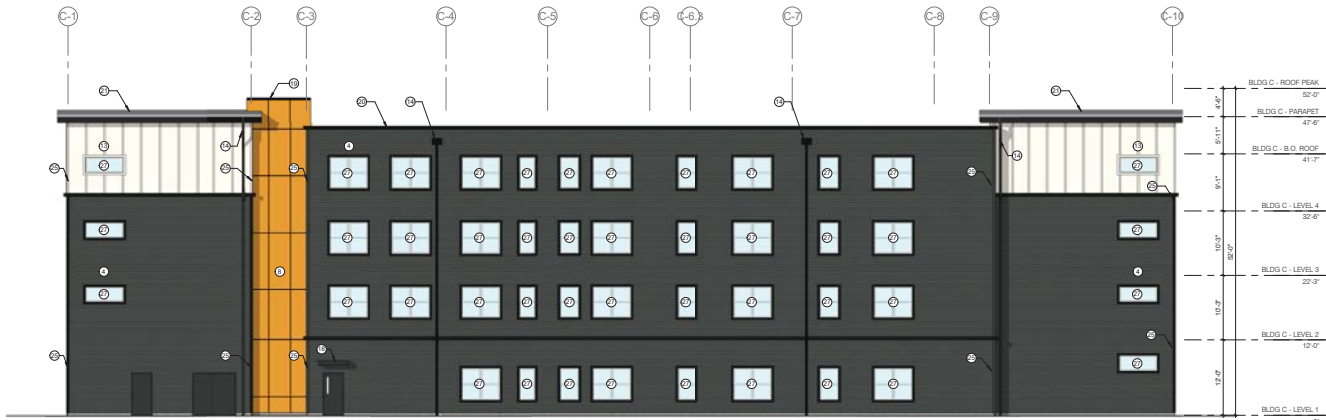
LAND USE REVIEW

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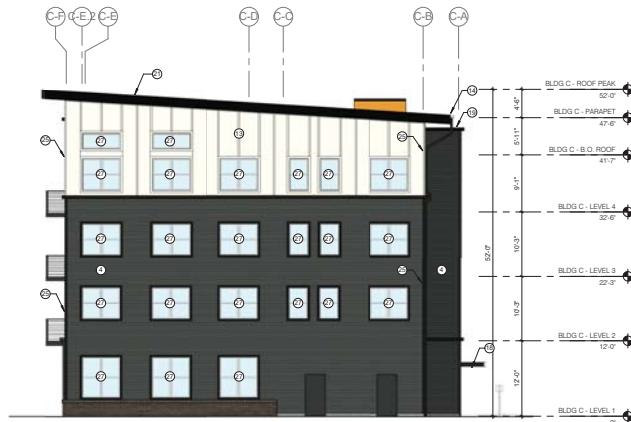
SHEET TITLE:
BUILDING C ELEVATIONS

SHEET NO.:
A.331

KEYNOTES - LUR ELEVATIONS	
1	FIBER CEMENT LAP SIDING - PEPPER CORN
2	FIBER CEMENT LAP SIDING - ONE T OF WHITE
3	FIBER CEMENT LAP SIDING - SUNFLOWER ORANGE
4	FIBER CEMENT LAP SIDING - ROCK BOTTOM
5	FIBER CEMENT LAP SIDING - ALPACA
6	FIBER CEMENT REVEAL PANEL - WHITE
7	FIBER CEMENT REVEAL PANEL - GRANITE 1 GRAY
8	FIBER CEMENT REVEAL PANEL - MARIGOLD ORANGE
9	FIBER CEMENT REVEAL PANEL - SUNFLOWER ORANGE
10	BRICK VENER - ASPEN
11	BRICK VENER - COAL CREEK
12	BRICK VENER - MAMMA LOU
13	FIBER CEMENT BOARD AND BATTEN PANEL - ALPACA
14	CRITTER AND DOWNROD - PAINTED BLACK
15	FIBER CEMENT REVEAL PANEL - CAVIAR
16	CABLE RAILING BOLTON BALCONY (5'-6" x 8'-10" PLAN DIMS)
17	CABLE RAILING BOLTON BALCONY (5'-6" x 10'-2" PLAN DIMS)
18	PAINTED STEEL CHANNEL CANOPY
19	METAL COPING - BLACK
20	METAL COPING - 3/8" - BLACK
21	FIBER CEMENT - FASCIA BOARD - IRON ORE
22	PAINTED METAL ANGLE FLASHING BETWEEN LAP SIDING AND REVEAL PANEL - TOP
23	HARDE REVEAL
24	METAL PERFORMED OUTSIDE CORNERS @ LAP SIDING
25	1/4" FIBER CEMENT EDGE TRIM
26	PAINTED PLATE STEEL CANOPY
27	VINYL WINDOW
28	STOREFRONT SYSTEM



1 BLDG C - ELEVATION - WEST
 1/8" = 1'-0"



2 BLDG C - ELEVATION - NORTH
 1/8" = 1'-0"



CITY LIMITS

VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
 DRAWN BY: Author
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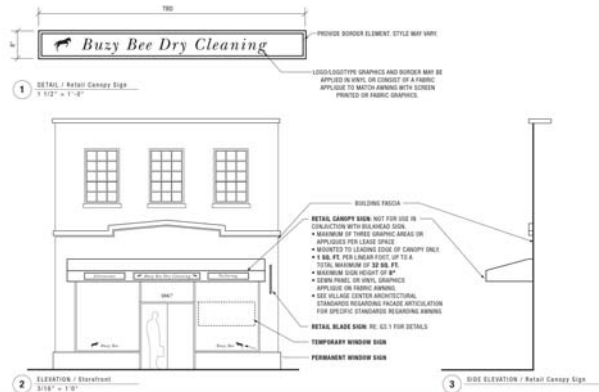
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SHEET TITLE:
BUILDING C ELEVATIONS

SHEET NO.:
A.332

SIGNAGE PLAN - GENERAL NOTES

1. SITE AND BUILDING SIGNAGE IS TO BE A DEFERRED SUBMITTAL AND WILL BE REVIEWED BY THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN.
2. RELEVANT SHEETS FROM THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN HAVE BEEN PROVIDED FOR REFERENCE.

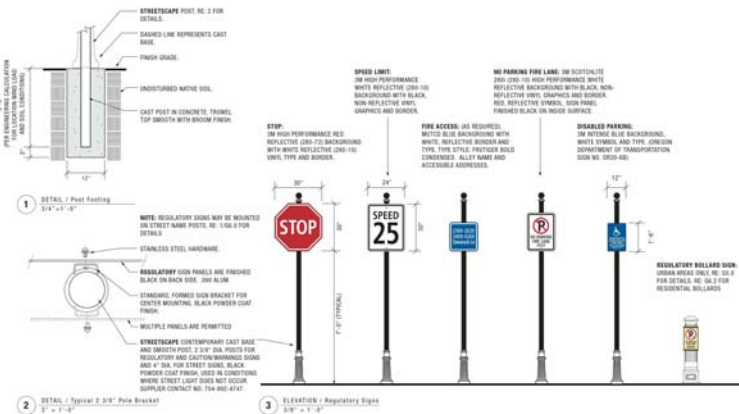


AMORINI design MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/20/20

RETAIL SIGNS 03.1

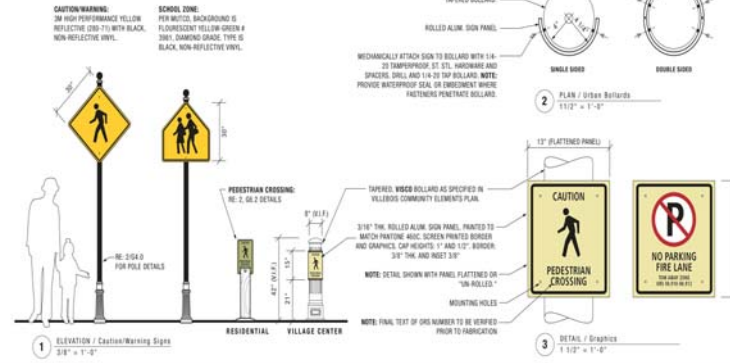
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RETAIL SIGNS 03.2



AMORINI design MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/20/20

REGULATORY SIGNS 04.0



AMORINI design MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/20/20

CAUTION / WARNING SIGNS 05.0

**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 10115
 DRAWN: Author
 DATE: 14 MAY 2021
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LAND USE REVIEW

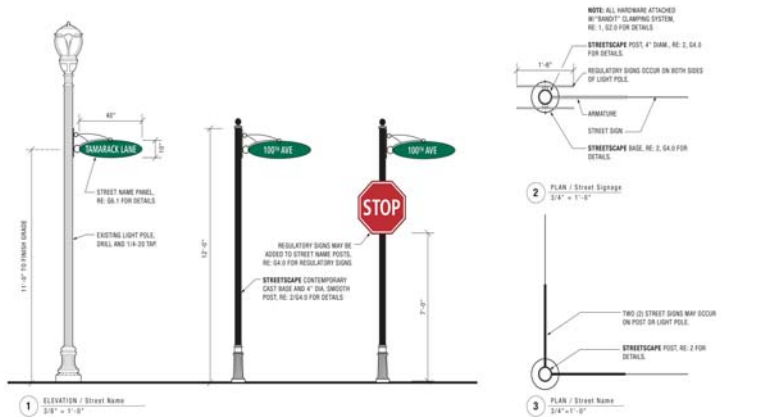
SHEET TITLE:
SIGNAGE PLAN - BLDG C

SHEET NO.:
A.412

PRELIMINARY NOT
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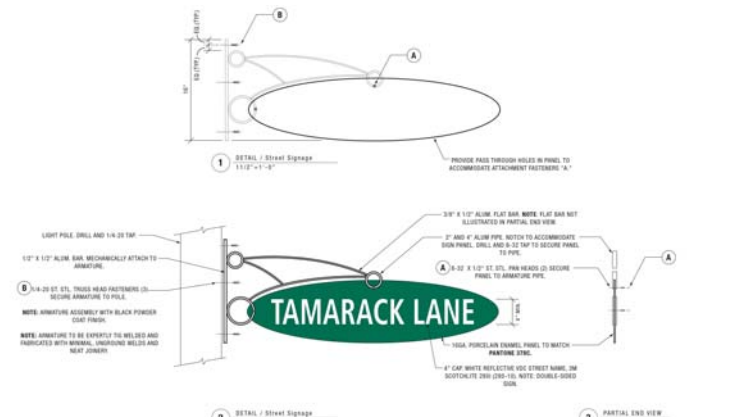
SIGNAGE PLAN - GENERAL NOTES

1. SITE AND BUILDING SIGNAGE IS TO BE A DEFERRED SUBMITTAL AND WILL ACHIEVE BY THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN.
2. RELEVANT SHEETS FROM THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN HAVE BEEN PROVIDED FOR REFERENCE.



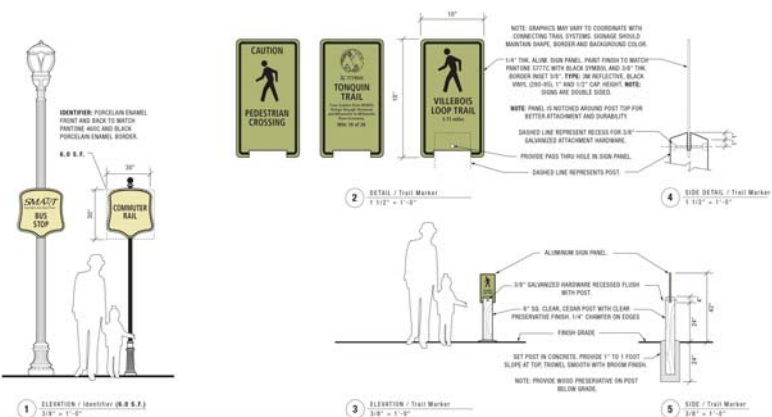
LOCATION	APPLICATION	DESCRIPTION
Placed along primary vehicular streets at intersections.	Identify all streets located within the Village community. This design is intended to be used throughout the community.	This color contrast system uses sign panels with safety grade reflective strip to aid legibility. Custom metal annuity that supports the sign panel. All signs are double-sided.

MASTER SIGNAGE & WAYFINDING PLAN | DESIGN FINALIZATION 100% | 2/28/20 | INFORMATIONAL SIGNS | 06.0



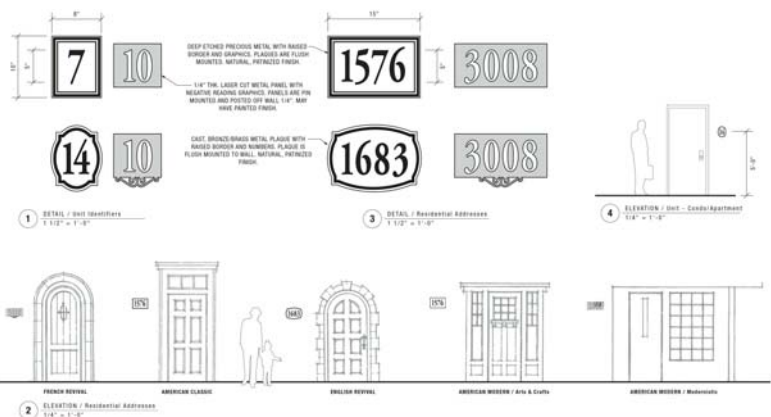
LOCATION	APPLICATION	DESCRIPTION
Placed along primary vehicular streets at intersections.	Identify all streets located within the Village community. This design is intended to be used throughout the community.	This color contrast system uses sign panels with safety grade reflective strip to aid legibility. Custom metal annuity that supports the sign panel. All signs are double-sided.

MASTER SIGNAGE & WAYFINDING PLAN | DESIGN FINALIZATION 100% | 2/28/20 | INFORMATIONAL SIGNS | 06.1



LOCATION	APPLICATION	DESCRIPTION
Placed along primary vehicular streets at intersections.	Identify all streets located within the Village community. This design is intended to be used throughout the community.	This color contrast system uses sign panels with safety grade reflective strip to aid legibility. Custom metal annuity that supports the sign panel. All signs are double-sided.

MASTER SIGNAGE & WAYFINDING PLAN | DESIGN FINALIZATION 100% | 2/28/20 | INFORMATIONAL SIGNS | 06.2



LOCATION	APPLICATION	DESCRIPTION
Placed on or near residential entry to be visible from the street.	To enhance the historic architectural style. To provide a consistent typographic style and consistent number size throughout the neighborhood.	Each sign placed at center of sign post, horizontal and background of signs should be white. Use sign panel and double mounted sign, white sign hardware on a dark background on both numbers or light background.

MASTER SIGNAGE & WAYFINDING PLAN | DESIGN FINALIZATION 100% | 2/28/20 | INFORMATIONAL SIGNS | 06.3

VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW

REVISION: DESCRIPTION

LAND USE REVIEW

SHEET TITLE:
SIGNAGE PLAN - BLDG C

SHEET NO.:
A.413

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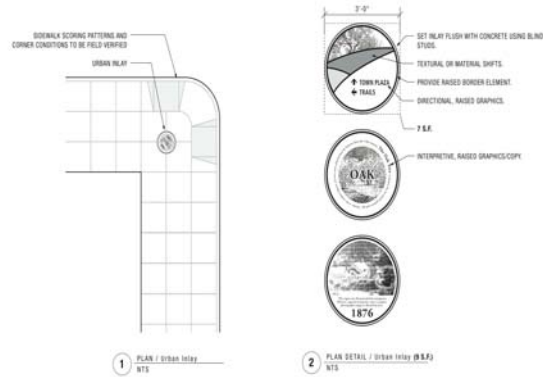
SIGNAGE PLAN - GENERAL NOTES

1. SITE AND BUILDING SIGNAGE IS TO BE A DEFERRED SUBMITTAL AND WILL ACHIEVE BY THE SAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN
2. RELEVANT SHEETS FROM THE SAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN HAVE BEEN PROVIDED FOR REFERENCE

C2K

ARCHITECTURE

1645 NW HOYT
 PORTLAND OREGON 97209
 503 444 2200



LOCATION

Walkway signage along major pedestrian thoroughfare in the village center located in urban area only. Can be located in color as a series.

APPLICATION

To enhance the village identity and draw for a sense of discovery by residents and visitors. Signed mounted graphic signs would not require night time to 100% and other urban features. The signs must communicate historic/cultural and directional information.

DESCRIPTION

Can only achieve most of described graphic to draw provide written material graphics. All materials are to have a natural finish. Multiple materials provide color and texture shifts. Final finishes to determined by selected materials (i.e. bronze, stone, etc).



MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/28/06

ENVIRONMENTAL GRAPHIC ENHANCEMENT 07.1

VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

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PROJECT NO.: 18115
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LAND USE REVIEW

PRELIMINARY NOT FOR CONSTRUCTION

SHEET TITLE:
SIGNAGE PLAN - BLDG C

SHEET NO.:
A.414

LIGHTING PLAN - GENERAL NOTES

1. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL SITE LIGHTING INFORMATION. ARCHITECTURAL LIGHTING PLAN FOR REFERENCE OF BUILDING LIGHTING ONLY.
2. ALL OUTDOOR LIGHTING WILL BE DESIGNED TO MEET THE REQUIREMENTS OF IZ 2 OF THE LIGHT ZONE MAP.



VILLEBOIS VILLAGE CENTER

OWNER:
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SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
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REVISION: DESCRIPTION:

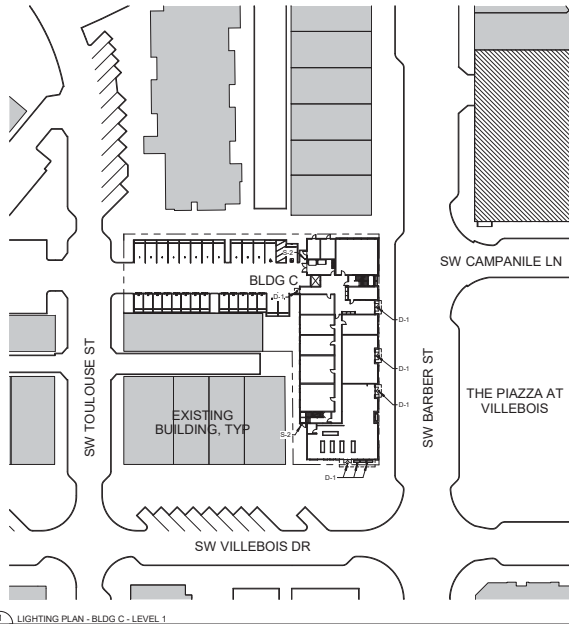
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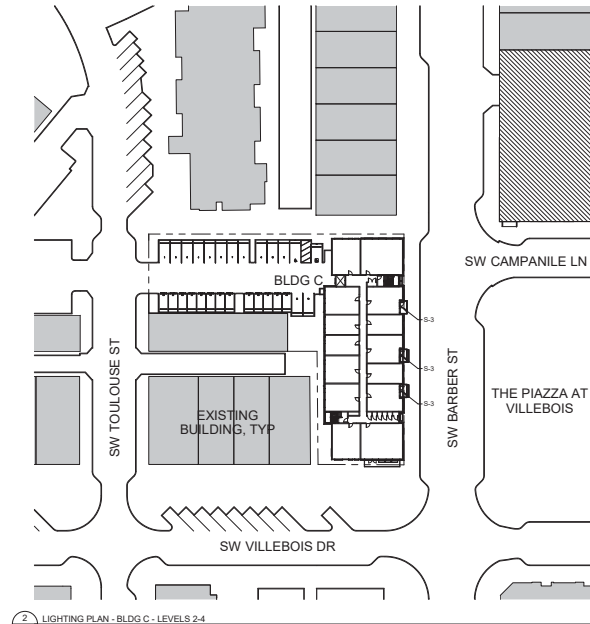
LAND USE REVIEW

SHEET TITLE:
SITE LIGHTING PLAN - BLDG C

SHEET NO.:
A.502



1 LIGHTING PLAN - BLDG C - LEVEL 1
 1" = 40'-0"



2 LIGHTING PLAN - BLDG C - LEVELS 2-4
 1" = 40'-0"



D-1
 • EXTERIOR RECESSED LED DOWNLIGHT
 • EATON RL6-DM OR SIMILAR



S-1
 • EXTERIOR UP AND DOWNLIGHT SCENCE
 • EATON LANTERRA 9004-W2-RW OR SIMILAR



S-2
 • EXTERIOR RECESSED LED DOWNLIGHT
 • EATON ENV OR SIMILAR



S-3
 • EXTERIOR DOWNLIGHT SCENCE
 • EATON LANTERRA 9004-W1-RW OR SIMILAR