

ABBREVIATIONS:

Table listing abbreviations and their corresponding full names. Columns include: ANGLE, AT, AND, ANCHOR BOLT, AIR CONDITIONING, ACOUSTICAL CEILING TILE, ACOUSOUS, AREA DRAIN, ADDENDUM, ADJACENT, ADJUSTABLE, ABOVE FINISH FLOOR, AGGREGATE, AREA LIGHT STANDARD, ALTERNATE, ALUMINUM, ANODIZED, APPROXIMATE, ARCHITECTURAL, AUTO, A.C. ABOVE FINISH CEILING, BC, BD, B.F.F. BELOW FINISH FLOOR, BITUMINOUS, BLDG, BLK, BLKG, B.M., B.O., BOT, BOTTOM, BRG, BEARING, B.S., BSMT, BTWN, BUR, BFW, [OR C, CAB, CB, CEM, CFI, CG, C.I., CI, CLG, CLOS, CLR, CJ, CMU, COL, COMP, CONC, CO, CONN, CONST, CONTR, CORR, CR, CRRR, CS, CS.J, CSMT, CT, CTR, CW, DBL, DEMO, DEPT, DIA, DIM, DISP, D.JT, DL, DMT, DN, DO, DP, DR, DS, DSP, DT, DTL, DWG, E, EA, EF, E.AGG, EJ, EL, ELEV, ELEC, ELEV, EOS, ENCL, ENGR, EP, EQ, EQUIP, ES, EW, EDF, EXIST, EXP, EXT, FA.

LEGEND OF SYMBOLS:

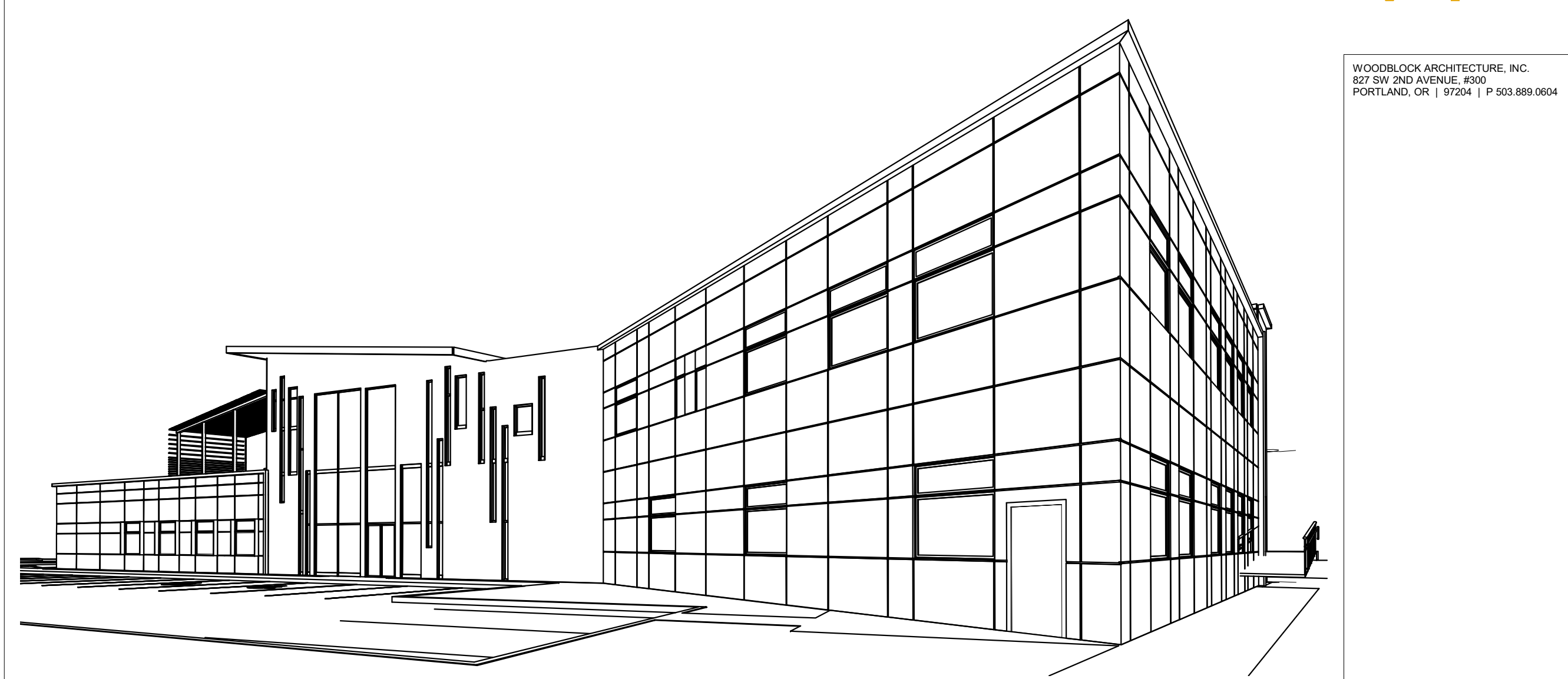
Legend of symbols for various drawing elements including: DETAIL, BUILDING SECTION, WALL SECTION, EXTERIOR ELEVATION, ROOM NAME & NUMBER, WINDOW NUMBER, KEY NOTES, DATUM ELEVATION, FINISH TAG, SPOT ELEVATION, START POINT, EXTENT OF WORK, NORTH ARROW, PARTITION FIRE RATINGS, MATERIALS (Acoustical Tile, Aluminum, Batt Insulation, CMU or Brick, Concrete, Earth, Finished Wood, Gravel, Gypsum Board, Plywood, Rigid Insulation, Sound Insulation, Steel, Wood Blocking), and various symbols for sheet identification, match lines, and equipment tags.

GENERAL NOTES:

- 1. ALL WORK TO COMPLY WITH THE REQUIREMENTS OF THE AHJ AND THE CURRENT EDITIONS OF LISTED BUILDING CODES. ANY BUILDING OFFICIAL, SUBCONTRACTOR OR TRADESPERSON NOTING DISCREPANCIES SHALL NOTIFY THE DESIGNER IMMEDIATELY UPON DISCOVERY.
2. CONTRACTORS SHALL COORDINATE ALL REQUIRED INSPECTIONS BY THE CITY AND ANY OTHER GOVERNING AUTHORITIES AS REQUIRED.
3. CONTRACTORS SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO THE START OF CONSTRUCTION OR ORDERING MATERIALS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
4. CONTRACTORS SHALL OBTAIN AND PAY FOR ALL TEMPORARY UTILITIES INCLUDING ELECTRICITY NECESSARY FOR CONSTRUCTION.
5. ALL CONSTRUCTION DEBRIS TO BE NEATLY STOCKPILED ON SITE UNTIL DISPOSAL. ALL DEBRIS IS TO BE DISPOSED OF IN LEGAL MANNER AT A LANDFILL OR RECYCLING CENTER. NO DEBRIS IS TO BE DISPOSED OF IN LOCAL WASTE COLLECTION FACILITIES.
6. CONTRACTOR SHALL INFORM THE DESIGNER OF ANY AND ALL CHANGES. CONTRACTOR SHALL NOT PROCEED WITH REQUESTED CHANGES OR DIRECTIVES WITHOUT PRIOR AUTHORIZATION FROM THE DESIGNER AND A WRITTEN CHANGE ORDER.
7. CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
8. ALL SUBSTITUTIONS MUST BE APPROVED BY DESIGNER. ALONG WITH WRITTEN REQUESTS CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION, INCLUDING COST.
9. SOLID WOOD BLOCKING, INSULATION, OR OTHER FIRE STOP MATERIALS IS TO BE PROVIDED, BETWEEN TOP STORY AND ROOF FACE.
10. CONTRACTOR SHALL PROVIDE SAMPLE OF FINISHES AND STAIN COLORS FOR APPROVAL BY DESIGNER. THIS INCLUDES INTERIOR AND EXTERIOR PAINT, AND SHEETROCK TEXTURES.
11. WRITTEN DIMENSIONS AND NOTES ON DRAWING SHALL TAKE PRIORITY OVER SCALE OF DRAWINGS. DO NOT MEASURE DRAWINGS TO DETERMINE ANY DIMENSIONS. DRAWINGS ARE IN SCALE FOR PURPOSES OF DESIGN AND INTENT ONLY. ALL DIMENSIONS SHOWN PLANS ARE FROM AND TO FACE OF FRAMING OR FROM AND TO CENTERLINE OF WALLS, UNLESS OTHERWISE NOTED.
12. ALL FEATURES OF THE WORK NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER OF THAT SHOWN FOR SIMILAR CONDITIONS. IN THE EVENT OF THAT ADDITIONAL WORK IS REQUIRED TO COMPLETE THE WORK AS INTENDED (OR REQUIRED BY GOVERNING CODES), YET NOT FULLY SHOWN OR OMITTED BY IN THE DRAWINGS, CONTRACTORS MUST STILL PROVIDE FOUNDATION, CARPENTRY, MECHANICAL, ELECTRICAL AND/OR PLUMBING AS REQUIRED FOR CERTIFICATE OF OCCUPANCY, INCONSISTENCIES, OR DISCREPANCIES.
13. VERIFY ALL DIMENSIONS AND MFR. SPECIFICATIONS OF OWNER FURNISHED EQUIPMENT PRIOR TO CONSTRUCTION.

I & E OFFICES - RENOVATION

27375 SW PARKWAY AVE, WILSONVILLE, OREGON



PROJECT DESCRIPTION

REMODEL OF AN EXISTING STRUCTURE PREVIOUSLY PERMITTED AS A "B" USE PRIVATE COLLEGE. COMPLETE RE-SKIN OF EXTERIOR. ENCLOSE EXISTING OPEN COURTYARD TO BE NEW LOBBY. EXPANSION OF SECOND FLOOR OFFICES OVER FIRST FLOOR ROOF AND COMPLETE INTERIOR REMODEL RETAINING EXISTING RESTROOMS AND ELEVATOR. EXISTING INTERIOR EGRESS STAIR TO BE REFINISHED. EXISTING EXTERIOR STAIRS TO BE ENCLOSED AND REBUILT.

PROJECT TEAM

Table listing project team members including CLIENT (I&E CONSTRUCTION INC.), ARCHITECT OF RECORD (WOODBLOCK ARCHITECTURE), LANDSCAPE ARCHITECT (LA21), and CONTRACTOR (I&E CONSTRUCTION INC.).

SHEET INDEX

Table with columns DRAWING and DESCRIPTION. Lists sheets G0.0 (COVER SHEET), 1-1 (GENERAL), 2-1 (DEMOLITION), and various architectural and landscape sheets (A1.1, A1.2, A1.3, A2.0, A3.0, A3.1, A3.2, A3.3, A4.0, A4.1, A4.2).

BIDDER DESIGN MECHANICAL, ELECTRICAL, AND PLUMBING CRITERIA

- 1. ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE PROVIDED UNDER A SEPARATE CONTRACT AND PERMIT. SUBMITTALS SHALL BE DEFERRED.
2. IT IS THE DESIGN/BUILD CONTRACTOR'S RESPONSIBILITY TO CONFORM TO ALL APPLICABLE BUILDING CODES AND TO PROVIDE ALL DOCUMENTATION REQUIRED TO OBTAIN PERMITS FOR WORK UNDER THEIR CONTRACT.
3. THE OWNER AND DESIGNER ARE NOT RESPONSIBLE FOR ADDITIONAL COSTS INCURRED DUE TO DESIGN/BUILD CONTRACTOR'S ERROR AND OMISSIONS.
4. ELECTRICAL DESIGN CONTRACTOR WILL COORDINATE POWER, SIGNAL AND LIGHTING DESIGN AND PROVIDE CALCULATIONS IN CONFORMANCE WITH STATE ELECTRICAL CODE, ENERGY CODE AND BUILDING CODE.
5. ELECTRICAL DESIGN CONTRACTOR WILL REVIEW THE PROGRAM DRAWING AND WILL MEET WITH THE TENANT TO FINALIZE THE EXACT POWER LOCATIONS AND REQUIREMENTS FOR EQUIPMENT. DESIGN WILL PROVIDE FOR CODE REQUIRED AND MAINTENANCE RECEPTACLES. DESIGN WILL INCLUDE FIRE ALARM SYSTEM IF REQUIRED, COORDINATED AND EXTENDED FROM BUILDING FIRE ALARM SYSTEM. OUTLETS, PHONE AND DATA JACKS SHOWN ON ARCHITECTURAL PLANS (IF ANY) ARE MINIMUM REQUIRED AND MAY NOT INCLUDE ADDITIONAL OUTLETS REQUIRED BY CODE OR FOR MAINTENANCE.
6. ELECTRICAL DESIGN CONTRACTOR WILL COORDINATE HIS WORK WITH THE ARCHITECT AND WITH THE HVAC AND FIRE SPRINKLER DESIGN/BUILD CONTRACTORS.
7. ELECTRICAL DESIGN CONTRACTOR WILL MEET WITH THE TENANT TO DETERMINE AND/OR CONFIRM THE LOCATION OF ALL DATA AND COMMUNICATION CONNECTIONS REQUIRED AND INCLUDE CONDUIT TO 6" ABOVE FIN CLG. BOX AND PULL STRING IN THE REQUIRED LOCATIONS UNDER THE T.I. CONTRACT.
8. CONFIRM LIGHTING SWITCHING REQUIREMENTS WITH OWNER.
9. CONSTRUCTION AND AS-BUILT DRAWINGS TO BE PROVIDED ON ELECTRONIC MEDIA TO THE ARCHITECT FOR THE OWNER'S RECORDS.
10. ELECTRICAL DESIGN/BUILD CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DEVICES, INCLUDING BUT NOT LIMITED TO: STROBES, ANNUNCIATORS AND EGRESS LIGHTING, REQUIRED BY ALL APPLICABLE CODES. POWER AND LIGHTING DRAWINGS INCLUDED IN THIS DOCUMENT ARE FOR DESIGN PURPOSES ONLY. ANY DEVICE REQUIRED BY CODE OR BY BUILDING OFFICIAL AND NOT INCLUDED IN ELECTRICAL DESIGN/BUILDERS BASE BID SHALL BE INSTALLED AT THE ELECTRICAL DESIGN CONTRACTOR'S EXPENSE.

PROJECT DATA

Table with columns BUILDING CODES, ZONING, CONSTRUCTION TYPE, OCCUPANCY, MAP / TAXLOT NUMBER, FIRE SPRINKLERS, and FIRE ALARMS.

VICINITY MAP



PROJECT SITE



WOODBLOCK ARCHITECTURE, INC. 827 SW 2ND AVENUE, #500 PORTLAND, OR 97204 P: 503.899.0604

I & E OFFICES - RENOVATION

27375 SW Parkway Ave Wilsonville OR 97070

Project #19-005



WILLIAM D. HARDISTER, ARCHITECT

LAND USE SUBMITTAL

12.09.19

REV DESCRIPTION DATE



WOODBLOCK ARCHITECTURE, INC.
827 SW 2ND AVENUE, #500
PORTLAND, OR | 97204 | P 503.889.0004

I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070

Project #19-005



WILLIAM D. HARDISTER,
ARCHITECT

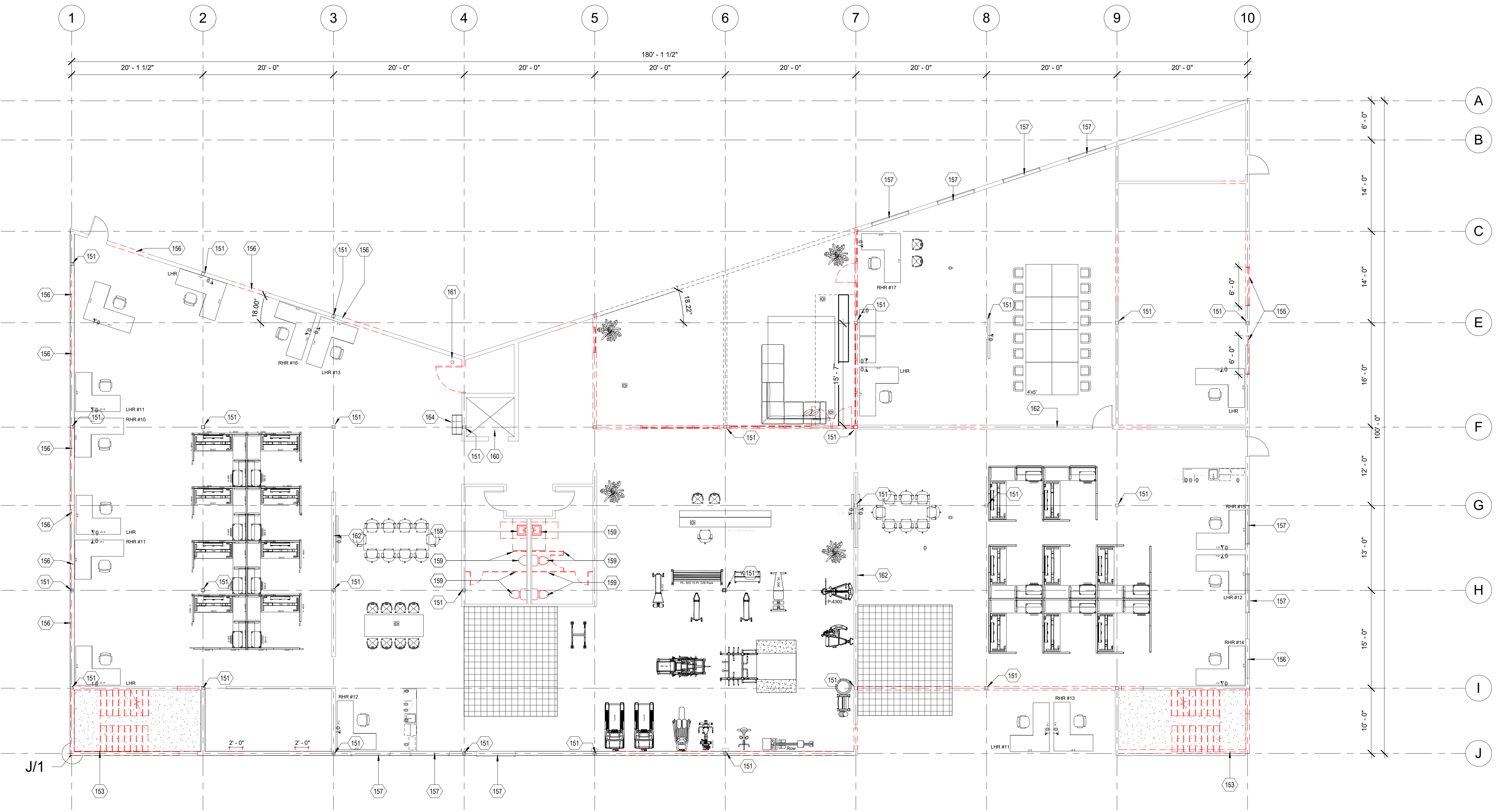
LAND USE SUBMITTAL

12.09.19

REV DESCRIPTION DATE

D1.1
DEMO PLAN - LEVEL 01

© WOODBLOCK ARCHITECTURE



GROSS: 12,672 SF

1 LEVEL 01 - DEMO
SCALE | 1/8" = 1'-0"

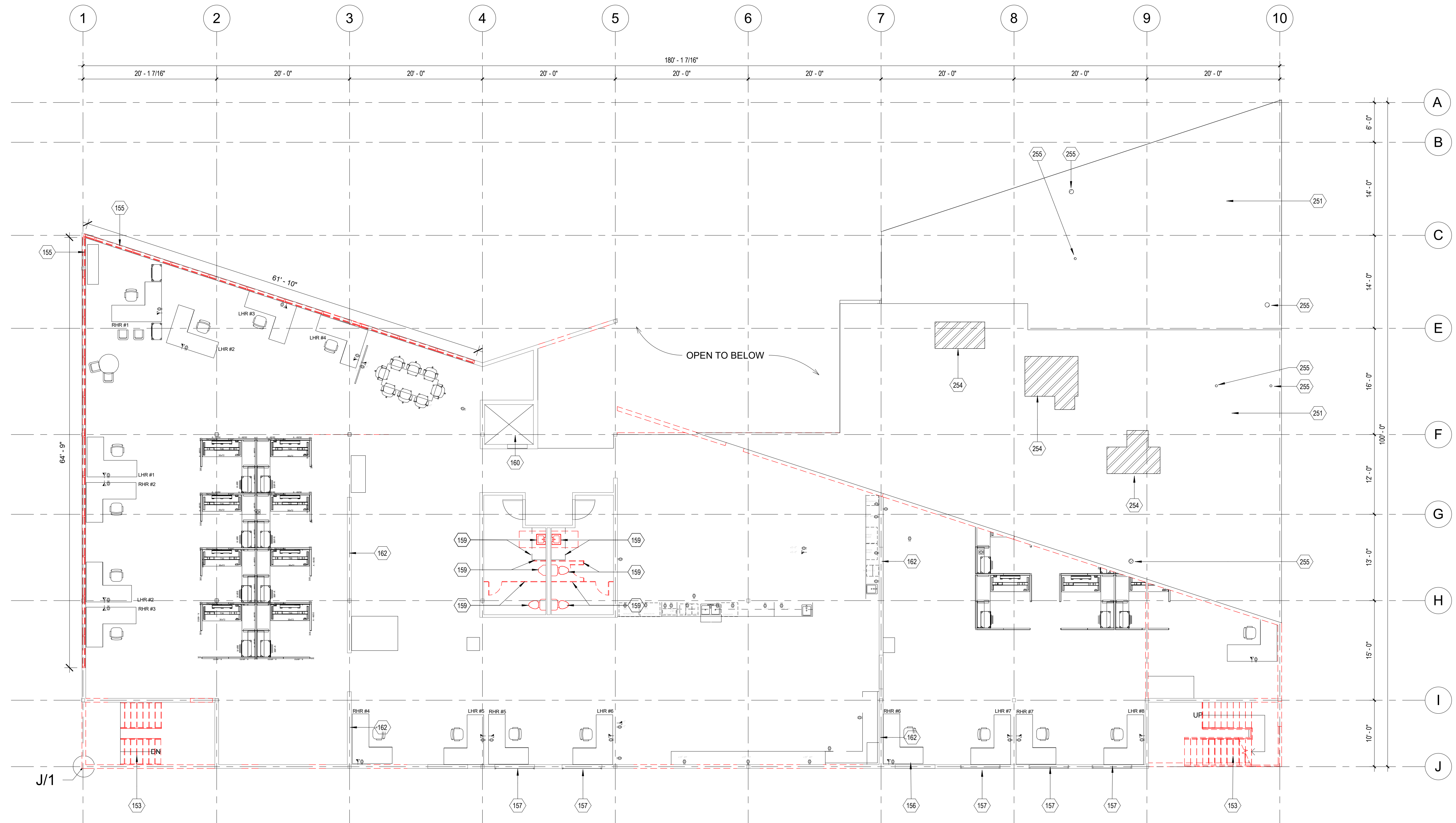
KEYNOTE LEGEND

Key Value	Keynote Text
151	(E) COLUMN TO REMAIN
153	(E) STAIRS AND ENCLOSURE TO BE REMOVED AND REPLACED
155	(E) WINDOW TO BE REMOVED AND WALL INFILLED
156	(N) OPENING TO BE CREATED IN (E) WALL
157	(N) OPENING TO BE CREATED IN (E) WALL ABOVE (E) WINDOW TO REMAIN
159	(E) RESTROOM FIXTURE TO BE REMOVED AND REPLACED
160	(E) ELEVATOR TO REMAIN
161	(E) FIRE RISER TO REMAIN
162	(E) SHEAR WALL TO REMAIN
164	(N) TRENCHING IN (E) SLAB FOR PLUMBING

DEMOLITION NOTE:
 1. ONLY A PORTION OF THE WORK DEPICTED IN THESE DOCUMENTS WILL BE PERFORMED UNDER THE DEMOLITION PERMIT APPLIED FOR ON 06/28/2019. THIS PORTION INCLUDES REMOVAL OF INTERIOR NON LOAD-BEARING PARTITIONS, BUILT-IN CASEWORK AND OTHER FURNISHING ELEMENTS, DOORS AND DOOR FRAMES, AND FINISH MATERIALS.
 2. ALL UTILITIES TO BE DEMOLISHED TO BE REMOVED AND CAPPED TO SOURCE AT WALL OR AT FLOOR AS APPLICABLE.
 3. MAINTAIN (E) SPRINKLER SYSTEM AND VERIFY IN GOOD WORKING ORDER. SYSTEM TO REMAIN OPERATIONAL DURING WORK.
 4. ELEVATIONS DEPICTING EXTERIOR DEMOLITION WORK TO BE INCLUDED IN BUILDING PERMIT SUBMISSION.

DEMOLITION PLAN LEGEND:
 ——— EXISTING WALL TO REMAIN
 - - - - - DEMOLISHED

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1 LEVEL 02 - DEMO
SCALE | 1/8" = 1'-0"

GROSS: 8,641 SF

DEMOLITION NOTE:
1. ONLY A PORTION OF THE WORK DEPICTED IN THESE DOCUMENTS WILL BE PERFORMED UNDER THE DEMOLITION PERMIT APPLIED FOR ON 06/28/2019. THIS PORTION INCLUDES REMOVAL OF INTERIOR NON LOAD-BEARING PARTITIONS, BUILT-IN CASEWORK AND OTHER FURNISHING ELEMENTS, DOORS AND DOOR FRAMES, AND FINISH MATERIALS.
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DEMOLITION PLAN LEGEND:

 ——— EXISTING WALL TO REMAIN
 - - - - - DEMOLISHED

I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070

Project #19-005



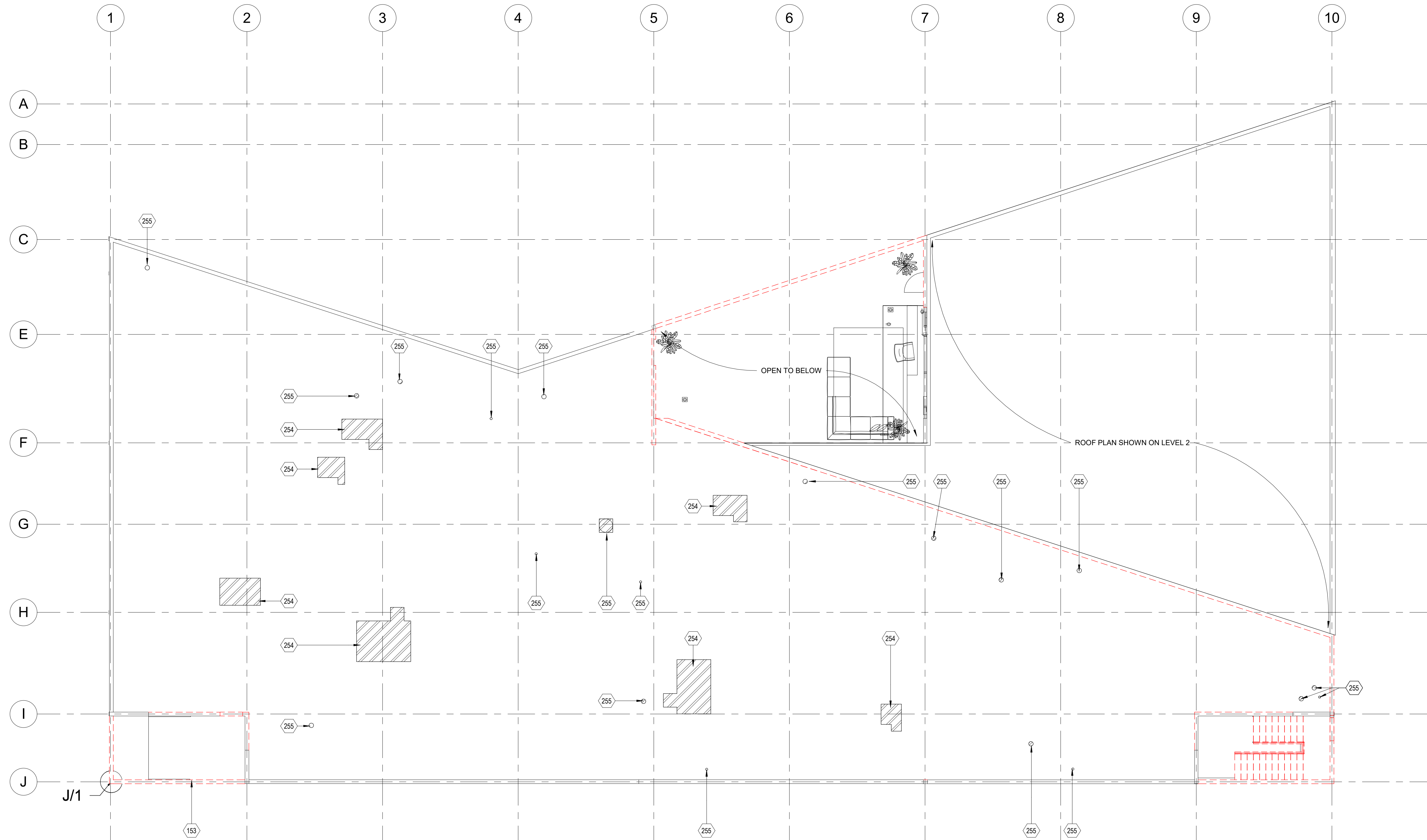
WILLIAM D. HARDISTER,
ARCHITECT

LAND USE SUBMITTAL

12.09.19

REV	DESCRIPTION	DATE

D1.2
DEMO PLAN - LEVEL 02



1 ROOF - DEMO
SCALE | 1/8" = 1'-0"

DEMOLITION NOTE:
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 2. ALL UTILITIES TO BE DEMOLISHED TO BE REMOVED AND CAPPED TO SOURCE AT WALL OR AT FLOOR AS APPLICABLE.
 3. MAINTAIN (E) SPRINKLER SYSTEM AND VERIFY IN GOOD WORKING ORDER. SYSTEM TO REMAIN OPERATIONAL DURING WORK.
 4. ELEVATIONS DEPICTING EXTERIOR DEMOLITION WORK TO BE INCLUDED IN BUILDING PERMIT SUBMISSION.

DEMOLITION PLAN LEGEND:
 ———— EXISTING WALL TO REMAIN
 - - - - - DEMOLISHED

I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070

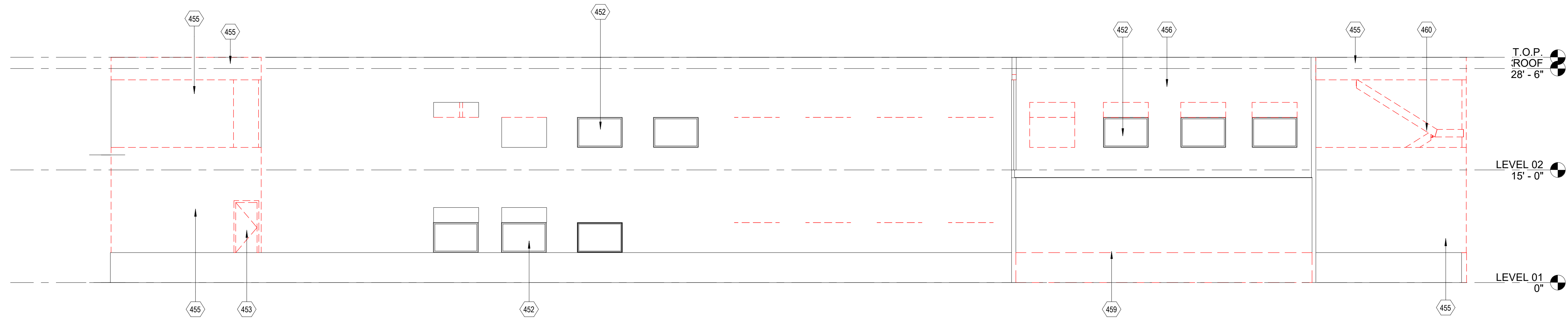
Project #19-005



Designer
LAND USE SUBMITTAL

12.09.19
 REV DESCRIPTION DATE

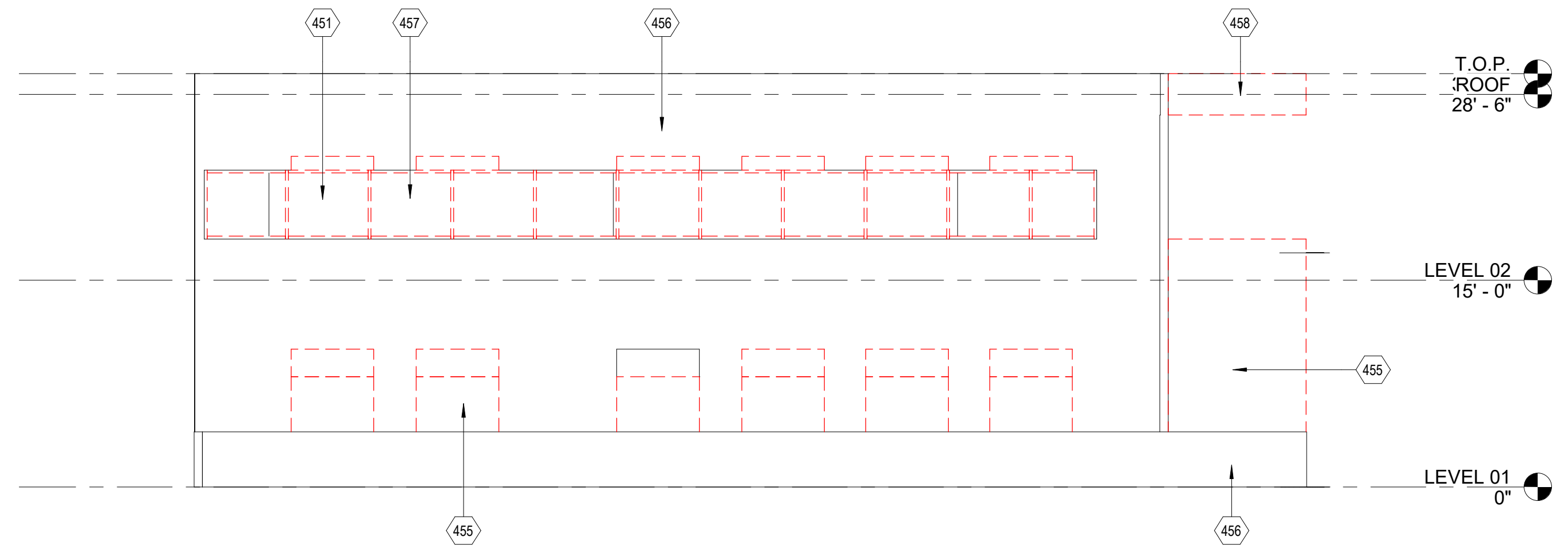
D1.3
 DEMO PLAN - ROOF



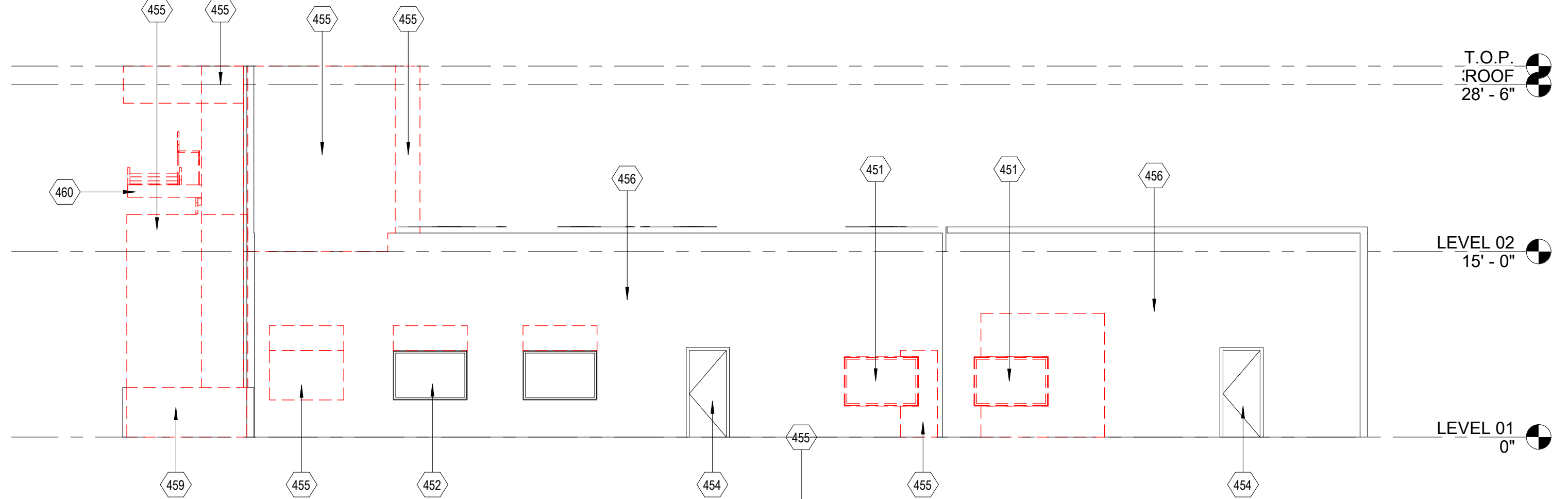
1 (E) WEST ELEVATION
SCALE | 1/8" = 1'-0"

KEYNOTE LEGEND

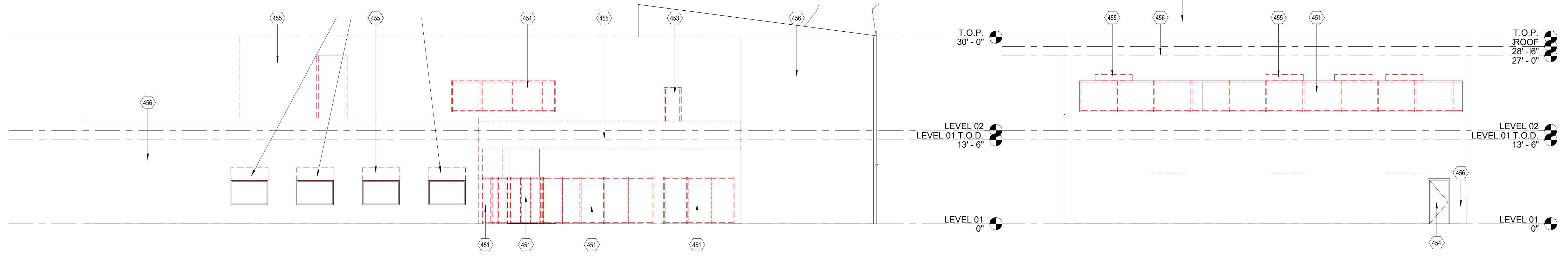
Key Value	Keynote Text
451	(E) WINDOW TO BE REMOVED
452	(E) WINDOW TO REMAIN
453	(E) DOOR TO BE REMOVED
454	(E) DOOR TO REMIAN
455	(E) WALL TO BE REMOVED
456	(E) WALL TO REMAIN; FINISH TO BE REMOVED AND REPLACED
457	(E) FENESTRATION TO BE REMOVED AND INFILLED
458	(E) OVERHANG TO BE REMOVED
459	(E) RETAINING WALL TO BE MODIFIED PER PLAN, V.I.F.
460	(E) STAIR TO BE REMOVED



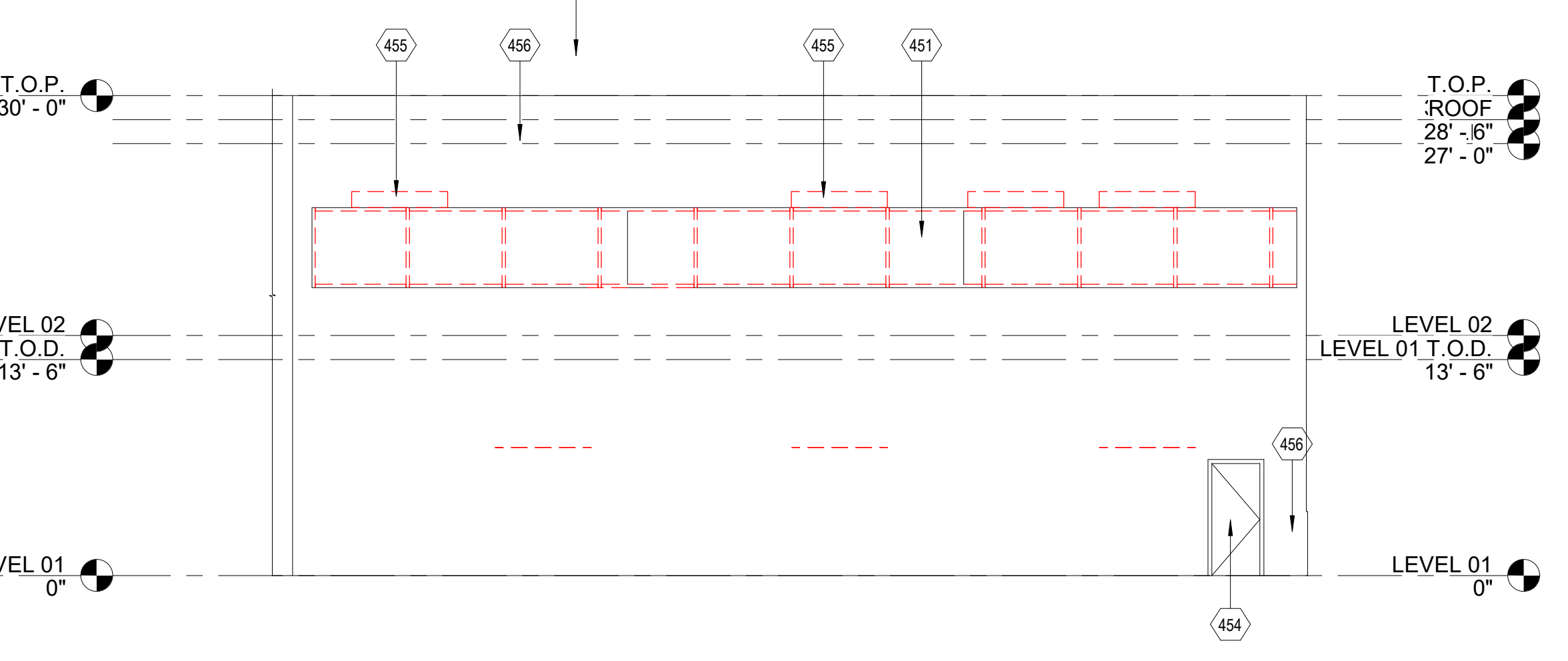
2 (E) NORTH ELEVATION
SCALE | 1/8" = 1'-0"



3 (E) SOUTH ELEVATION
SCALE | 1/8" = 1'-0"



6 EAST EXISTING - (SOUTH)
SCALE | 1/8" = 1'-0"



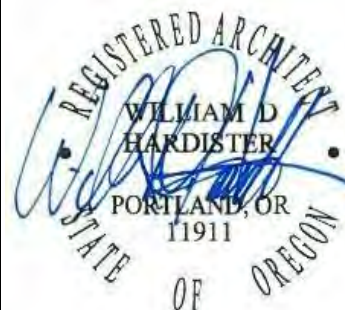
5 EAST - EXISTING (NORTH)
SCALE | 1/8" = 1'-0"

I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070



Project #19-005



JONATHAN DUNN,
ARCHITECT

LAND USE SUBMITTAL

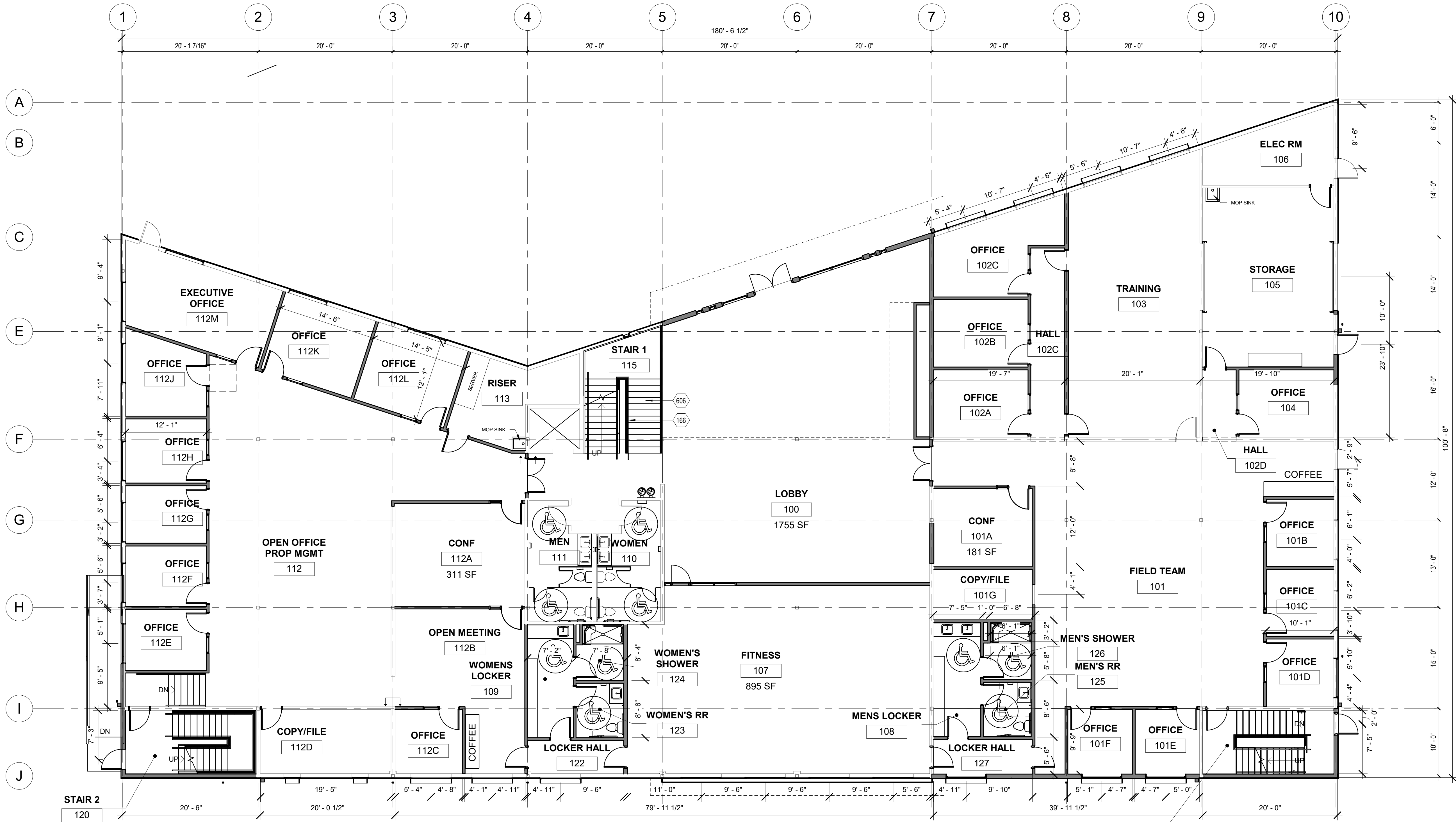
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REV DESCRIPTION DATE

D2.0
DEMO EXTERIOR ELEVATIONS



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I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070

Project #19-005



WILLIAM D. HARDISTER
ARCHITECT

LAND USE SUBMITTAL

12.09.19

REV	DESCRIPTION	DATE
1	PERMIT RESPONSE #1	11/15/19

A1.1
FLOOR PLAN - LEVEL
01

1 LEVEL 01 - FLOOR PLAN
SCALE | 1/8" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
166	(N) MIN. 42" TALL GLASS RAILING W/ MIN. 36" TALL HANDRAIL. BASIS OF DESIGN IS CR LAURENCE HRL GLASS RAILING SYSTEM
606	(N) STAIR

PLAN LEGEND

- NEW WALL
- NEW STOREFRONT
- EXISTING WALL TO REMAIN
- NEW DOOR
- EXISTING DOOR TO REMAIN
- ALIGN ADJACENT SURFACES
- WALL TYPE LABEL

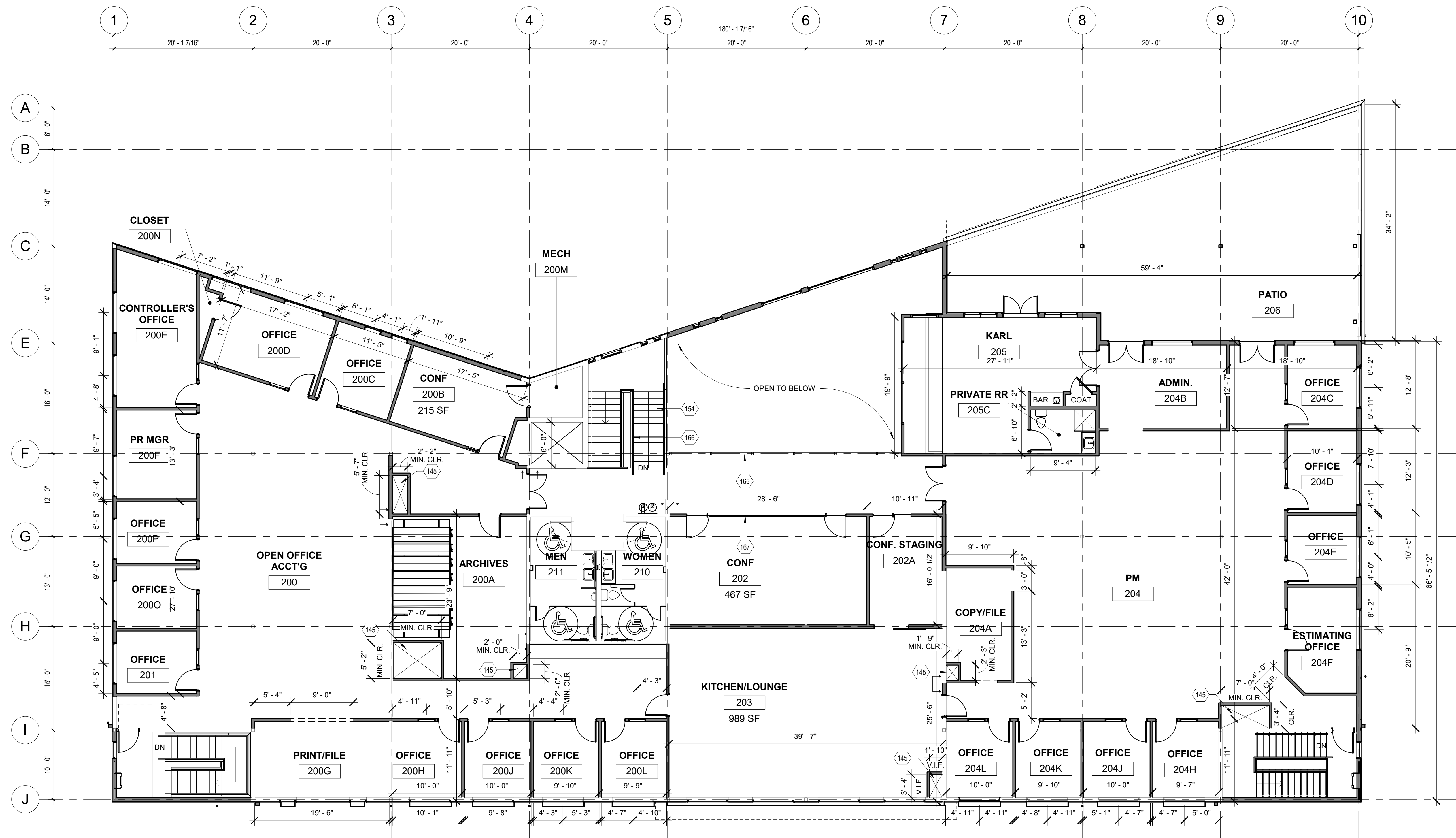
GENERAL NOTES

1. ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE W/ FEDERAL & STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES, & THE AMERICANS WITH DISABILITIES ACT OF 2010. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
2. AUTOMATIC FIRE SPRINKLER SYSTEM MUST BE REVIEWED AND APPROVED BY THE FIRE DEPT.
3. FIRE ALARM SYSTEM IS REQUIRED AND MUST BE REVIEWED AND APPROVED BY THE FIRE DEPT.
4. CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
5. CONTRACTOR TO VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.
6. CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES VS PARTITION TYPES (WALL THICKNESSES VARY WITH SHEARWALLS) BEFORE COMMENCING FRAMING.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS W/ MANUFACTURER ON SUPPLIED FIXTURES AND EQUIPMENT PRIOR TO CONSTRUCTION.
8. REFER TO ENLARGED PLANS FOR ADDITIONAL INFO INCLUDING DIMENSIONS. ENLARGED PLANS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING.
9. REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING OF STUDS. PROVIDED SPACING PER STRUCTURAL DRAWINGS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
10. DIMENSIONS ARE FACE OF FRAMING TO FACE OF FRAMING, UNLESS NOTED OTHERWISE (UNO). REFER TO BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS BEFORE COMMENCING WORK ON FOOTING OR FOUNDATION.
11. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL BLOCKING REQUIRED FOR ANY WALL HUNG EQUIPMENT, TOILET ACCESSORIES, SHELVING, SHOWER SEAT, EXTERIOR LIGHT FIXTURES, ETC.
12. WINDOWS WITHIN 24" OF DOOR TO HAVE SAFETY GLAZING. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE. ALL GLASS WITHIN 18" FROM FLOOR, WITHIN 24" ARC FROM DOOR EDGE, AND IF BOTTOM EDGE OF GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE, SUCH GLASS SHALL BE TEMPERED.
13. CONTRACTOR TO PROVIDE CAULKING AT THE FOLLOWING AREAS:
 - A. AT CABINET ENDS, WHERE THEY MEET GYP BD WALLS.
 - B. AT HOLLOW METAL DOOR FRAMES, BOTH SIDES.
 - C. ALL WOOD DOOR FRAMES, BOTH SIDES.
 - D. ALL WALL TILE AND WALL COVERING IN TYPICAL ROOMS.
14. SEE FIRE & LIFE SAFETY SHEETS FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
15. DOOR FRAMES ARE TO BE INSTALLED 4" FROM ADJ WALL, UNO.
16. GC TO PROVIDE FIREBLOCKING IN ACCORDANCE WITH 2012 IBC.
17. WINDOW AND DOOR FRAMES ARE TO BE SHIMMED PLUMB AND LEVEL. GAPS IN ROUGH OPENINGS ARE TO BE FILLED WITH SPRAY FOAM.
18. GYPSUM BOARD AT EXTERIOR SURFACES TO BE MOISTURE RESISTANT.
19. PROVIDE LEVEL 4 FINISH AT ALL NEW WALL AND PAINT THROUGHOUT, COORDINATE COLOR WITH OWNER.
20. ALL WALLS WITH PLUMBING/VENTING LINES WITHIN TO BE MINIMUM 2x6 CONSTRUCTION.
21. REFER TO STRUCTURAL FOR SHEAR WALL LOCATIONS AND SCHEDULES.

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WOODBLOCK ARCHITECTURE, INC.
827 SW 2ND AVENUE, #500
PORTLAND, OR | 97204 | P 503.889.0004



1 LEVEL 02
SCALE | 1/8" = 1'-0"

KEYNOTE LEGEND

Key Value	Keynote Text
145	(N) MECHANICAL CHASE, MECHANICAL SUBMITTAL DEFERRED
154	(E) STAIRS TO BE REMOVED AND REPLACED
165	(N) MIN. 42" TALL GLASS RAILING, BASIS OF DESIGN IS CR LAURENCE HRL GLASS RAILING SYSTEM
166	(N) MIN. 42" TALL GLASS RAILING W/ MIN. 36" TALL HANDRAIL, BASIS OF DESIGN IS CR LAURENCE HRL GLASS RAILING SYSTEM
167	(N) OFFICE GLAZING SYSTEM, BASIS OF DESIGN GW0518

PLAN LEGEND

- NEW WALL
- NEW STOREFRONT
- EXISTING WALL TO REMAIN
- NEW DOOR
- EXISTING DOOR TO REMAIN
- ALIGN ADJACENT SURFACES
- WALL TYPE LABEL

GENERAL NOTES

- ALL CONSTRUCTION IS INTENDED TO BE IN CONFORMANCE W/ FEDERAL & STATE LAWS, CURRENT LOCAL ORDINANCES & BUILDING CODES, & THE AMERICANS WITH DISABILITIES ACT OF 2010. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK.
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- FIRE ALARM SYSTEM IS REQUIRED AND MUST BE REVIEWED AND APPROVED BY THE FIRE DEPT.
- CONTRACTOR TO FIELD VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR TO VERIFY REQUIREMENTS OF ALL OWNER FURNISHED ITEMS WITH OWNER BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS OF PLUMBING FIXTURES VS PARTITION TYPES (WALL THICKNESSES VARY WITH SHEARWALLS) BEFORE COMMENCING FRAMING.
- CONTRACTOR TO VERIFY ALL DIMENSIONS W/ MANUFACTURER ON SUPPLIED FIXTURES AND EQUIPMENT PRIOR TO CONSTRUCTION.
- REFER TO ENLARGED PLANS FOR ADDITIONAL INFO INCLUDING DIMENSIONS. ENLARGED PLANS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. NOTIFY ARCHITECT OF ANY CONFLICT BEFORE PROCEEDING.
- REFER TO STRUCTURAL DRAWINGS FOR SIZE AND SPACING OF STUDS. PROVIDED SPACING PER STRUCTURAL DRAWINGS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
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- WINDOWS WITHIN 24" OF DOOR TO HAVE SAFETY GLAZING. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE. ALL GLASS WITHIN 18" FROM FLOOR, WITHIN 24" ARC FROM DOOR EDGE, AND IF BOTTOM EDGE OF GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE, SUCH GLASS SHALL BE TEMPERED.
- CONTRACTOR TO PROVIDE CAULKING AT THE FOLLOWING AREAS:
 - AT CABINET ENDS, WHERE THEY MEET GYP BD WALLS.
 - AT HOLLOW METAL DOOR FRAMES, BOTH SIDES.
 - ALL WOOD DOOR FRAMES, BOTH SIDES.
 - ALL WALL TILE AND WALL COVERING IN TYPICAL ROOMS.
- SEE FIRE & LIFE SAFETY SHEETS FOR LOCATIONS OF FIRE EXTINGUISHER CABINETS.
- DOOR FRAMES ARE TO BE INSTALLED 4" FROM ADJ WALL, UNO.
- GC TO PROVIDE FIREBLOCKING IN ACCORDANCE WITH 2012 IBC.
- WINDOW AND DOOR FRAMES ARE TO BE SHIMMED PLUMB AND LEVEL. GAPS IN ROUGH OPENINGS ARE TO BE FILLED WITH SPRAY FOAM.
- GYPSUM BOARD AT EXTERIOR SURFACES TO BE MOISTURE RESISTANT.
- PROVIDE LEVEL 4 FINISH AT ALL NEW WALL AND PAINT THROUGHOUT, COORDINATE COLOR WITH OWNER.
- ALL WALLS WITH PLUMBING/VENTING LINES WITHIN TO BE MINIMUM 2x6 CONSTRUCTION.
- REFER TO STRUCTURAL FOR SHEAR WALL LOCATIONS AND SCHEDULES.

I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070



Project #19-005



Designer

LAND USE SUBMITTAL

12.09.19

REV DESCRIPTION DATE
1 PERMIT RESPONSE #1 11/15/19

A1.2
FLOOR PLAN - LEVEL
02

**I & E OFFICES -
RENOVATION**

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Project #19-005



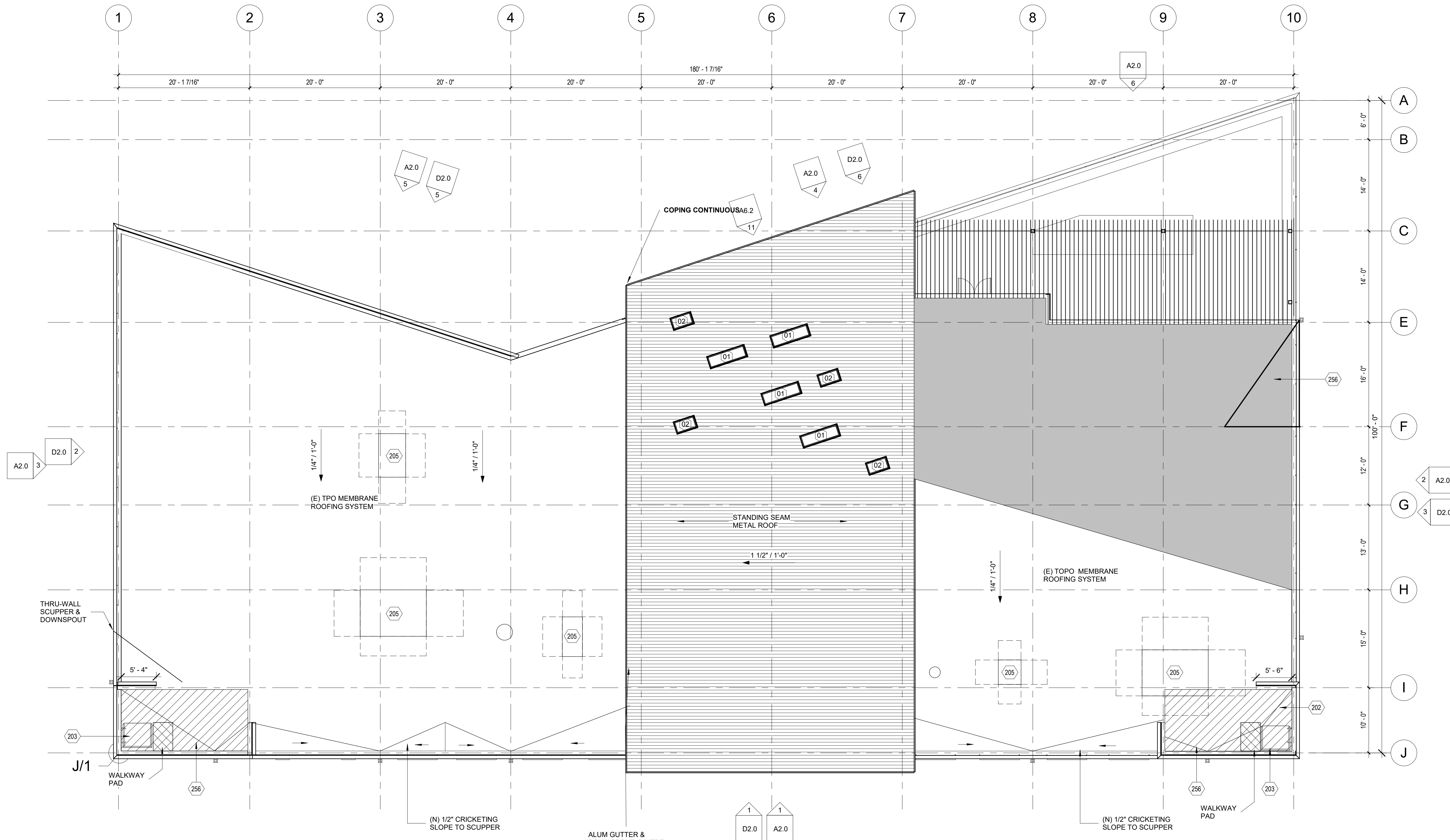
WILLIAM D. HARDISTER,
ARCHITECT

**LAND USE
SUBMITTAL**

12.09.19

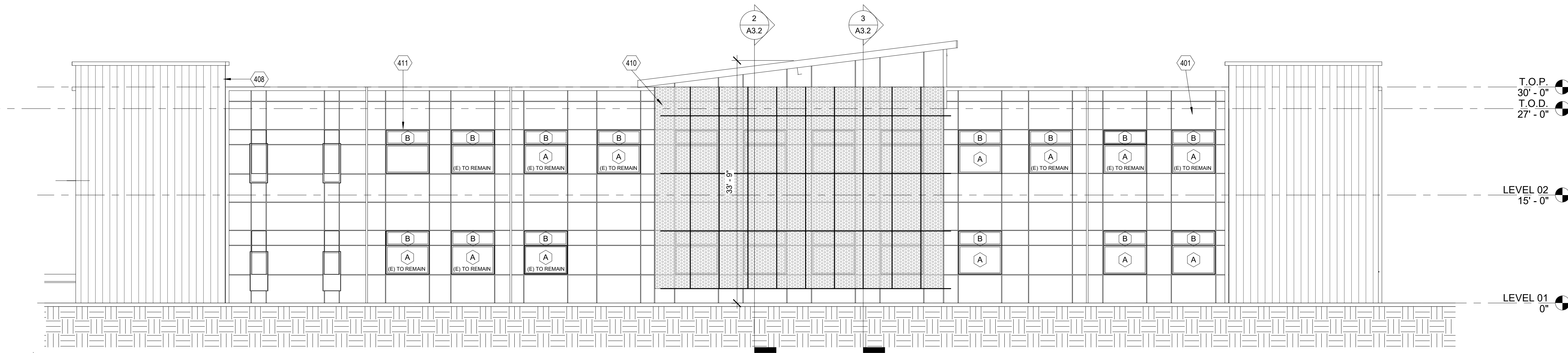
REV	DESCRIPTION	DATE
1	PERMIT RESPONSE #1	11/15/19

**A1.3
ROOF PLAN**

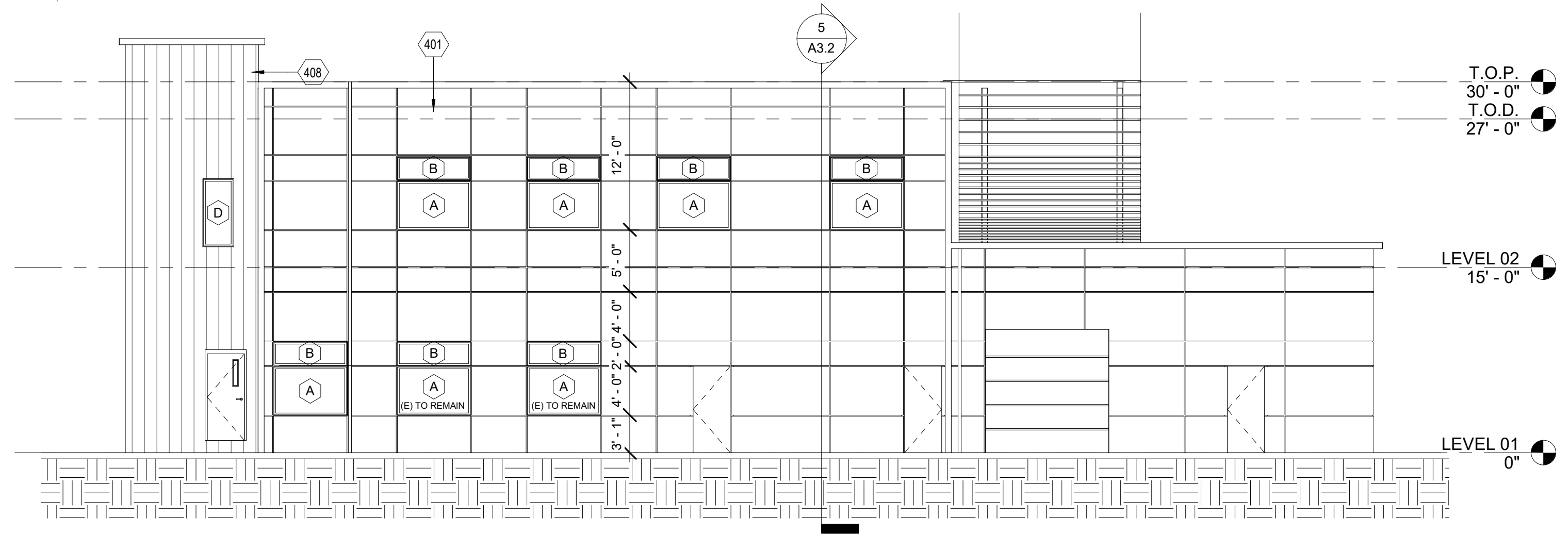


1 ROOF PLAN
SCALE | 1/8" = 1'-0"

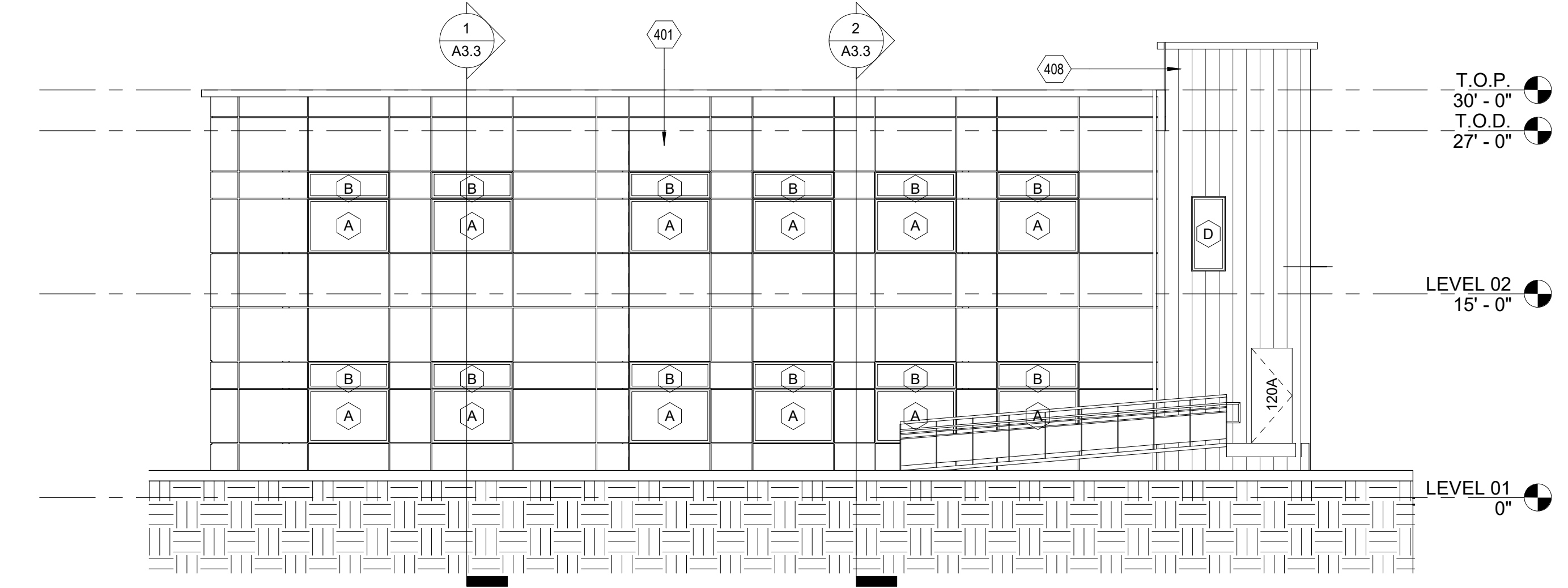
KEYNOTE LEGEND	
Key Value	Keynote Text
202	(N) STAIR TO REPLACE (E).
203	(N) ROOF ACCESS HATCH
205	ROOFTOP MECHANICAL UNIT, MECHANICAL SUBMITTAL DEFERRED
256	(N) AREA OF ROOF



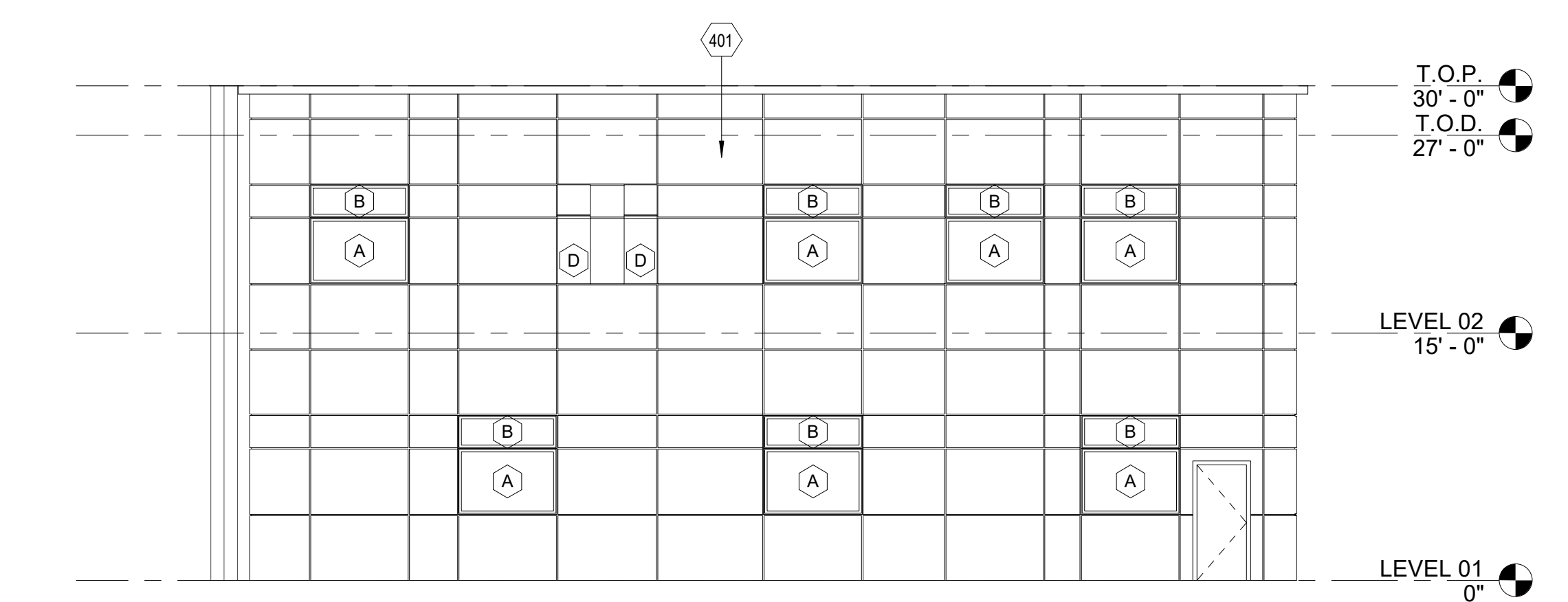
1 WEST ELEVATION
SCALE | 1/8" = 1'-0"



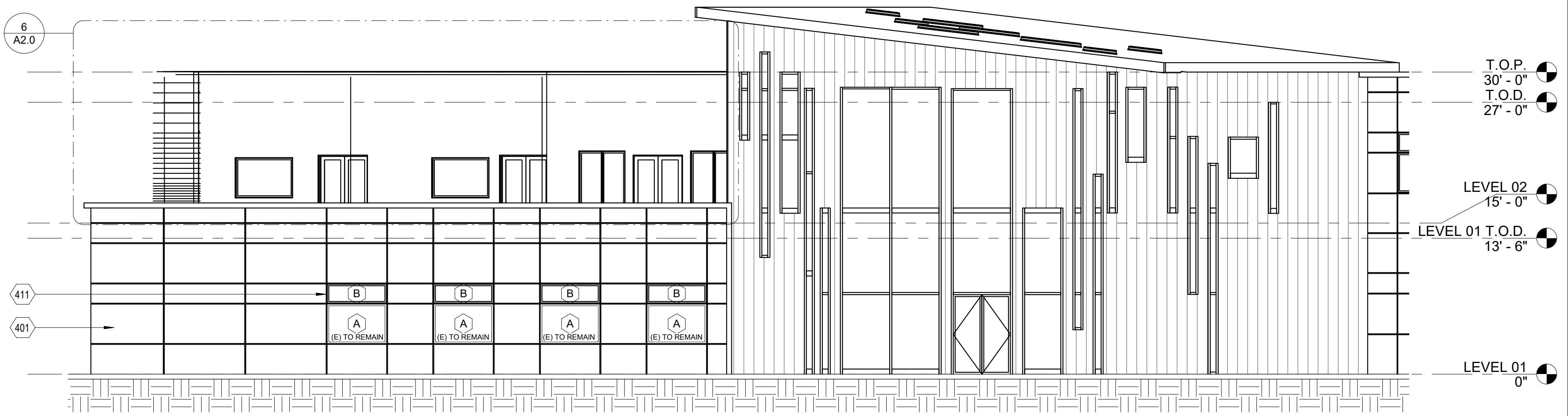
2 SOUTH ELEVATION
SCALE | 1/8" = 1'-0"



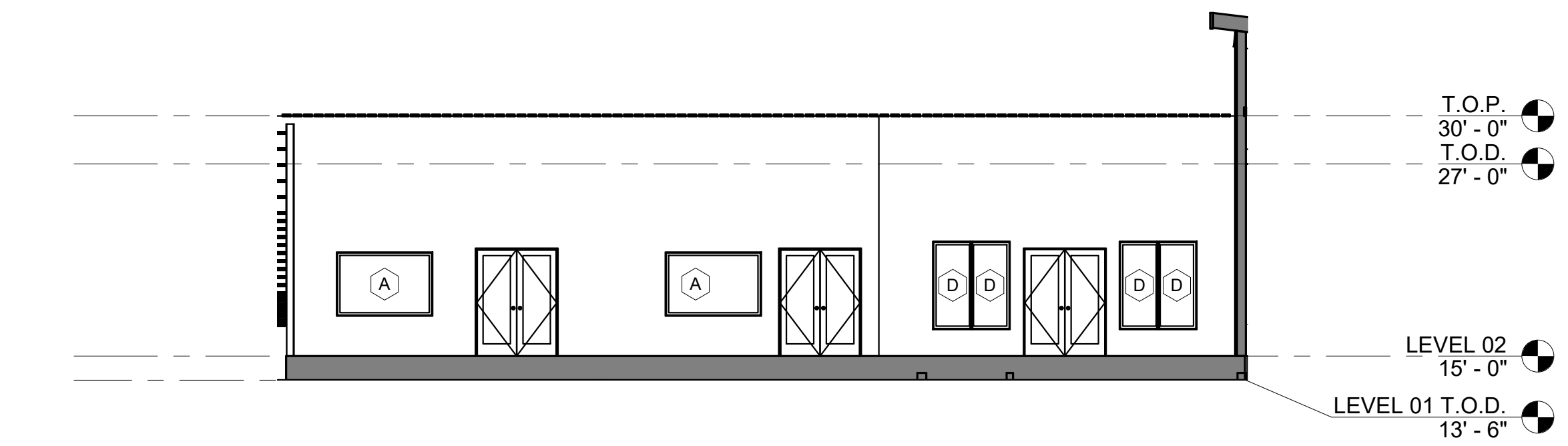
3 NORTH ELEVATION
SCALE | 1/8" = 1'-0"



5 EAST ELEVATION - NORTH
SCALE | 1/8" = 1'-0"



4 EAST ELEVATION - SOUTH
SCALE | 1/8" = 1'-0"



6 EAST ELEVATION - PATIO LEVEL 02
SCALE | 1/8" = 1'-0"

KEYNOTE LEGEND

Key Value	Keynote Text
401	FIBER CEMENT PANEL WITH REVEAL
408	CORRUGATED METAL PANEL
410	PERFORATED METAL PANEL SYSTEM
411	METAL TRIM

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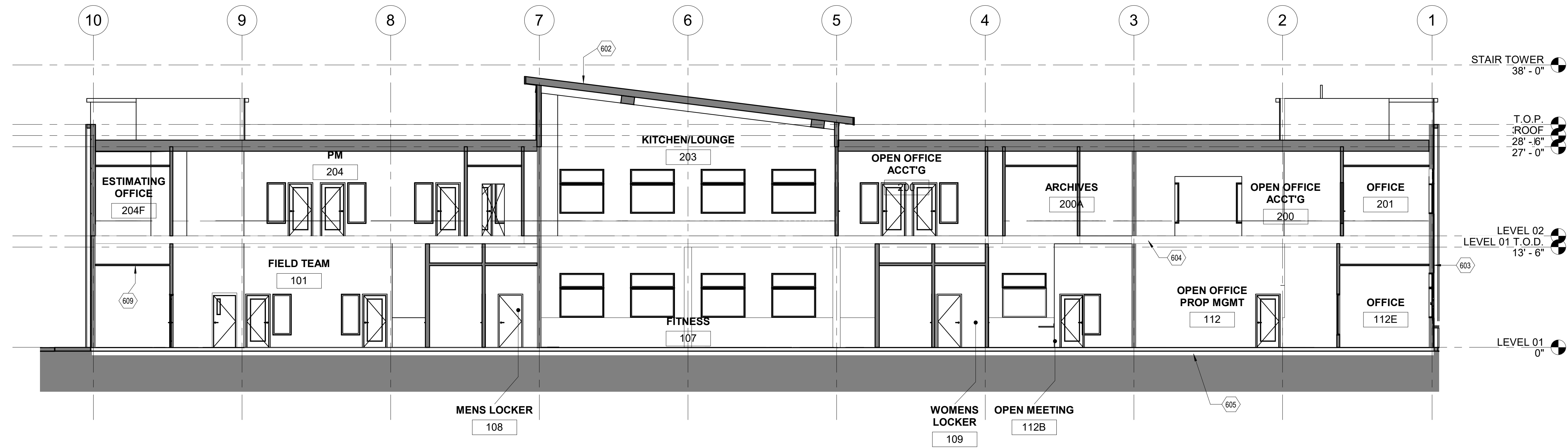
Project #19-005



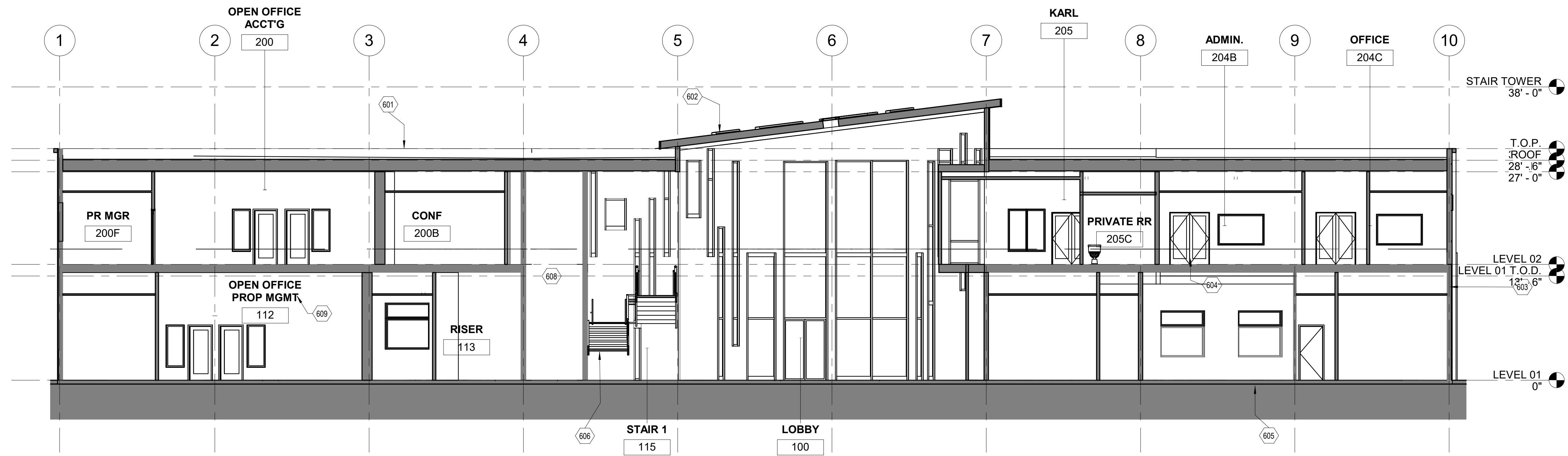
DAVID HARDISTER
LAND USE SUBMITTAL

12.09.19

REV DESCRIPTION DATE



2 LONGITUDINAL SECTION 1
SCALE | 1/8" = 1'-0"



3 LONGITUDINAL SECTION 2
SCALE | 1/8" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
601	(E) ROOF STRUCT. & MEMBRANE TO REMAIN
602	(N) ROOF STRUCT. W/ STANDING SEAM MTL ROOF
603	(E) EXT. WALL TO RECEIVE (N) EXT. FINISH
604	(E) FLOOR STRUCT
605	(E) SLAB ON GRADE
606	(N) STAIR
608	(E) ELEVATION
609	(N) GWB CEILING

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Project #19-005



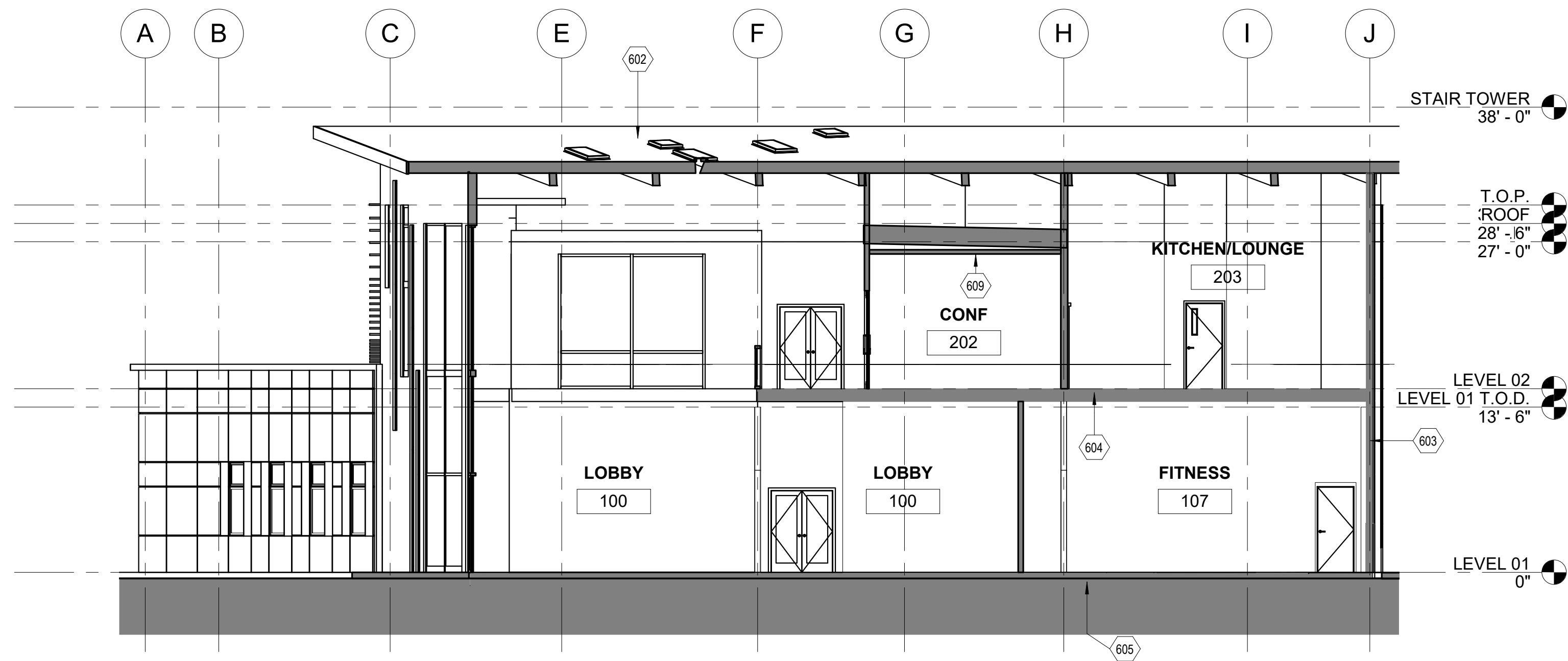
Designer

LAND USE SUBMITTAL

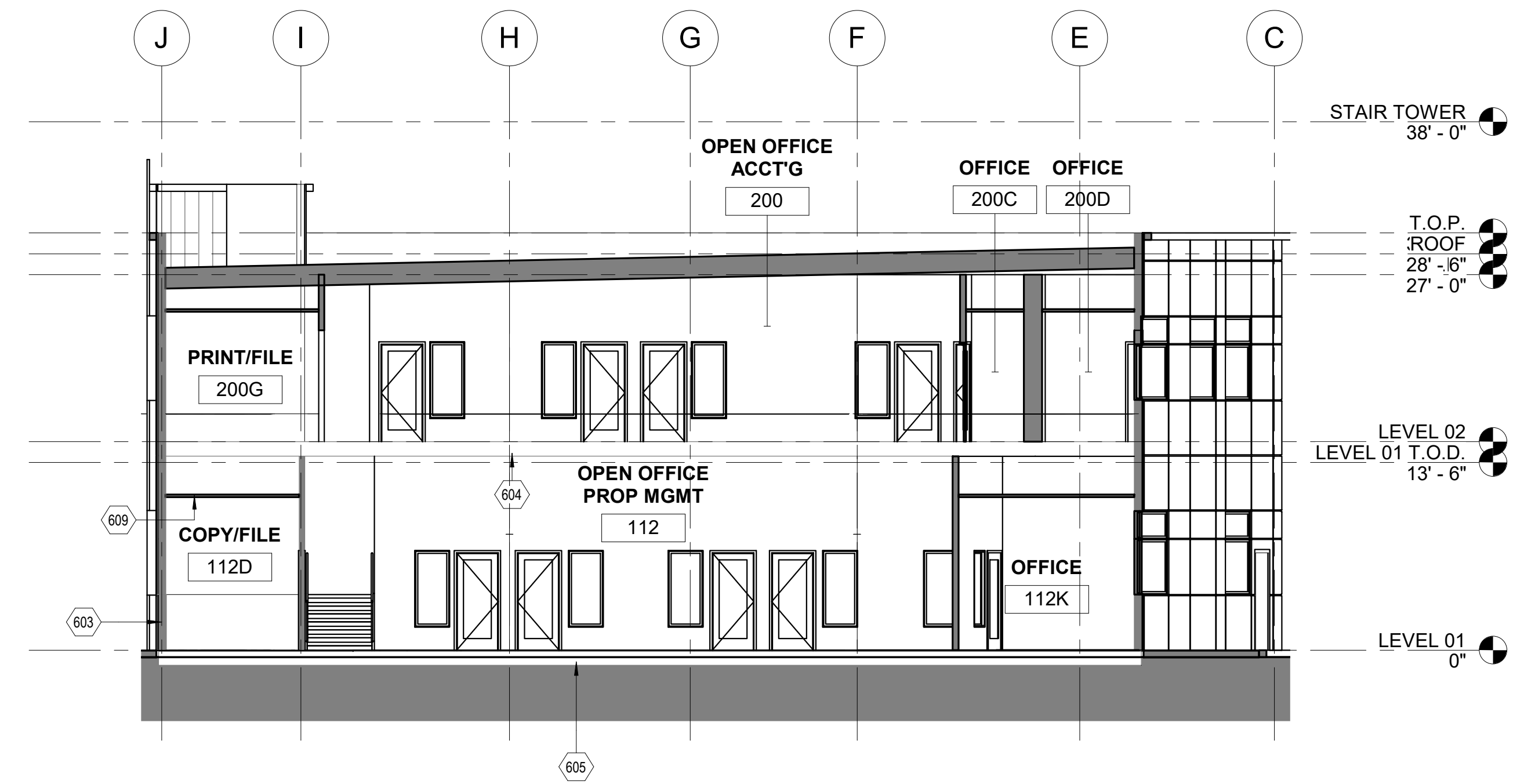
12.09.19

REV DESCRIPTION DATE

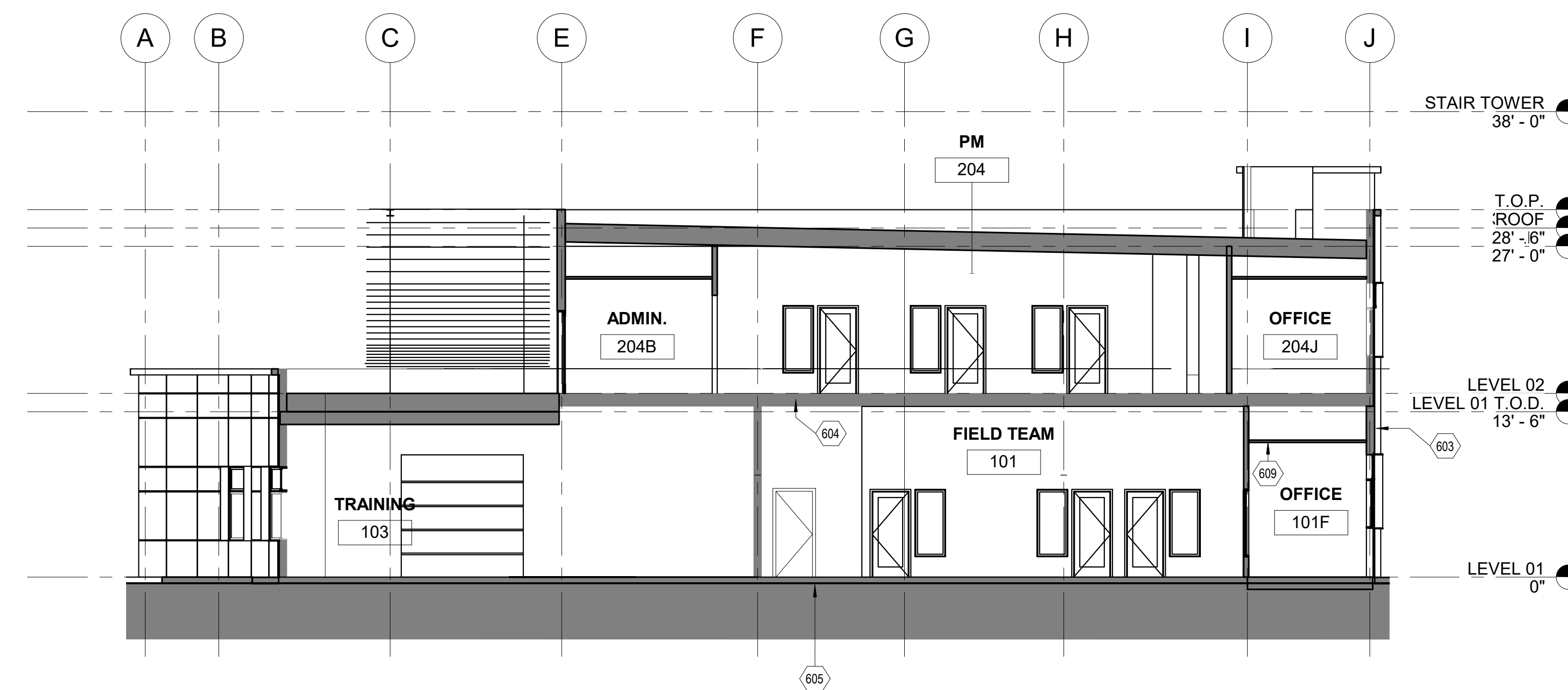
A3.0
BUILDING SECTIONS



1 CROSS SECTION
SCALE | 1/8" = 1'-0"



3 Section 2
SCALE | 1/8" = 1'-0"



2 Section 1
SCALE | 1/8" = 1'-0"

KEYNOTE LEGEND	
Key Value	Keynote Text
602	(N) ROOF STRUCT. W/ STANDING SEAM MTL ROOF
603	(E) EXT. WALL TO RECEIVE (N) EXT. FINISH
604	(E) FLOOR STRUCT
605	(E) SLAB ON GRADE
609	(N) GWB CEILING

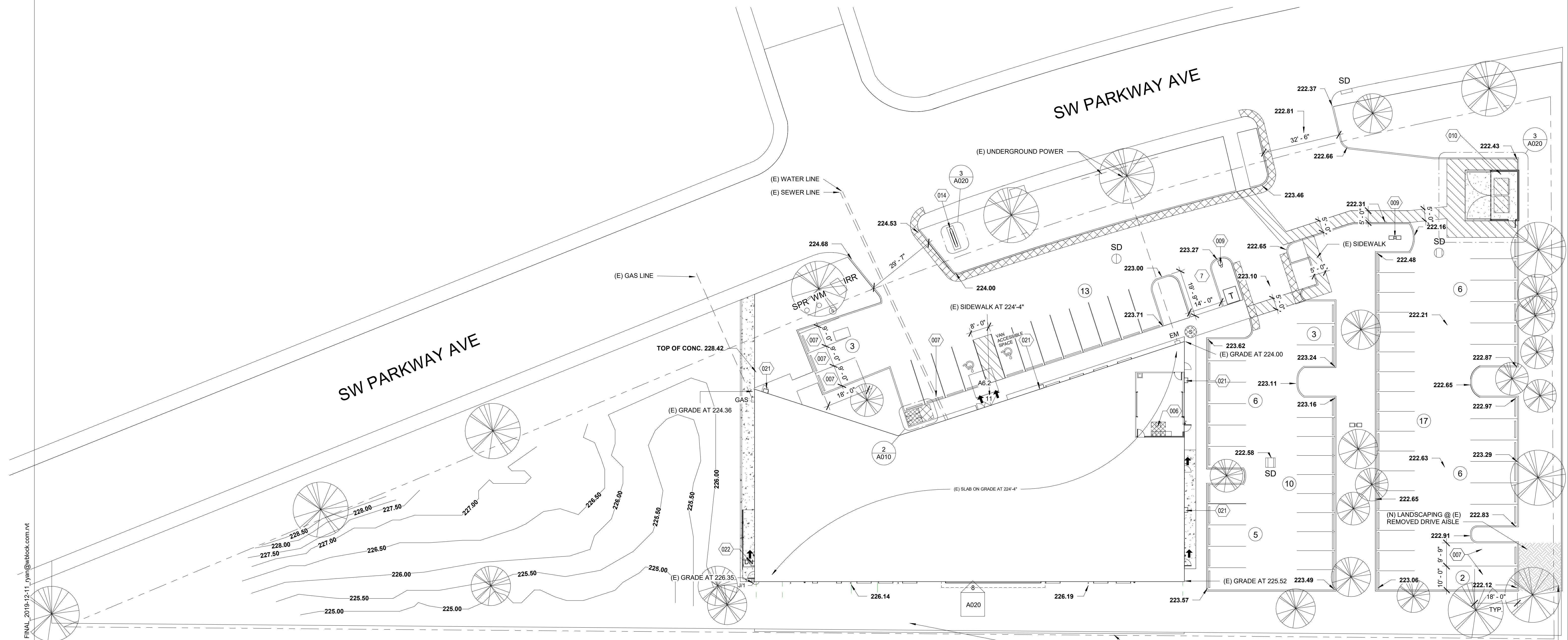
I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070



Project #19-005
Designer
LAND USE SUBMITTAL

12.09.19
REV DESCRIPTION DATE

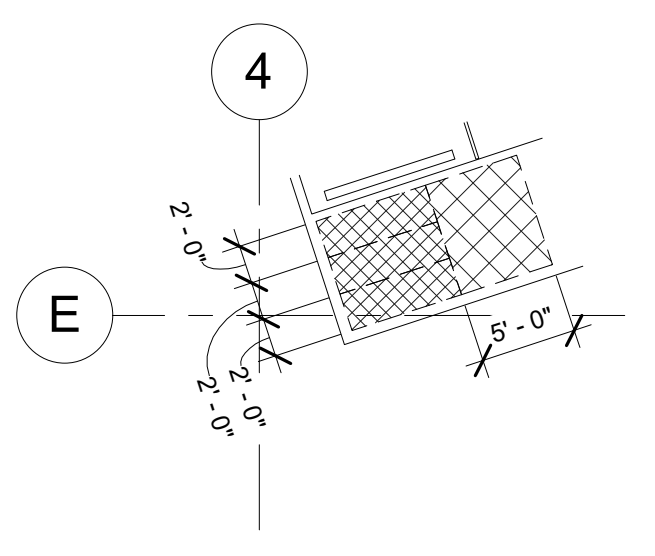


1 SITE PLAN
SCALE | 1" = 20'-0"

Key Value	Keynote Text
006	BICYCLE PARKING
7	
007	(N) STRIPED PARKING SPACE WITH WHEEL STOP
009	(E) LIGHTING TO REMAIN
010	(2) 4-YARD DUMPSTERS
014	LIGHTED MONUMENT SIGN, SEE A5.3
021	(N) EGRESS LIGHTING TO REPLACE (E)
022	(N) EGRESS LIGHTING

- SITE PLAN KEY:**
- PAINT STRIPING AT ACCESSIBLE PATH TO PUBLICWAY
 - FIRE LANE; CURB TO BE PAINTED RED
 - TREE TO BE REMOVED AND REPLACED
 - # NUMBER OF PARKING SPACES IN GROUP
 - SD STORM DRAIN
 - SPR SPRINKLER
 - WM WATER METER
 - IRR IRRIGATION
 - EM ELECTRIC METER
 - S SEWER
 - T TRANSFORMER
 - GAS GAS METER

2 ENLARGED PLAN - BICYCLE RACK
SCALE | 1" = 10'-0"



PARKING LOT CALCULATIONS:
EXISTING PARKING COUNT = 68 SPACES
REQUIRED PARKING COUNT = 70 SPACES
FLOOR AREA = 25,800
(25,800/1000) x 2.7 = 69.66
25.8 x 2.7 = 69.66 = 70 SPACE REQ.
PROPOSED PARKING COUNT = 71 SPACES
INCL. 2 HC SPACES (1 EQUIPPED WITH VAN ACCESS)

ALL PARKING AREAS OF 10 OR MORE TOTAL SPACES SHALL PROVIDE 1 ADA-ACCESSIBLE PARKING SPACE FOR EVERY 50 STANDARD SPACES CONSTRUCTED TO WILSONVILLE BUILDING CODE STANDARDS

BICYCLE PARKING:
REQUIRED COUNT = 6
PROPOSED COUNT = 3 EXTERIOR, 3 INTERIOR

13 TREES TO BE REMOVED AND REPLACED - SEE ARBOURIST COMMENTS

NEW LANDSCAPING TO BE COORDINATED BY OWNER

I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070

Project #19-005



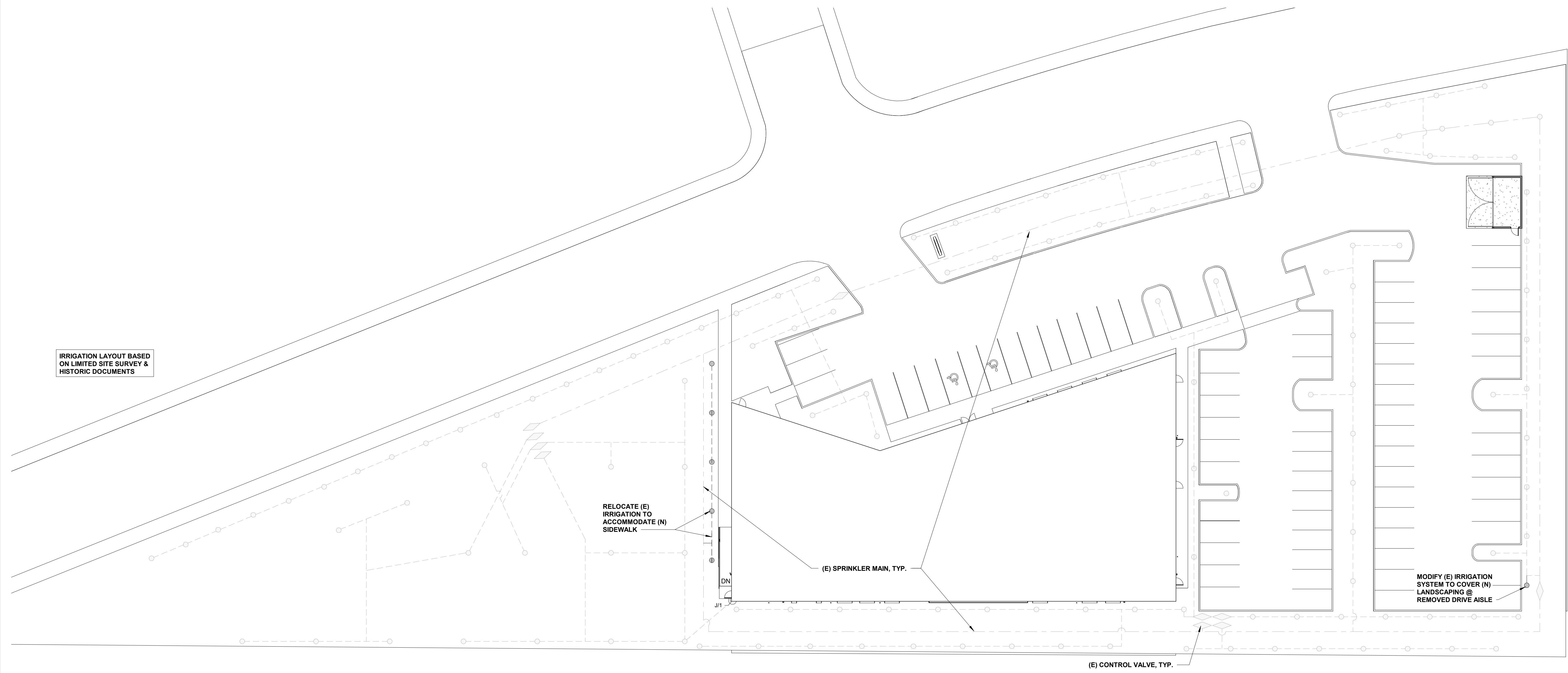
WILLIAM DAVID HARDISTER
LAND USE SUBMITTAL

REV	DESCRIPTION	DATE
1	PERMIT RESPONSE #1	11/15/19

A010
ARCHITECTURAL SITE PLAN



WOODBLOCK ARCHITECTURE, INC.
827 SW 2ND AVENUE, #500
PORTLAND, OR | 97204 | P 503.889.0004



IRRIGATION LAYOUT BASED ON LIMITED SITE SURVEY & HISTORIC DOCUMENTS

RELOCATE (E) IRRIGATION TO ACCOMMODATE (N) SIDEWALK

(E) SPRINKLER MAIN, TYP.

(E) CONTROL VALVE, TYP.

MODIFY (E) IRRIGATION SYSTEM TO COVER (N) LANDSCAPING @ REMOVED DRIVE AISLE

1 SITE PLAN
SCALE | 1" = 20'-0"

I & E OFFICES - RENOVATION

27375 SW Parkway Ave
Wilsonville OR 97070



Project #19-005



Designer

LAND USE SUBMITTAL

12.09.19

REV DESCRIPTION DATE

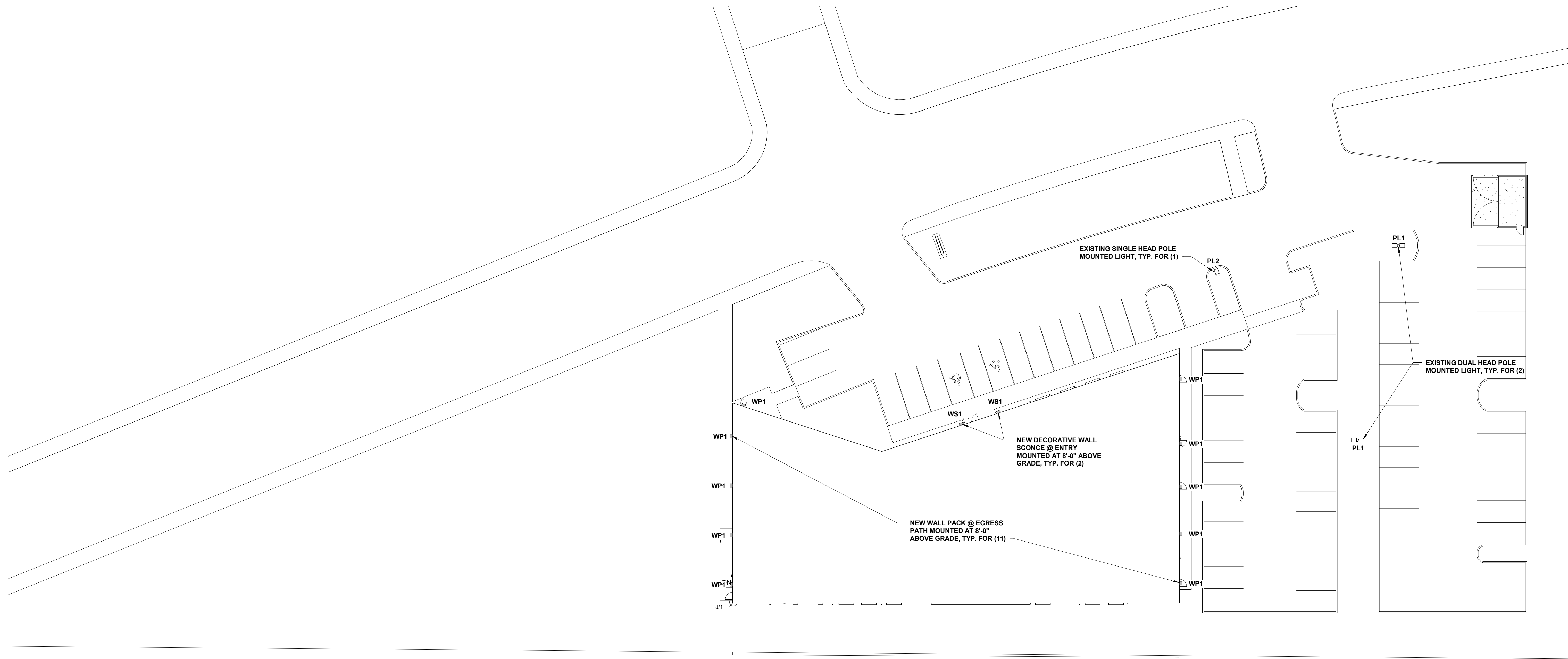
A011
SITE IRRIGATION PLAN

C:\Users\tyam\Documents\19-005-IAE OFFICES-CENTRAL_LAND_USE_FINAL_2019-12-11_rjym@wblock.com.rvt
12/11/2019 10:38:05 AM

© WOODBLOCK ARCHITECTURE



WOODBLOCK ARCHITECTURE, INC.
827 SW 2ND AVENUE, #500
PORTLAND, OR | 97204 | P 503.889.0004



1 SITE PLAN
SCALE | 1" = 20'-0"

**I & E OFFICES -
RENOVATION**

27375 SW Parkway Ave
Wilsonville OR 97070



Project #19-005



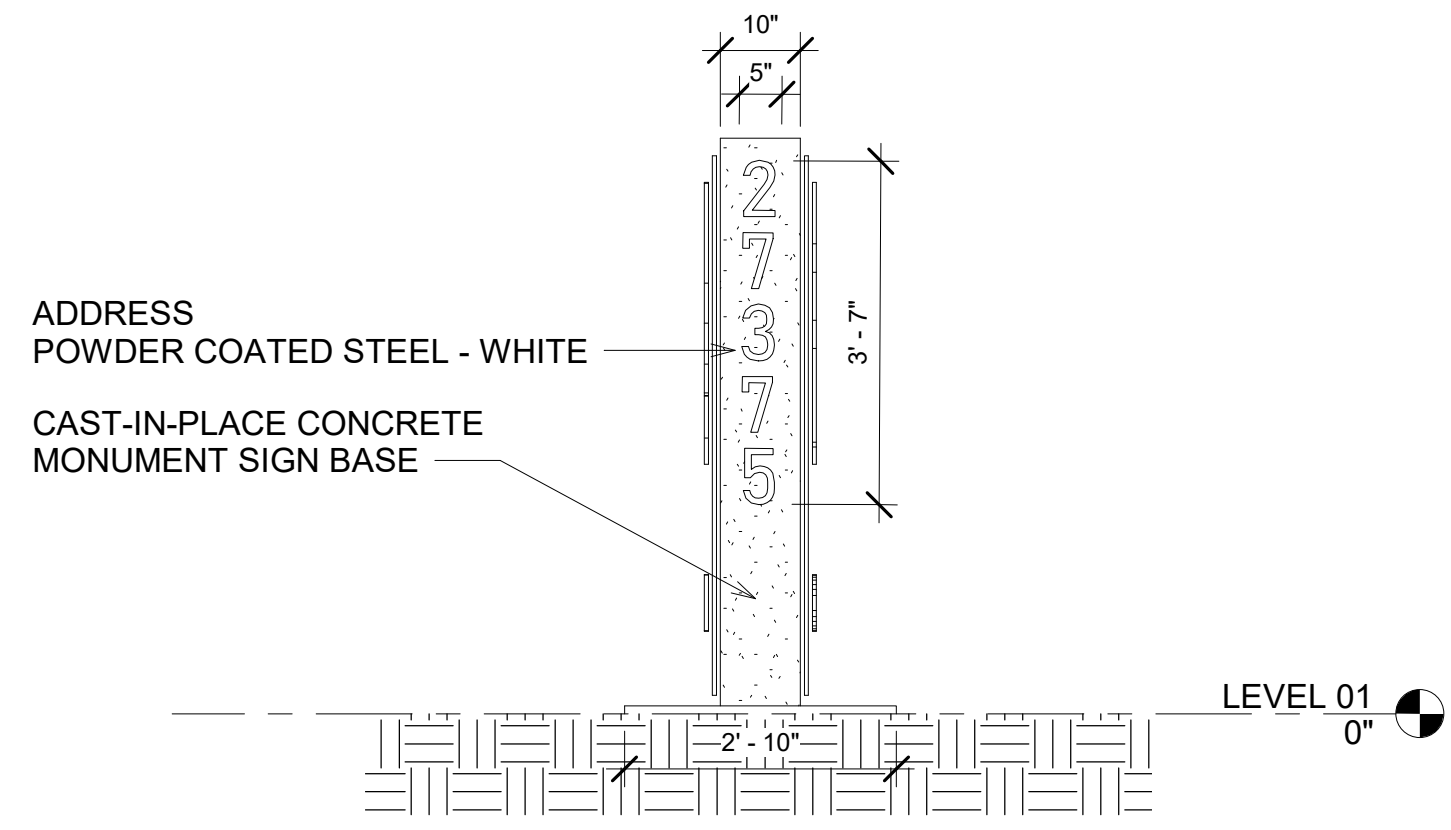
Designer

**LAND USE
SUBMITTAL**

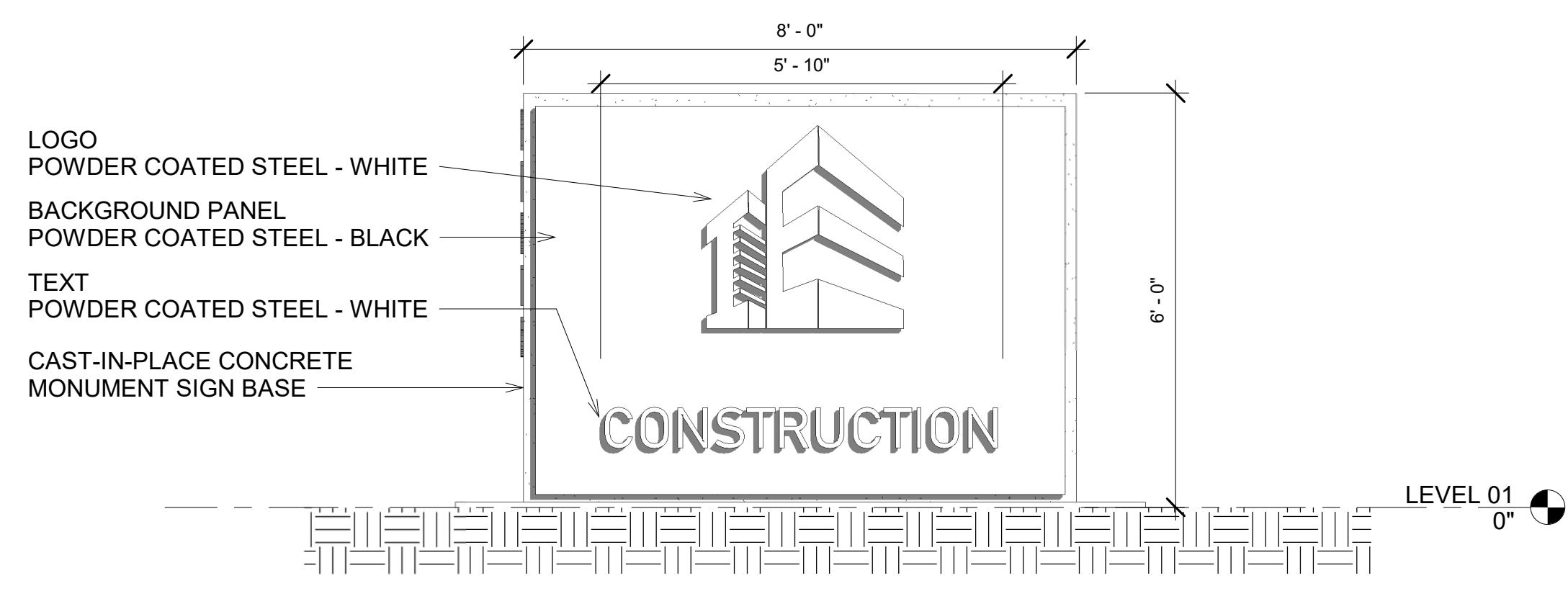
12.09.19

REV DESCRIPTION DATE

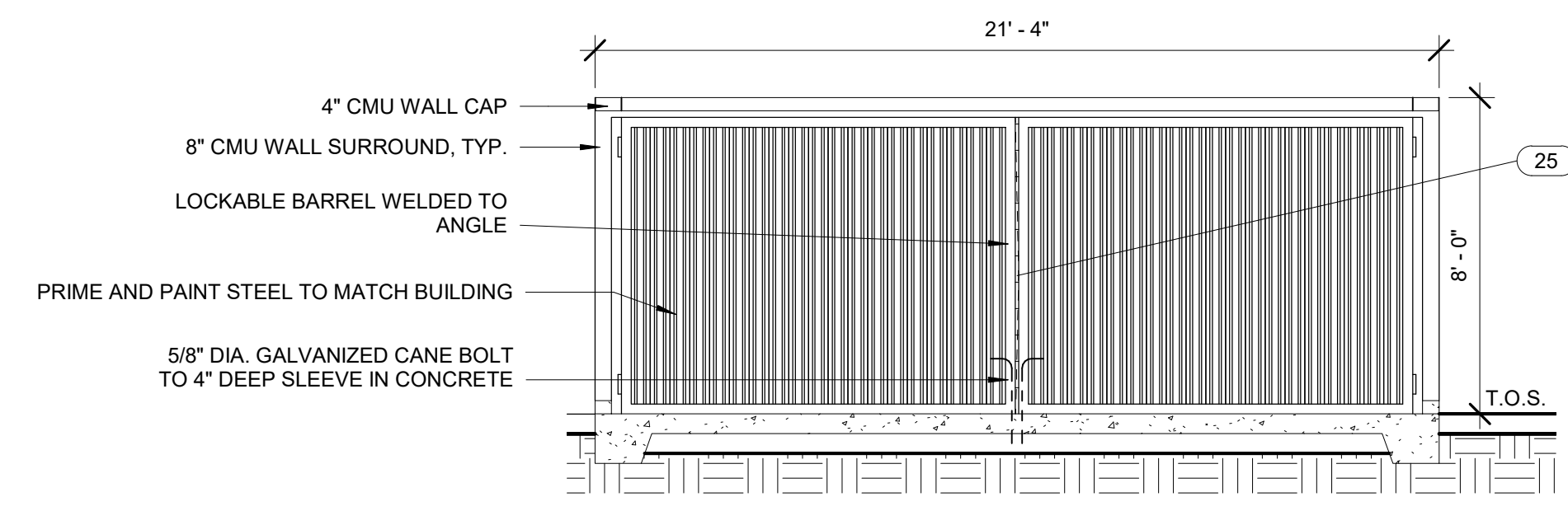
A012
SITE LIGHTING PLAN



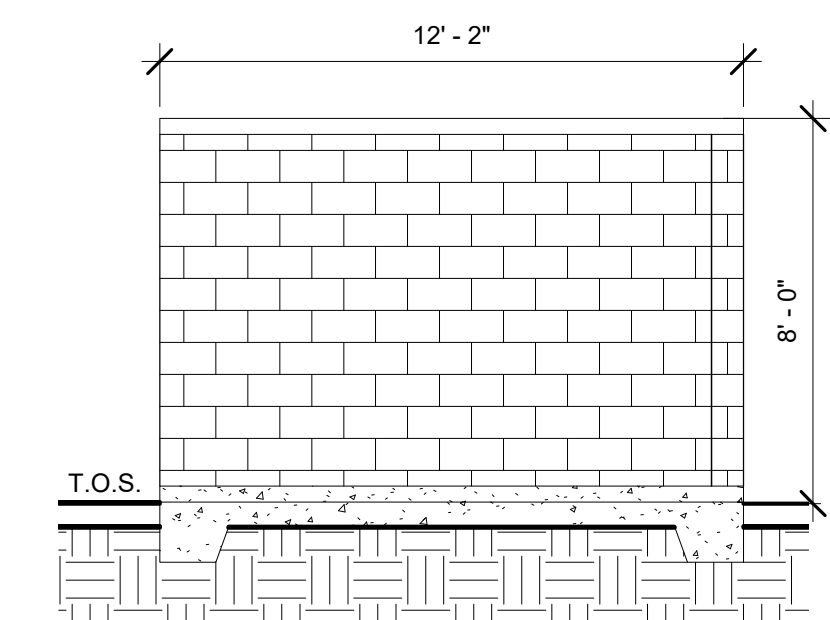
1 STREET ADDRESS
SCALE | 1/2" = 1'-0"



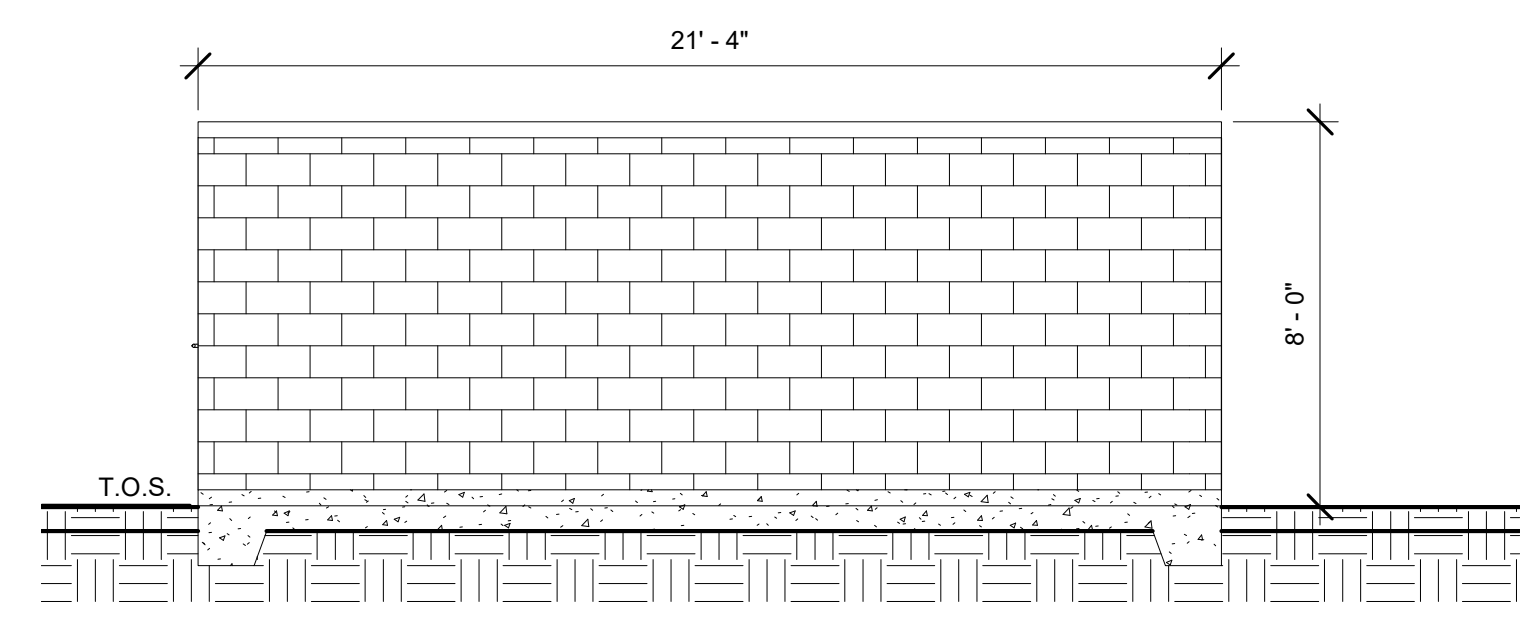
2 MONUMENT SIGN WITH LOGO
SCALE | 1/2" = 1'-0"



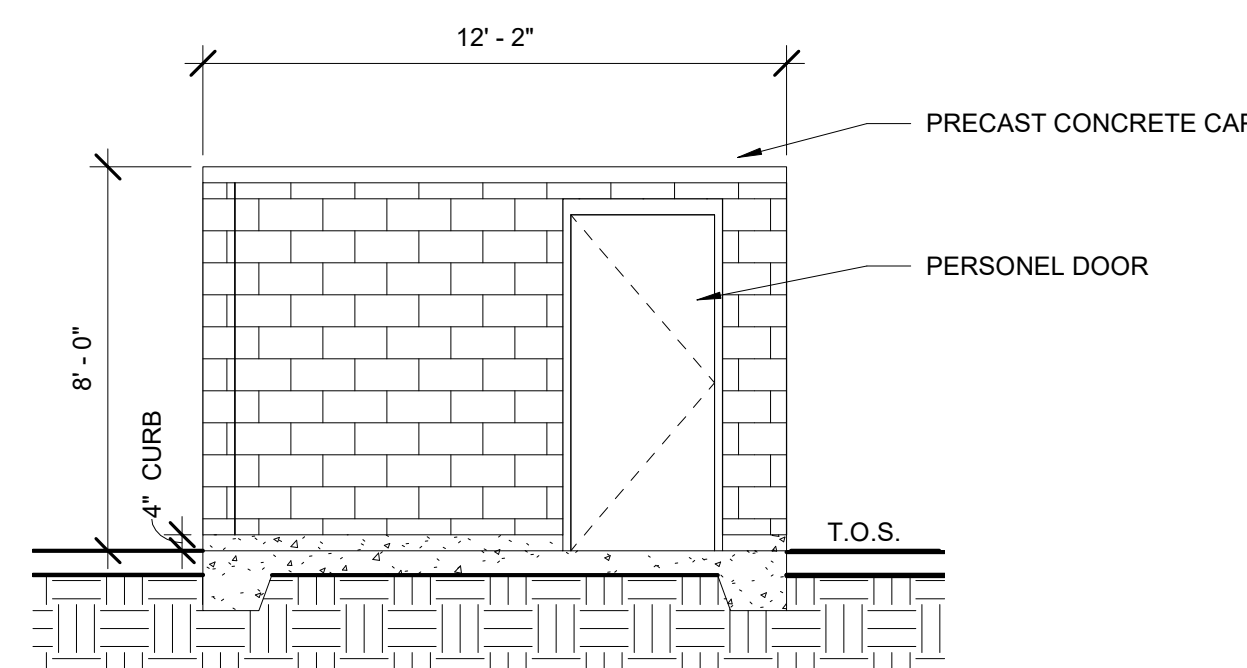
4 TRASH ENCLOSURE - NORTH ELEVATION
SCALE | 1/4" = 1'-0"



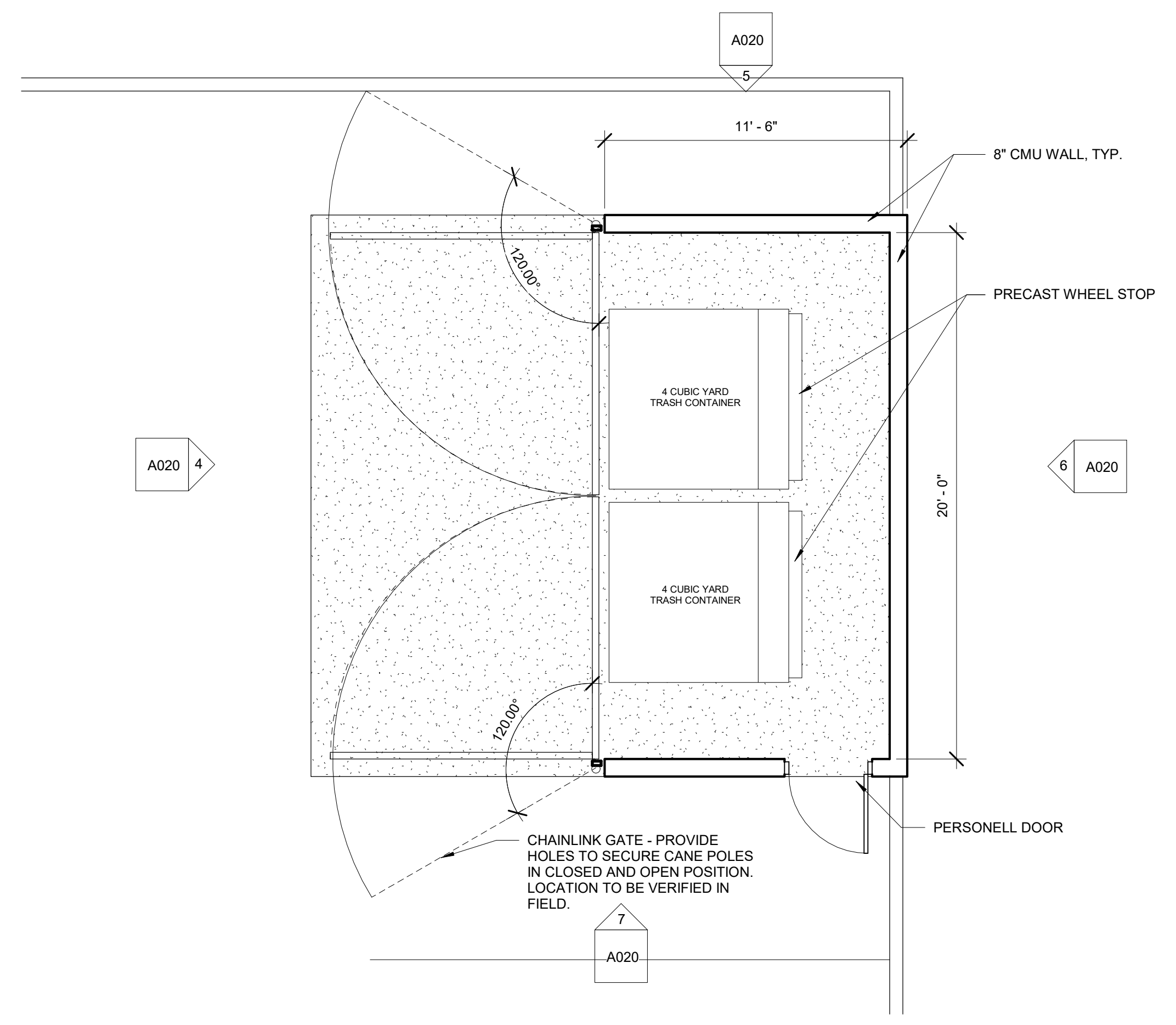
5 TRASH ENCLOSURE - EAST ELEVATION
SCALE | 1/4" = 1'-0"



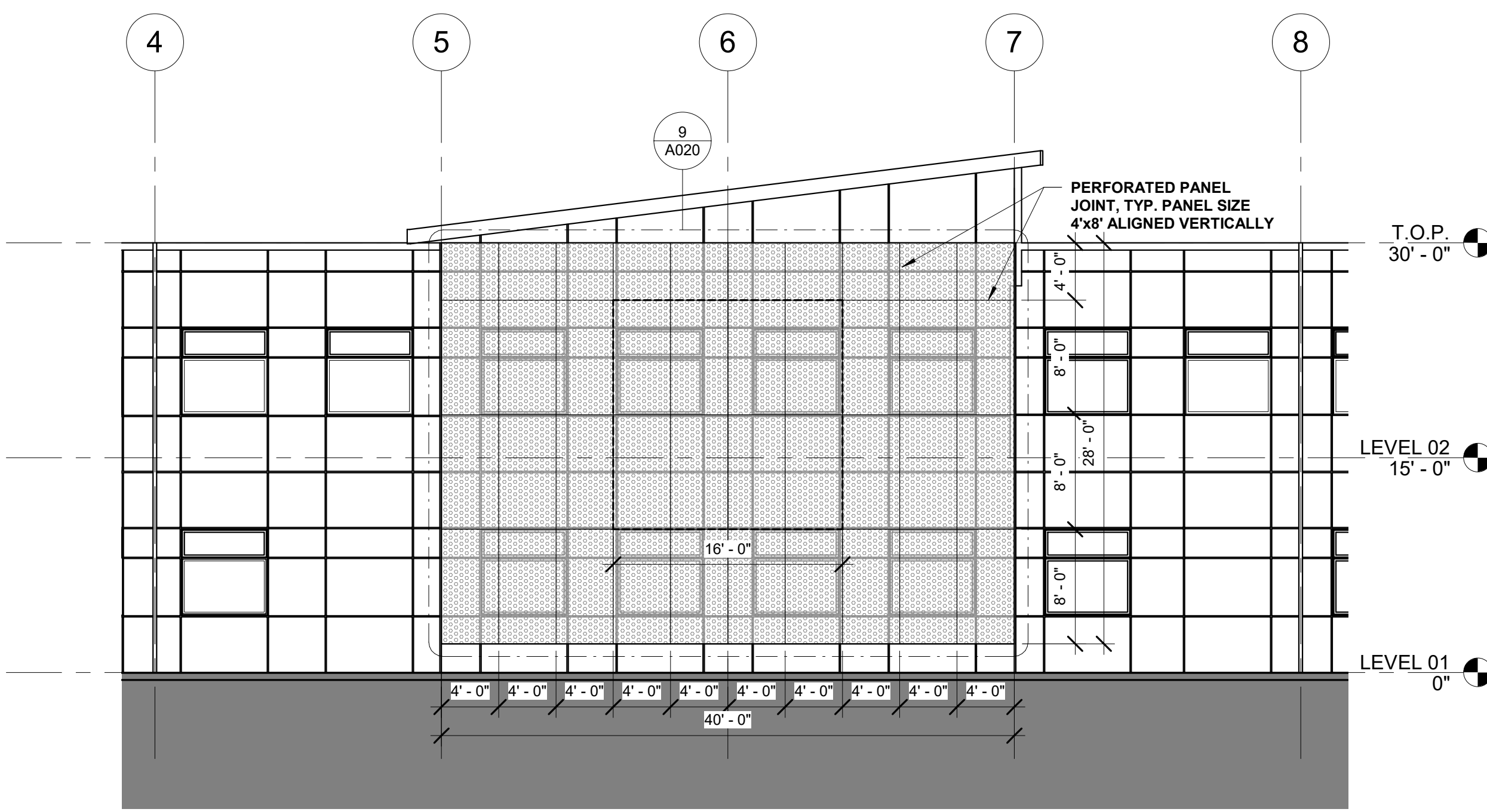
6 TRASH ENCLOSURE - SOUTH ELEVATION
SCALE | 1/4" = 1'-0"



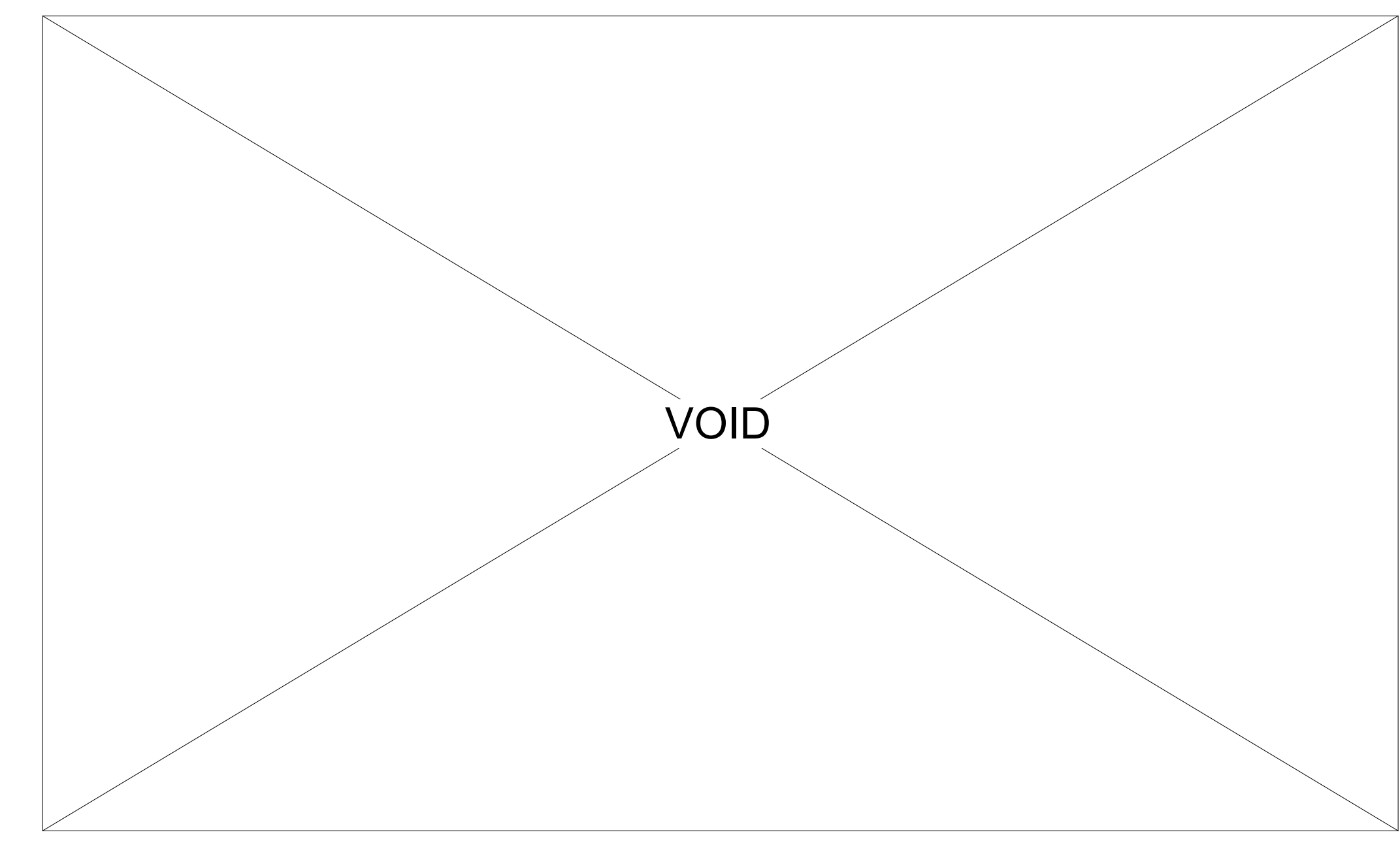
7 TRASH ENCLOSURE - WEST ELEVATION
SCALE | 1/4" = 1'-0"



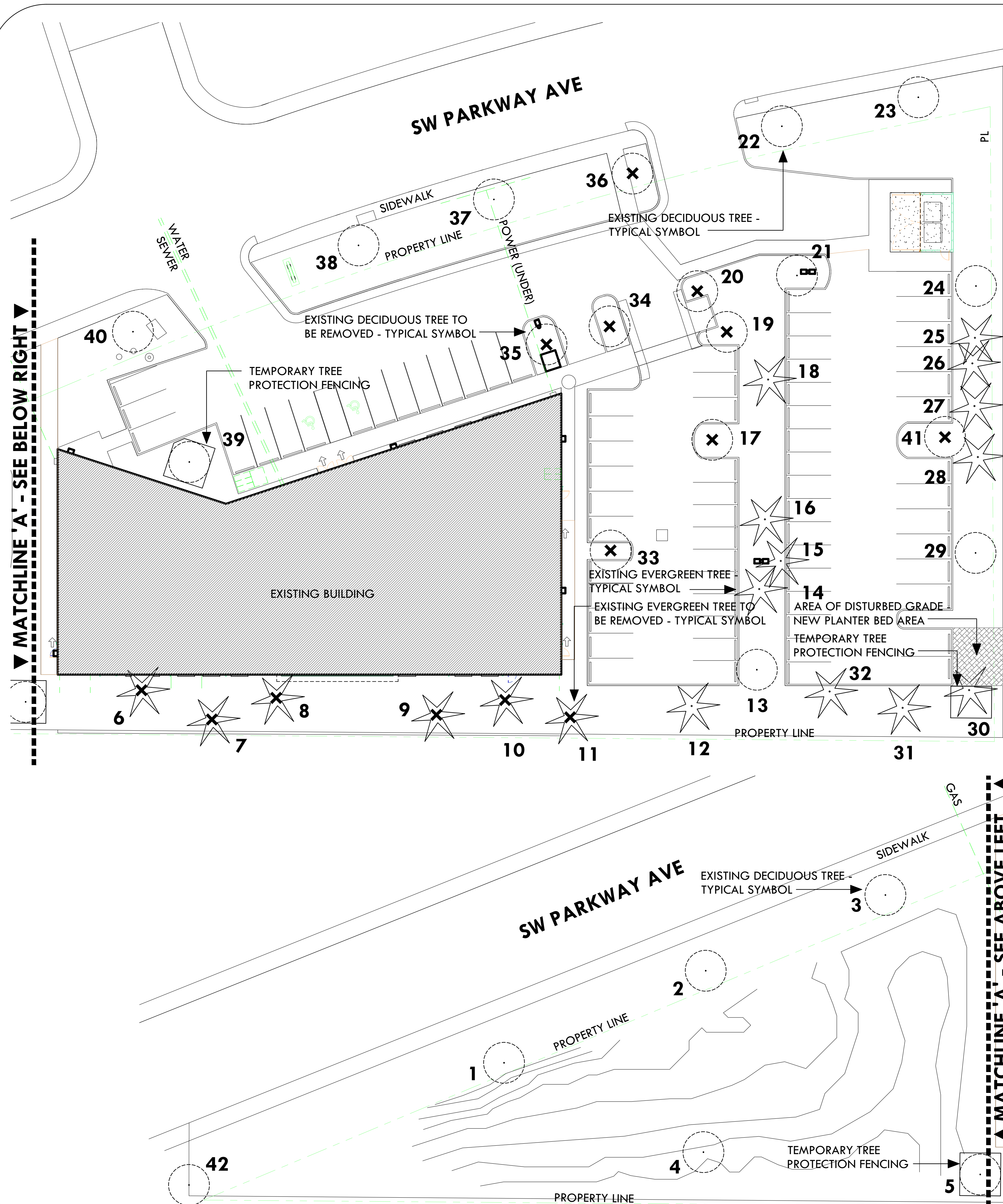
3 TRASH ENCLOSURE PLAN
SCALE | 1/4" = 1'-0"



8 Elevation 1 - a
SCALE | 1/8" = 1'-0"



9 SCREEN WALL
SCALE | 1/4" = 1'-0"

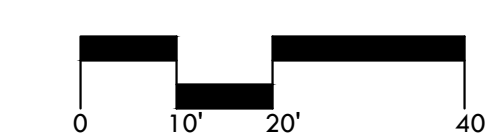
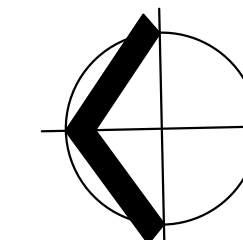


EXISTING TREE INVENTORY LIST

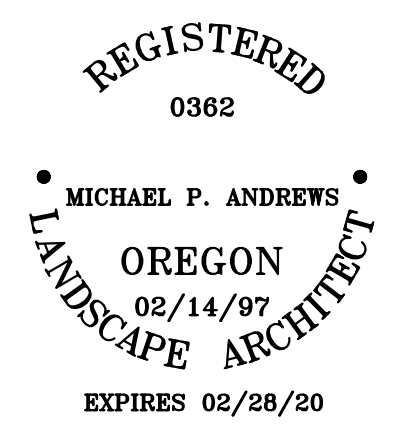
Tree#	Botanical name	Common name	DBH	Spread	Health / Other
1	Acer platanoides	Norway maple	20"	40'	Fair Retain tree. Prune for structure
2	Acer platanoides	Norway maple	22"	40'	Fair Retain tree. Prune for structure
3	Acer platanoides	Norway maple	19"	40'	Fair Retain tree. Prune for structure
4	Acer platanoides	Norway maple	15.5"	40'	Fair Retain tree. Prune for structure
5	Acer rubrum	Red maple	21.5"	40'	Fair Retain tree. Prune up for better site line
6	Pinus contorta	Lodgepole pine	30"	50"	Fair See report
7	Pinus contorta	Lodgepole pine	25"	50"	Fair See report
8	Pinus contorta	Lodgepole pine	26"	50"	Fair See report
9	Pinus contorta	Lodgepole pine	18.5"	40"	Fair See report
10	Pinus contorta	Lodgepole pine	21"	50"	Fair See report
11	Pinus contorta	Lodgepole pine	39.5"	60"	Fair See report
12	Pinus contorta	Lodgepole pine	30.5"	60'	Fair Retain tree. Prune for structure
13	Acer rubrum	Red maple	18"	40'	Fair Retain tree. Prune for structure
14	Pseudotsuga menziesii	Douglas fir	9"	20'	Fair Retain tree. Prune for structure
15	Pseudotsuga menziesii	Douglas fir	9.5"	20'	Fair Retain tree. Prune for structure
16	Pseudotsuga menziesii	Douglas fir	10"	20'	Fair Retain tree. Prune for structure
17	Alnus rubra	Red alder	13"	20"	Poor Remove dying tree
18	Pseudotsuga menziesii	Douglas fir	9.5"	20'	Fair Retain tree. Prune for structure
19	Alnus rubra	Red alder	7"	20"	Poor Remove dying tree
20	Alnus rubra	Red alder	10"	20"	Poor Remove dying tree
21	Ginkgo biloba	Ginkgo	5"	15'	Fair No recommendation
22	Acer platanoides	Norway maple	17"	40'	Fair Retain tree. Prune for structure
23	Acer platanoides	Norway maple	23.5"	40'	Fair Retain tree. Prune for structure
24	Acer rubrum	Red maple	26"	50'	Fair Retain tree. Prune for structure
25	Pinus nigra	Black pine	22"	50'	Fair Retain tree. Prune for structure
26	Pinus nigra	Black pine	17.5"	50'	Fair Retain tree. Prune for structure
27	Pinus nigra	Black pine	19.5"	50'	Fair Retain tree. Prune for structure
28	Pinus nigra	Black pine	24.5"	50'	Fair Retain tree. Prune for structure
29	Acer rubrum	Red maple	23"	55'	Fair Retain tree. Prune for structure
30	Pinus contorta	Lodgepole pine	20.5"	50'	Fair Retain tree. Prune for structure
31	Pinus contorta	Lodgepole pine	30.5"	50'	Fair Retain tree. Prune for structure
32	Pseudotsuga menziesii	Douglas fir	16.5"	35'	Fair Retain tree. Prune for structure
33	Alnus rubra	Red alder	13"	20"	Poor Remove dying tree
34	Alnus rubra	Red alder	13"	20"	Poor Remove dying tree
35	Ginkgo biloba	Ginkgo	9"	20"	Fair Remove tree
36	Alnus rubra	Red alder	17"	20"	Dead Remove tree
37	Acer r. 'Red Sunset'	Red Sunset maple	3"	10'	Fair No recommendation
38	Acer r. 'Red Sunset'	Red Sunset maple	4"	10'	Fair No recommendation
39	Cornus florida	Flw. dogwood	8"	20'	Fair Retain tree. Prune for structure
40	Acer platanoides	Norway maple	16"	30'	Fair Retain tree. Prune for structure
41	Ginkgo biloba	Ginkgo	6"	15"	Fair Remove tree. Fruiting variety
42	Acer rubrum	Red maple	22"	40'	Fair Retain tree. Prune for structure

Tree Survey Notes

- Harrity Tree Specialists, Inc., Certified Arborists, have provided the tree identification, size, and health description for the existing trees on site. In addition the Arborists has made recommendations for pruning, removal, or retention in place of the existing trees. This information is contained on the existing tree inventory list, noted above.
- Thirteen (13) trees have been identified for removal by the Arborist, and/or requested by the Owner. These trees are noted on the inventory list in **bold** text and identified on plan with an 'x' through the center of the tree symbol.
- Trees #6-11, are designated to be removed by the Owner. These existing six trees are in close proximity to the building's west facade and will obstruct visual access to building improvements, signage in particular.
- The Owner will replace all trees removed from site at a 1:1 ratio, with new trees indicated on the landscape planting plan. A minimum of 13 trees will be replaced on site, including on street tree in the right of way.
- New construction will take place primarily within the building, its facade, and the SW parking lot for two new parking stalls. All trees that are adjacent to construction activities, with the potential to be impacted by new improvements, will be protected with tree protection fencing per the City of Wilsonville's standard detail. Refer to the City detail RD-1203 on the planting detail sheet for reference and additional notes.
- Install all protective fencing prior to the start of work.
- All existing trees to remain on site, and within the right of way designated to remain (and as noted on the existing tree inventory list), will be pruned for structure, to improve health and appearance of the trees.
- All existing trees on site have been identified with metal tags by the Arborist. The metal tags and designated tree number on each tag, corresponds to the existing tree inventory list. Trees tags are to remain in place throughout the duration of the redevelopment.
- Refer to the landscape planting plan for a detailed explanation of the anticipated cost of tree replacement, in addition to proposed tree species, quantities and tree size at the time of installation.
- Tree symbols on plan are diagrammatic. Refer to the existing tree inventory list for the spread of each existing tree.
- Refer to specifications for tree protection and removal directions.
- Utility locations are approximate. All utilities locations shall be field verified prior to the start of all landscape work. Call Oregon Utility Notification Center 800 332-2344.
- Tree stumps shall be removed. Remove stumps of existing trees to a minimum of 24" below grade taking care not to impact existing utilities and irrigation lines. Backfill stump areas with topsoil.



General Notes



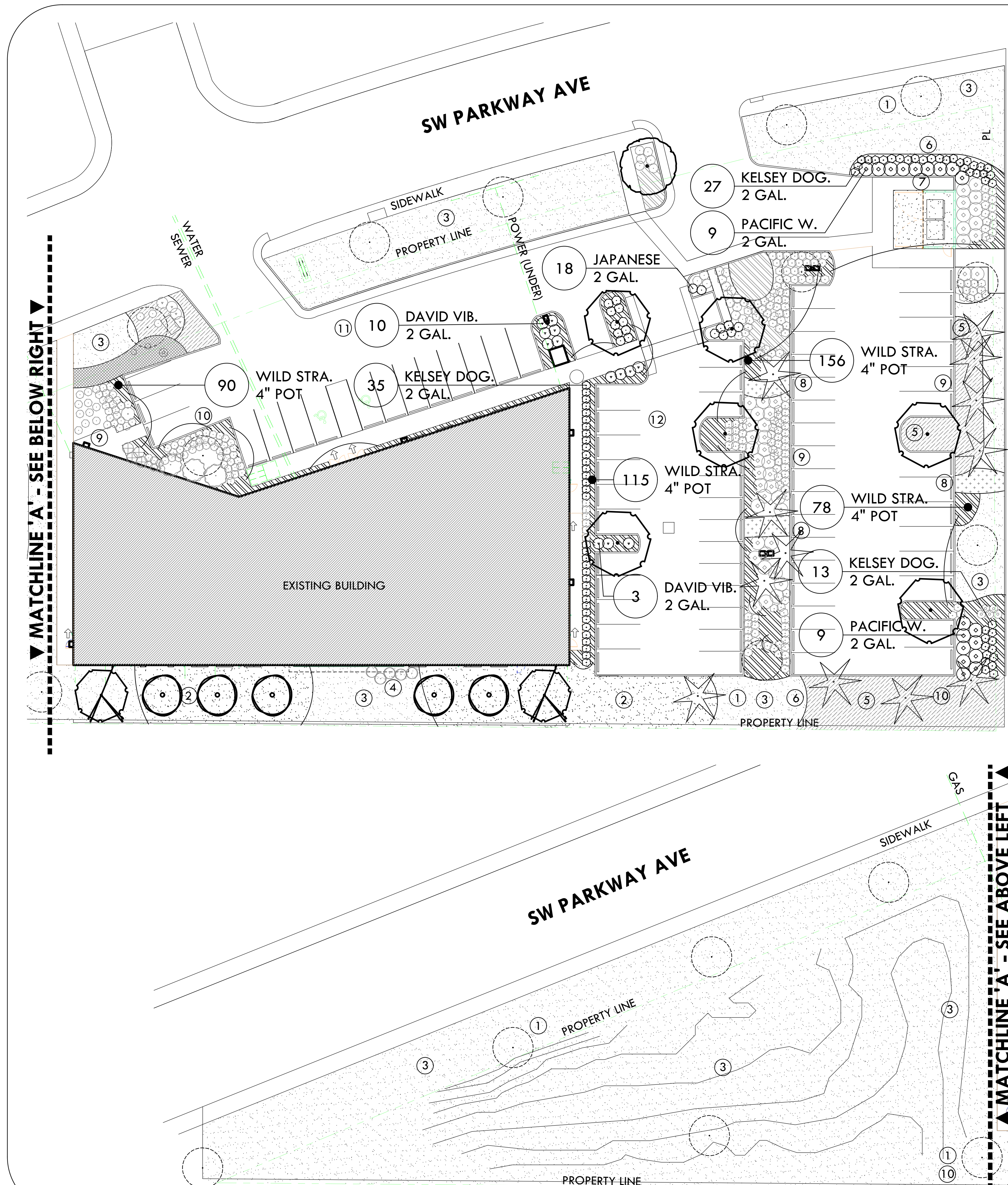
I&E OFFICE RENOVATION TREE SURVEY PLAN

No.	Revision/Issue	Date

Firm Name and Address
L A 2 1
 1008 SW CARSON ST.
 PORTLAND, OR 97219
 LATWENTYONE.COM
 503 977-6262

Project Name and Address
I&E OFFICES
 27375 SW PARKWAY AVE.
 WILSONVILLE, OR 97070

Project 19213	Sheet L1
Date NOV. 15, 2019	Scale AS NOTED



PLANT MATERIALS SCHEDULE (EXISTING ON SITE)

SYMBOL	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	REMARKS
⊕	JAPANESE PIERIS	PIERIS JAPONICA	5' HT.	4' SPREAD	EXISTING
⊕	J. M. DE MONTAGUE RHODODENDRON	RHODODENDRON 'J. M. DE MONTAGUE'	10' HT.	8' SPREAD	EXISTING
⊕	KELSEY DOGWOOD	CORNUS SERICEA 'KELSEY'	2' HT.	3' SPREAD	EXISTING
⊕	COMMON SNOWBERRY	SYMPHORICARPOS ALBUS	1' HT.	5' SPREAD	EXISTING
⊕	DAVID'S VIBURNUM	VIBURNUM DAVIDII	2' HT.	4' SPREAD	EXISTING
⊕	JAPANESE BARBERRY	BERBERIS THUNBERGII	2' HT.	3' SPREAD	EXISTING
⊕	PACIFIC WAX MYRTLE	MYRICA CALIFORNICA	5' HT.	5' SPREAD	EXISTING
⊕	WINGED EUONYMUS	EUONYMUS ALATA	2' HT.	3' SPREAD	EXISTING
⊕	LAURUSTINUS VIBURNUM	VIBURNUM TINUS	4' HT.	4' SPREAD	EXISTING
⊕	SHORE JUNIPER	JUNIPERUS CONFERTA	1' HT.	4'-6' SPREAD	EXISTING
⊕	WILD STRAWBERRY	FRAGARIA CHILOENSIS	3" HT.	4' SPREAD	EXISTING
⊕	EXISTING LAWN	MIX SPECIES	2" HT.	SEE PLAN	EXISTING
⊕	IVY GROUNDCOVER	HEDRA HELIX	6" HT.	5' SPREAD	EXISTING
⊕	EXISTING GRAVEL PATH	1/2" MINUS GRAVEL	3" DEPTH	SEE PLAN	EXISTING

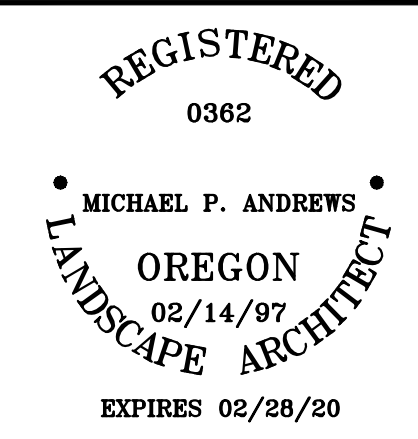
PLANT MATERIALS SCHEDULE (PROPOSED)

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	QUANTITY
⊕	COLUMNAR SARGENT CHERRY	PRUNUS SARGENTII 'COLUMNARIS'	2" CAL.	20'-0" O.C.	5
⊕	FOREST PANSY REDBUD	CERCIS CANADENSIS 'FOREST PANSY'	2" CAL.	AS SHOWN	2
⊕	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2" CAL.	AS SHOWN	6
⊕	RED SUNSET MAPLE	ACER RUBRUM 'RED SUNSET'	3" CAL. 10' HT.	AS SHOWN	1
⊕	PACIFIC WAX MYRTLE	MYRICA CALIFORNICA	2 GALLON	4'-6" O.C.	SEE PLAN
⊕	JAPANESE BARBERRY	BERBERIS THUNBERGII	2 GALLON	3'-0" O.C.	SEE PLAN
⊕	KELSEY DOGWOOD	CORNUS SERICEA 'KELSEY'	2 GALLON	2'-6" O.C.	SEE PLAN
⊕	DAVID'S VIBURNUM	VIBURNUM DAVIDII	2 GALLON	3'-6" O.C.	SEE PLAN
⊕	WILD STRAWBERRY	FRAGARIA CHILOENSIS	4" POT	2-0" O.C.	SEE PLAN
⊕	PROTIME 303 SUN MIX AVAILABLE AT HOBBS AND HOPKINS 1 (800) 345-3295				SEED ALL BARE AREAS

PLANTING NOTES - (#) - typical symbol

- See Tree Survey Plan for status of existing trees on site. Existing trees designated to remain shall be pruned for structure. Do not remove more than 30% of tree canopy for each tree. Dispose of trimmings off site.
- Restore existing lawn under Pine trees, west of building. Remove existing pine needle debris. After pine needle removal, prepare landscape beds for new grass seeding. Install Prottime 303 Sunmix or equal in all exposed soil areas west of building. See specifications for soil preparation.
- Existing lawn to remain. Trim grass to 2" height. Re-grade soil areas smooth if disturbed. Reseed lawn disturbed by construction activities. Re-seeded areas to have 100% grass coverage within 120 days. Sod will be required if temperatures are to cold to germinate grass seed.
- Do not reseed under existing shrubs on west side of building. maintain shovel cut bed edge around existing shrubs.
- Existing ivy ground cover to remain in place. Remove invasive weeds and debris from ivy area. Remove any ivy on trunks of trees.
- New shovel cut bed edge between lawn and groundcover areas.
- Remove existing lawn and prepare landscape beds for new shrub and groundcover planting.
- Existing gravel pathways in parking lot island to remain in place. Where soil is exposed replace with new gravel to match existing materials to a 3" minimum depth.
- Cleanly trim and remove dead plant material (broken branches, dead material, leaves) from existing shrubs and groundcover. Dispose of materials off site.
- Remove tree protection fencing at the completion of all building improvements.
- New shrubs and groundcover have been identified by a target including; quantity, name and plant size. The first 8 letters of the plant common name are indicated on the plant target.
- See detail sheet for additional planting notes and details.

General Notes



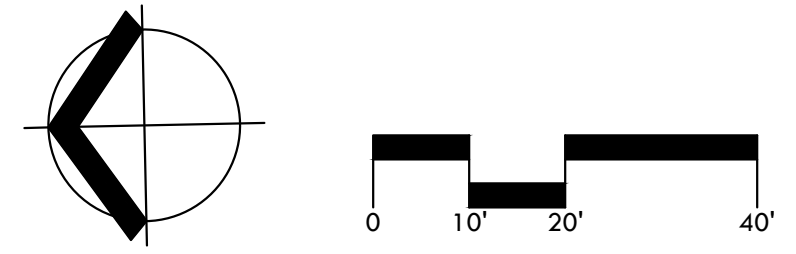
**I&E OFFICE
RENOVATION
LANDSCAPE PLANTING PLAN**

No.	Revision/Issue	Date
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Firm Name and Address
L A 2 I
 1008 SW CARSON ST.
 PORTLAND, OR 97219
 LATWENTYONE.COM
 503 977-6262

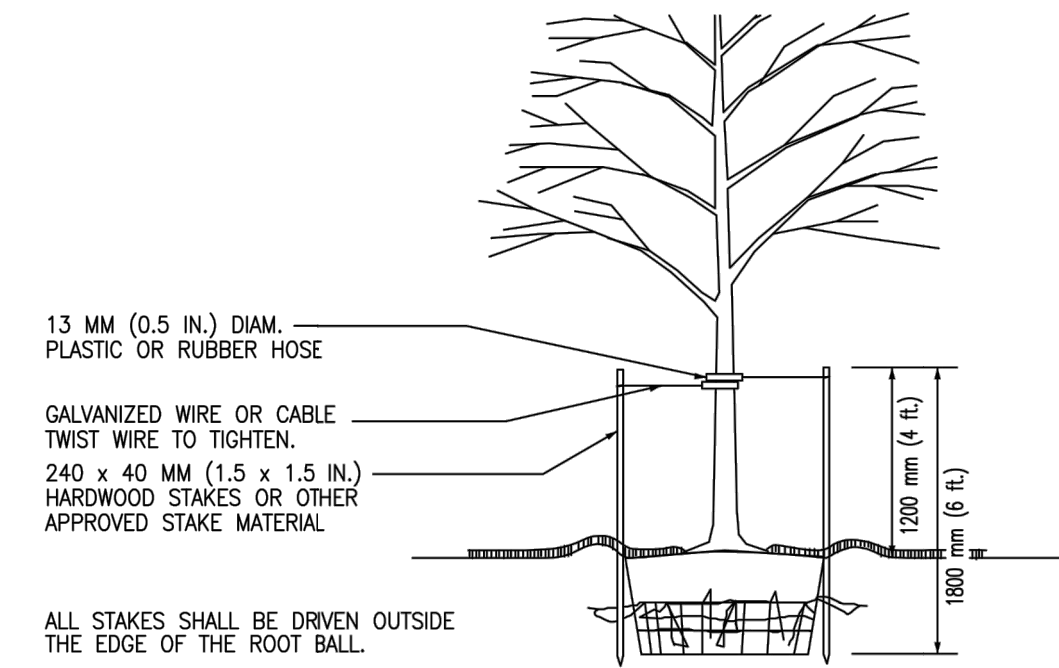
Project Name and Address
I&E OFFICES
 27375 SW PARKWAY AVE.
 WILSONVILLE, OR 97070

Project 19213	Sheet L2
Date NOV. 15, 2019	
Scale AS NOTED	



This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

WIRE OR CABLE SIZES SHALL BE AS FOLLOWS:
 TREES UP TO 65 MM (2.5 IN.) CALIPER - 14 GAUGE
 TREES 65 MM (2.5 IN.) TO 75 MM (3 IN.) CALIPER - 12 GAUGE
 TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC OR RUBBER HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 35MM (1.5 IN.) OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.
 TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

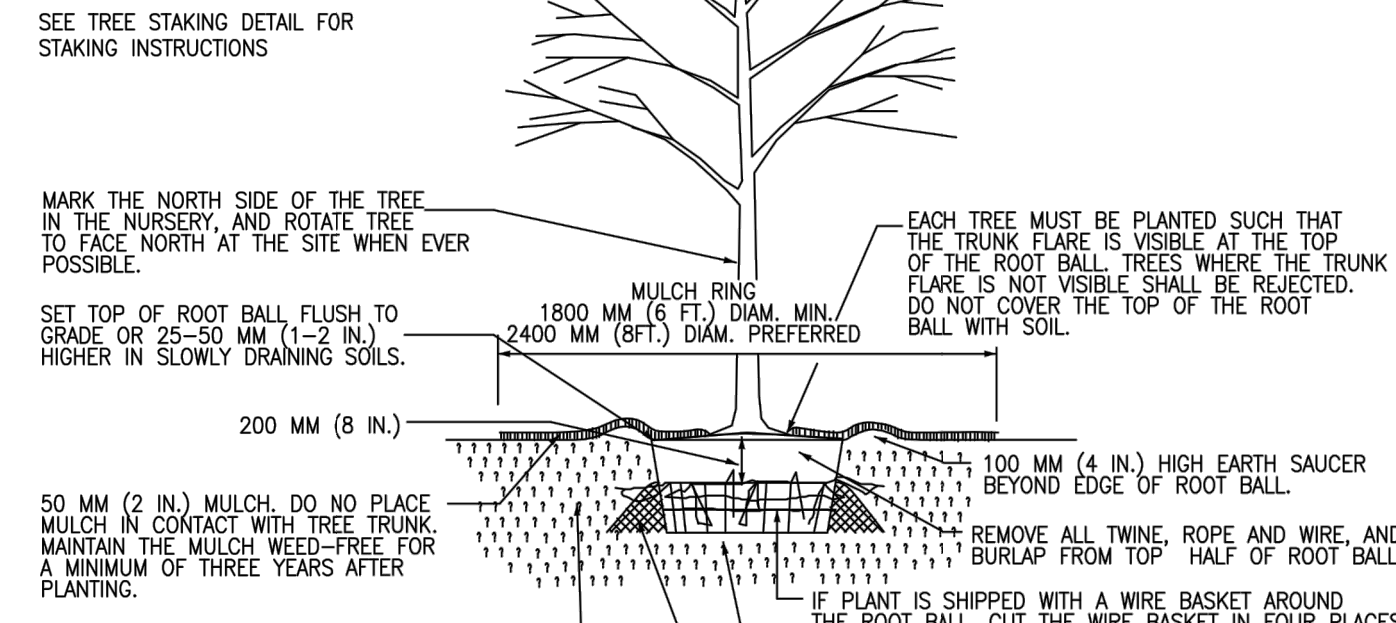


ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 12 MM (0.5 IN.).
 REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
 TREES NORMALLY DO NOT NEED TO BE STAKED AND STAKING CAN BE HARMFUL TO THE TREE. STAKING SHOULD BE DONE ONLY WITH THE APPROVAL OF THE CITY IF IT IS EXPECTED THAT THE TREE WILL NOT BE ABLE TO SUPPORT ITSELF. THE FOLLOWING ARE REASONS WHY TREES DO NOT REMAIN STRAIGHT:
 o TREES WITH POOR - QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED. REJECT RATHER THAN STAKE.
 o TREES THAT HAVE GROWN TOO CLOSE TOGETHER IN THE NURSERY, RESULTING IN WEAK TRUNKS. REJECT RATHER THAN STAKE.
 o PLANTING PROCEDURES THAT DO NOT ADEQUATELY TAMP SOILS AROUND THE ROOT BALL. CORRECT THE PLANTING PROCEDURE.
 o PLANTING PROCEDURES ON SOFT SOIL. TAMP SOILS UNDER ROOT BALL PRIOR TO PLANTING.
 o ROOT BALLS WITH VERY SANDY SOIL OR VERY WET CLAY SOIL. STAKING ADVISABLE.
 o TREES LOCATED IN A PLACE OF EXTREMELY WINDY CONDITIONS. STAKING ADVISABLE.
 ALTERNATE TREE STAKING METHODS:
 1. TREE STAPLES OR EQUIVALENT TREE STAKING SYSTEM MAY BE USED
 2. DUCKBILL ROOT KIT STRAP OR EQUIVALENT
 - 40Rbk - 2" TREE
 - 68Rbk - 3" TREE

Tree Staking Detail - Trees 75MM (3") Caliper or Less			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: P-5005	DRAWN BY: SJ	SCALE: N.T.S.	
FILE NAME: P-5005.dwg	APPROVED BY: SA	DATE: 03/22/06	

This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

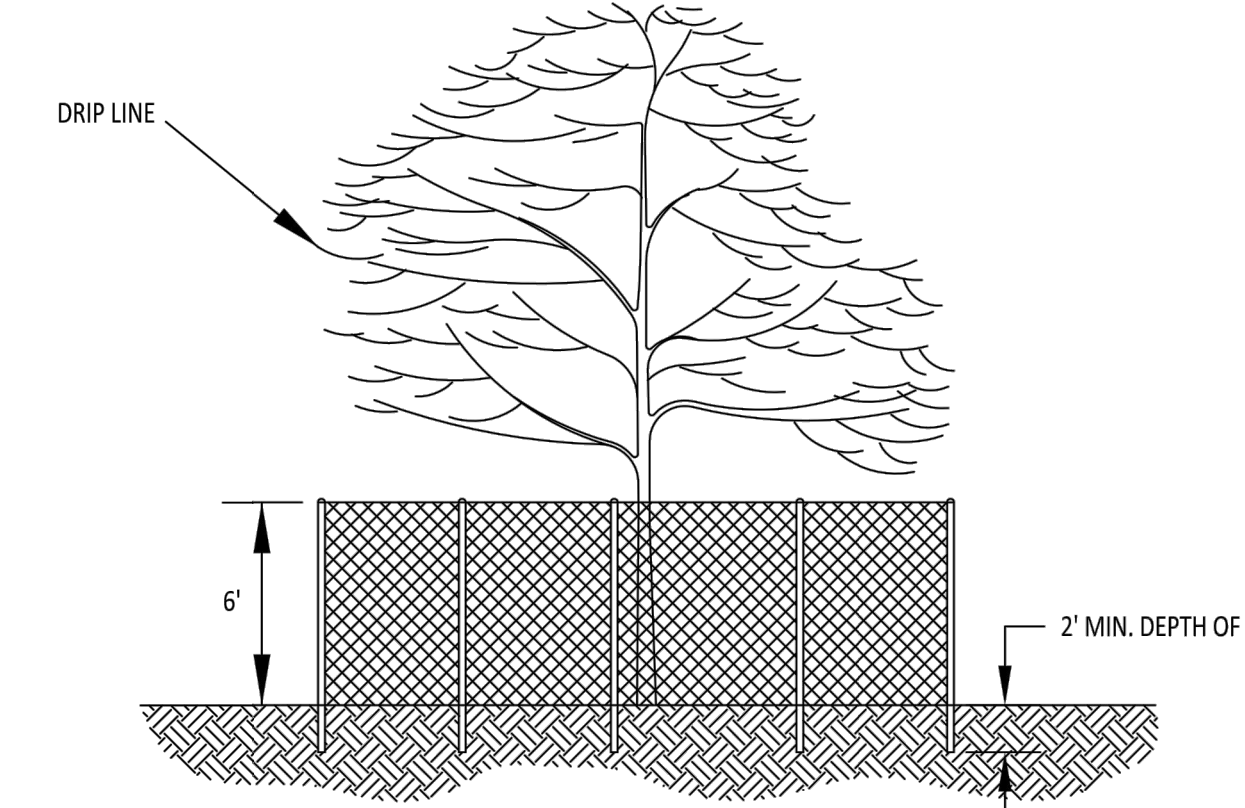
DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, DO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED, HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



NOTE: FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL IMPROVEMENT DETAILS."
 NOTE: WIDTH OF PLANTING HOLE IS 3 TIMES ROOT BALL DIAMETER IN HIGHLY COMPACTED SOIL; 2 TIMES THE ROOT BALL DIAMETER MINIMUM IN ALL OTHERS.
 THIS DETAIL ASSUMES THE PLANTING SPACE IS LARGER THAN 2400 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

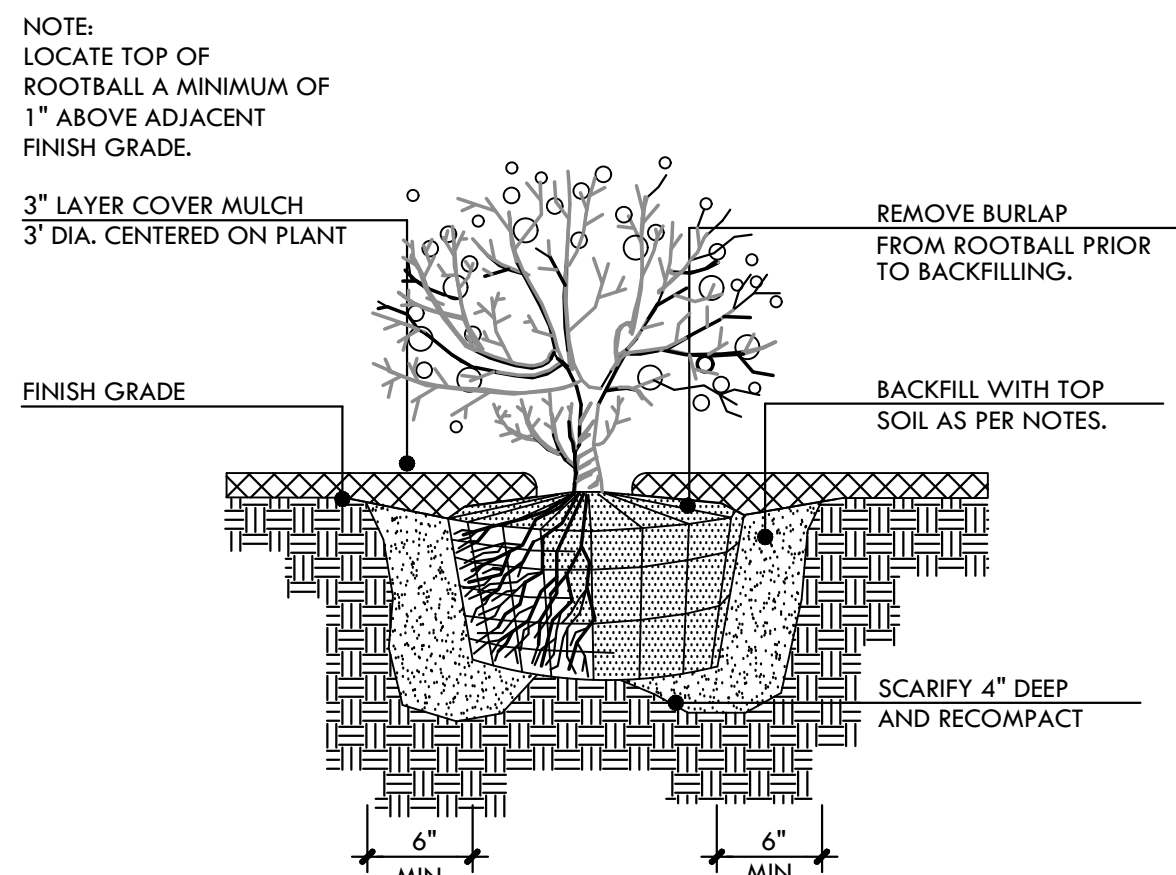
Tree Planting Detail - B & B Trees in all Soil Types			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: P-5000	DRAWN BY: SJ	SCALE: N.T.S.	
FILE NAME: P-5000.dwg	APPROVED BY: SA	DATE: 3/22/06	

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NOTES:
 1. FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIP LINE.
 2. FENCE MATERIALS SHALL CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1 1/2" DIA. STEEL OR ALUMINUM LINE POSTS.
 3. POSTS SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
 4. FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

Tree Protection Fencing			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1230	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1230.DWG	APPROVED BY: NK	DATE: 4/2/14	



1 DETAIL: EVERGREEN / DECIDUOUS SHRUB SCALE

LANDSCAPE CALCULATIONS

- TOTAL SITE AREA = 79,296 SF
 TOTAL ON SITE LANDSCAPE AREA = 35,606 SF = 44.9% OF SITE AREA
 PARKING LOT LANDSCAPE = 11,162 SF = 14% OF SITE AREA
- WATER CONSUMPTION FOR THE SITE IS DIVIDED INTO TWO PRIMARY CATEGORIES - MODERATE AND LOW WATER USAGE AREAS.
MODERATE WATER USE AREAS INCLUDE: THE LAWN IN THE RIGHT OF WAY, LAWN AREA NORTH OF THE BUILDING, AND THE LAWN AREA WEST OF THE BUILDING. THESE AREAS REQUIRE APPROXIMATELY 1" OF WATER PER WEEK.
LOW WATER USE AREAS INCLUDE NATIVE AND DROUGHT TOLERANT WITHIN THE PARKING LOT ISLANDS AND THE SOUTH BUFFER AREA NEAR THE PROPERTY LINE. ON AVERAGE THESE AREAS REQUIRE LESS THAN 1" OF WATER PER WEEK.

GENERAL NOTES: LANDSCAPE PLAN

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- ALL NEW GROUND COVER AND NEW SHRUB PLANTING AREAS TO BE CONTAINED WITHIN A 3" LAYER OF BARK MULCH BED, UNLESS NOTED OTHERWISE.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUOUS SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE OWNER. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
- BACKFILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO THREE PARTS TOPSOIL BY VOLUME AND SLOW RELEASE FERTILIZER PER SOIL ANALYSIS RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL SUBMIT TO THE OWNERS' REPRESENTATIVE, AND THE LANDSCAPE ARCHITECT, A WRITTEN ESTIMATE TO INCREASE PLANT MATERIAL (AND INSTALL) THE NEXT AVAILABLE CONTAINER SIZE PLANT (I.E. 4" POT TO ONE GALLON CONTAINER, 2" CALIPER TREE TO 2.5" CALIPER).
- NOTIFY THE LANDSCAPE ARCHITECT IN WRITING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, PRIOR TO PLANTING.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- THE EXISTING LAWN, SHRUBS, AND TREES ARE IN FAIR TO GOOD CONDITION AND WILL REMAIN ON SITE. ALL LAWN SHALL BE MOWED. EXISTING SHRUBS WILL BE PRUNED TO REMOVE ANY BROKEN STEMS OR BRANCHES. REFER TO THE TREE SURVEY PLAN FOR EXISTING TREE CONDITION.
- ALL NEW TREES AND SHRUBS SHALL COMPLY TO THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARD. ALL NEW TREE PLANTING SHALL BE DOUBLE STAKED PER THE CITY OF WILSONVILLE STANDARD. SEE THIS SHEET.

TREE PROTECTION NOTES:

- EXISTING TREE PROTECTION**
- PROVIDE TEMPORARY FENCING TO PROTECT TREES WHICH ARE TO REMAIN FROM DAMAGE ABOVE AND BELOW GRADE, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CLEARLY DESIGNATE TREE PROTECTION ZONE TO BE CLEAR OF ANY PERSONNEL OR VEHICULAR MOVEMENT. TREES IDENTIFIED FOR RETENTION SHALL BE MARKED WITH METAL TAGS AND PROTECTED BY BARRIER FENCING PLACED BENEATH THE TREE DRIPLINE.
 - REQUIRED FENCING SHALL BE A MINIMUM OF SIX FEET TALL, SUPPORTED WITH METAL POSTS PLACED NO FARTHER THAN 10 FEET ON CENTER, SET 24 INCHES (MIN.) INTO GRADE (AVOID DAMAGING ROOTS). FENCING FABRIC SHALL BE CHAIN-LINK, AND SHOULD BE INSTALLED FLUSH WITH THE INITIAL UNDISTURBED GRADE. SECURE TOP AND BOTTOM OF FENCING WITH TENSION WIRE SECURED TO POSTS.
 - NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO, DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL WASTE ITEMS, EQUIPMENT, OR PARKED VEHICLES.
 - PROTECT ROOT SYSTEMS OF TREES TO REMAIN. DO NOT STORE CONSTRUCTION MATERIALS OR PERMIT VEHICLES TO DRIVE OR PARK WITHIN THE DRIP LINE AREA OF ANY TREE TO REMAIN. PROTECT ALL PLANT GROWTH, INCLUDING ROOT SYSTEMS OF TREES, FROM THE DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIAL OR LIQUIDS, AND CONTINUAL FLOODING OF RUNNING WATER. PROTECT AGAINST UNAUTHORIZED CUTTING, BREAKING, OR SKINNING OF ROOTS AND BRANCHES, SKINNING, AND BRUISING OF BARK. DO NOT ALLOW FIRES ON SITE.
 - MAINTAIN PROTECTION FEATURES THROUGHOUT THE CONSTRUCTION PROCESS. IMMEDIATELY REPAIR ANY ALTERATION TO PROTECTION MEASURES BY CONSTRUCTION PROCESS. AFFECT ALTERATIONS TO PROTECTION MEASURES IMMEDIATELY UPON DIRECTION OF OWNER'S REPRESENTATIVE. MONITOR MAINTENANCE MEASURES DAILY.
 - PRUNING TO SHAPE EXISTING TREES TO REMAIN. REVIEW CONDITIONS WITH THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING, AND COMPLY WITH HIS/HER DIRECTIVES. ALL TREE PRUNING OR ROOT CUTTING TO BE PERFORMED WITH SHARP PRUNING INSTRUMENTS; DO NOT BREAK OR CHOP. DO NOT PRUNE WITHOUT EXPLICIT APPROVAL OF THE OWNER'S REPRESENTATIVE. LIMBS AND/OR ROOTS GREATER THAN 2" IN DIAMETER SHALL BE CUT ONLY UNDER THE DIRECTION OF A STATE-CERTIFIED ARBORIST.
 - DO NOT CHANGE THE EXISTING GRADE BENEATH DRIPLINE OF TREES TO REMAIN.
 - ALL EXCAVATION REQUIRED TO OCCUR WITHIN THE DRIPLINE OF ANY EXISTING TREE SHALL BE RESTRICTED TO MANUAL LABOR. THE USE OF TRENCHERS, AUGERS, BACKHOES, TRACTORS OR ANY OTHER TYPE OF MACHINERY/POWER EQUIPMENT IS PROHIBITED.
- PRUNING OF EXISTING TREES:**
- WHERE PRUNING APPEARS NECESSARY, REVIEW CONDITIONS WITH ARBORIST OR OWNER'S REPRESENTATIVE BEFORE PROCEEDING AND COMPLY WITH HIS/HER DIRECTIVES. ALL TREE PRUNING OR ROOT CUTTING SHALL BE PERFORMED WITH STERILE SHARP PRUNING INSTRUMENTS; DO NOT BREAK, CHOP OR TEAR. ALL ROOTS 2 INCHES IN DIAMETER OR GREATER THAT REQUIRE PRUNING, SHALL BE DONE BY A STATE-CERTIFIED ARBORIST. NO PRUNING SHALL OCCUR WITHOUT THE EXPLICIT APPROVAL OF THE ARBORIST OR OWNER'S REPRESENTATIVE.
- TREE REMOVAL**
- THIRTEEN EXISTING TREES ON SITE ARE DESIGNATED TO BE REMOVED. REFER TO THE TREE SURVEY PLAN. DO NOT START THE TREE REMOVAL UNTIL CITY APPROVAL. VERIFY ACCESS AND SCHEDULING FOR REMOVAL ACTIVITIES. OBTAIN SCHEDULING APPROVAL PRIOR TO COMMENCEMENT OF ACTIVITIES.
 - ALL TREES TO BE REMOVED SHALL BE COMPLETED BY A CERTIFIED ARBORIST.
 - PRIOR TO THE START OF TRIMMING AND TREE REMOVAL ACTIVITIES TAKE ALL REASONABLE PRECAUTIONS TO PROTECT PROPERTY FROM DAMAGE.
 - DO NOT ENCRoACH INTO ADJACENT PROPERTY OR RIGHT OF WAY, DURING TREE REMOVAL UNLESS GIVEN WRITTEN PERMISSION BY THE PROPERTY OWNER PRIOR TO TREE REMOVAL ACTIVITIES.
 - ALL TREE MATERIAL TO BE DISPOSED OF OFF SITE.

General Notes

REGISTERED
0362
MICHAEL P. ANDREWS
OREGON
02/14/07
LANDSCAPE ARCHITECT
EXPIRES 02/28/20

I&E OFFICE
RENOVATION
LANDSCAPE DETAIL SHEET

No.	Revision/Issue	Date

Firm Name and Address
L A 2 I
 1008 SW CARSON ST.
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Project 19213	Sheet L3
Date NOV. 15, 2019	Scale -