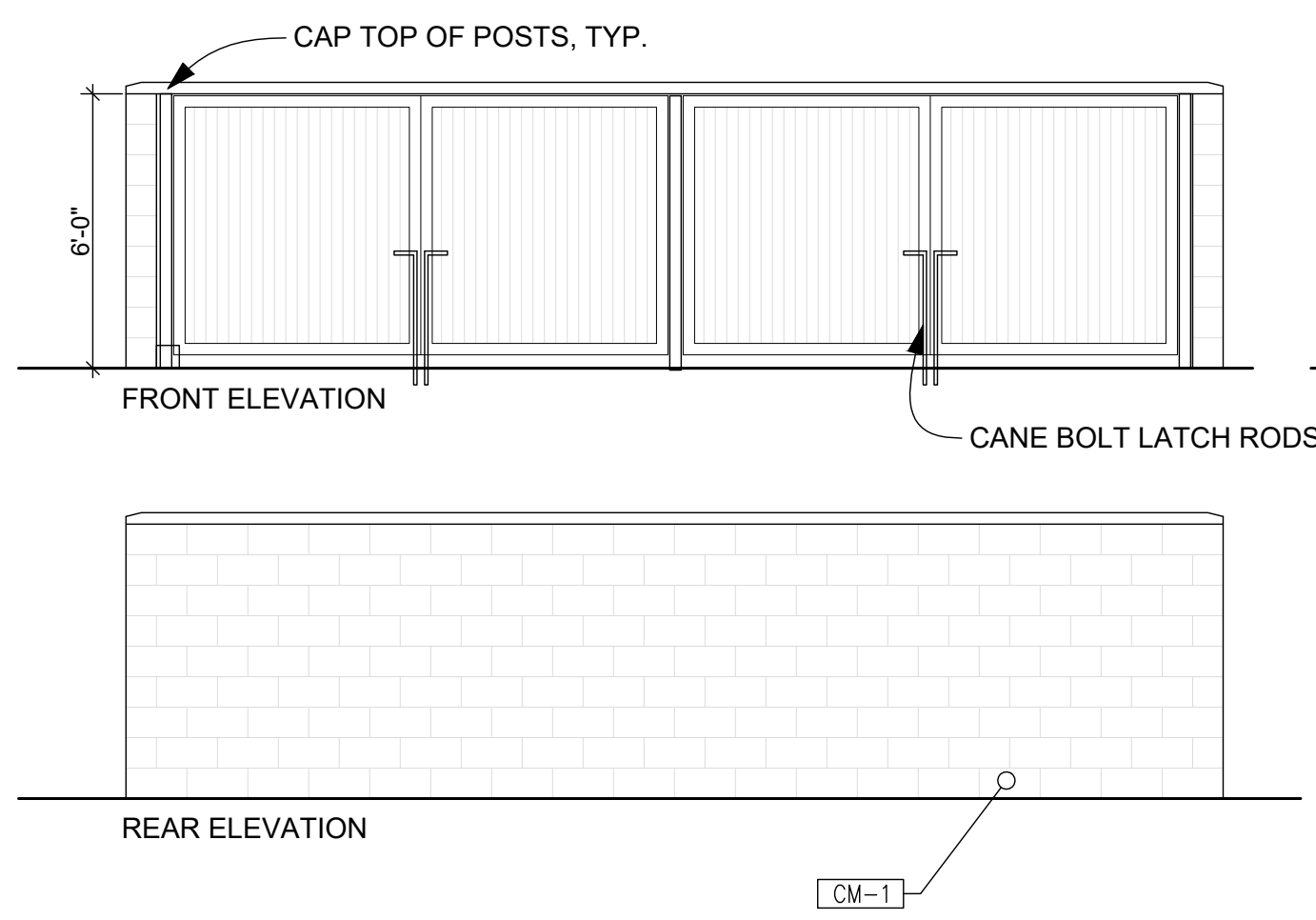
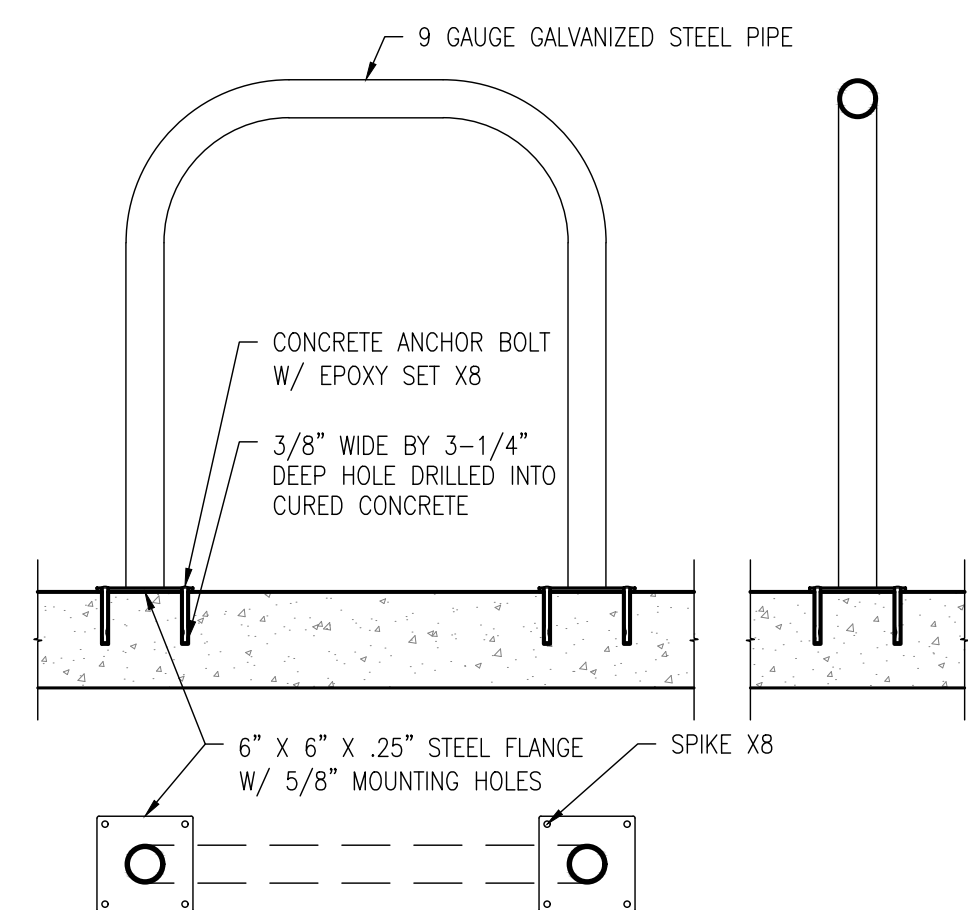


BOLLARD DTL
1 1/2" = 1'
F6



TRASH AREA DTL
1/4" = 1'
B6



BIKE RACK DTL
1" = 1'
F4

EXTERIOR FINISH SCHEDULE

TAG	MATERIAL	MANUF.	MODEL	REMARKS
MP-1	BOX RIB METAL PANEL	AEP	PRESTIGE PC10-12C	
MP-2	METAL PANEL	AEP	FLUSH PANEL (2) PENCIL RIB	COLOR: OLD TOWN GRAY
FC-1	FIBER CEMENT PANEL	NICHIHA	INDUSTRIAL BLOCK 18"x120"	NICHIHA FACTORY CORNER BLOCK
WD-1	CEMENTITIOUS WOOD GRAIN PLANK	NICHIHA	VINTAGE WOOD ASH	OUTSIDE CORNER TRIM- NICHIHA COLOR MATCH VERTICAL JOINTS-SEALANT BACKER AND COLOR MATCHED SEALANT
VN-1	FULL BRICK VENEER	MUTUAL MATERIALS	HARBOR MIST	
CM-1	FULL CMU	MUTUAL MATERIALS	8-8-16, SPLIT FACE NATURAL	TRASH ENCLOSURE, VERIFY W/ LOCAL JURIS.

SIGNAGE CALCULATIONS

ELEVATION	LINEAR FEET	AREA SQUARE FOOTAGE
NORTH	22809 SQ. FT.	22809 SQ. FT.

PER CODE 4.156.08(02) [2] SIGNS ON BUILDING. ALSO SEE TABLE LISTED IN SECTION 4.156.08 PAGE 20.

AREA CALCULATIONS

AREA TYPE	EXISTING AREA	PROPOSED AREA
SITE SQUARE FOOTAGE	22809 SQ. FT.	22809 SQ. FT.
BUILDING SQUARE FOOTAGE	-	509 SQ. FT.
IMPERVIOUS SQUARE FOOTAGE	9977 SQ. FT.	4341 SQ. FT.
PERVIOUS SQUARE FOOTAGE	9135 SQ. FT.	5353 SQ. FT.
PARKING SQUARE FOOTAGE	-	11891 SQ. FT.
PARKING LANDSCAPE SQUARE FT.	-	2140 SQ. FT.
TOTAL LANDSCAPED SQ. FT.	-	14488 SQ. FT.

PER CODE 4.155.(03)(B) LANDSCAPED REQUIREMENT FOR PARKING: 10% = 1,189 SQ. FT. TOTAL LANDSCAPED AREA: 15% OF TOTAL SITE = 3,421 SQ. FT.

LEGEND

- (E) POWER POLE
- (E) BOLLARD
- (E) TRAFFIC SIGNAL POLE
- (E) LIGHT POLE
- (E) UNDERGROUND WATER
- (E) UNDERGROUND GAS
- P UNDERGROUND POWER
- W UNDERGROUND WATER
- SS SANITARY SEWER
- SD STORM DRAIN

GENERAL NOTES

- THE PROPOSED WATER SERVICE SHALL:
 - BE LOCATED AT THE STANDARD LOCATION BEHIND CURB IN THE FURNISHING ZONE AND AT A MINIMUM 18" FROM THE PROPERTY LINE.
 - BE AT THE MINIMUM OF 3 FEET HORIZONTAL CLEARANCE (SKIN TO SKIN) TO OTHER EXISTING OR PROPOSED WATER SERVICE, CATCH BASINS, MANHOLES, UTILITY VAULTS AND ANY OTHER UTILITIES.
 - MEET THE HORIZONTAL CLEARANCE PER PWB STANDARD PLAN P-845.
 - NOT BE LOCATED IN ANY TYPES OF STORM SEWER FACILITIES LIKE SWALE, PLANTER BOX, ETC.
 - BE AT A MINIMUM OF 5 FEET HORIZONTAL CLEARANCE (SKIN TO SKIN) TO EXISTING/PROPOSED SANITARY SEWER LINE, POWER POLE, STREET LIGHT, SWALE, PLANTER BOX, DRIVEWAYS, EXISTING/PROPOSED JUNCTION BOX OR UTILITY VAULTS AND ANY ABOVE GROUND STRUCTURES.
- WORK WITHIN THE RIGHT-OF-WAY TO BE DONE UNDER SEPARATE PERMITS
- IF CONTRACTOR REQUIRES ADDITIONAL SITE ACCESS WHERE AN EXISTING CURB EXISTS, BUILT CURB RAMP

KEYNOTES

- GARBAGE AND RECYCLING AREAS
- (E) TREE TO REMAIN
- (E) 6" CURB
- (E) CONC. SIDEWALK
- MENU
- (N) DIRECTIONAL PAINT
- CONC. WALKWAY
- ROOF OVERHANG
- TREE
- BOLLARD
- 24" x 24" POROUS PAVERS
- CONC. PAVING
- ADA RAMP
- EASEMENT
- EXISTING CATCH BASIN
- (E) PAVED AND STRIPED LOT
- ADJACENT PROPERTY DRIVE THROUGH ENTRANCE
- 6" CURB TO TIE INTO EXISTING CURB
- TRASH LOADING ZONE
- MONUMENT SIGN
- DRIVE THRU SIGN
- EXIT SIGN
- ASPHALT
- ADA STALL SIGN
- SHORT TERM BIKE PARKING
- 6" CURB
- LANDSCAPED ISLAND
- PARKING STOP
- SIDEWALK WIDENED TO MEET TRANSPORTATION SYSTEMS PLAN. SEE RW-08 OF THE TRANSPORTATION SYSTEMS PLAN
- (E) LANDSCAPE BOUNDARY LINE
- PAINTED CROSSWALK
- 5'-8" WOOD SEMI-SIGHT OBSTRUCTING FENCE
- BUS STOP
- DRIVE ISLE
- DRIVE THRU CLEARANCE BAR
- ISLAND MENU SIGN
- GREASE TRAP. SEE SPECIFICATIONS.
- NON-FIXED OUTDOOR SEATING. SEE SPECIFICATIONS.
- SITE TRIANGLE. SEE CIVIL DRAWINGS

DRAWING LIST

ARCHITECTURAL DRAWINGS

SHEET NUMBER	SHEET TITLE
A061	SITE PLAN
A062	SITE PLAN - LIGHTING & AREA CALCS
A101	BUILDING FLOOR PLAN
A201	BUILDING ELEVATIONS I
A301	BUILDING SECTIONS
A800	BUILDING RENDERINGS

CIVIL DRAWINGS

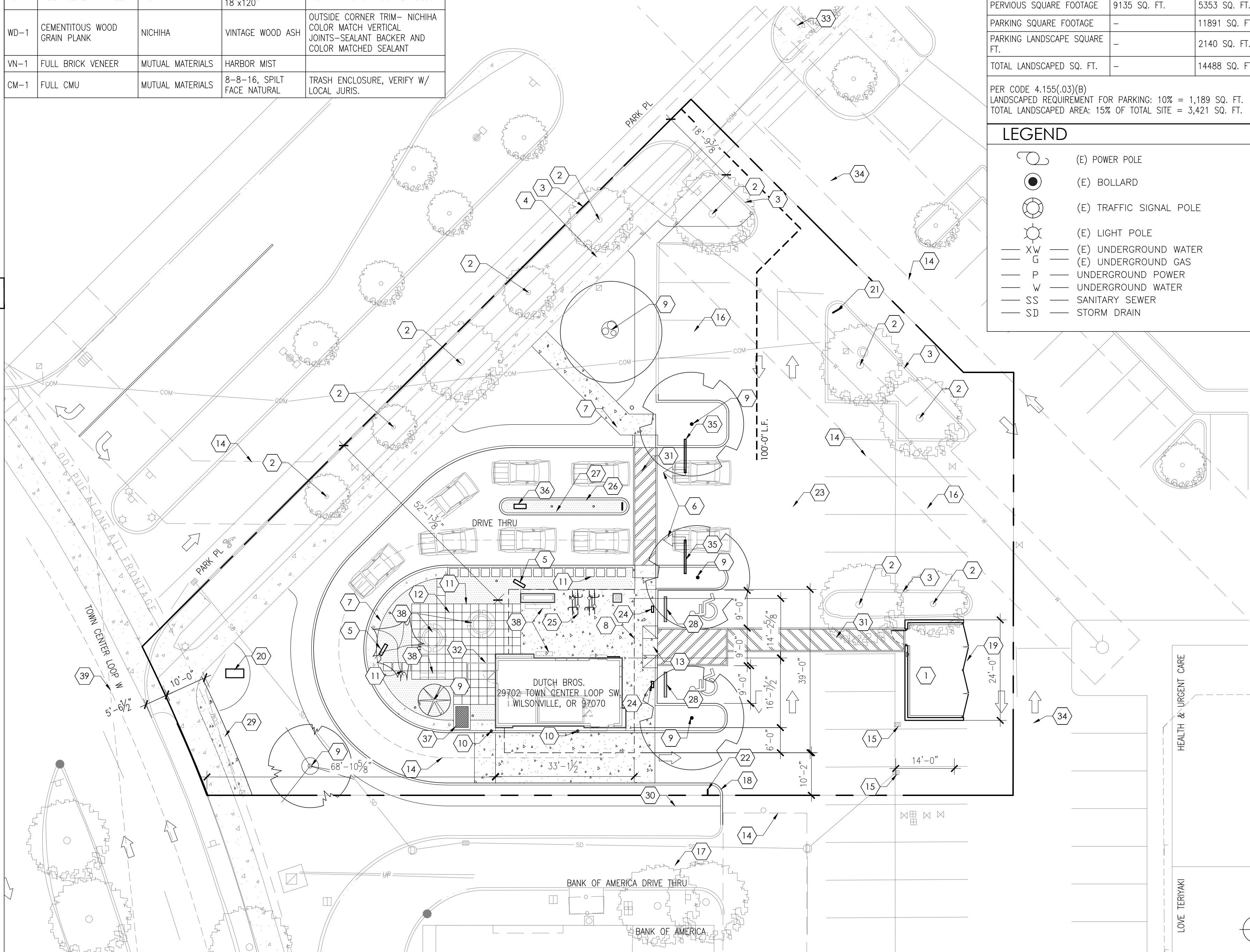
SHEET NUMBER	SHEET TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	SITE PLAN
C4	UTILITY PLAN
C5	DETAILS
C6	DETAILS

LANDSCAPE DRAWINGS

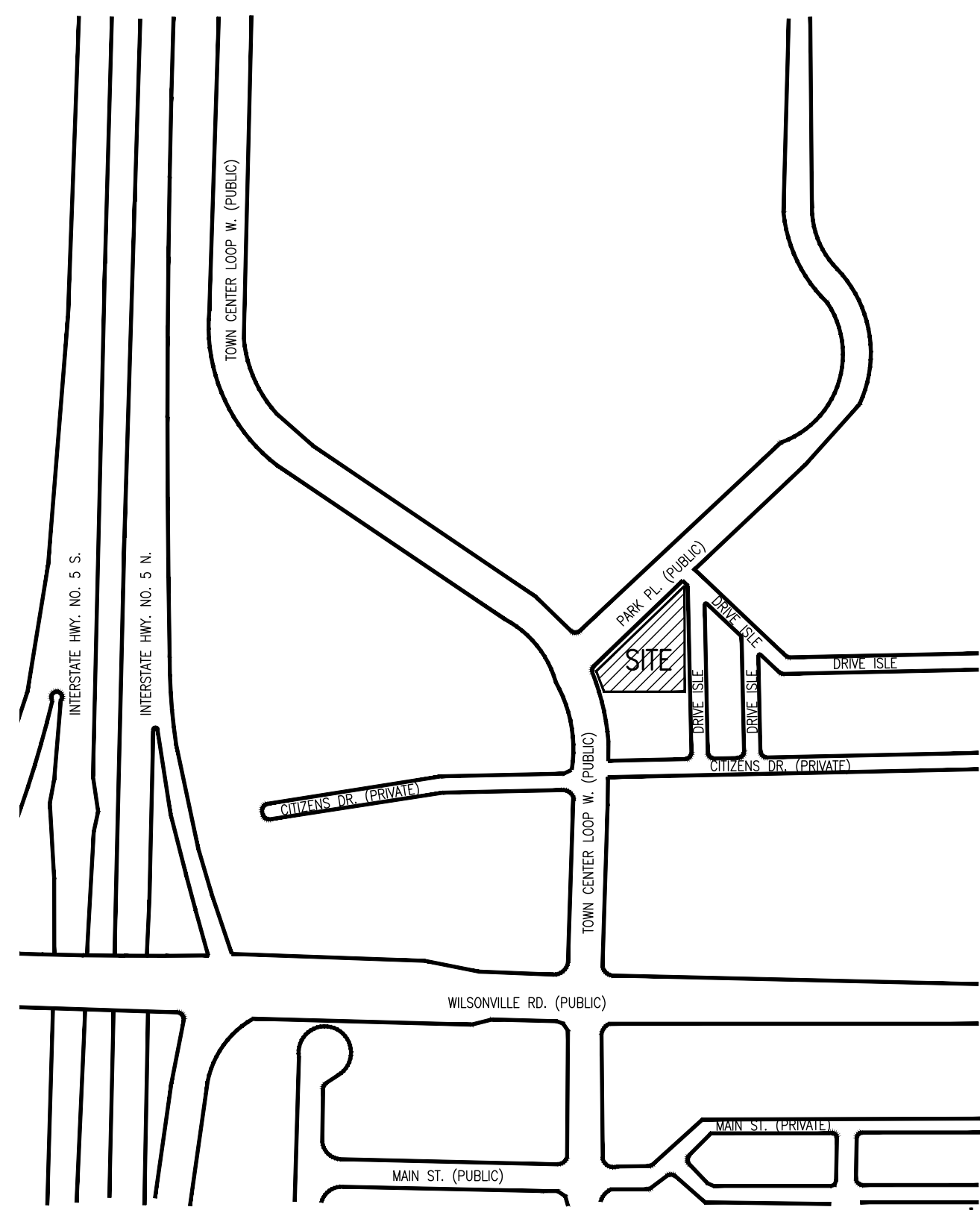
SHEET NUMBER	SHEET TITLE
L0.1	SPECIFICATIONS
L0.2	SPECIFICATIONS
L0.3	SPECIFICATIONS
L2.1	IRRIGATION PLAN
L3.1	PLANTING PLAN

SIGN DRAWINGS

SHEET NUMBER	SHEET TITLE
29642	SUMMARY BUILDING SIGNS & MENUS
29642	SUMMARY FREESTANDING SIGNS & MENUS
29642A	INTERNALLY ILLUMINATED MONUMENT CUP SIGN
29642B	ILLUMINATED CHANNEL LETTERS W REMOTE RACEWAYS
29642C	ILLUMINATED WINDMILL LOGOS
29642D	ILLUMINATED WINDMILL LOGOS
29642E	ILLUMINATED MENU SIGNS - WALL MOUNTED
29642F	ILLUMINATED MENU SIGNS - PLATE MOUNTED
29642G	ILLUMINATED MENU SIGNS - PLATE MOUNTED
29642H	NON-ILLUMINATED DRIVE THRU SIGN
29642I	FREESTANDING NON-LIT EXIT ONLY SIGN
29642J	DIRECTIONAL SIGN
29642K	POST MOUNTED CLEARANCE BARS WITH PIVOTING ARMS
29642K	PIPE, PLATE & FOOTING DETAILS
29642K	CONNECTION DETAILS
29642L	METAL CANOPY



SITE PLAN
1/16" = 1'
B1



VICINITY MAP
NTS
F1

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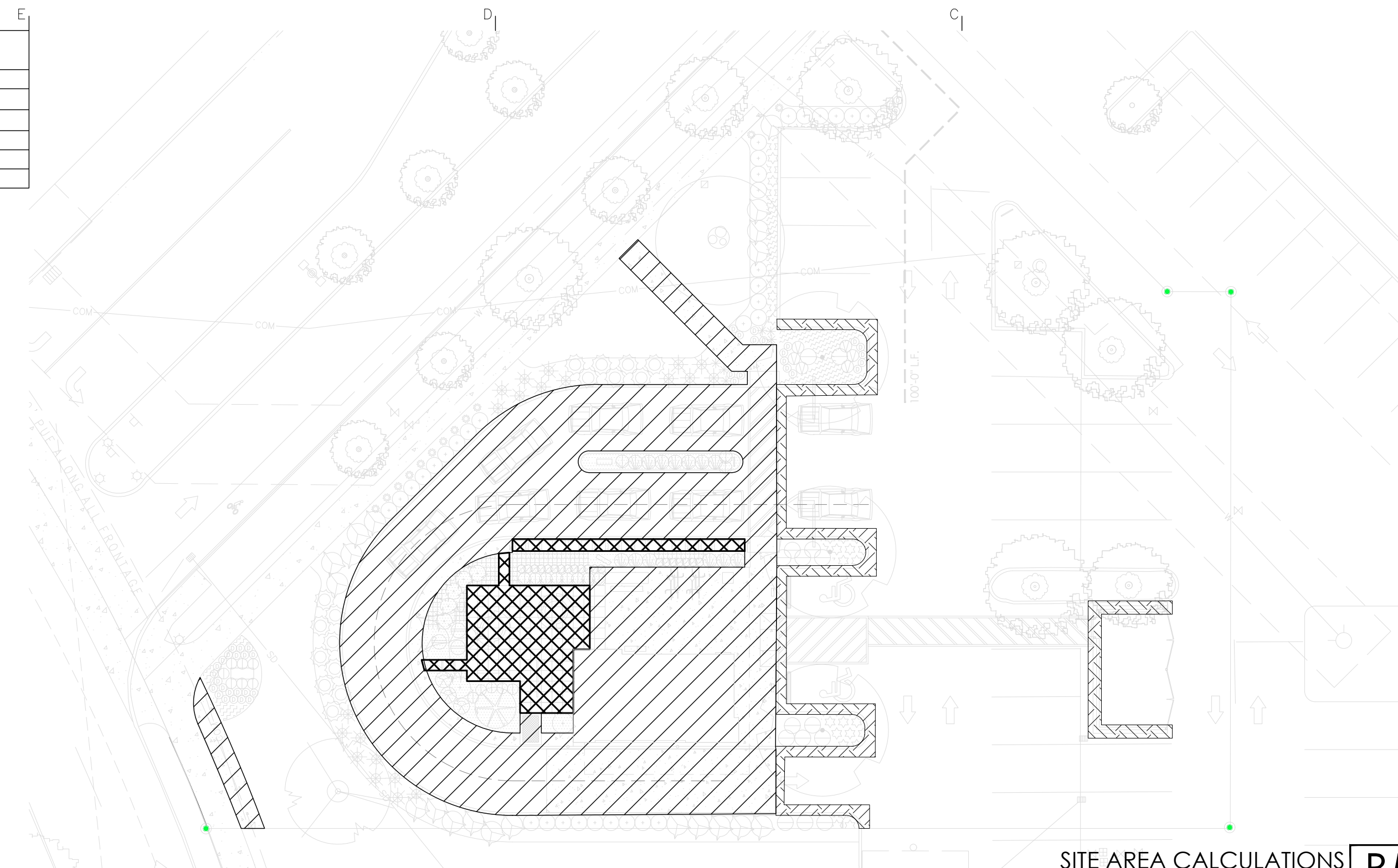
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SITE PLAN

A061

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SITE AREA CALCULATIONS PER POLICY WOC-2	
LOT SIZE	22822 SQ. FT.
(NEW) IMPERVIOUS AREA	4875 SQ. FT.
(REPLACED) IMPERVIOUS AREA	556 SQ. FT.
TOTAL DISTURBED IMPERVIOUS AREA	5431 SQ. FT.
POROUS AREA	584 SQ. FT.



SITE AREA CALCULATIONS
1" = 20' **B5**

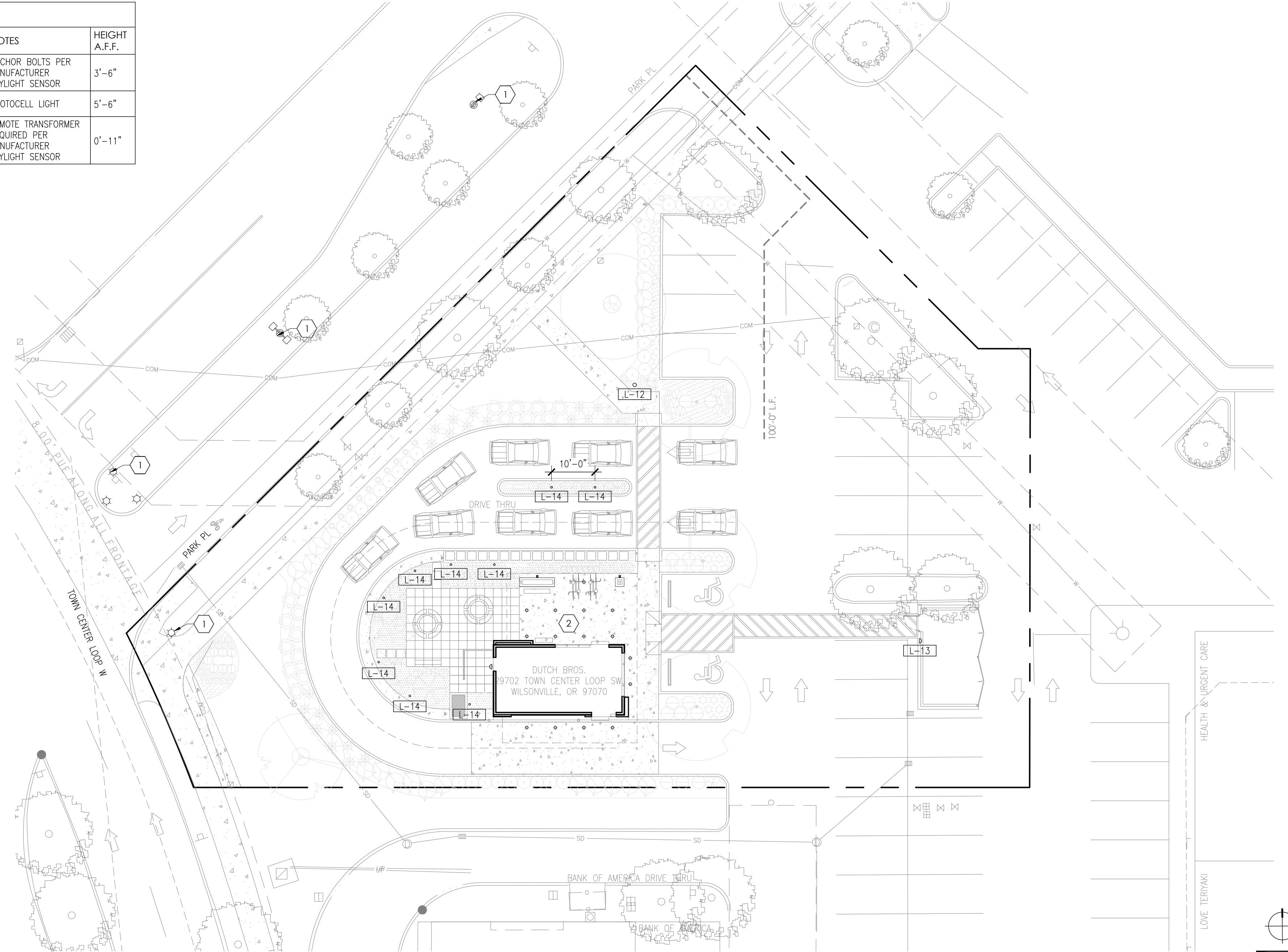
GENERAL NOTES

- THE PROPOSED WATER SERVICE SHALL:
 - BE LOCATED AT THE STANDARD LOCATION BEHIND CURB IN THE FURNISHING ZONE AND AT A MINIMUM 18" FROM THE PROPERTY LINE.
 - BE AT THE MINIMUM OF 3 FEET HORIZONTAL CLEARANCE (SKIN TO SKIN) TO OTHER EXISTING OR PROPOSED WATER SERVICE, CATCH BASINS, MANHOLES, UTILITY VAULTS AND ANY OTHER UTILITIES.
 - MEET THE HORIZONTAL CLEARANCE PER PWB STANDARD PLAN P-845.
 - NOT BE LOCATED IN ANY TYPES OF STORM SEWER FACILITIES LIKE SWALE, PLANTER BOX, ETC.
 - BE AT A MINIMUM OF 5 FEET HORIZONTAL CLEARANCE (SKIN TO SKIN) TO EXISTING/PROPOSED SANITARY SEWER LINE, POWER POLE, STREET LIGHT, SWALE, PLANTER BOX, DRIVEWAYS, EXISTING/PROPOSED JUNCTION BOX OR UTILITY VAULTS AND ANY ABOVE GROUND STRUCTURES.
- WORK WITHIN THE RIGHT-OF-WAY TO BE DONE UNDER SEPARATE PERMITS
- IF CONTRACTOR REQUIRES ADDITIONAL SITE ACCESS WHERE AN EXISTING CURB EXISTS, BUILT CURB RAMP
- EXTERIOR LANDSCAPE LIGHTS ARE 1'-0" FROM CURB
- EXTERIOR LANDSCAPE LIGHTS ARE 1'-0" FROM ALL WALKWAYS

KEYNOTES

- (E) STREET LIGHT
- SEE BUILDING REFLECTED CEILING PLAN FOR LIGHTING ATTACHED TO THE THE BUILDING

LIGHTING SCHEDULE						
TAG	FIXTURE DESCRIPTION	MANUF.	MODEL	AREA	NOTES	HEIGHT A.F.F.
L-12	EXTERIOR LED BOLLARD LIGHT	LITHONIA LIGHTING	DSXB-16C-530-XX-SYM-MVOLT5-XX-DDBKD	PATH LIGHT IN LANDSCAPED AREA	ANCHOR BOLTS PER MANUFACTURER DAYLIGHT SENSOR	3'-6"
L-13	EXTERIOR LED FLOODLIGHT SCONCE	DESIGN CLASSICS	OLFSP-2RH-40K-120-PESP-DDB	TRASH AREA WALL SCONCE	PHOTOCELL LIGHT	5'-6"
L-14	EXTERIOR LED BOLLARD LIGHT	HYDREL	TIOGA-3LED16-XX-12-ML360	PATH LIGHT AT DUTCH BROS. WALKWAY	REMOTE TRANSFORMER REQUIRED PER MANUFACTURER DAYLIGHT SENSOR	0'-11"



LIGHTING SITE PLAN
1/16" = 1' **B1**

LEGEND

- FIRE HYDRANT
- (E) POWER POLE
- (E) SIGN
- (E) BOLLARD
- (E) TRAFFIC SIGNAL POLE
- (E) LIGHT POLE
- HOSE BIB
- DOUBLE CHECK VALVE ASSEMBLY
- WATER METER / GATE VALVE
- (E) UNDERGROUND WATER
- (E) UNDERGROUND GAS
- UNDERGROUND POWER
- UNDERGROUND WATER
- SANITARY SEWER
- STORM DRAIN
- FIRE DEPARTMENT CONNECTION

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 WILSONVILLE, OREGON 97070

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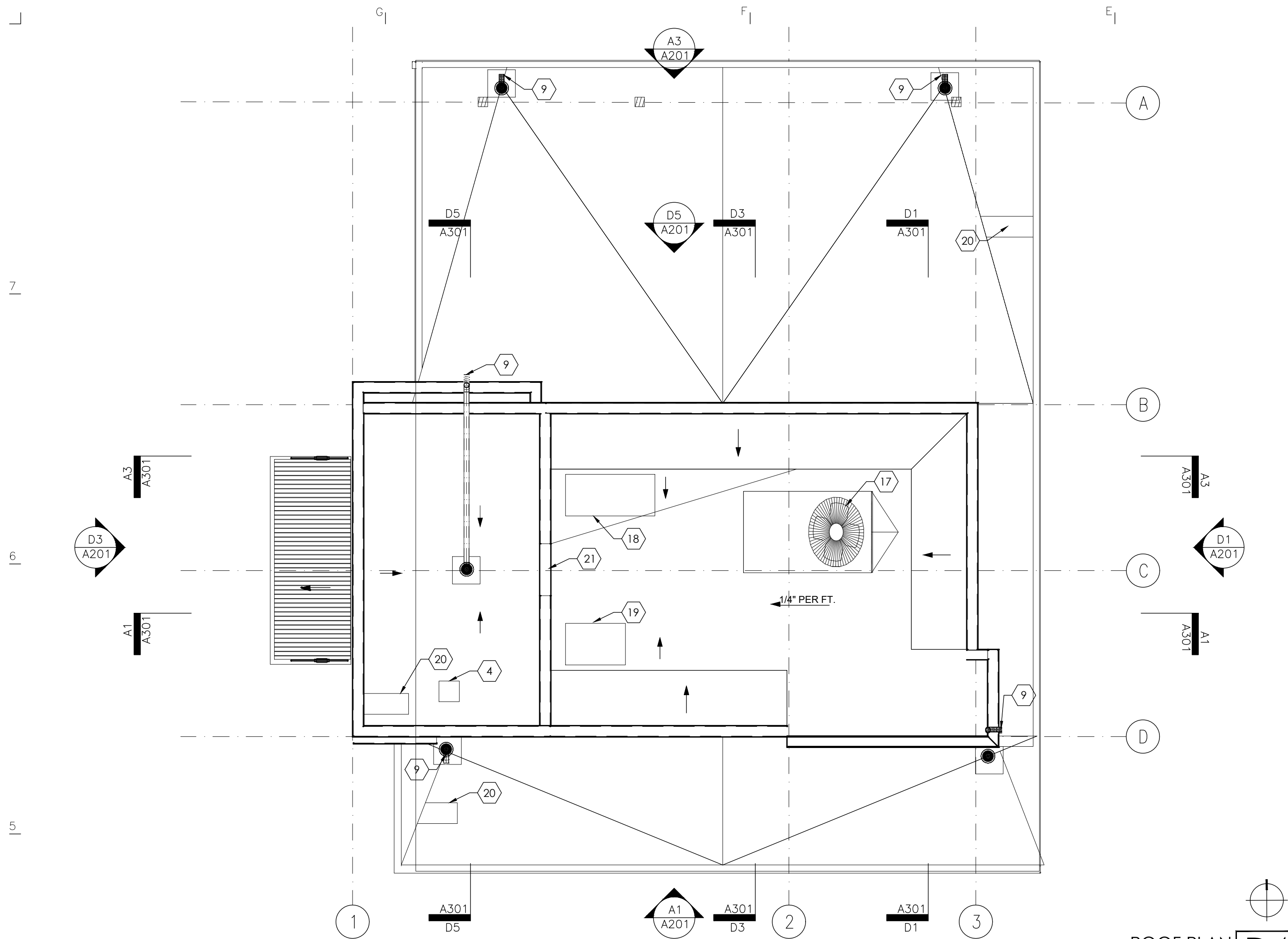
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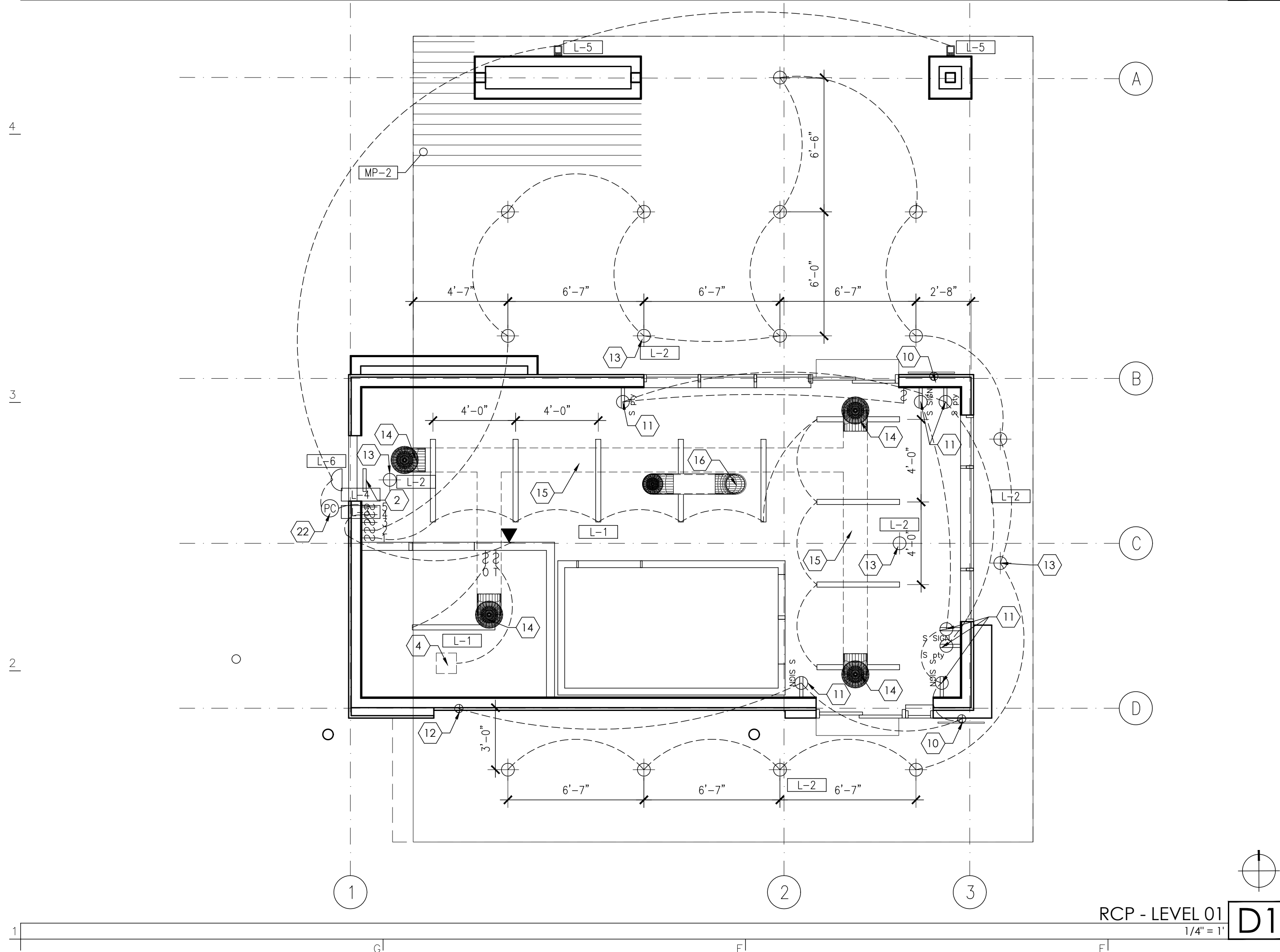
SITE PLAN - LIGHTING & AREA CALCS

A062

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ROOF PLAN
1/4" = 1'
D4



RCP - LEVEL 01
1/4" = 1'
D1

EXTERIOR FINISH SCHEDULE				
TAG	MATERIAL	MANUF.	MODEL	REMARKS
MP-1	BOX RIB METAL PANEL	AEP	PRESTIGE PC10-12C	COLOR: COOL REGAL BLUE DB BLUE AS AVAILABLE
MP-2	METAL PANEL	AEP	FLUSH PANEL (2) PENCIL RIB	COLOR: OLD TOWN GRAY
FC-1	FIBER CEMENT PANEL	NICHIHA	INDUSTRIAL BLOCK 18"x120"	NICHIHA FACTORY CORNER BLOCK
WD-1	CEMENTITIOUS WOOD GRAIN PLANK	NICHIHA	VINTAGE WOOD ASH	OUTSIDE CORNER TRIM- NICHIHA COLOR MATCH VERTICAL JOINTS-SEALANT BACKER AND COLOR MATCHED SEALANT
VN-1	FULL BRICK VENEER	MUTUAL MATERIALS	HARBOR MIST	
CM-1	FULL CMU	MUTUAL MATERIALS	8-8-16, SPLIT FACE	TRASH ENCLOSURE, VERIFY W/ LOCAL JURIS. COLOR: NATURAL

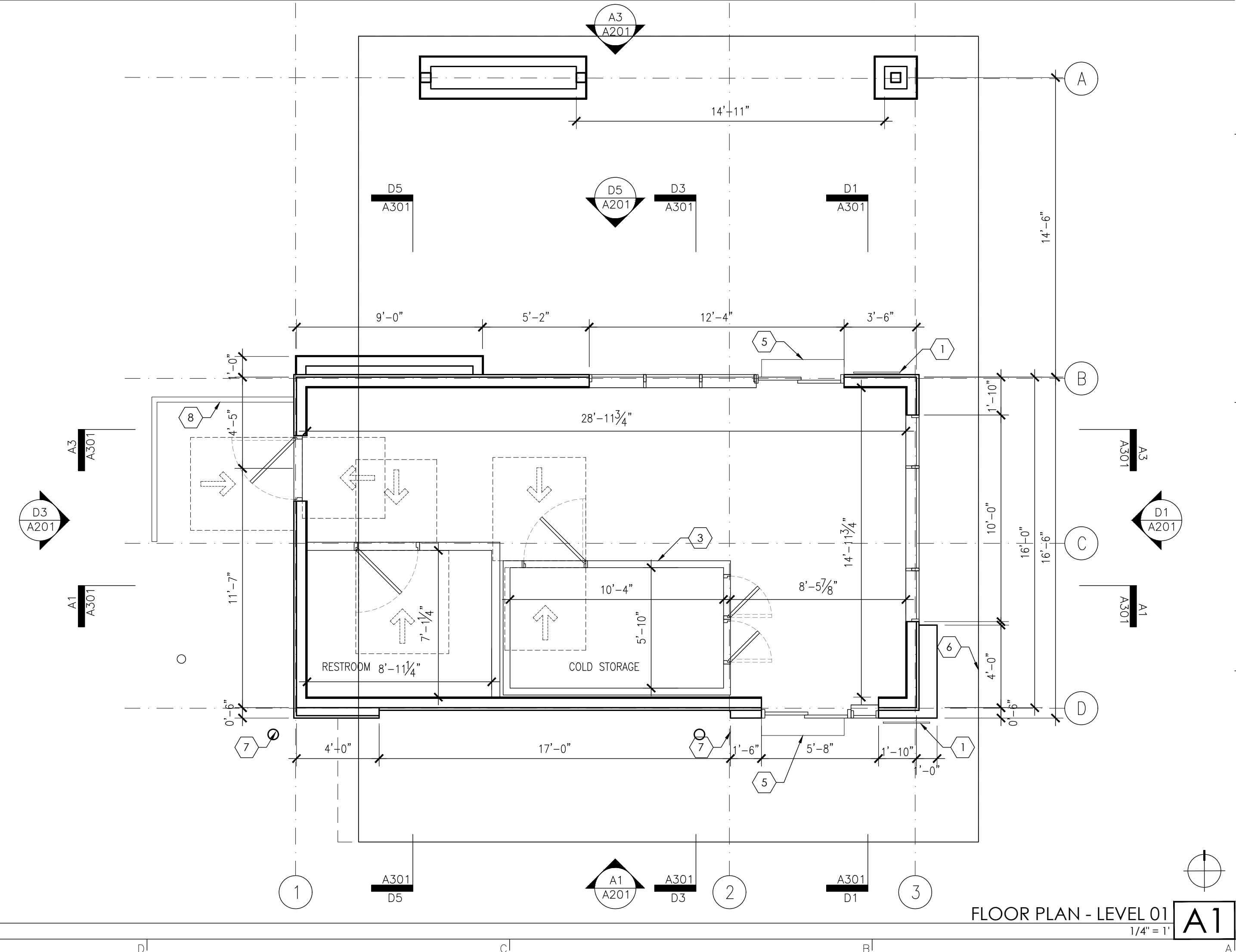
INTERIOR FINISH SCHEDULE					
TAG	MATERIAL	LOCATION	MANUF.	MODEL	REMARKS
FF-1	FLOOR COVERING RUBBER	FLOOR	MOHAWK	TRUE MEDI FLEX TRS3	COLOR: COAL -32
FF-2	FLOOR COVERING QUARRY TILE	FLOOR		6x6 QUARRY TILE	GROUT: 1/8" COLOR BLACK
WF-1	FRP	WALL	CRANE	GLASBOARD SMOOTH	COLOR: WHITE PAINTED DB GRAY
WF-2	MDO	WALL			PAINTED DB GRAY
BF-1	RUBBER	WALL BASE	MOHAWK	TRUE MEDI-FLEX TRS3	COLOR: O2 NICHT SKIES, WELDED TO FLOORING, WRAP UP WALLS PER DETAIL
BF-2	RUBBER	WALL BASE COVE			
PF-1	DB GRAY				SEE PAINT CODES
PF-2	DB BLUE				SEE PAINT CODES
CLG-1	MDO	CEILING			PAINTED DB GRAY
CLG-2	5/8" GYP TYPE X	CEILING			SEE NOTE 1

- IF ACT SUSPENDED CEILING IS REQUIRED BY LOCAL JURISDICTION, CLG-1 MAY BE CONVERTED TO CLG-2 AND SUSPENDED CEILING CAN BE ADDED AT 9'-0" AFF, COORDINATE WITH MECHANICAL AND ELECTRICAL ENGINEER FOR ALTERNATIVE DIFFUSERS AND FIXTURES.
- ALL USED PAINTS TO COMPLY WITH LOCAL HEALTH CODES
- FRP - FIBERGLASS REINFORCED PANEL
- MDO - MED DENSITY OVERLAY PLY
- DB GRAY AND DB BLUE TO BE USED ON CALLED OUT MATERIALS. SEE INTERIOR FINISH SCHEDULE REMARKS. SEE PROGRAM MANUAL FOR DB GRAY AND DB BLUE PAINT MIXTURE.

- KEYNOTES** #
- MENU BOARD
 - EXIT SIGNAGE ABOVE
 - PREFABRICATED COLD STORAGE
 - EXHAUST FAN
 - ORDER WINDOW COUNTER AT 3'-0" A.F.F.
 - ROOF ABOVE
 - BOLLARD
 - 5/8" PARTIAL SIGHT OBSTRUCTING WOOD FENCE
 - DOWNSPOUT
 - JUNCTION BOX AT MENU BOARD
 - OUTLET MOUNTED AT 8'2" A.F.F
 - JUNCTION BOX TO MENU BOARD AT DRIVE THROUGH
 - LIGHT TO REMAIN ON AFTER BUS. HOURS
 - DIFFUSER VENT
 - SUPPLY DUCT
 - RETURN VENT
 - RTU
 - COLD STORAGE CONDITIONER
 - ICE MACHINE CONDITIONER
 - OVERFLOW SCUPPER
 - ROOF ACCESS PANEL
 - PHOTOCELL

- GENERAL NOTES**
- ALL EXTERIOR WALLS AND DEMISING WALL SHALL BE 2x6 FRAMING. REFER TO STRUCTURAL DRAWINGS.
 - ALL INTERIOR PARTITIONS SHALL BE 2x4 FRAMING @ 16" O.C.
 - SMOKE DETECTORS TO BE HARDWIRED W/ BATTERY BACKUP
 - VENT COOKTOP/RANGEHOOD DIRECT TO THE OUTSIDE
 - DRYER EXHAUST LENGTH TO BE 25' MAX FROM DRYER TO TERMINATION. REDUCE 2.5' FOR 45DEG BEND AND 5' FOR 90DEG BEND
 - CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN EACH BEDROOM OR WITHIN 15 FEET OF EACH BEDROOM DOOR. BEDROOMS ON SEPARATE FLOOR LEVELS IN A STRUCTURE CONSISTING OF TWO OR MORE STORIES SHALL HAVE SEPARATE CARBON MONOXIDE ALARMS SERVING EACH STORY.
 - SMOKE ALARMS SHALL BE INSTALLED 1) ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM, 2) IN EACH ROOM USED FOR SLEEPING PURPOSES AND THAT THEY SHALL BE INTERCONNECTED.
 - ANY INSTALLATION DETAILS FOR FIRE AND LIFE SAFETY SYSTEMS (FIRE SPRINKLERS, FIRE ALARM SYSTEMS, FIRE PUMPS, UNDERGROUND FIRE LINES, FIXED EXTINGUISHING SYSTEMS, IN-BUILDING RADIO ENHANCEMENT SYSTEMS (DAS), STATIONARY GENERATORS AND HAZARDOUS MATERIAL TANKS AND RELATED EQUIPMENT) ARE FOR REFERENCE ONLY. WITH FINAL INSTALLATION REQUIREMENTS TO BE DETERMINED DURING THE TRADE PLAN REVIEW PROCESS AT THE FIRE MARSHAL'S OFFICE.
 - ROOMS CONTAINING FIRE PROTECTION EQUIPMENT (AIR-CONDITIONING SYSTEMS, FIRE SPRINKLER RISERS (RISER ROOM) AND VALVES OR OTHER FIRE DETECTION (FACP), SUPPRESSION OR CONTROL ELEMENTS) SHALL BE IDENTIFIED IN AN APPROVED MANNER. REQUIRED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALLED AND READILY VISIBLE.
 - FIRE RATED CEILING

LIGHTING SCHEDULE					
TAG	FIXTURE DESCRIPTION	MANUF.	MODEL	REMARKS	HEIGHT A.F.F
L-1	INT. GENERAL SUSPENDED LIGHTING	STARTEK	STARPOWER	4' LINEAR SUSPENDED VIA AIRCRAFT CABLE 9'-0" AFF, 4000K	9'-10"
L-2	EXT. DOWNLIGHT	DMF	DRD5S	SEE LIGHTING PLAN KEY NOTE 13	10'-11"
L-3	INT. EMER. LIGHTING/ NIGHT ILLUMINATION	DMF	DRD5S	SEE LIGHTING PLAN KEY NOTE 2	7'-5"
L-4	INT. EXIT LIGHT	BEST	EZXTEU1RWEM	EXIT, RED ON WHITE SELF POWERED UNIVERSAL MOUNT LED	7'-5"
L-5	EXT. SCNCE	TECH LIGHTING	7000WVEX-9-3000K-4-H-UNV	COORDINATE WITH SIGN COMPANY, SEE COVER CONTRACTS	8'-0"
L-6	EXT. LED STRIP LIGHTING @ PARAPET	RAB	WPLED-26-Y-/E	EXTERIOR DOOR FIXTURE, 3000K W/EM	
L-12	BOLLARD LIGHTING	TECH LIGHTING	700 OASYN -830-18-D-Z-12-5/7000T150T	REVIEW APPLICABILITY PER PROJECT. INTENDED TO ILLUMINATE SIDEWALK FOR PATHWAY	



FLOOR PLAN - LEVEL 01
1/4" = 1'
A1

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 WILSONVILLE, OREGON 97170

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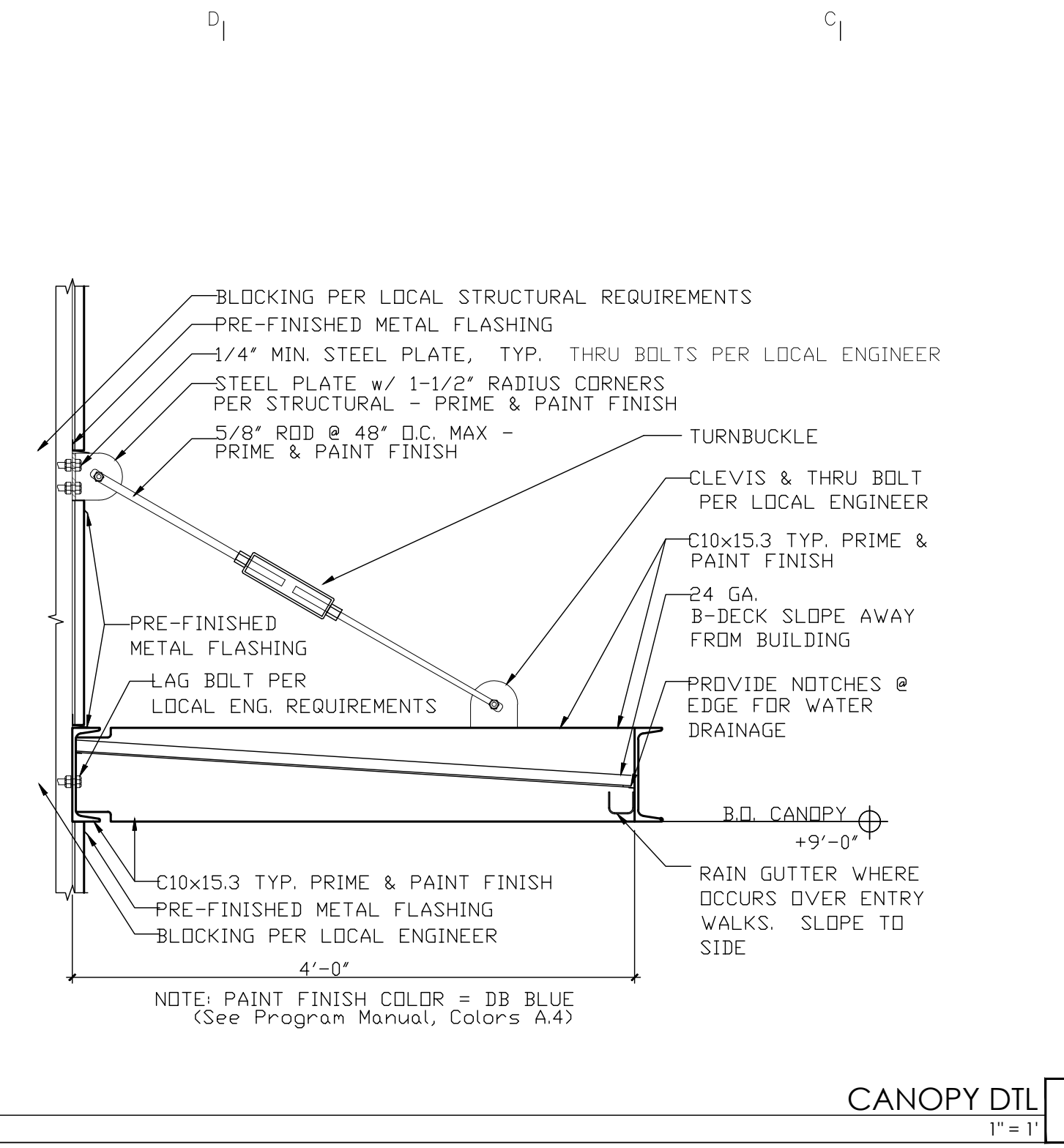
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BUILDING FLOOR PLAN

A101
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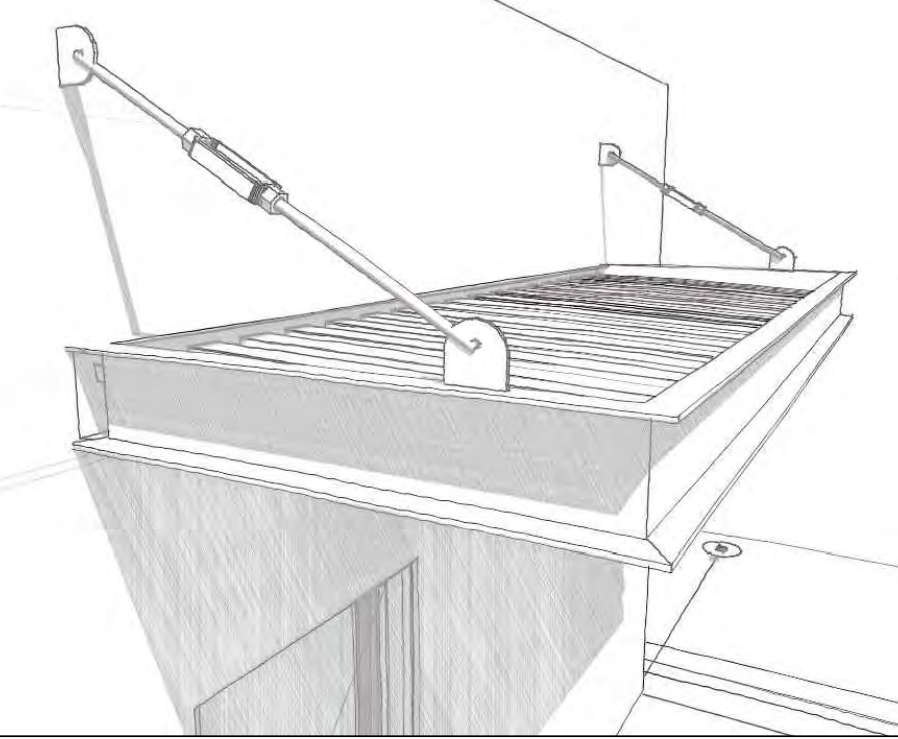


NORTH SECTION-ELEVATION **D5**
1/4" = 1'

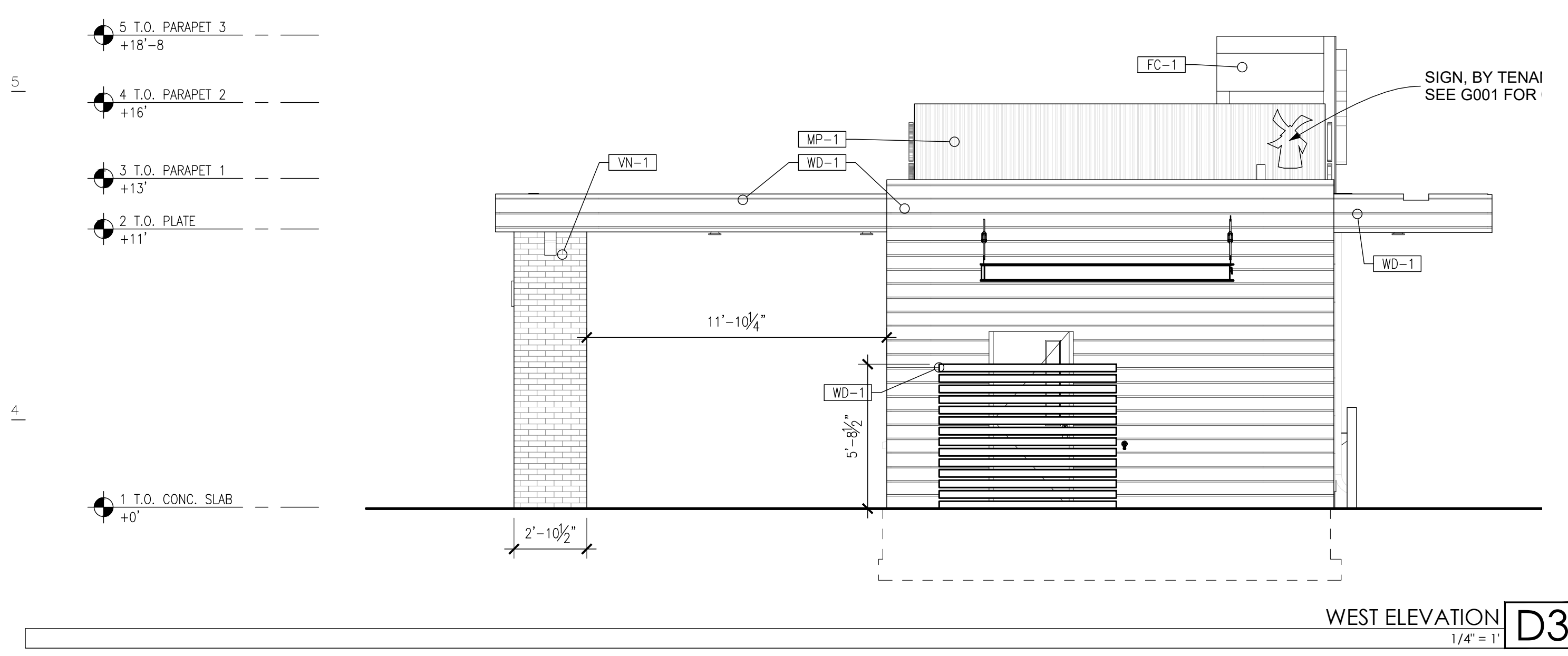


CANOPY DTL **B5**
1" = 1'

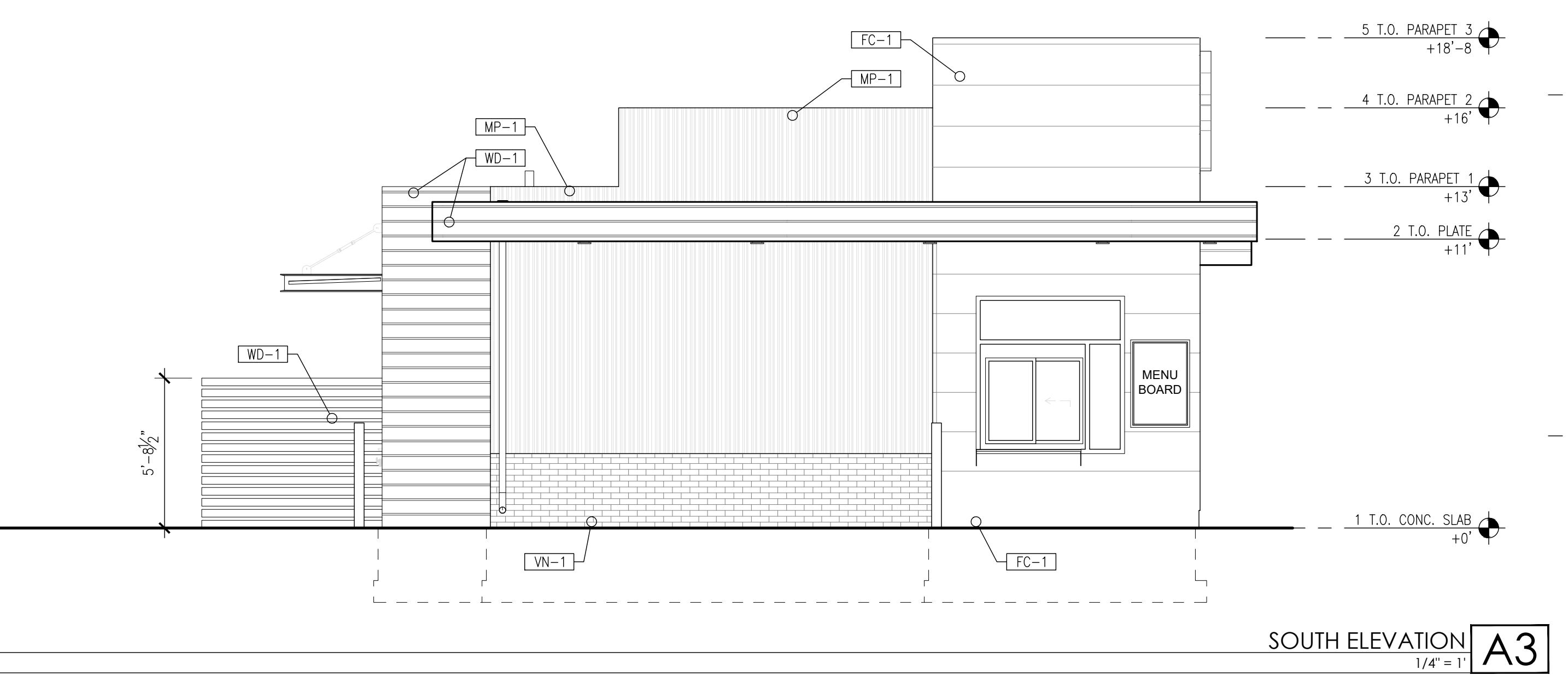
EXTERIOR FINISH SCHEDULE				
TAG	MATERIAL	MANUF.	MODEL	REMARKS
MP-1	BOX RIB METAL PANEL	AEP	PRESTIGE PC10-12C	
MP-2	METAL PANEL	AEP	FLUSH PANEL (2) PENCIL RIB	COLOR: OLD TOWN GRAY
FC-1	FIBER CEMENT PANEL	NICHIHA	INDUSTRIAL BLOCK 18"x12"	NICHIHA FACTORY CORNER BLOCK
WD-1	CEMENTITIOUS WOOD GRAIN PLANK	NICHIHA	VINTAGE WOOD ASH	OUTSIDE CORNER TRIM- NICHIHA COLOR MATCH VERTICAL JOINTS-SEALANT BACKER AND COLOR MATCHED SEALANT
VN-1	FULL BRICK VENEER	MUTUAL MATERIALS	HARBOR MIST	
CM-1	FULL CMU	MUTUAL MATERIALS	8-8-16, SPLIT FACE	TRASH ENCLOSURE, VERIFY W/ LOCAL JURIS. COLOR: NATURAL



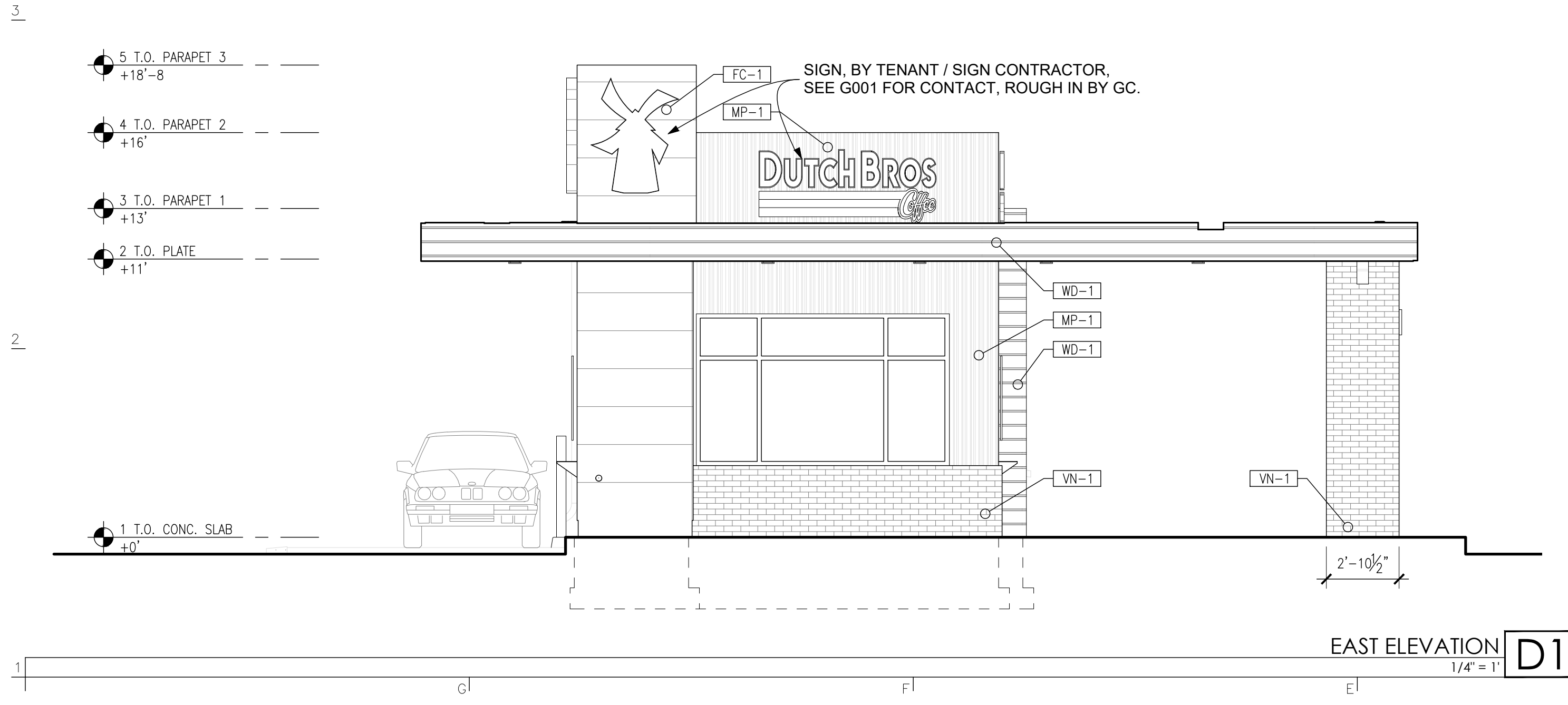
CANOPY PERSPECTIVE



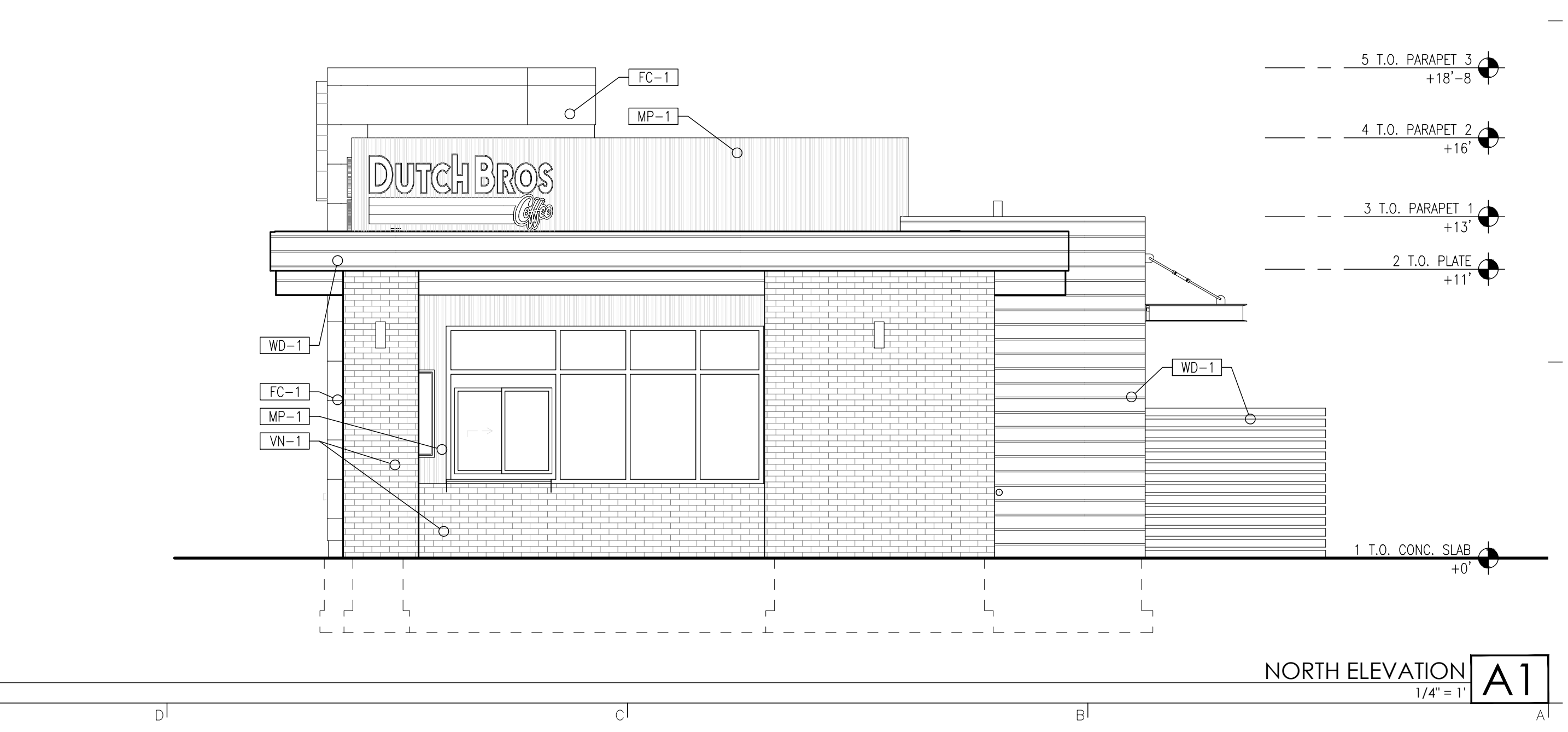
WEST ELEVATION **D3**
1/4" = 1'



SOUTH ELEVATION **A3**
1/4" = 1'



EAST ELEVATION **D1**
1/4" = 1'

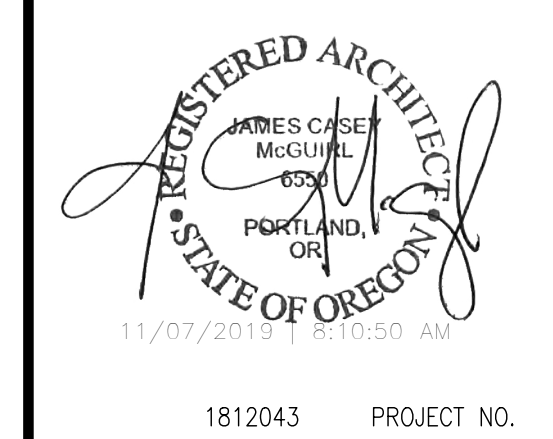


NORTH ELEVATION **A1**
1/4" = 1'

WILSONVILLE
 29702 SW TOWN CENTER LOOP WC
 WILSONVILLE, OREGON 97070

DESCRIPTION	DATE
REVISIONS	

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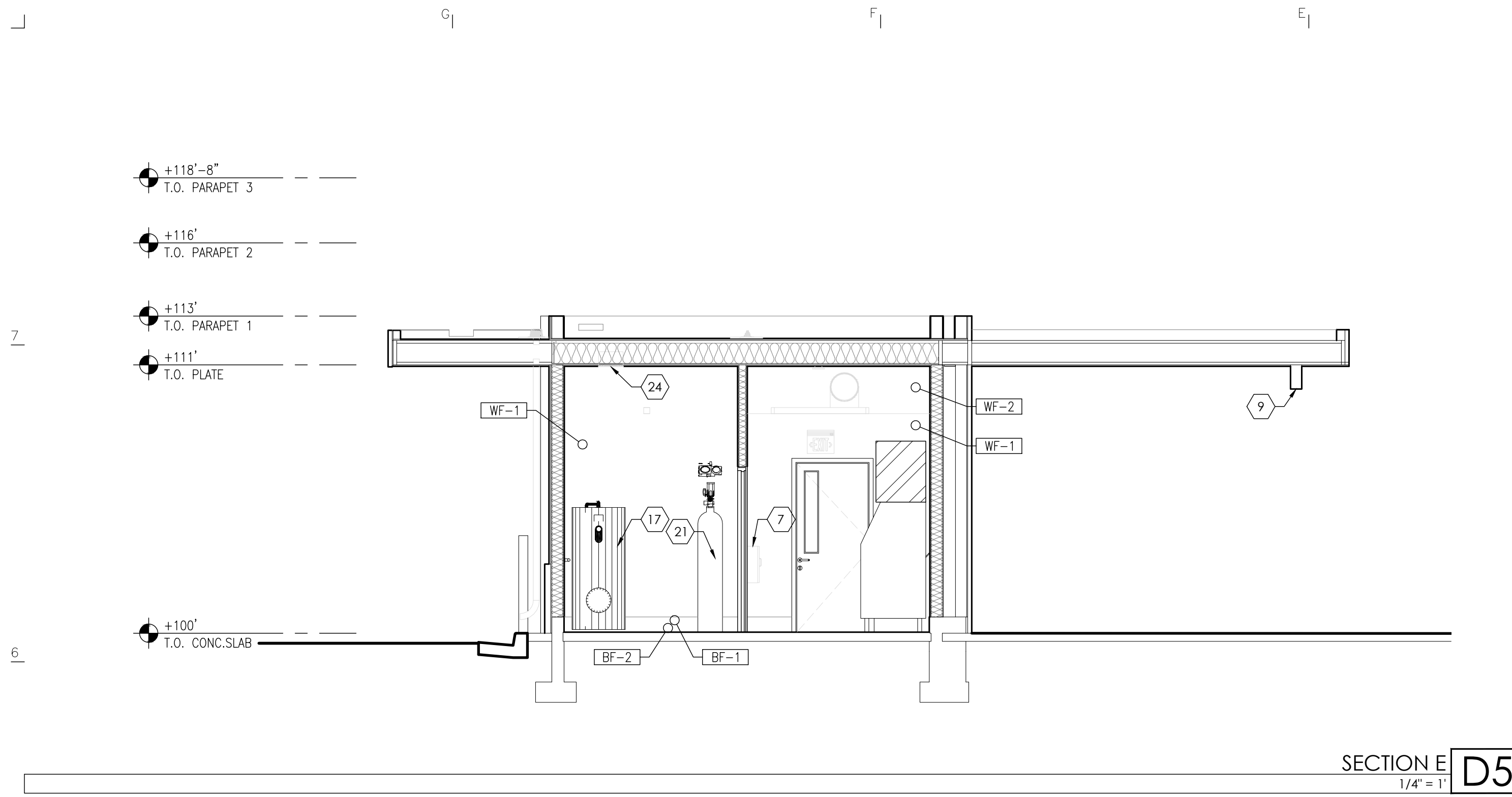


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BUILDING ELEVATIONS I

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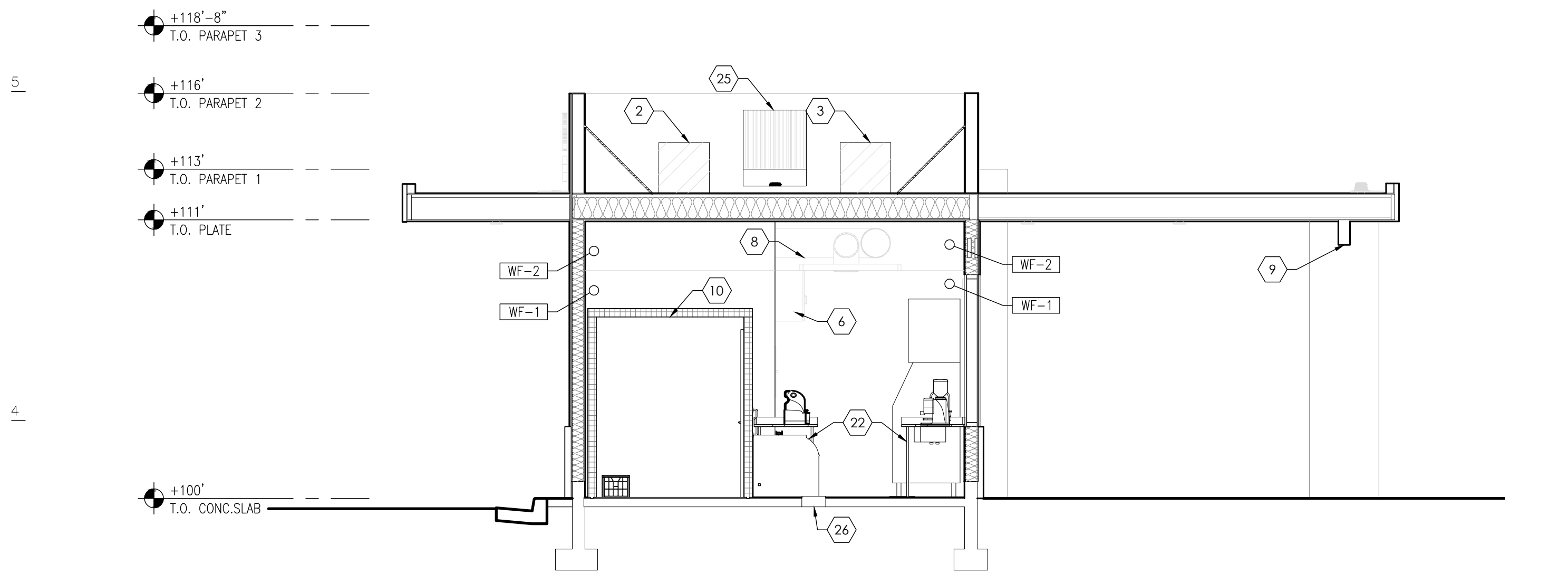


SECTION E
1/4" = 1' D5

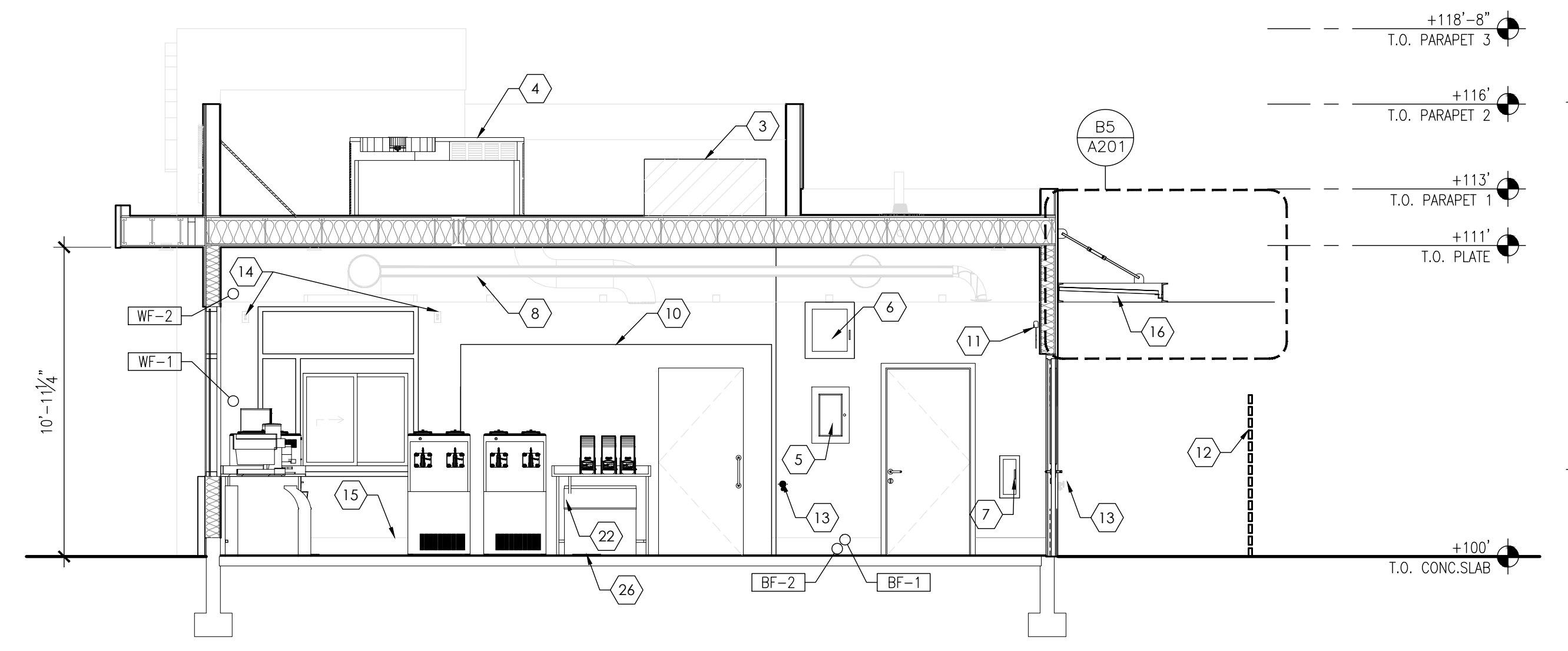
INTERIOR FINISH SCHEDULE					
TAG	MATERIAL	LOCATION	MANUF.	MODEL	REMARKS
FF-1	FLOOR COVERING RUBBER	FLOOR	MOHAWK	TRUE MEDI FLEX TRS3	COLOR: COAL -32
FF-2	FLOOR COVERING QUARRY TILE	FLOOR		6x6 QUARRY TILE	GROUT: 1/8" COLOR BLACK
WF-1	FRP	WALL	CRANE	GLASBOARD SMOOTH	COLOR: WHITE PAINTED DB GRAY
WF-2	MDO	WALL			PAINTED DB GRAY
BF-1	RUBBER	WALL BASE	MOHAWK	TRUE MEDI-FLEX TRS3	COLOR: 02 NIGHT SKIES, WELDED TO FLOORING, WRAP UP WALLS PER DETAIL
BF-2	RUBBER	WALL BASE COVE			
PF-1	DB GRAY				SEE PAINT CODES
PF-2	DB BLUE				SEE PAINT CODES
CLG-1	MDO	CEILING			PAINTED DB GRAY
CLG-2	5/8" GYP TYPE X	CEILING			SEE NOTE 1

- KEYNOTES** #
- SWITCHED OUTLET FOR PARTY LIGHT CIRCUIT
 - COLD STORAGE CONDITIONER
 - ICE MACHINE CONDITIONER
 - RTU
 - SUB PANEL
 - DATA RACK
 - SURFACE MOUNTED FIRE EXTINGUISHER
 - EXPOSED HVAC SYSTEM
 - DOWNSPOUT
 - COLD STORAGE ROOM
 - EXIT SIGNAGE
 - PARTIAL SIGHT OBSTRUCTING FENCE
 - HOSE BIB
 - SWITCHED OUTLET FOR INT. SIGNAGE
 - 8" WALL BASE
 - CANOPY
 - WATER HEATER
 - BUILT IN SHELVING (SEE MANF. SPECS PER PREFAB. COLD STORAGE)
 - BOLLARD
 - ORDER WINDOW COUNTER AT 3'-0" A.F.F.
 - CO2 TANK
 - EQUIPMENT PER CLIENT SPECIFICATIONS
 - GLASS DOOR (SEE MANF. SPECS PER PREFAB. COLD STORAGE)
 - EXHAUST FAN
 - ROOF ACCESS PANEL
 - FLOOR DRAIN

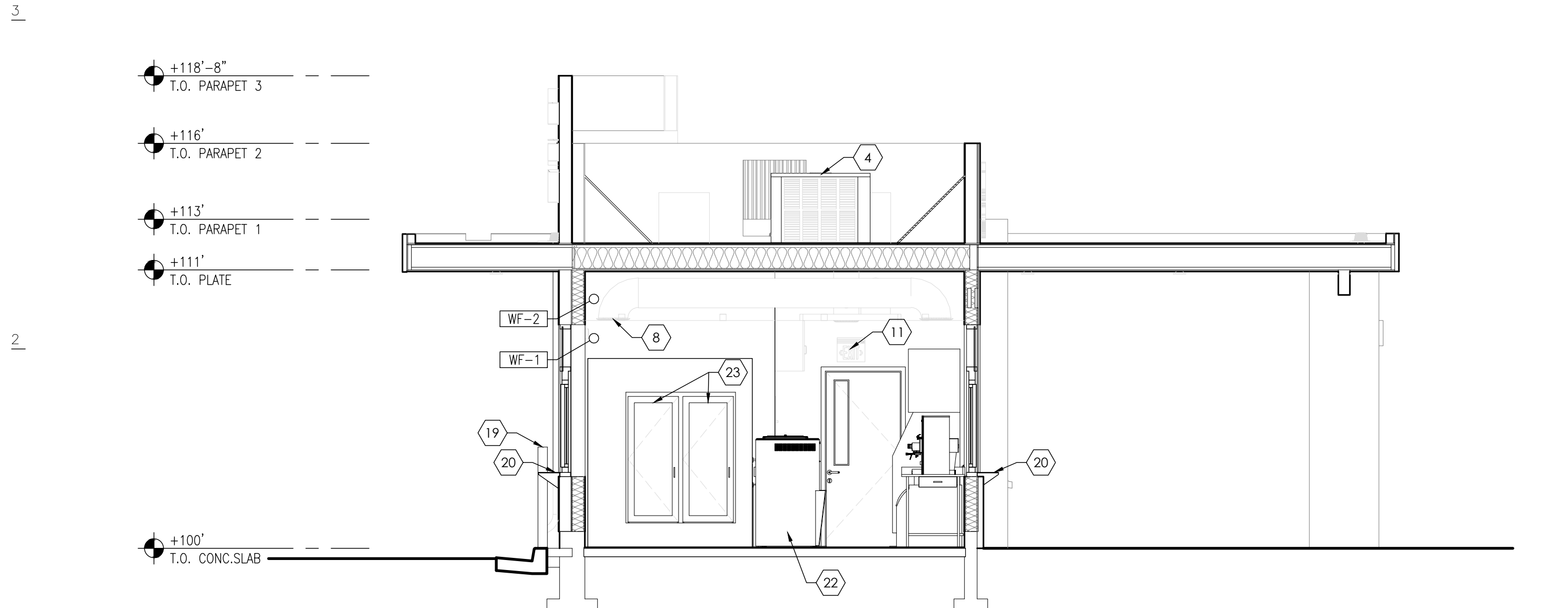
- IF ACT SUSPENDED CEILING IS REQUIRED BY LOCAL JURISDICTION, CLG-1 MAY BE CONVERTED TO CLG-2 AND SUSPENDED CEILING CAN BE ADDED AT 9'-0" AFF, COORDINATE WITH MECHANICAL AND ELECTRICAL ENGINEER FOR ALTERNATIVE DIFFUSERS AND FIXTURES.
- ALL USED PAINTS TO COMPLY WITH LOCAL HEALTH CODES
- FRP - FIBERGLASS REINFORCED PANEL
- MDO - MED DENSITY OVERLAY PLY
- DB GRAY AND DB BLUE TO BE USED ON CALLED OUT MATERIALS. SEE INTERIOR FINISH SCHEDULE REMARKS. SEE PROGRAM MANUAL FOR DB GRAY AND DB BLUE PAINT MIXTURE.



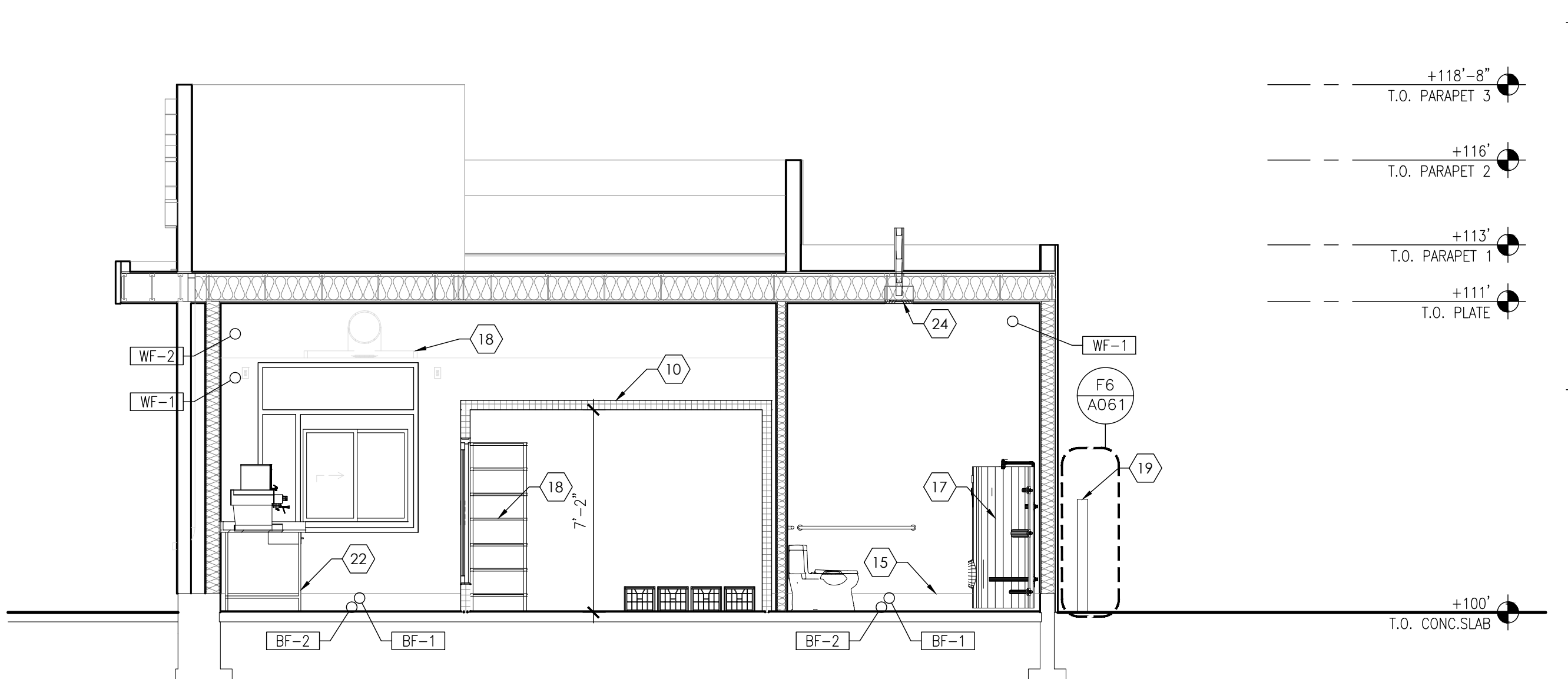
SECTION D
1/4" = 1' D3



SECTION B
1/4" = 1' A3



SECTION C
1/4" = 1' D1



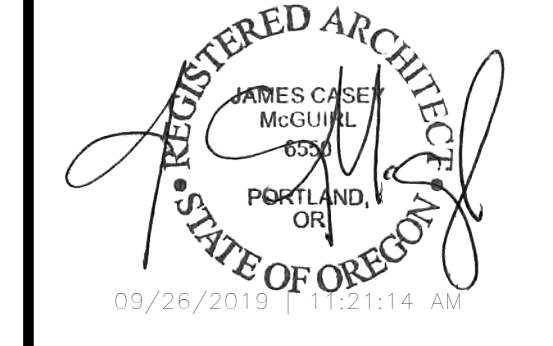
SECTION A
1/4" = 1' A1

WILSONVILLE
29702 SW TOWN CENTER LOOP W.C.
WILSONVILLE, OREGON 97070

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DESCRIPTION	DATE

CONSULTANT



1812043 PROJECT NO.
MCGUIRE DESIGNS & ARCHITECTURE
www.mcguiredesigns.com
T: (503)347-4649

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09.26.2019 DATE

BUILDING SECTIONS

A301
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SOUTHWEST CORNER

NOTE: RENDERING USED FOR VISUAL REPRESENTATION ONLY



NORTHWEST CORNER

NOTE: RENDERING USED FOR VISUAL REPRESENTATION ONLY



SOUTHEAST CORNER

NOTE: RENDERING USED FOR VISUAL REPRESENTATION ONLY



NORTHWEST CORNER

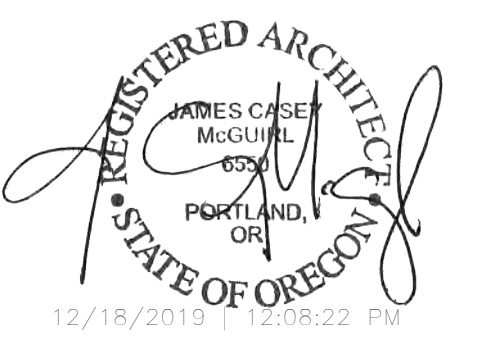
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29702 TOWN CENTER LOOP
W
29702 SW TOWN CENTER LOOP WC
WILSONVILLE, OREGON 97070

DESCRIPTION	DATE
REVISIONS	

CONSULTANT



1812043 PROJECT NO.

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12.18.2019 DATE

BUILDING
RENDERINGS

A800

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DUTCH BROS WILSONVILLE, OREGON

GRADING AND STORMWATER PLANS PROJECT NO. 19831 JUNE 2019

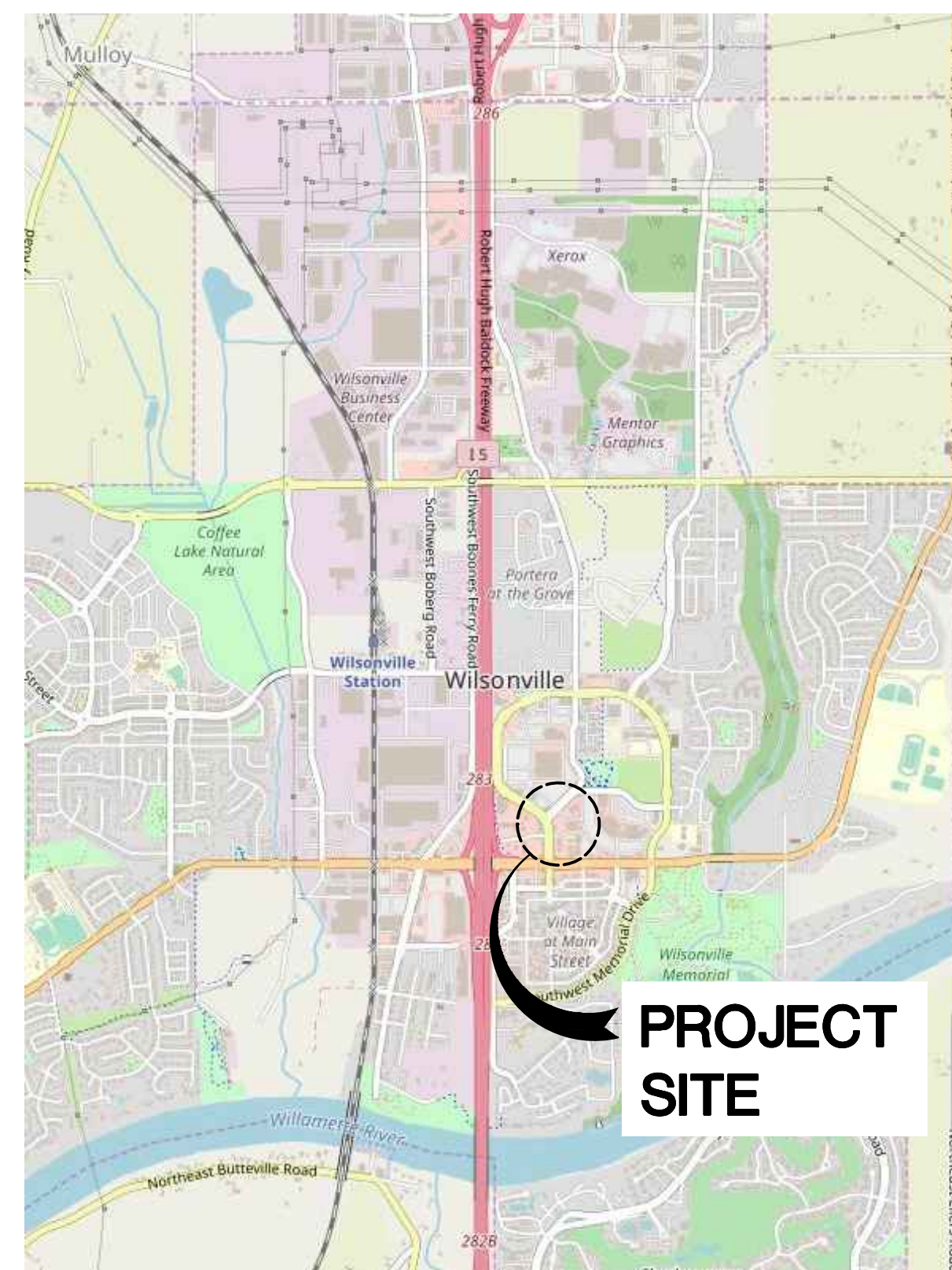
PROJECT INFORMATION

OWNER: DOUG FRY
18187 SIERA DRIVE
LAKE OSWEGO, OR 97034
PH: (503) 348-2237

PROJECT ENGINEER: PACE ENGINEERS, INC
4500 KRUSE WAY, SUITE 250
LAKE OSWEGO, OR 97035
(503) 597-3222
CONTACT: BRIAN LEE, PE

PROJECT ARCHITECT: MCGUIRL DESIGNS & ARCHITECTURE
107 SE WASHINGTON ST, SUITE 310
PORTLAND, OR 97214
(503) 347-4649
CONTACT: J. CASEY MCGUIRL

VICINITY MAP



SHEET LIST

Sheet List Table

SHEET NUMBER	SHEET TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	SITE PLAN
C4	GRADING PLAN
C5	UTILITY PLAN
C6	DETAILS
C7	DETAILS

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WILSONVILLE
29702 SW TOWN CENTER LOOP, INC
WILSONVILLE, OREGON 97070

DESCRIPTION DATE
REVISIONS

PACE
An Engineering Services Company
4500 Kruse Way, Suite 250
Lake Oswego, OR 97035
p. 503.597.3222 | f. 503.597.7655
Civil | Structural | Planning | Survey
paceengr.com CONSULTANT

REGISTERED PROFESSIONAL
ENGINEER
18568
PRELIMINARY
OREGON
JULY 6, 1986
BRIAN D. LEE
EXPIRES:

1812043 PROJECT NO.

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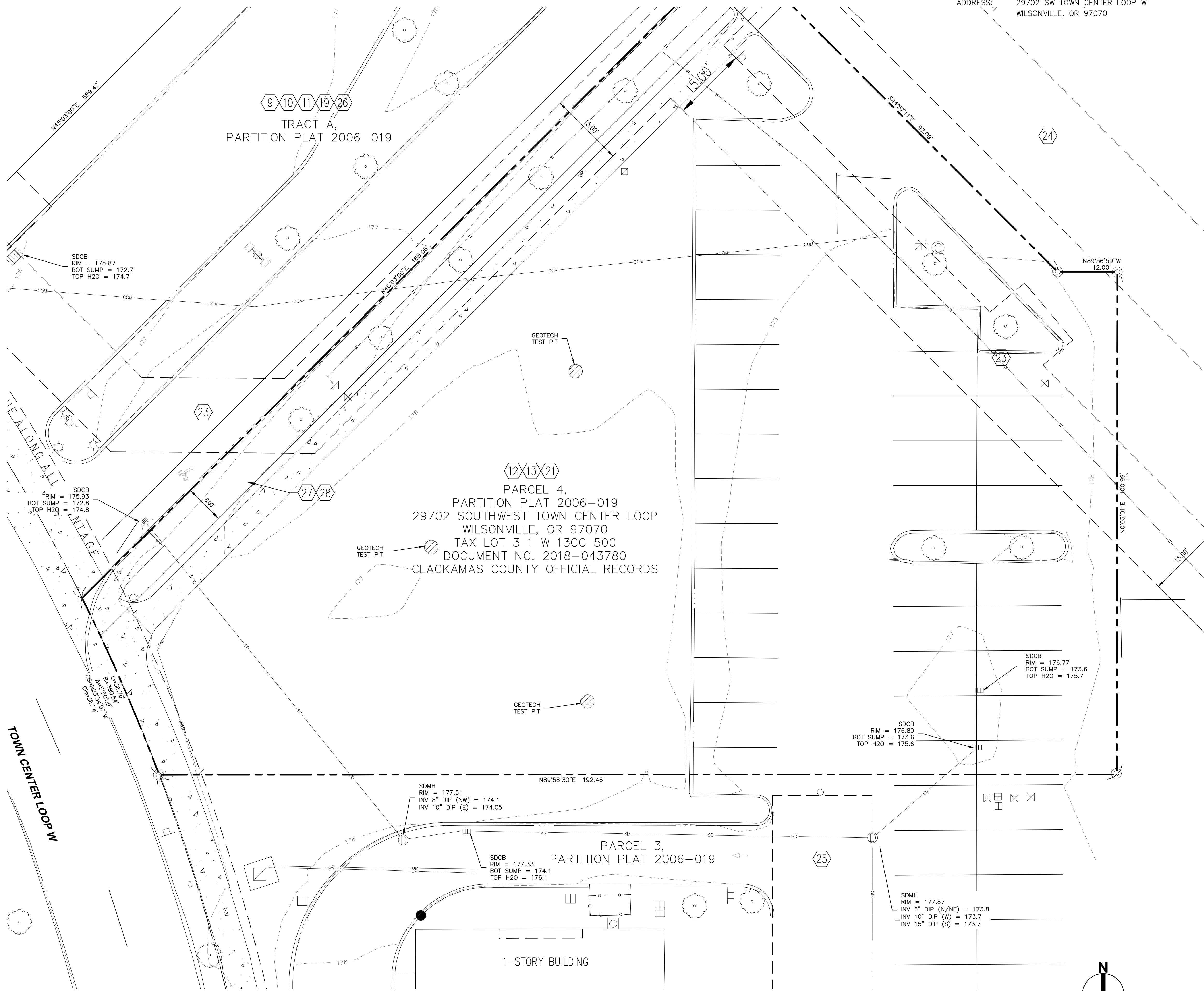
11.05.2019 DATE

COVER SHEET

QA/QC APPROVAL
THESE DOCUMENTS HAVE BEEN REVIEWED BY:
NAME: _____ DATE: _____

C1

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LEGAL DESCRIPTION

TAX LOT: PARCEL 4 OF PARTITION 2006-019
 PROPERTY ID: 31W13CC00500
 ADDRESS: 29702 SW TOWN CENTER LOOP W
 WILSONVILLE, OR 97070

GENERAL NOTES

CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

SEE SHEET C1 FOR SITE INFORMATION, PROJECT AREA MAP, AND PROJECT SQUARE FOOTAGES.

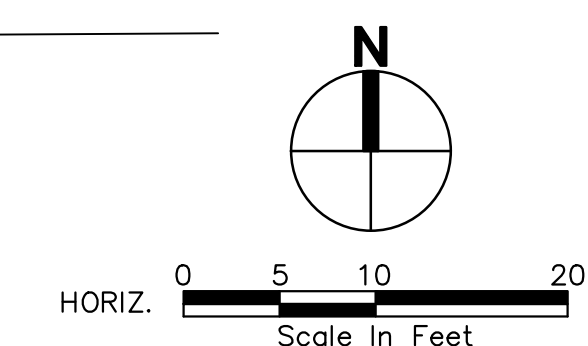
SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.

EASEMENTS

- 9 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED AUGUST 8, 1990 AS FEE NO. 90038782. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE.
- 10 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED AUGUST 8, 1990 AS FEE NO. 90038783. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE.
- 11 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED AUGUST 8, 1990 AS FEE NO. 90038784. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE.
- 12 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED SEPTEMBER 13, 1990 AS FEE NO. 90045500, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES. LAWFUL RESTRICTIONS UNDER STATE AND FEDERAL LAW ON THE AGE OF OCCUPANTS IN SENIOR HOUSING OR HOUSING FOR OLDER PERSONS SHALL NOT BE CONSTRUED AS RESTRICTIONS BASED ON FAMILIAL STATUS.
- 13 TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED AUGUST 06, 1990 BY AND BETWEEN CAPITAL REALTY CORPORATION AS LESSOR AND PAY LESS DRUG STORES NORTHWEST, INC. AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 13, 1990 AS FEE NO. 90045500. DEFECTS, LIENS, ENCUMBRANCES OR OTHER MATTERS AFFECTING THE LEASEHOLD ESTATE, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS ARE NOT SHOWN HEREIN.
- 19 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED APRIL 07, 1994 AS FEE NO. 94029334.
- 21 RESTRICTIONS SHOWN ON THE RECORDED PARTITION PLAT NO. 2009-019.
- 22 EASEMENTS FOR PUBLIC UTILITY PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019.
- 23 EASEMENTS FOR PUBLIC WATERLINE PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019.
- 24 EASEMENTS FOR PUBLIC STORM SEWER PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019.
- 25 EASEMENTS FOR PUBLIC SANITARY SEWER PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019.
- 26 EASEMENTS FOR PUBLIC USE, ACCESS AND UTILITY OVER TRACT A PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019.
- 27 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED FEBRUARY 17, 2006 AS FEE NO. 2006014921.
- 28 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "MAINTENANCE ACCESS EASEMENT" RECORDED JULY 12, 2006 AS FEE NO. 2006063539.

LEGEND

- WATER VALVE
 - HYDRANT
 - WATER METER
 - MANHOLES (SS/SD)
 - CB
 - POWER/UTILITY POLE
 - GUY ANCHOR
 - POWER TRANSFORMER
 - POWER/TELEPHONE VAULT
 - POWER METER
 - TELEPHONE/TV RISER
 - GAS VALVE
 - GAS METER
 - STREET LIGHT
 - LUMINAIRE
 - SPOT ELEVATION
 - SIGN
 - MAILBOX
 - ROCKERY
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - FOUND CASED MONUMENT
 - SET MAGNETIC NAIL W/ WASHER
 - SET 5/8" IRON REBAR W/ PLASTIC CAP STAMPED L.S. # UNLESS OTHERWISE STATED.
-
- CENTER LINES
 - PROPERTY LINES
 - RIGHT-OF-WAY LINES
 - LOT LINES
 - DITCH LINE
 - FLOW LINE
 - WATER LINE
 - SANITARY SEWER LINE
 - STORM DRAIN LINE
 - GAS LINE
 - UNDERGROUND POWER LINES
 - UNDERGROUND TELEPHONE LINES
 - UNDERGROUND CABLE TV LINES
 - UNDERGROUND FIBER OPTIC LINES
 - OVERHEAD POWER LINES
 - OVERHEAD UTILITY LINES
 - CHAIN LINK FENCE
 - WIRE FENCE
 - WOOD FENCE



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WILSONVILLE
 29702 SW TOWN CENTER LOOP W
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DESCRIPTION DATE REVISIONS

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 Civil | Structural | Planning | Survey
 paceenr.com CONSULTANT

REGISTERED PROFESSIONAL ENGINEER
 18558
 OREGON
 JULY 6, 1996
 BRIAN D. LEE
 RENEWS: 12/31/2020

1812043 PROJECT NO.

MCGUIR DESIGNS & ARCHITECTURE
 www.mcguirdesigns.com
 T: (503)347-4649

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11.06.2019 DATE
 EXISTING CONDITIONS

C2
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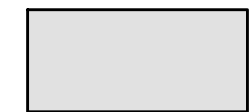
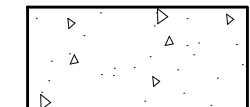
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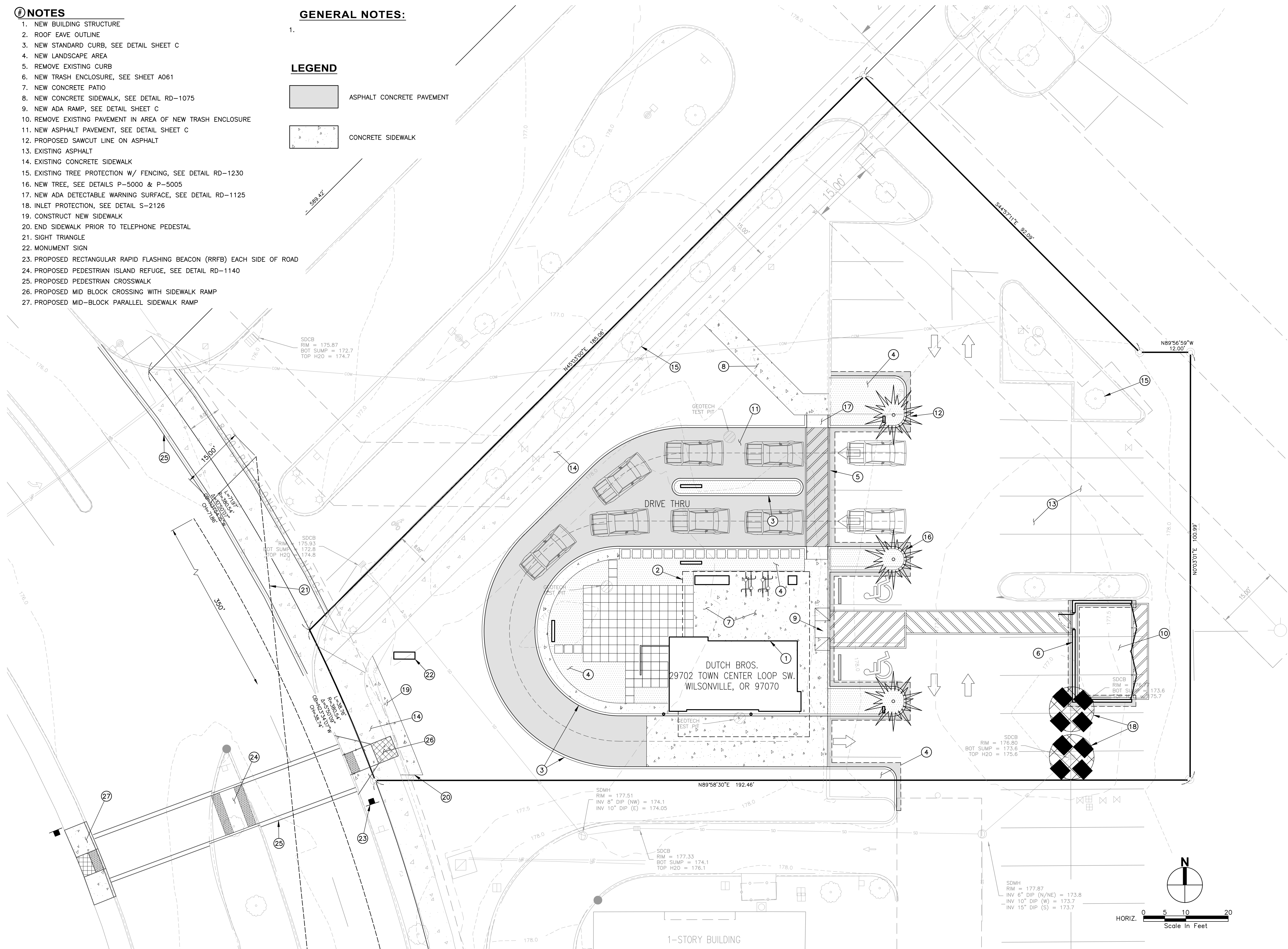
1. NEW BUILDING STRUCTURE
2. ROOF EAVE OUTLINE
3. NEW STANDARD CURB, SEE DETAIL SHEET C
4. NEW LANDSCAPE AREA
5. REMOVE EXISTING CURB
6. NEW TRASH ENCLOSURE, SEE SHEET A061
7. NEW CONCRETE PATIO
8. NEW CONCRETE SIDEWALK, SEE DETAIL RD-1075
9. NEW ADA RAMP, SEE DETAIL SHEET C
10. REMOVE EXISTING PAVEMENT IN AREA OF NEW TRASH ENCLOSURE
11. NEW ASPHALT PAVEMENT, SEE DETAIL SHEET C
12. PROPOSED SAWCUT LINE ON ASPHALT
13. EXISTING ASPHALT
14. EXISTING CONCRETE SIDEWALK
15. EXISTING TREE PROTECTION W/ FENCING, SEE DETAIL RD-1230
16. NEW TREE, SEE DETAILS P-5000 & P-5005
17. NEW ADA DETECTABLE WARNING SURFACE, SEE DETAIL RD-1125
18. INLET PROTECTION, SEE DETAIL S-2126
19. CONSTRUCT NEW SIDEWALK
20. END SIDEWALK PRIOR TO TELEPHONE PEDESTAL
21. SIGHT TRIANGLE
22. MONUMENT SIGN
23. PROPOSED RECTANGULAR RAPID FLASHING BEACON (RRFB) EACH SIDE OF ROAD
24. PROPOSED PEDESTRIAN ISLAND REFUGE, SEE DETAIL RD-1140
25. PROPOSED PEDESTRIAN CROSSWALK
26. PROPOSED MID-BLOCK CROSSWALK WITH SIDEWALK RAMP
27. PROPOSED MID-BLOCK PARALLEL SIDEWALK RAMP

GENERAL NOTES:

1.

LEGEND

-  ASPHALT CONCRETE PAVEMENT
-  CONCRETE SIDEWALK



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29702 SW TOWN CENTER LOOP SW
WILSONVILLE, OREGON 97070

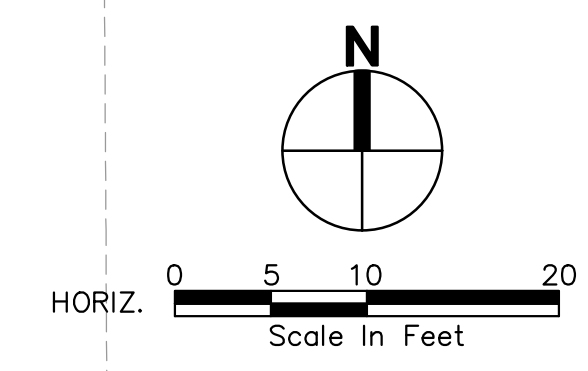
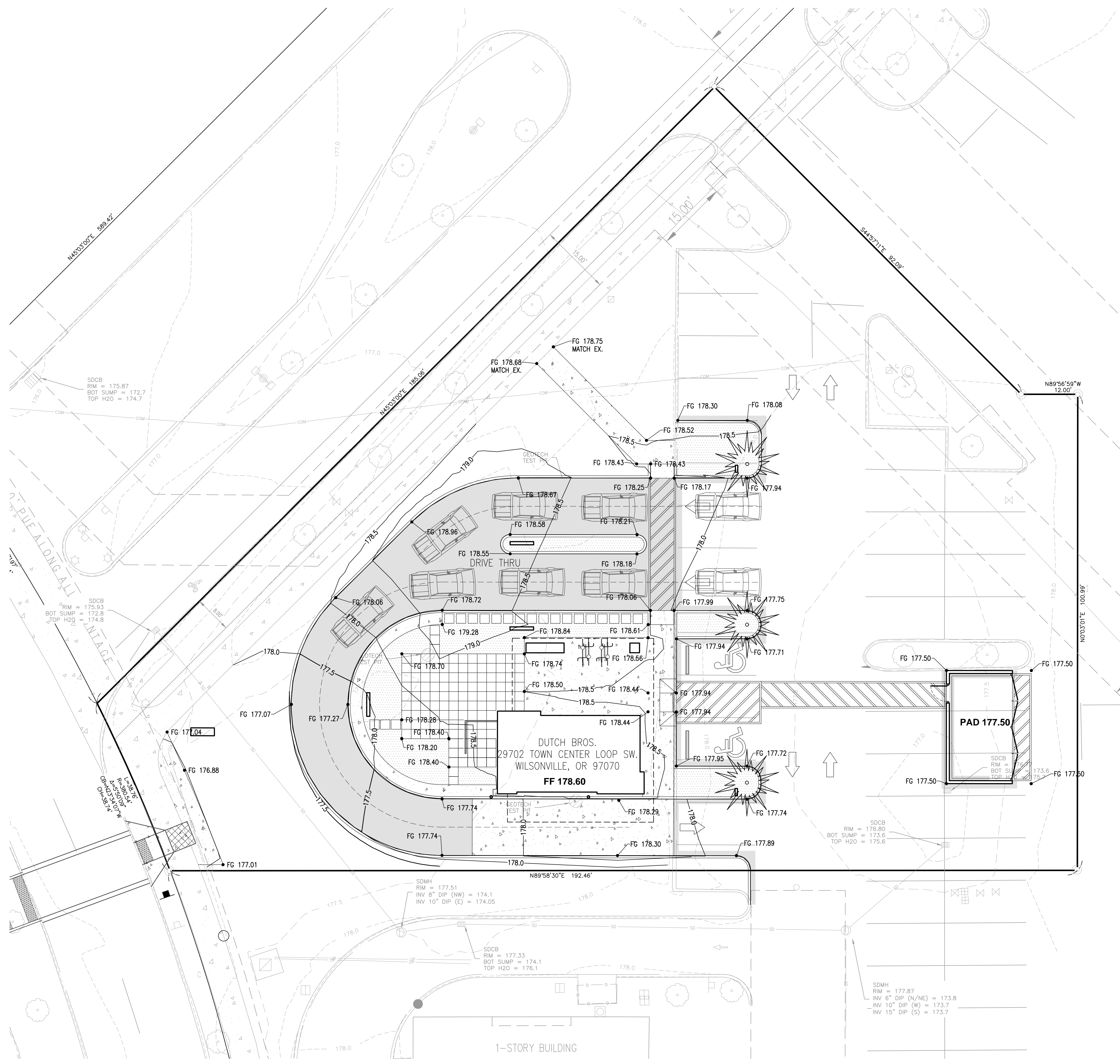
DESCRIPTION	DATE
PACE An Engineering Services Company 4500 Kruse Way, Suite 250 Lake Oswego, OR 97035 p. 503.597.3222 f. 503.597.7655 Civil Structural Planning Survey paceeng.com	
PRELIMINARY REGISTERED PROFESSIONAL ENGINEER PRELIMINARY REGION 6, 1986 ALAN D. TEE EXPIRES:	
1812043	PROJECT NO.

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11.22.2019 DATE
SITE PLAN

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 29702 SW TOWN CENTER LOOP SW
 WILSONVILLE, OREGON 97070

DESCRIPTION	DATE
REVISIONS	

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 Civil | Structural | Planning | Survey
 paceengr.com CONSULTANT

REGISTERED PROFESSIONAL ENGINEER
 18568
PRELIMINARY
 OREGON
 JULY 6, 1988
 BRIAN D. LEE
 EXPIRES:

1812043 PROJECT NO.

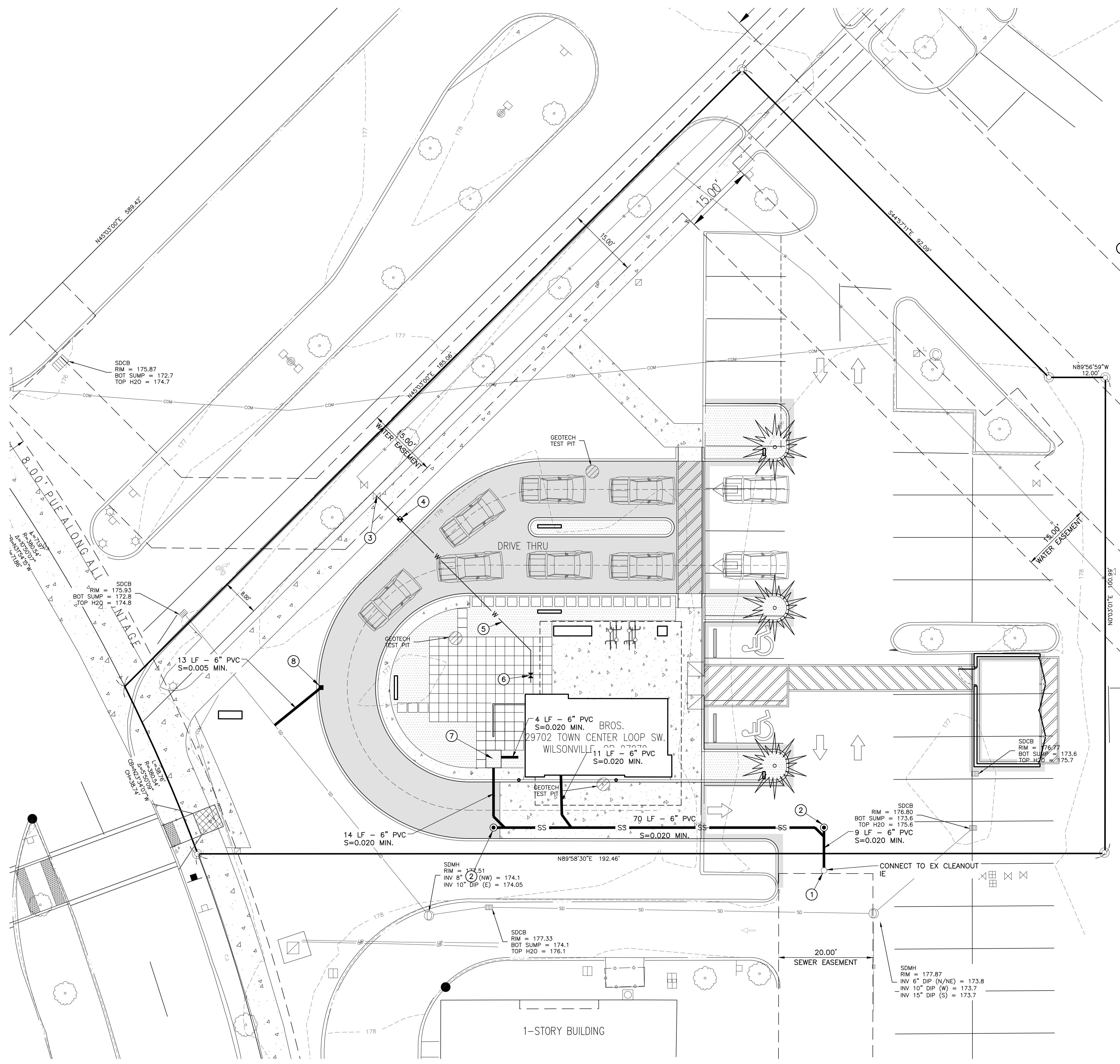
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GRADING PLAN

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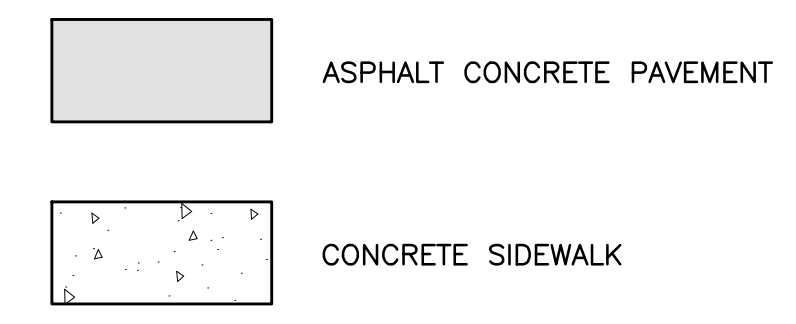
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GENERAL NOTES:

- 1.

LEGEND

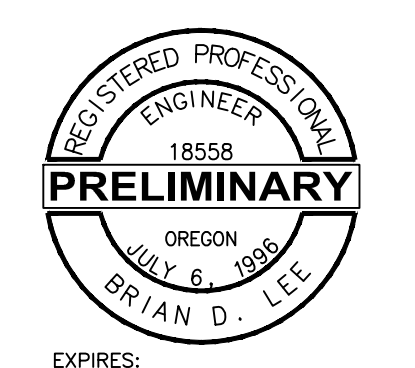


NOTES

1. EXISTING SANITARY SEWER CLEANOUT
2. NEW SANITARY SEWER CLEANOUT, SEE DETAIL S-2185
3. CONNECT TO EXISTING WATERLINE
4. NEW 1" DOMESTIC WATER METER, SEE DETAILS WT-3030, WT-3035 & WT-3036
5. NEW 1" DOMESTIC SERVICE
6. NEW WATER VALVE
7. NEW GREASE TRAP INTERCEPTOR
8. NEW CATCH BASIN
9. EXISTING FIRE HYDRANT

DESCRIPTION	DATE
REVISIONS	

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Lake Oswego, OR 97035
p. 503.597.3222 | f. 503.597.7655
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Paceengr.com



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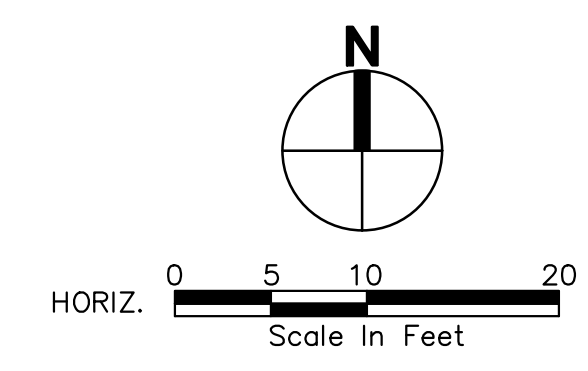
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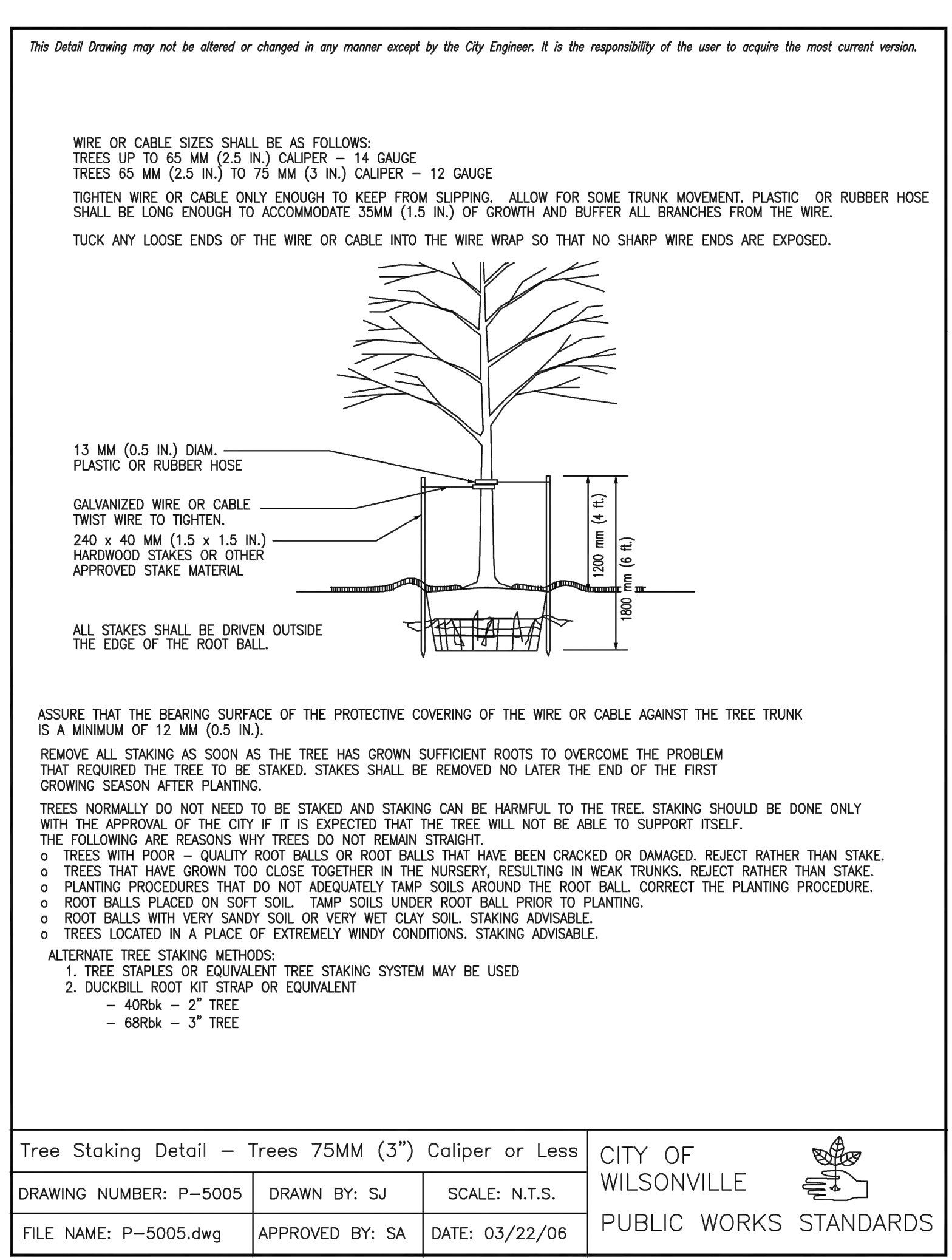
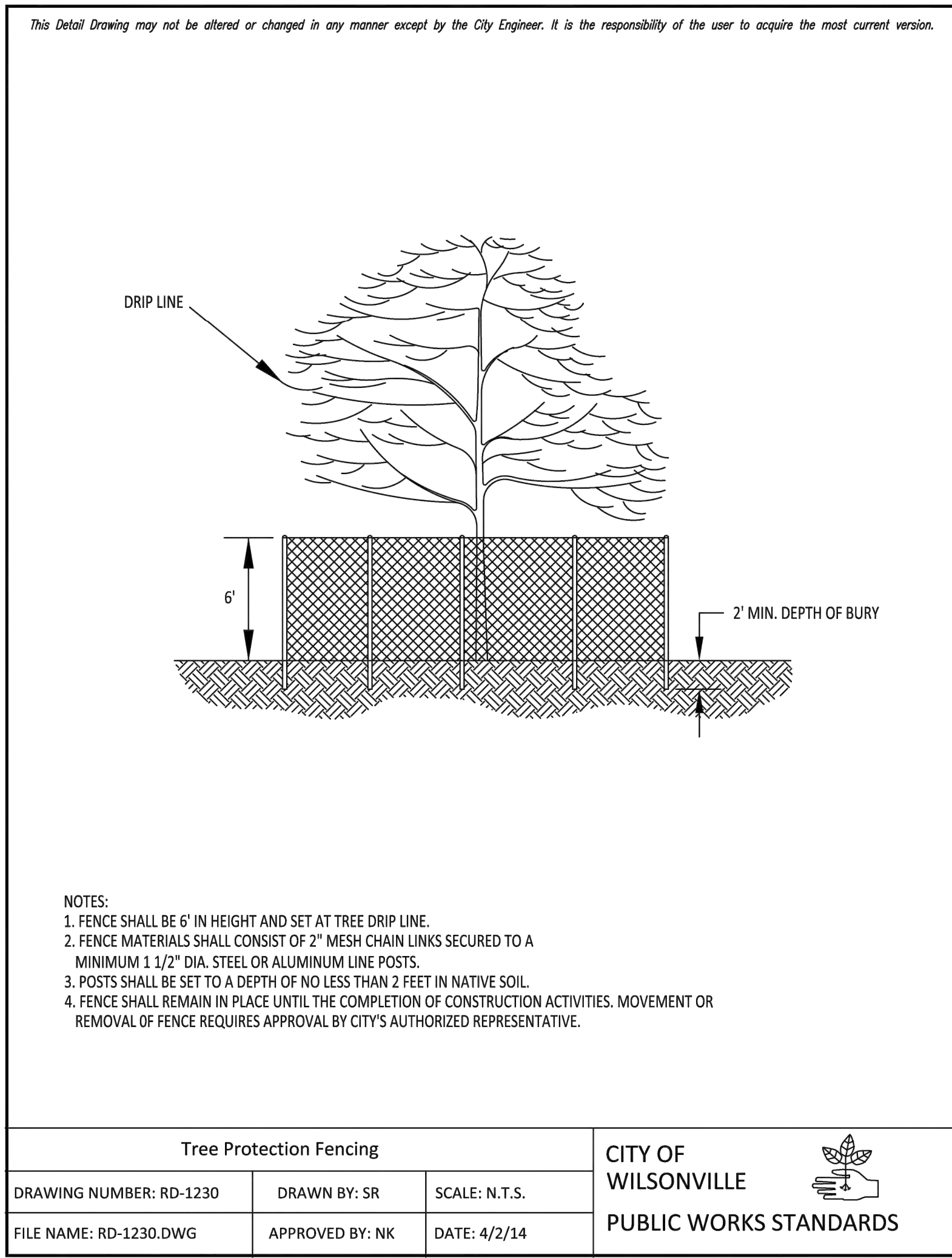
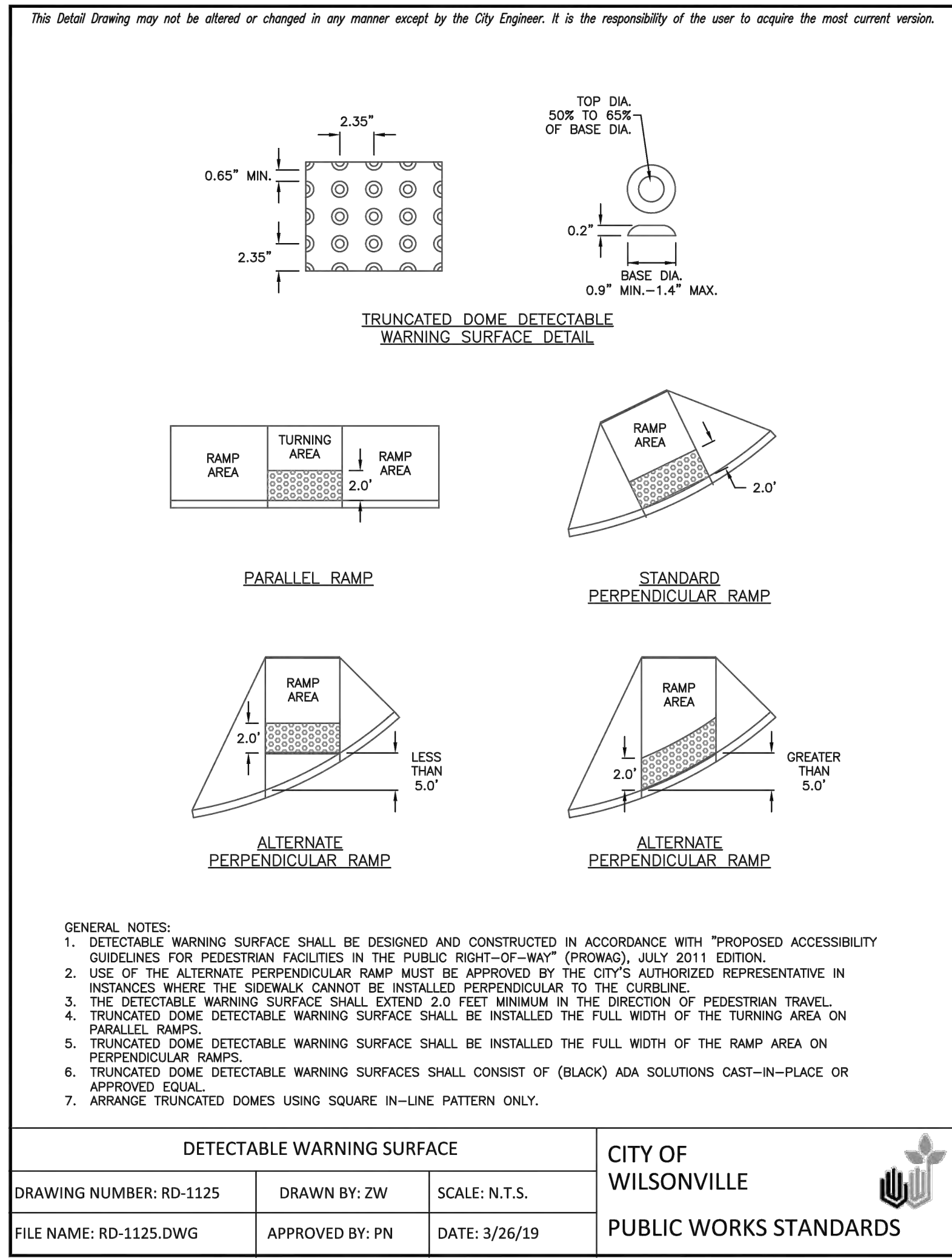
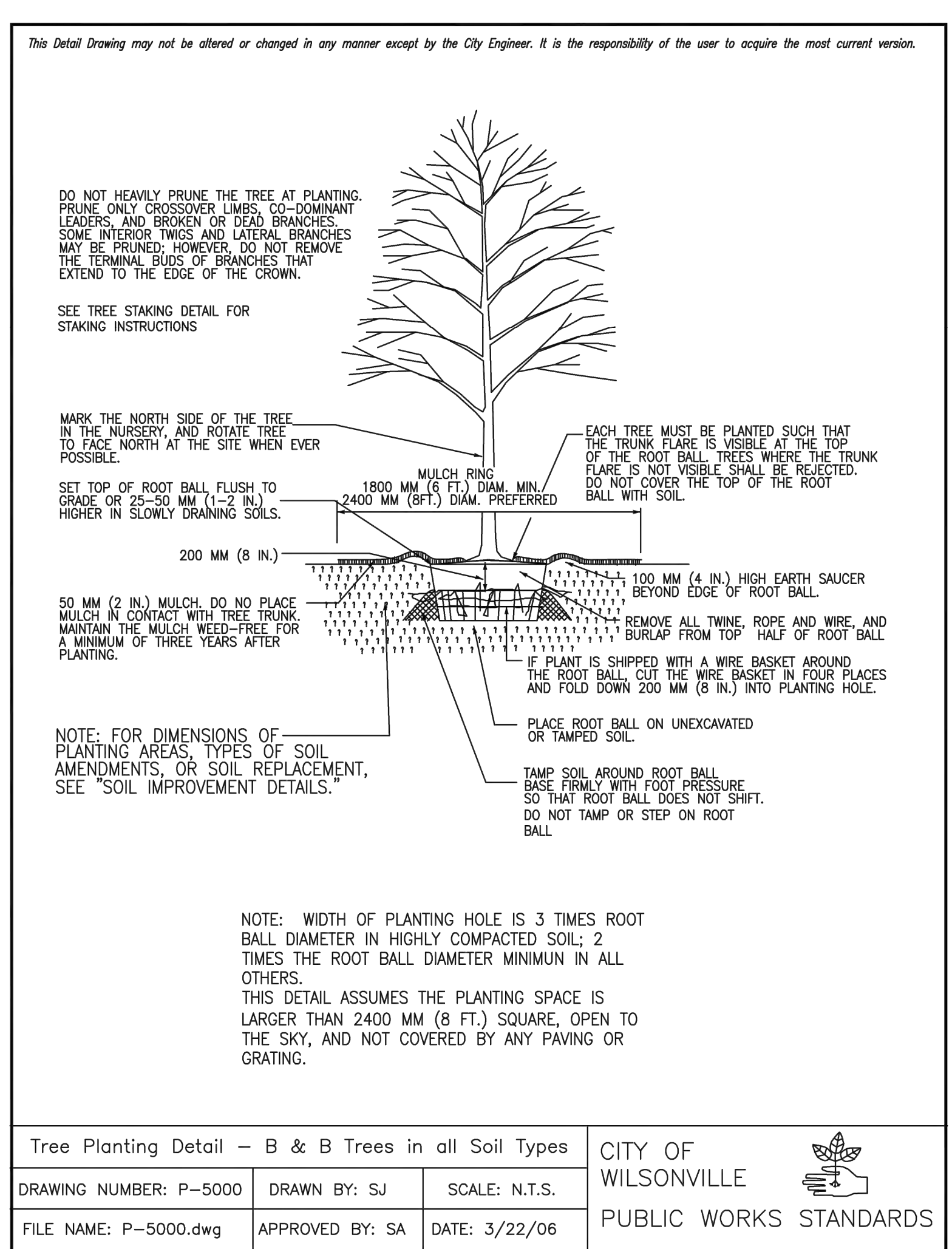
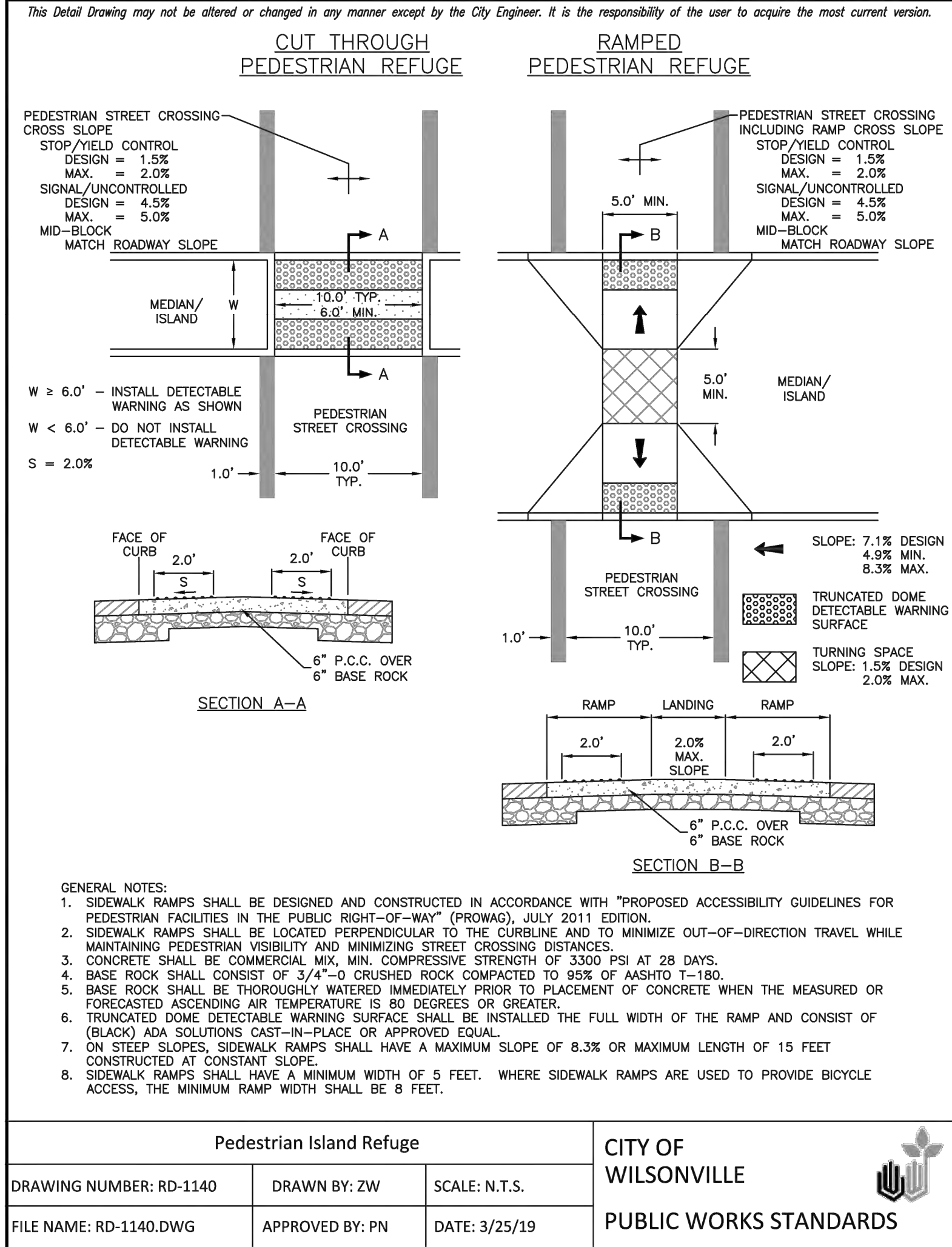
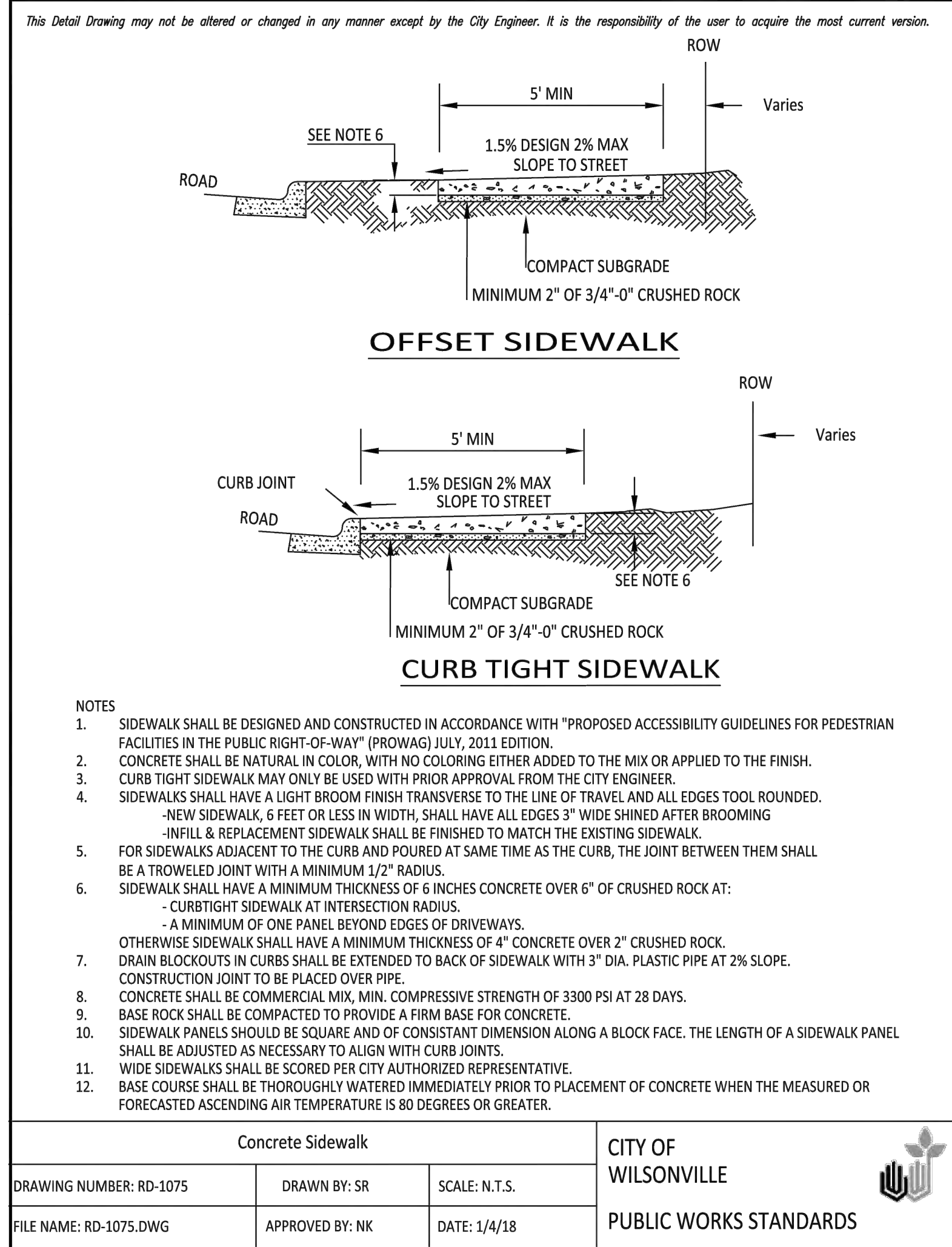
11.06.2019 DATE

UTILITY PLAN

C5

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WILSONVILLE
29702 SW TOWN CENTER LOOP, WILSONVILLE, OREGON 97170

DESCRIPTION	DATE
REVISIONS	

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Civil | Structural | Planning | Survey
paccengr.com CONSULTANT

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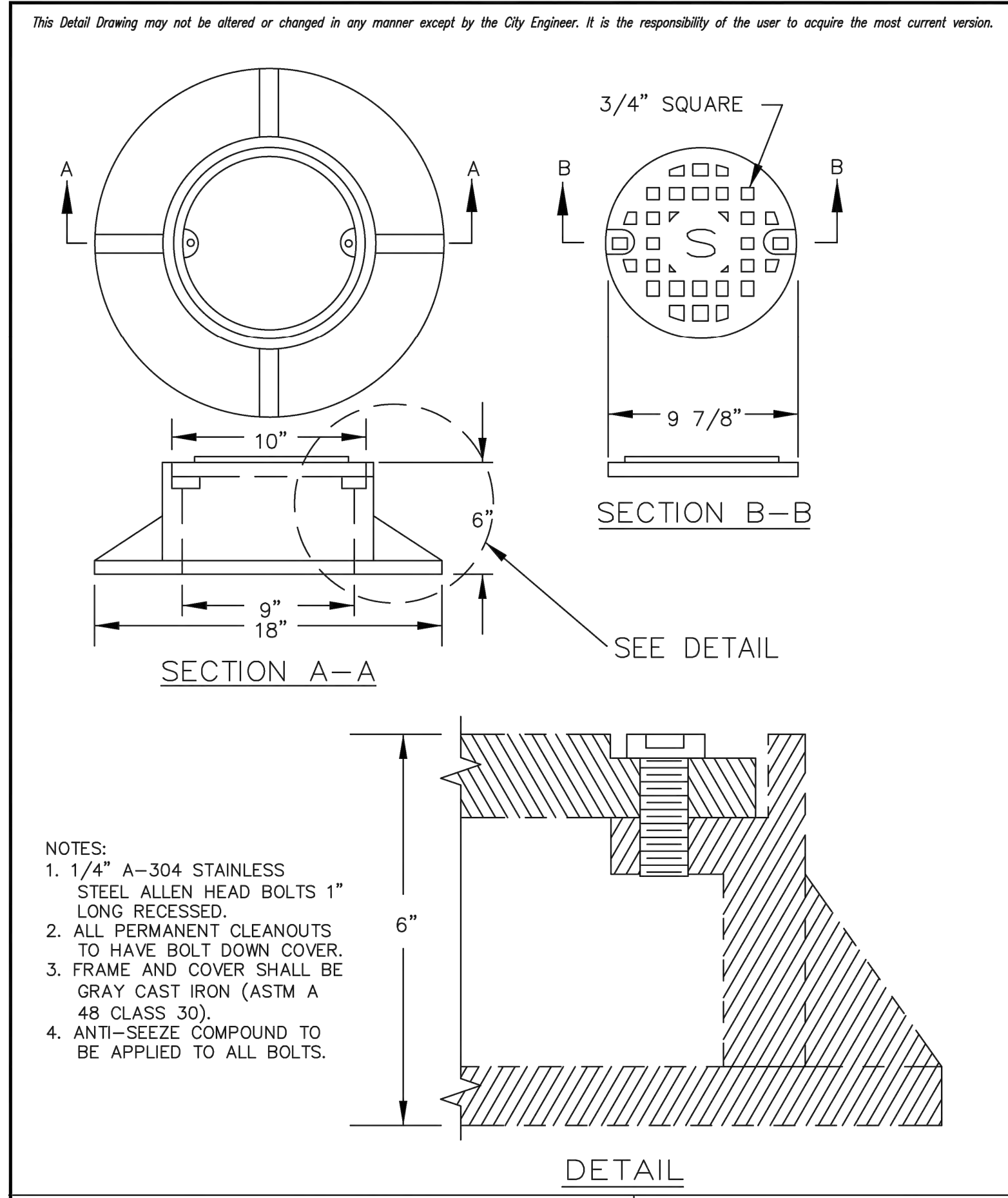
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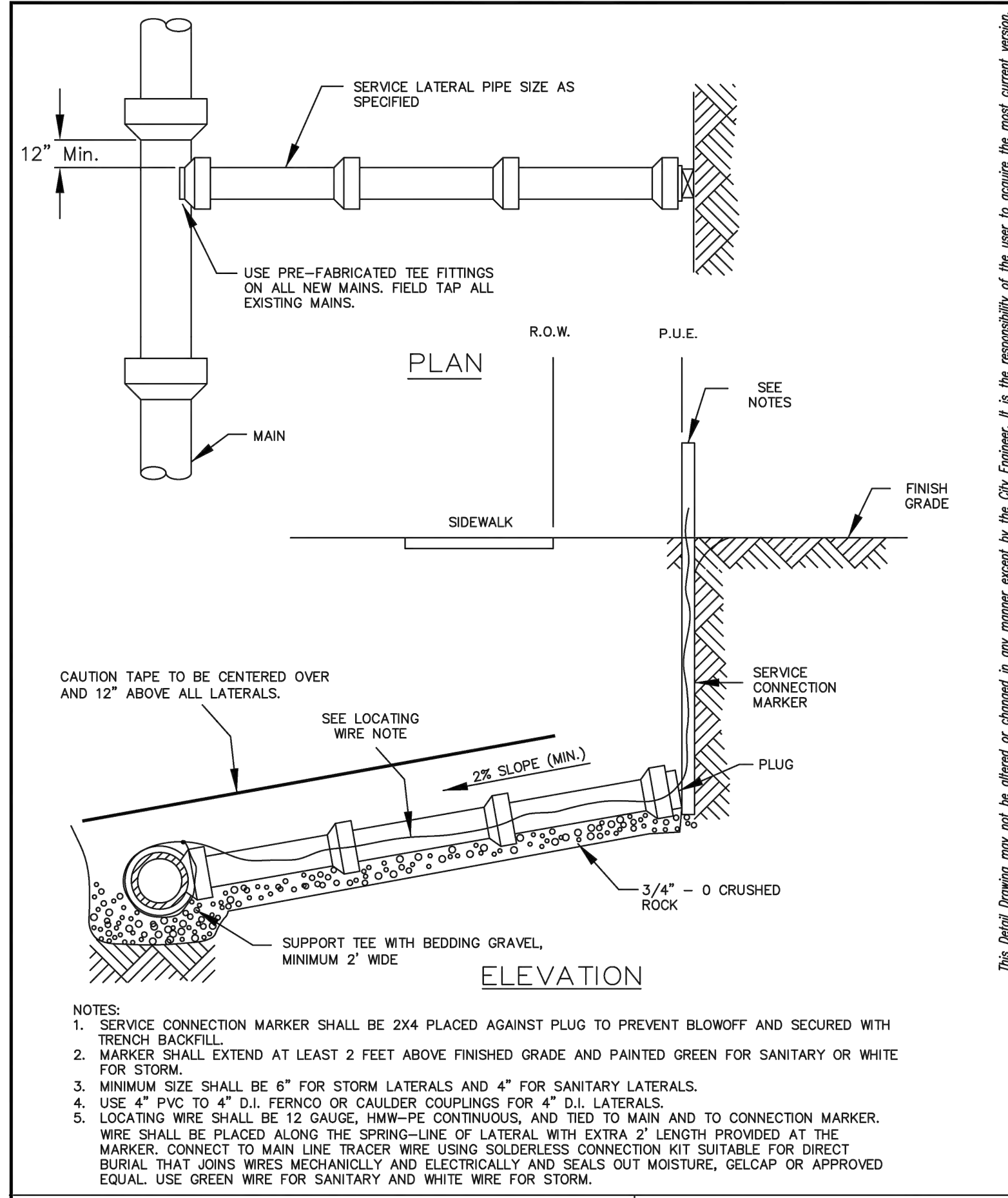
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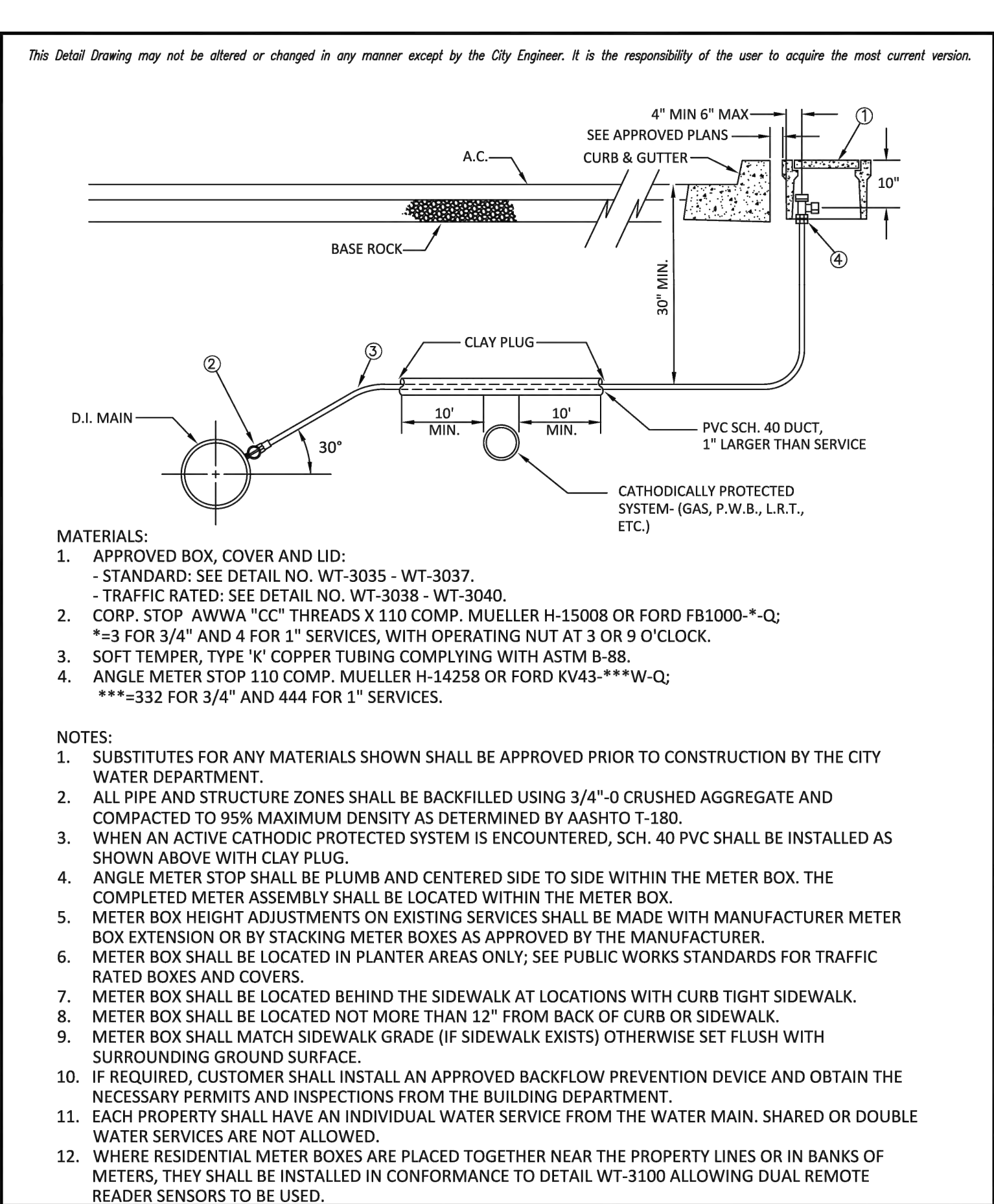
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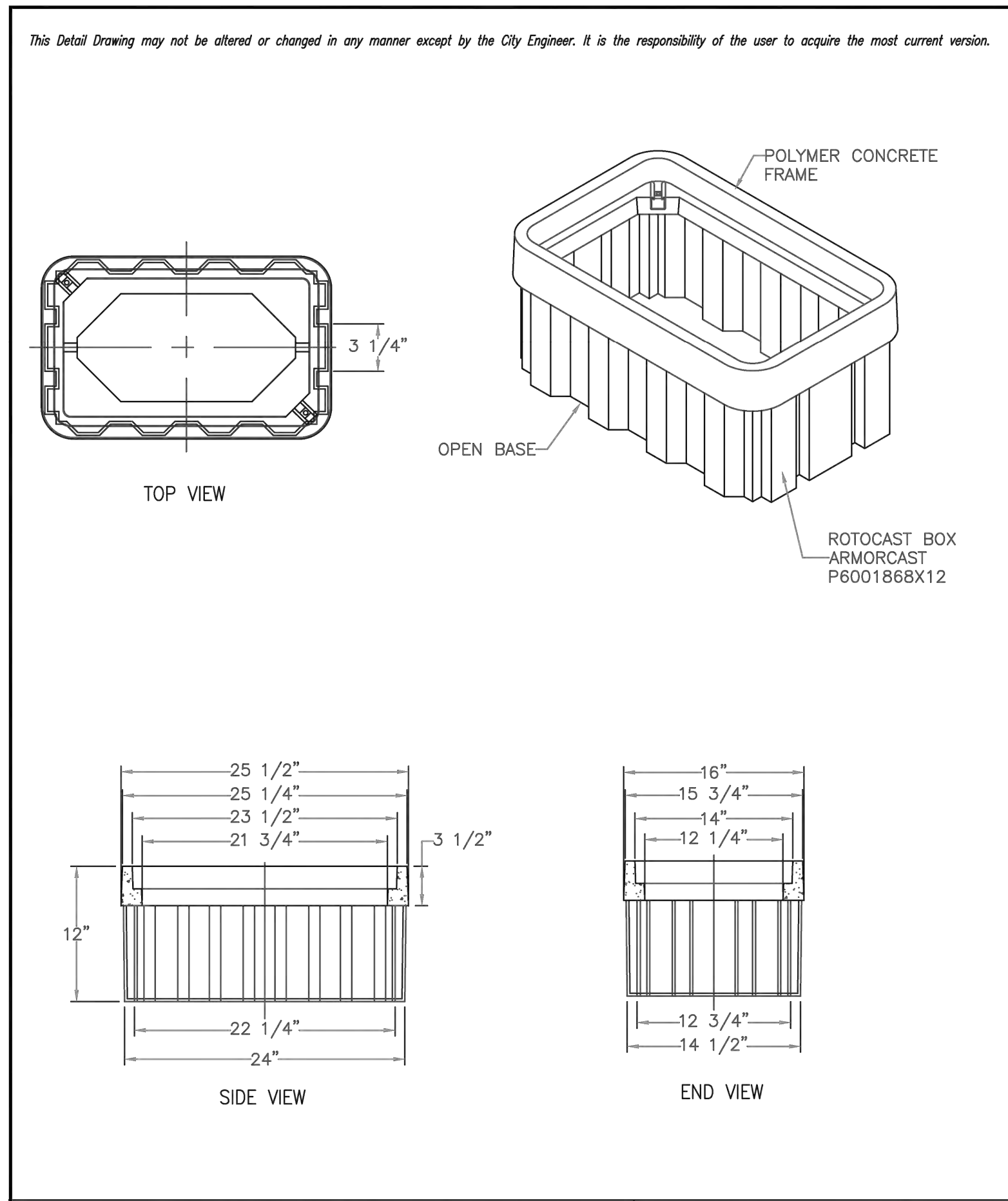
Cleanout Frame & Cover			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: S-2185	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: S-2185.DWG	APPROVED BY: NK	DATE: 6/4/14	
CITY OF WILSONVILLE PUBLIC WORKS STANDARDS			



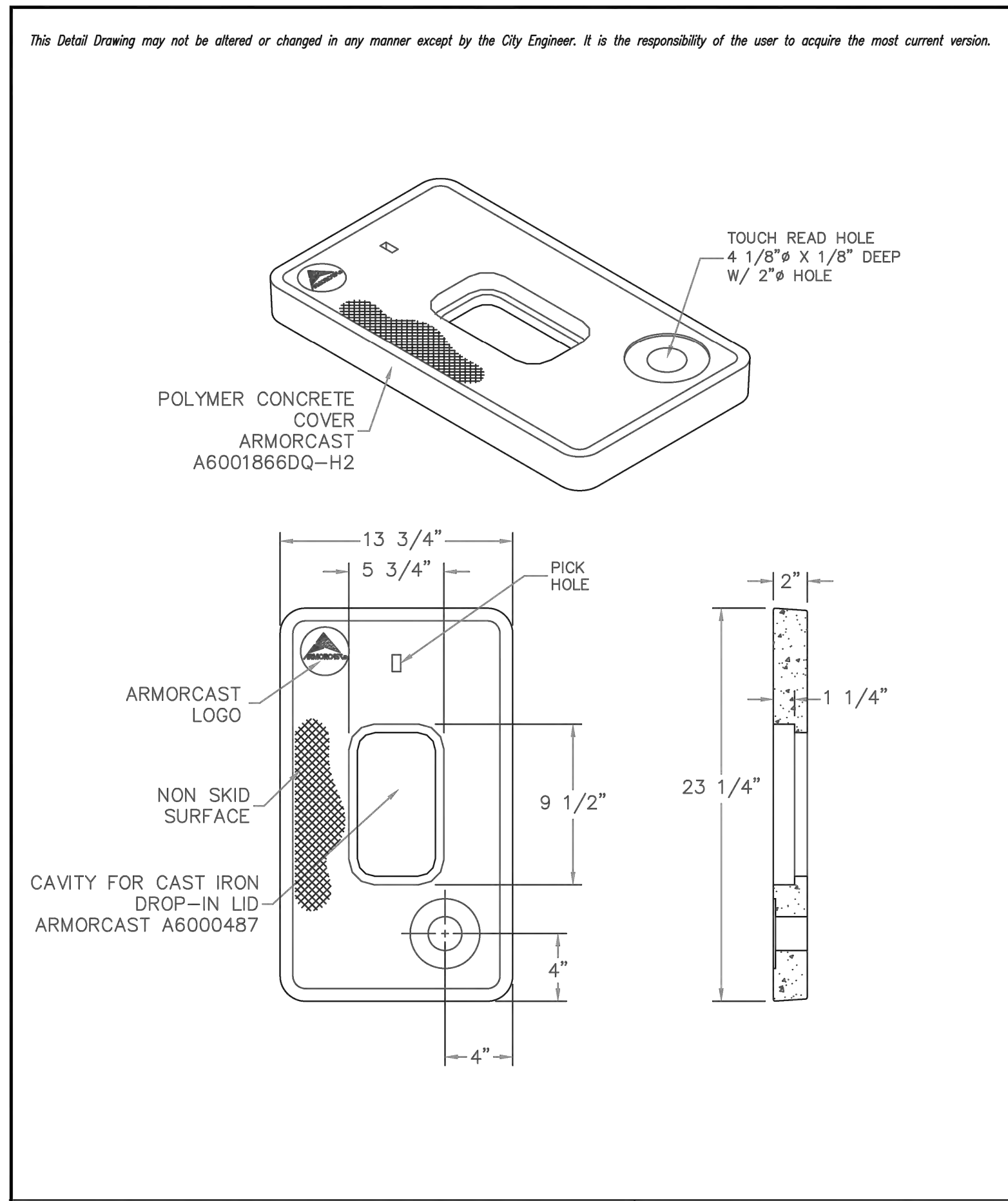
Service Lateral			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
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FILE NAME: S-2175.DWG	APPROVED BY: NK	DATE: 6/4/14	
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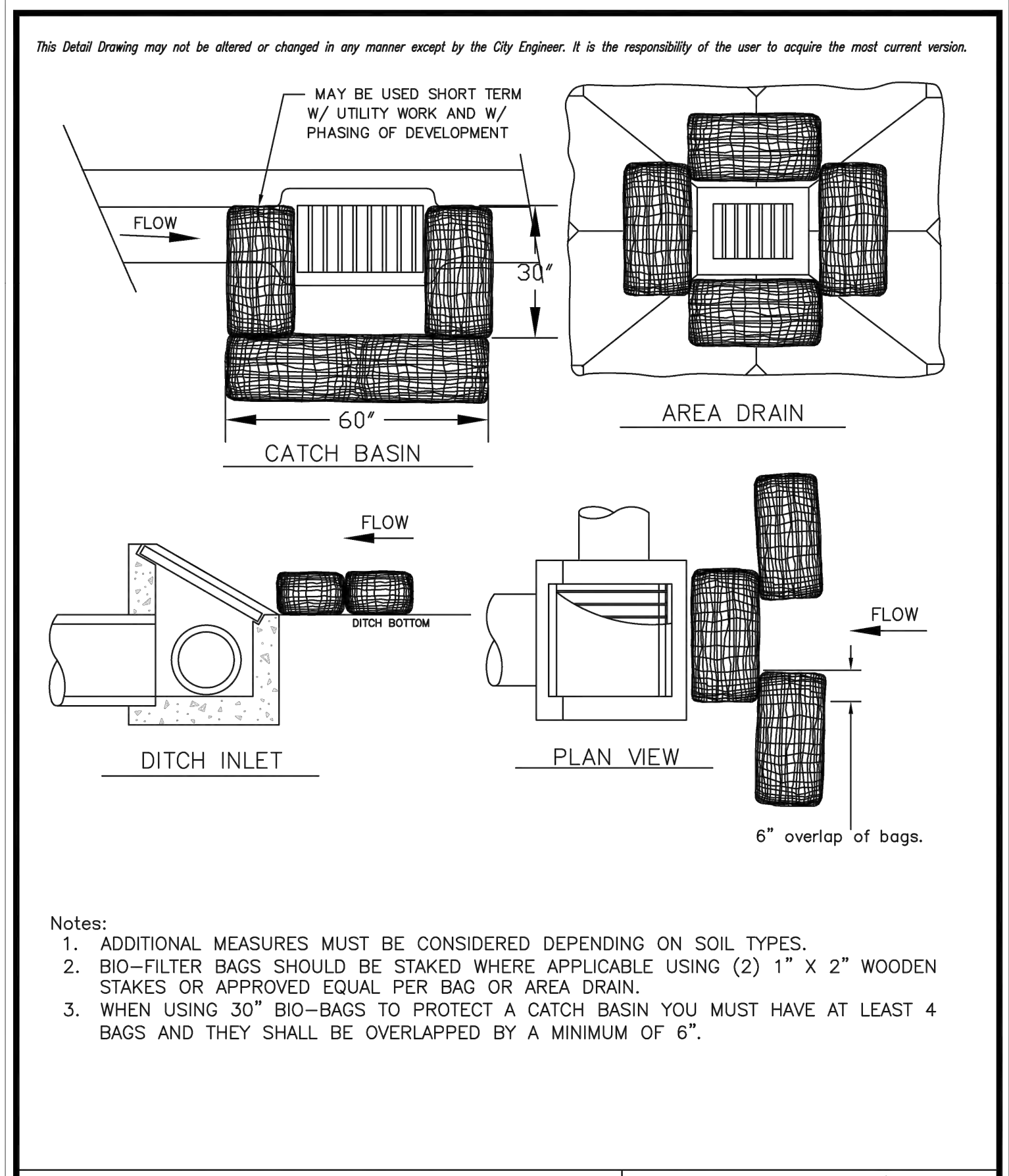
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FILE NAME: WT-3030.DWG	APPROVED BY: NK	DATE: 1/30/18	
CITY OF WILSONVILLE PUBLIC WORKS STANDARDS			



Meter Box - 3/4" & 1" Meter			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: WT-3035	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: W-3035.DWG	APPROVED BY: NK	DATE: 6/4/14	
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Meter Box Cover - 3/4" & 1" Meter			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: WT-3036	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: WT-3036.DWG	APPROVED BY: NK	DATE: 6/4/14	
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Inlet Protection Type 4			CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: S-2126	DRAWN BY: SR	SCALE: N.T.S.	
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SECTION 02 36 00 - VEGETATION CONTROL

PART 1 GENERAL

1.1 SUMMARY

- A. Section Includes:
 1. Provide soil sterilization in areas not disturbed or treated by General Contractor (parking lot and building locations). This shall include the planting areas adjacent to the buildings, along property lines, along with removal of all blackberry bushes on the site.
 2. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specifications Sections apply to this Section.
 3. Section 32 84 23 - Irrigation
 4. Section 32 91 13 - Soil Preparation
 5. Section 32 92 23 - Sod Turf and Seeded Grasses
 6. Section 32 93 00 - Plants

1.2 USE OF HERBICIDES

- A. Applications of herbicides for weed control to be in accordance with Label requirements and made only by an applicator licensed in State where project is located and approved by Landscape Architect.
- B. In general, the area to receive landscape and irrigation shall be treated and maintained free and clear of weeds until substantial completion.
- C. Areas considered to be "Wetlands", "Water Quality Planters" or "Detention/Retention Ponds" Shall in no way be treated with chemicals of any nature. Hand removal of weeds only, shall occur in these areas.
- D. Remove all blackberry bushes from the site prior to constructions.

1.3 SUBMITTALS

- A. Submittals will include to the following:
 1. Name and certification of licensed applicator.
 2. Material Safety and Data Sheet
 3. Manufacturer's written instructions for application and rates.

1.4 PROTECTION

- A. Protect site improvements, personnel, and adjacent soil areas from contamination.

1.5 WEATHER CONDITIONS

- B. Do not apply herbicides when wind velocity is greater than 10 mph or (label requirements), whichever is more stringent.

PART 2 PRODUCTS

2.1 HERBICIDES

- A. Pre-Emergent Weed Control: As recommended to prohibit weeds in newly rehabilitated plant beds.
- B. Selective herbicide: Milestone, Curtail, 2,4-D or other as approved.
- C. Arbi-co-Organics Bio-Scape Bio-Weed Pre-Emergent. Contact: 1-800-827-2847
- D. Non-selective herbicide: Roundup or other approved.

PART 3 EXECUTION

3.1 PREPARATION

- A. Protect soil within four feet of sterilized area by covering with a Waterproof Barrier.

3.2 APPLICATION

- A. Apply Bio-Scape at a rate of 20-40 pounds per 1,000 square feet of lawn, shrub and groundcover areas. Apply once after fine grading is completed and once after all plantings are installed.

END OF SECTION 02 36 00

SECTION 32 84 23 IRRIGATION SYSTEM

PART 1 GENERAL

1.1 SUMMARY

- B. Provide Irrigation System as indicated on drawings and specified herein.

1.2 RELATED SECTIONS

- 1. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specifications Sections apply to this Section.
- 2. Section 02 93 00 - Vegetation Control
- 3. Section 32 91 13 - Soil Preparation
- 4. Section 32 92 23 - Sod Turf and Seeded Grasses
- 5. Section 32 93 00 - Plant

1.3 SUBMITTALS

- A. Section 01 33 00 - Submittal Procedures: Submittal procedures.
- B. Product Data: Within 10 days after date indicated in the Notice to Proceed:
 1. Submit to the Landscape Architect one set of manufacturer's technical data, installation instructions, operating instructions, and

- maintenance procedures for Flow-Through Deduct Meter.
- 2. Submit to the Landscape Architect one set of manufacturer's technical data, installation instructions, operating instructions, and maintenance procedures for Automatic Controller.
- 3. Submit to the Landscape Architect one set of manufacturer's technical data, installation instructions, operating instructions, and maintenance procedures for Flow Sensor.
- 4. Submit to the Landscape Architect a copy of the Irrigator's license.
- C. "As Built" Drawing: At completion of system installation submit two copies of "as built" Drawings to Landscape Architect for review. Upon approval of Landscape Architect submit original reproducible "as built" Drawing to Owner.
- D. Maintenance Data: At Final Completion Review, provide written instructions covering yearly recommended maintenance and schedules of operation.
- E. Maintenance Tools: At Final Completion Review, provide 3 sets of all manufacturers' tools for accessing / adjusting valves and delivery components.

1.4 QUALITY ASSURANCE

- A. Layout:
 1. The layout of the irrigation system is diagrammatic. Follow as closely as practicable. Contractor shall provide for adequate water coverage for healthy plant growth without over spraying paved areas.
 2. Before proceeding with the installation of each section or unit of the irrigation system, check and verify the correlation between ground measurements and the drawings.
 3. No changes, alterations, omissions from or additions to the work shall be made without the approval of the Landscape Architect.
- B. Testing and Inspection: Notify the Landscape Architect 24 hours or one working day in advance of inspections or tests required for the work.
- C. Obtain and pay for any permits and/or inspections required by governing agencies and utility companies. Conform to local codes governing work described in these specifications.
- D. Maintain during construction and provide the Owner with exact "as built" drawings showing arrangement and locations of all lines, valves, heads, etc. Major underground elements shall be noted with triangular measurements from a permanent feature. These shall be prepared on reproducible velum or mylar drawing material.
- E. Contractor shall conduct a final walk through with the Owner's representative to review operating procedures, equipment technical requirements and locations of system components.
- F. Contractor shall be licensed in the State in which the project is located to install irrigation systems.

1.5 PRODUCT DELIVERY

- A. Deliver fertilizer to site in original, unopened containers, each bearing manufacturer's guaranteed analysis.

1.6 PROTECTION

- A. Protect utility lines, storm drainage lines, site improvements, and underground sprinkler system during rototilling.
- B. Protect integrity of roof assembly; repair any damage to existing roof assembly, roof drains, or related facilities at contractor's expense.

1.7 GUARANTEES

- A. Unless provided otherwise, guarantee against all defects and malfunctions due to faulty workmanship or defective material for a period of one year from the date of final acceptance by the Owner. Upon being informed by Owner of any defects or malfunctions, affect all necessary repairs and/or replace in a reasonable expedient manner at no additional cost to the Owner.
- B. Guarantee will include spring start-up and winterizing of system within the one (1) year time and development of approved water application schedule. Winter damage due to improper winterization is the responsibility of the Contractor.
- C. All repairs and servicing required under the guarantee period shall be made under the observation of the maintenance crew to help train them in the proper operation and repair of the system.
- D. Emergency repairs, when necessary, may be made by the Owner without relieving the contractor of his guarantee obligation.
- E. Repair any settling of backfilled trenches which may occur during the guarantee period.
- F. If the Contractor does not respond to the Owner's request for repair work within a period of 15 days, the Owner may proceed with such necessary repairs and charge the Contractor for all expenses incurred in the repair work.

PART 2 PRODUCTS

2.1 MATERIALS:

- A. PVC Pipe:
 1. Main Lines: 1- 1/2" Schedule 40 PVC
 2. Steeving: 4" Class 200 PVC; 6" Schedule 40 PVC
 3. Lateral Lines: Class 200 PVC
 4. Fittings:
 - a. Solvent Welded Socket Type: ASTM D 2466, PVC pipe fittings, Schedule 40
 - b. Threaded Type: ASTM D 2466, PVC pipe fittings, Schedule 80
 5. Jointing Material:
 - a. PVC Solvent Cement: NFS approved solvent for PVC through 4 inch, meeting requirements of ASTM D 2564
 - b. PVC Primer and Cleaner: Compatible with or designed for PVC pipe
 - c. Teflon Tape Sealer: 1/2-inch wide, used at all threaded joints
- B. Poly-pipe and Fittings: Thick walled polyethylene pipe specifically

- designed for connection of irrigation sprinklers to lateral lines. Fittings shall be those specifically designed for use with poly-pipe.
- C. Low voltage wire: 24-Volt solid wire, UL listed for direct burial in ground. Minimum wire size shall be 14-gauge. All wire to be Paige wire or approved substitution.
 1. Provide red and white pair for system
 2. Expansion Curls: Expansion curls shall be provided within three (3') feet of each wire connection to solenoid and at least every three hundred (300') feet in length. (Expansion curls are formed by wrapping at least five (5) turns of wire around a rod or pipe 1" or more in diameter, then withdrawing the rod.)

2.2 BACKFLOW PREVENTER

- A. Febco 850 or approved equal

2.3 AUTOMATIC CONTROLLER EQUIPMENT

- A. Manufacturer: Rainbird Irrigation, www.rainbird.com
 1. Rainbird ESP-ME3 controller
 2. Outdoor metal wall mount enclosure

2.4 VALVES

- A. Install all valves except quick couplers in the specified boxes.
- B. Gate Valve: Nibco Class 125 Bronze Gate Valve or approved equal.
- C. Quick Coupler Valves: Rainbird or approved equal. Purple thermoplastic rubber cover. Furnish hose swivels and operating keys for each size coupler to Owner.
- D. Remote Control Valves: Rainbird PESB-PRS-D or approved equal, sizes as noted on Irrigation Plans
- E. Manual Drain Valve: Rainbird 16A-FDV or approved equal

2.5 BOXES

- A. Double Check Valve: Heavy duty plastic box Ametek or approved equal, size as required, with locking cover.
- B. Gate Valves: Heavy duty round plastic box with a 6-1/2 inch diameter snap fit cover, with the words "Valve Box" in raised letters on the lid. Provide three "T" handle socket wrenches of 5/8-inch round stock with sufficient length to extend two feet above the top of the deepest valve box cover.
- C. Automatic Remote Control Valves: Heavy duty plastic box Ametek or as shown on plans, size as required, with locking cover, with the words "Control Valve" on the lid in raised letters.

2.6 SPRINKLER HEADS

- A. Rainbird models as shown on plans and as needed to provide complete and even coverage:
 1. Rainbird - 05 Series MPR
 2. Rainbird - HE-VAN 08 Series
 3. Rainbird - HE-VAN 10 Series
 4. Rainbird - HE-VAN 12 Series
 5. Rainbird - HE-VAN 15 Series
 6. Rainbird - 15 Strip Series
 7. Use Rainbird SAM-1806 bodies for irrigation heads
 - a. Use 1/2" pop ups in all plant beds.
 - b. Use 4" pop ups in all Lawn beds.

2.7 DRAINS

- A. Air hose connections of approved design shall be provided for winterizing at several locations so that the entire system can be drained by blowing it out with compressed air. The compressor shall be capable of varying pressures.

2.8 LOW VOLTAGE WIRE

- A. Wire: 24-Volt solid wire, UL listed for direct burial in ground. Minimum wire size shall be 14-gauge. All wire to be Paige wire or approved substitution.
- B. Expansion Curls: Expansion curls shall be provided within three (3') feet of each wire connection to solenoid and at least every three hundred (300') feet in length. (Expansion curls are formed by wrapping at least five (5) turns of wire around a rod or pipe 1" or more in diameter, then withdrawing the rod).

2.9 AGGREGATES

- A. Drainage rock: Washed rounded river pea gravel

2.10 ELECTRICAL POWER SUPPLY EQUIPMENT

- A. Use equipment which meets or exceeds city and state codes or standards.

PART 3 EXECUTION

3.1 GENERAL

- A. Storage: Store PVC pipe and fittings out of direct sunlight.
- B. Environmental Conditions: In freezing weather (below 45F) or in extreme heat (above 85F), no solvent welding of PVC pipe will be permitted. In rainy weather, solvent weld PVC pipe only under cover.
- C. Inspection: Do not allow any work to be covered or enclosed until it has been inspected and pressure tested.
- D. Installation of all materials and equipment shall be in strict accordance with manufacturer's written specifications and recommendations, local and state codes.

3.2 TRENCHING

- A. Install pipe in trenches straight or "snaked" slightly, allowing for

- expansion and contraction of PVC pipes. Allow sufficient width to tamp around pipe.

- B. Trench bottoms on uniform slopes, with no variations in grade. Bottoms shall be smooth and free of sharp rocks or other objects that may damage pipes.

- C. Allow minimum coverage depth as follows:

- 1. Lateral lines: 12-inches
- 2. Mainline pipe: 18-inches
- 3. All lines below pavement: 18-inches

- D. Backfill excess excavation with suitable material free of rock or other materials that may damage pipe. Thoroughly compact to give full support to the pipe.

- E. Provide bell holes in base of trench to ensure support of pipe over its entire length.

- F. Fill piping with water at approximately 25 PSI during backfilling operation.

- G. Backfill to finish grade, place backfill carefully around and over piping, removing rock or other material that may damage pipe; wet and tamp earth in layers not over 6 inches thick until thoroughly compacted and settled. Top layer to be topsoil quality and depth as specified in Section 32 91 13.

- H. Remove all excess excavated material from project site. Dispose legally.

3.3 SLEEVING

- A. Install under all pavement for passage of control wiring and piping; minimum of 18-inches deep. Solvent weld joints, make watertight. Schedule 40 PVC size indicated on Drawing.

3.4 PIPE

- A. Lay PVC pipe in accordance with standard and acceptable practice.
- B. Slope main line and lateral pipes at 1/2% minimum to drain.
- C. PVC pipe joints, solvent welded except as indicated. Cut pipe square, debur, wipe from surface all saw chips, dust, dirt, moisture and any foreign matter which may contaminate the cemented joint. Apply cleaner/primer and solvent cement; make joints in accordance with manufacturer's recommendations. Use Teflon thread sealant (tape or liquid) at all treaded joints.
- D. G.I. Piping: Clean out threads of standard lengths, not more than two threads showing at joints. Make joints up with pipe compound applied to male threads only.

3.5 AUTOMATIC CONTROLLER

- A. Unless otherwise specified, the installation of the automatic controller shall include the furnishing and installing of concrete, sleeves, brackets, electrical work, controllers, and all other work in accordance with the plans, specifications, and construction details.
- B. Automatic controller shall be set plumb and level at the location indicated on the plans or as directed by Owner's Representative.
- C. Automatic controllers shall be the type and size indicated on the plans.

3.6 CONTROLLER WIRE

- A. Lay in trenches under supply or branch lines when practical, for maximum protection, minimum depth 18 inches. Place in conduit where required.
- B. Controller Wire:
 1. Single wires (red) to each solenoid from control and a common neutral wire (white) to all solenoids from the control. Wire sizes shall meet minimum requirements of manufacturer of automatic control valves installed.
 - a. Make all splices moisture proof using specified electrical connectors. Bundle wires together and wrap with electrical tape at 5 foot intervals. Provide expansion curls at least every 100 feet of wire on runs more than 100 feet in length. Provide 18 inches of slack at connection to control valves.

3.7 VALVES

- A. Install valves complete with valve boxes as indicated on Drawings and Details.
- B. Provide threaded union and gate valve at each automatic control valve.

3.8 SPRINKLER HEADS

- A. Install complete sprinkler heads as indicated on Drawings and Details.
- B. All sprinklers shall be installed on an adjustable riser assembly (double swing joint) assembled by the use of at least three (3) street ells as indicated on the construction detail.
- C. Install sprinkler heads of types, sizes, and coverage called for in the irrigation legend, at the locations shown and as indicated on drawings. It shall be the responsibility of the Landscape Contractor to ensure complete irrigation coverage.
- D. All sprinkler heads shall be set perpendicular to the finished grade unless otherwise indicated on the plans or construction details.

3.9 FLUSHING AND TESTING

- A. All mainlines shall be thoroughly flushed prior to backfilling and the installation of control valves.
- B. After flushing, all mainline outlets shall be capped or plugged tight and mainline shall be tested under maximum operating pressure for not less than 1hour.
- C. Testing to be accomplished at the expense of the Contractor, and in the presence of the Owner.
- D. Upon approval by Owner of pressure test, mainline may be backfilled.
- E. After control valves are installed, lateral lines shall be flushed one at a time for a sufficient period of time to ensure thorough cleaning.
- F. After lateral lines are flushed, sprinkler heads may be installed and tested for operation.

- G. Upon completion of the system, contractor shall contact the BES Submeter Coordinator at 503-823-7856 to schedule inspection and approval of the Flow-through Deduct Meter.

- H. Upon completion and approval of the system the contractor will provide a walk through demonstration to the Owner's representative and/or Landscape Architect of the completed irrigation system. During the walk through the Contractor will point out how to operate the system, where everything is located and provide other needed information.

- I. Provide a manual of equipment installed in this job, listing make and model of each piece.

3.10 CLEAN-UP

- A. Keep premises reasonably clean and tidy at all times. Remove all debris, equipment and surplus materials on completion of work and leave the premises in an orderly and neat fashion.

3.11 PROTECTION

- A. Contractor shall be responsible for work until finally inspected, tested and accepted. After delivery, and before and after installation, protect work against theft, injury or damage. Protect open ends of work with temporary covers or plugs during construction, to prevent entry of obstruction material.

END OF SECTION 12 84 23

SECTION 32 91 13 - SOIL PREPARATION

PART 1 GENERAL

1.1 SUMMARY

- A. Section Includes:
 1. Soil preparation and amendments as indicated on drawings and specifications.
- B. Related Sections:
 1. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specifications Sections apply to this Section.
 2. Section 02 93 00 - Vegetation Control
 3. Section 32 84 23 - Irrigation
 4. Section 32 92 23 - Sod Turf and Seeded Grasses
 5. Section 32 93 00 - Plants

1.2 SUBMITTALS

- A. Quantity certifications of compost blend and bark mulch delivered to site.
- B. Samples of each soil, compost and bark mulch to the Landscape Architect for approval prior to delivery to site. Sample size shall be one, 1-gallon size Ziploc bag, filled, closed and labeled with sample type and source information; submit separate bags of each soil, compost and bark mulch.
- C. Copy of State Landscape Contractors license to Contracting Officer prior to commencement of work.

1.3 DEFINITIONS

- A. Weeds: Any plant life not specified or scheduled, including, but not limited to: Barnyard Grass, Bull Thistle, Mustard, Yellow Foxtail, Blackberries and any other weed listed as noxious by the State of Washington or the Clark County Weed Control District. Includes seeds and roots.

1.4 QUALITY ASSURANCE

- A. Contractor's Qualifications
 1. Valid Oregon Landscape Contractor's license.
 2. Valid Oregon Landscape Business license.
 3. Herbicide applicators must have valid State of Oregon Herbicide Applicator's license.

1.5 DELIVERY, STORAGE AND HANDLING

- A. Deliver packaged materials to site in original unopened containers showing weight, certification analysis, name and address of manufacturer, and indication of conformance with state and federal laws, as applicable.
- B. Bulk Materials:
 1. Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or plants. Keep bulk materials in dry storage, away from contaminants.
 2. Provide erosion control measures to prevent erosion or displacement of bulk materials, discharge of soil-bearing water runoff, and airborne dust reaching adjacent properties, water conveyance systems, or walkways.

1.6 PROTECTION

- A. Protect utility lines, storm drainage lines, site improvements, and underground sprinkler system during rototilling.
- B. Contact local utility companies for verification of the location of all underground utilities within the project area prior to starting excavation. Protect utilities and maintain in continuous operation or operational condition during work. Repair all damage to known utilities or related facilities in an approved manner and at Contractor's expense.

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CONSULTANT



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MCGUIR DESIGNS & ARCHITECTURE
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SPECIFICATIONS

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SECTION 32 91 13 - SOIL PREPARATION CONTINUED

- C. Application of herbicides for weed control is to be in accordance with label requirements and made only by an applicator licensed in Oregon and approved by the BPA.
 1. Protect site improvements, personnel, and adjacent soils and plants from contamination.
 2. See Appendix 1 - Environmental Standards & Procedures - Vegetation Management, List of Approved Herbicides
 3. See Appendix 2 - Herbicide Treatment Definitions - Buffer Widths
 4. Submit documentation regarding any and all herbicide treatments; including date(s) of application, product(s) used, application methods and rates, to Contracting Officer's Technical Representative (COTR).

1.7 WEATHER CONDITIONS

- D. A. Do not apply herbicides when wind velocity is greater than 10 mph or (label requirements), whichever is more stringent.

PART 2 PRODUCTS

2.1 SOIL MATERIALS

- A. Local Sandy Loam: Native, local, sandy loam soil, free from noxious weeds, to be sourced locally.
- B. Compost Mulch: Suitable compost mulch free from noxious weed, seed and all foreign material harmful to plant life. Compost is to be sourced locally.
- B. Bark Mulch: Mulch shall be shredded Fir or Hemlock bark, maximum size to pass ¾" mesh screen, free from noxious weed, seed and all foreign material harmful to plant life. Bark Mulch to be sourced locally and approved by Owner's Representative.

2.2 HERBICIDES

- A. Pre-Emergent Weed Control: As recommended to prohibit weeds in newly rehabilitated plant beds.
- B. Selective herbicide: Milestone, Curtail, 2,4-D or other as approved.
- C. Non-selective herbicide: Roundup or other approved.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Prior to installation of Work of this Section, carefully inspect the work of others and verify that all such work is complete to the point where this installation may properly commence.
- B. Verify that materials and surfaces to receive work specified herein are accurately sized, shaped and located; sound, secure, true, complete, and otherwise properly prepared.
- C. Verify sub-grades produce positive drainage and allow for placement of Soil Material, Amendments, and Mulch to specified depths.
- D. Do not install Work of this Section until all unsatisfactory conditions have been corrected. Beginning Work of this Section signifies acceptance of existing conditions.
- E. Protect soils and plant materials within four feet of area to receive herbicide treatment from unintentional overspray by covering with a waterproof barrier

3.2 TOLERANCES

- A. Perform earthwork true to lines and grades, and to prevent ponding of water, with maximum variation in elevations of +/- 1/2 inch at sub-grades and 1/4 inch at finish grades.
- B. Compacted thickness of materials within 1/4 inch of specified thickness.

3.3 SUB-GRADE PREPARATION AND SOIL MATERIALS PLACEMENT

- A. Soil placement shall occur in all areas shown on plans. See plans for additional information.
- B. Prepare subsoil to eliminate uneven areas or low spots. Protect the roots of existing trees to remain. Make changes in grade gradual. Blend slopes to meet curbs as shown in detail.
- C. At all areas designated for Soil Materials Placement: Verify that all debris, sticks, roots, clods, stones, gravel, rock, all soils contaminated by petroleum products, and all materials larger than 2" have been removed.
- D. Place soil materials during dry weather and on dry unfrozen sub-grade. Suspend Soil Material placement if sub-grade or Soil Material becomes saturated.
- E. Phase soil materials placement so that equipment does not travel over Soil Materials already installed.
- F. Place soil materials in a relatively dry state, to depths specified and at locations shown on drawings.
 1. Remove stones, roots, grass, weeds, debris, and foreign material while placing soil materials.
 2. Manually spread soil materials around existing trees, paving and other structures to prevent damage.
 3. Establish levels, profiles, slopes, contours, and uniform gradients between given grade points as shown on drawings.
 4. Eliminate uneven or low spots at lawns and plant beds.

- 5. fine grade soil material within specified tolerances.

3.4 PREPARATION OF PLANTING BEDS

- A. Spray to kill all existing lawn.
- B. Remove all ground cover, shrubs, small trees and other plant materials as shown on plans
- C. Remove or spray as required to eradicate noxious weed growth and roots.
- D. Remove stones, mortar, concrete, asphalt, rubbish, debris, and any materials larger than 2" harmful to plant life from planting areas.
- E. Till Soil in all Planting areas to a depth of 12 inches.
- F. Place four (4) inches of topsoil in plant bed areas.
- G. Spread compost mulch at a minimum depth of two (2) inches in all planting beds. Till into topsoil to a minimum depth of 12 inches.
- H. Spread local Sandy Loam soil as needed to achieve/ maintain grades.
- I. Compact soil and float landscape areas to perimeter elevations providing for proper drainage. Slope planting areas with 6-inch crown or 2% minimum slope. Grade of planting area soils should be 3" below the top of curbs, walks or walls.
- J. Soil preparation may be diminished or modified in areas where excavation and cultivation would adversely impact existing underground utilities.
- K. See section 32 90 00 - Plants

3.5 PREPARATION OF SEEDED AREAS

- A. Remove all ground cover, shrubs, small trees and other plant materials as shown on plans. Removal within root protection zones shall be done by hand.
- B. Remove or spray as required to eradicate noxious weed growth and roots.
- C. Remove stones, mortar, concrete, asphalt, rubbish, debris, and any materials larger than 2" harmful to plant life from planting areas.
- D. Spread two (2) inches compost over entire area to receive seed. Compost must be incorporated immediately into plant beds, no stock piling is permitted.
- E. Thoroughly rototill into the top six (6) inches of Soil.
- F. Compact and float landscape areas to perimeter elevations providing for proper drainage. Slope planting areas with 6-inch crown or 2% minimum slope. Grade of seeded area soils should be 1" below the top of curbs, walks, or walls.
- G. Soil preparation may be diminished or modified in areas where excavation and cultivation would adversely impact existing underground utilities.
- H. See Section 32 92 23 - Seeded Grasses

END OF SECTION 32 91 13

SECTION 32 92 23 - SOD TURF AND SEEDED GRASSES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes Materials, equipment and services necessary for seeding.
- B. Related Sections:
 1. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specifications Sections apply to this Section.
 2. Section 02 93 00 - Vegetation Control
 3. Section 32 84 23 - Irrigation
 4. Section 32 91 13 - Soil Preparation
 5. Section 32 93 00 - Plant

1.2 DEFINITIONS

- A. Weeds: Any plant life not specified or scheduled, including, but not limited to: Baby's Breath, Russian Thistle, Tumble Mustard, White Campion any other weed listed as noxious by the State Oregon. Includes seeds and roots.

1.3 PROTECTION

- A. Contact local utility companies for verification of the location of all underground utilities within the project area prior to starting excavation. Protect utilities and maintain in continuous operation or in operational condition during work. Repair all damage to known utilities or related facilities in an approved manner and at Contractor's expense.
- B. During construction and until final acceptance, protect all drainage inlets and underground drain lines from infiltration of or clogging by soils and mulch.
- C. Use all means necessary to protect materials of this Section before, during and after installation, and to protect installed work and materials of all other trades. In the event of damage, immediately

- make all repairs and replacements as directed by Owner's Representative.

1.4 SUBMITTALS

- A. Product Data: Submit manufacturer's printed data covering products and a comprehensive list of suppliers, products and plant materials to Landscape Architect.
- B. Submit Certification letter from the seed supplier(s) stating that the seed mixes have been procured or contracted for delivery. The certification(s) shall state quantity, purity, and description of all proposed seed.
- C. Maintenance Data: At Completion Review, provide written instructions covering yearly recommended maintenance and care of all plantings including, but not limited to, fertilization, pest and disease control, and weed control.

1.5 COORDINATION

- A. Coordinate with other trades affecting and affected by work of this Section.
- B. Pre-Installation Conference: Attend conference to coordinate Work of this Section and other related Sections.

1.6 DELIVERY, STORAGE, AND HANDLING

- A. Protect and maintain plant life.
- B. Deliver products in original unopened packaging with legible manufacturer's identification.
- C. Seed containers shall show manufacturer's guaranteed analysis of seed mixture, percentage of purity, year of production, date and location of packaging, name and trademark, and conformance with governing regulations and laws.

1.7 ENVIRONMENTAL CONDITIONS

- A. Do not install seed when ambient temperatures are below 32 degrees F or above 90 degrees F.
- B. Do not install seed when wind velocity exceeds 20 mph.
- C. Do not install seed when soil becomes saturated.
- D. Install seed during periods that are normal for such work as determined by the following:
 1. Biological season
 2. Specified environmental conditions
 3. Accepted practice
 4. After all major construction work has been completed
- E. Planting Seasons:
 1. Seeding: Permitted between September 15 and March 15, unless otherwise approved.

1.8 PROTECTION

- A. Application of herbicides for weed control is to be in accordance with label requirements and made only by an applicator licensed in Oregon.
 1. See Appendix 1 - Environmental Standards & Procedures - Vegetation Management, List of Approved Herbicides.
 2. See Appendix 2 - Herbicide Treatment Definitions - Buffer Widths

1.9 RECORD DOCUMENTS

- A. See Section 01 78 00 - Closeout Submittals.
- B. Produce, keep current, and submit legible record documents on a clean set of plans and details supplied by the Owner's Representative. Use white-out and red ink to legibly re-draft actual locations of installed work.

1.10 WARRANTY

- A. See Section 01 78 00 - Closeout Submittals, for additional warranty requirements.
- B. Provide warranty for one year following Final Completion or one full growing season following Final Completion, whichever is later.
- C. Inspections: Visit and inspect work at least once a month during warranty period. Notify Owner's Representative in writing of any observed conditions requiring attention. Failure to provide such notification renders any deficiencies the Contractor's responsibility to rectify.
- D. At end of warranty period, as directed by Owner's Representative and at no additional cost to Owner:
 1. Replace work not surviving, in poor condition or not exhibiting satisfactory growth.
 2. Lawns must be healthy, dense, solid-color, well-sodded, uniform, and reasonably weed-free, as judged by the Owner's Representative.
 3. Provide noxious weed eradication from imported Loam, if required and as specified herein.

- 4. Follow these Specifications.

- 5. Complete this work within 30 days of warranty review.

- E. Contractor is not responsible for lawn loss or damage to work of this Section during warranty period that is caused by unusually extreme weather, vandalism, or Owner's lack of maintenance.

PART 2 PRODUCTS

- 2.1 SOIL AMENDMENT MATERIALS: See Section 32 91 13 - Soil Preparation for products.

- 2.1 HERBICIDE: See Section 32 91 13 - Soil Preparation for products.

2.2 SOD LAWN

- A. General: Provided by a JB Instant Lawn & Nursery, (800) 527-1439. Equal suppliers shall be approved by Landscape Architect.

PART 3 EXECUTION

3.1 EXAMINATION

- A. Prior to installation of work of this Section, carefully inspect the work of others and verify that all such work is complete to the point where this installation may properly commence.
- B. Verify materials and surfaces to receive work specified herein are accurately sized, shaped and located; sound, secure, true, complete, and otherwise properly prepared.
- C. Verify that Soil Materials has been placed to specified depths.
- D. Verify that grades produce positive drainage.
- E. Do not install work of this Section until all unsatisfactory conditions have been corrected. Beginning work of this Section signifies acceptance of existing conditions.
- 3.4 SEED LAWN GUARANTEE
 - D. For Final Completion, Seeded Lawn must have been established for a minimum 6 week period and be in satisfactory condition at time of Final Completion. If a satisfactory stand of grass has not been produced, immediately renovate unsatisfactory portions of sod lawn.
 - E. If Seeded Lawn is not deemed Complete by Landscape Architect at Final Completion Review, a complete reinstallation of the lawn area will be required.
 - F. A satisfactory stand is defined as follows:
 - G. No bare spots larger than 1 ½ inch square.

3.5 CLEANING

- H. Remove all excess materials from site. Protect drain inlets and underground piping as necessary and clean all improvements soiled by work of this Section.

3.6 COMPLETION REVIEW

- I. Notify Landscape Architect for Completion Review when Work of this Section is complete.

END OF SECTION 32 92 23

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WILSONVILLE
29702 SW TOWN CENTER LOOP, W.C.
WILSONVILLE, OREGON 97070

DESCRIPTION DATE
REVISIONS



CONSULTANT



1812043 PROJECT NO.

MCGUIRL DESIGNS & ARCHITECTURE
www.mcguirldesigns.com
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08.26.2019 DATE

SPECIFICATIONS

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SECTION 32 93 00 - PLANTS

PART 1 GENERAL

1.1 SUMMARY

- A. Requirements for Nursery Stock
- B. Inspections and supervision.

1.2 RELATED SECTIONS

- 1. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specifications Sections apply to this Section.
- 2. Section 02 93 00 - Vegetation Control
- 3. Section 32 84 23 - Irrigation
- 4. Section 32 91 13 - Soil Preparation
- 5. Section 32 92 23 - Sod Turf and Seeded Grasses

1.3 QUALITY ASSURANCE

- A. Field Superintendent: Provide one person who shall:
 - 1. Be present at all times during execution of work in this Section.
 - 2. Be familiar with the materials and best methods for installation.
 - 3. Direct work performed under this Section.
- B. Government Inspection: plants and planting materials to meet or exceed the specifications of federal, state and county laws requiring inspection for plant disease and control.
- C. Industry Standards:
 - 1. Quality definitions, grading tolerances, and caliper to height ratios to be no less than minimums specified in the current edition of the American Standards for Nursery Stock, published by American Association of Nurserymen, Inc., ANSI Z60.1-1973.
 - 2. Plants shall be installed and maintained in accordance with the current edition of ANSI A300.6 - Tree Care Operations Standard Practices for Tree, Shrub and Other Woody Plant Maintenance.
- D. Landscape Contractors License: Contractor to be licensed in the state where the project is located.

1.4 SUBMITTALS

- A. Plant Material Procurement List: Contractor shall submit the list of plant names, sizes, quantities of materials purchased/procured for project to Landscape Architect for review prior to requesting inspection of plant material delivered to site.

1.5 PRODUCT DELIVERIES, STORAGE AND HANDLING

- A. Delivery: Notify Landscape Architect of delivery schedule so plant materials may be inspected upon job site delivery. Remove unacceptable products immediately from job site.
- B. Storage and Handling: Protect products against damage or dehydration. Cover plant roots and root balls with soil or other accepted material upon job site delivery, if not to be planted within four hours. Store Plant Materials in shade and protect against harmful weather until planted. Maintain Plant Materials not to be planted within four hours.

1.6 PROTECTION

- A. Protect Existing Site Improvements: Verify location of underground facilities prior to doing work. Protect active service lines whether indicated or not. Repair and make good any damage to service lines or improvements caused by planting operations.

1.7 WARRANTY

- A. Plant materials must be in healthy condition at the end of one (1) growing season.
- B. Replace unhealthy plants as directed by the Landscape Architect.
- C. Warranty begins at date of certificate of substantial completion.

1.8 REVIEWS

- A. Request the following required reviews by Landscape Architect two (2) days in advance.
- B. Review schedule:
 - 1. Plant Materials
 - 2. Completion

PART 2 PRODUCTS

2.1 GENERAL PLANT REQUIREMENTS

- A. Provide healthy nursery stock, well branched and rooted, full foliage when in leaf, free of disease, injury, insects, weeds and weed roots. Do not use cold storage plants. All plants to be checked for quality according to both size specifications and general health of

plants before they are taken off of delivery trucks for every delivery.

B. Root Protection:

- 1. Large plants (B & B) balled and burlapped with natural ball of size to ensure healthy growth.
- 2. Small plants container grown furnished in removable containers or integral peat pots well rooted to ensure healthy growth.
 - a. Grow container plants in containers from six months to two years prior to delivery, with roots filling container but not root bound.
- C. Plant Names: Plants to be true to name and one of each bundle or lot to be tagged with common and botanical name and size of plants in accordance with standards of practice of the American Association of Nurserymen and to conform to Standardized Plant Names. 1942 edition, published by J. Horace McFarland Company.
 - 1. Botanical names shall take precedence over common names.

2.2 PLANT MATERIALS

- A. Listed on Drawings

2.3 PLANTING SOIL MATERIALS

- A. Top Soil: Topsoil to be supplied locally and approved by Landscape Architect. Topsoil shall be clean, fertile, friable, natural loam, free of debris, roots, stones, weeds, and grass. Noxious weed seed content not to exceed .01% of total blend.
- B. Compost Mulch: Fine Compo-Stuff by McFarlane's Bark, Inc. phone (503) 659-4240 or approved equal.
- C. Organic Planting Tablets: "Agriform" 10 and 21 gram tablets, 20-10-5 as manufactured by Agriform International Chemicals, Inc., Newark, California or approved equal.
- D. Lime: Dolomite lime, calcium magnesium carbonate.
- E. Bark Mulch: Free from noxious weed, seed and all foreign material harmful to plant life. Mulch shall be shredded Fir or Hemlock bark, maximum size to pass 3/4" mesh screen. Compo Stuff as listed above is approved for Bark Mulch locations.
- F. Stakes and Guys: Provide stakes and dead men of sound new hardwood, treated softwood, or redwood, free of knotholes and other defects. Provide miscellaneous Hardware, Wire and accessories as shown on details.

PART 3 EXECUTION

3.1 EXCAVATION

- A. Excavate pit with sloping sides, to two times diameter of root ball or root system and not less than 6 inches deeper for shrubs and twelve inches deeper for trees.

3.2 PLANTING TREES AND SHRUBS

- A. Install tree anchor into planter bases. Provide adequate slack on cables to allow for tree planting.
- B. Compact prepared soil mix and float landscape areas to perimeter elevations indicated on Drawings. Slope planting areas with 6-inch crown or 2% minimum slope.
- C. Root ball Base: Place 6 inch minimum lightly compacted layer of prepared planting soil under root system. Remove the pots of container grown plants and loosen the roots prior to planting.
- C. Plant upright and face to give best appearance or relationship to adjacent plants and structures.
- D. If plant is balled and burlapped, cut twine and burlap away from the top of the root ball and pull burlap away from sides of the root ball. The burlap may be removed or placed in the bottom of the plant pit so that no more than the bottom 1/4 of the root ball is covered.
- E. Cut off cleanly all broken or frayed roots.
- F. Place and compact prepared planting soil carefully to avoid injury to roots, fill all voids and air pockets.
- G. When planting hole is three-fourths filled, place planting tablets evenly spaced around each plant in the following quantities per Plant:
 - 1. Gallon container shrubs up to 12 inch spread: two 10 gram tablets.
 - 2. Shrubs 12 inch to 36 inch spread: four 10 gram tablets.
 - 3. Shrubs 36 inches and larger spread: three 21 gram tablets.
- H. Adjust tumbuckles on tree anchors, providing adequate stability without damaging root system of tree.
- I. When hole is 4 inches deep, fill with water and let stand until water is absorbed by Soil.
 - 1. Fill to finish grade and provide 2 inch depressed water basin at each Shrub and Tree. Initial watering-in of trees and shrubs by underground sprinkler system is not permitted.
- J. Stake and guy trees except those with tree anchors immediately after planting.

3.3 FIELD PRUNING

- A. Prune trees and shrubs to remove damaged branches, improve

natural shape and thin not more than 15% of branches.

3.4 BARK MULCHING

- A. Apply 2 inch layer of Bark Mulch over all planting beds within two days after planting.
- B. Reinstall Plants not located as indicated on Drawings.
- C. Reshape finish grade and remove excess materials from the site as directed by Landscape Architect.

3.5 CLEAN-UP

- A. Keep premises reasonably clean and tidy at all time. Remove all debris, equipment and surplus materials on completion of work and leave the premises in an orderly and neat fashion.

END OF SECTION 32 90 00

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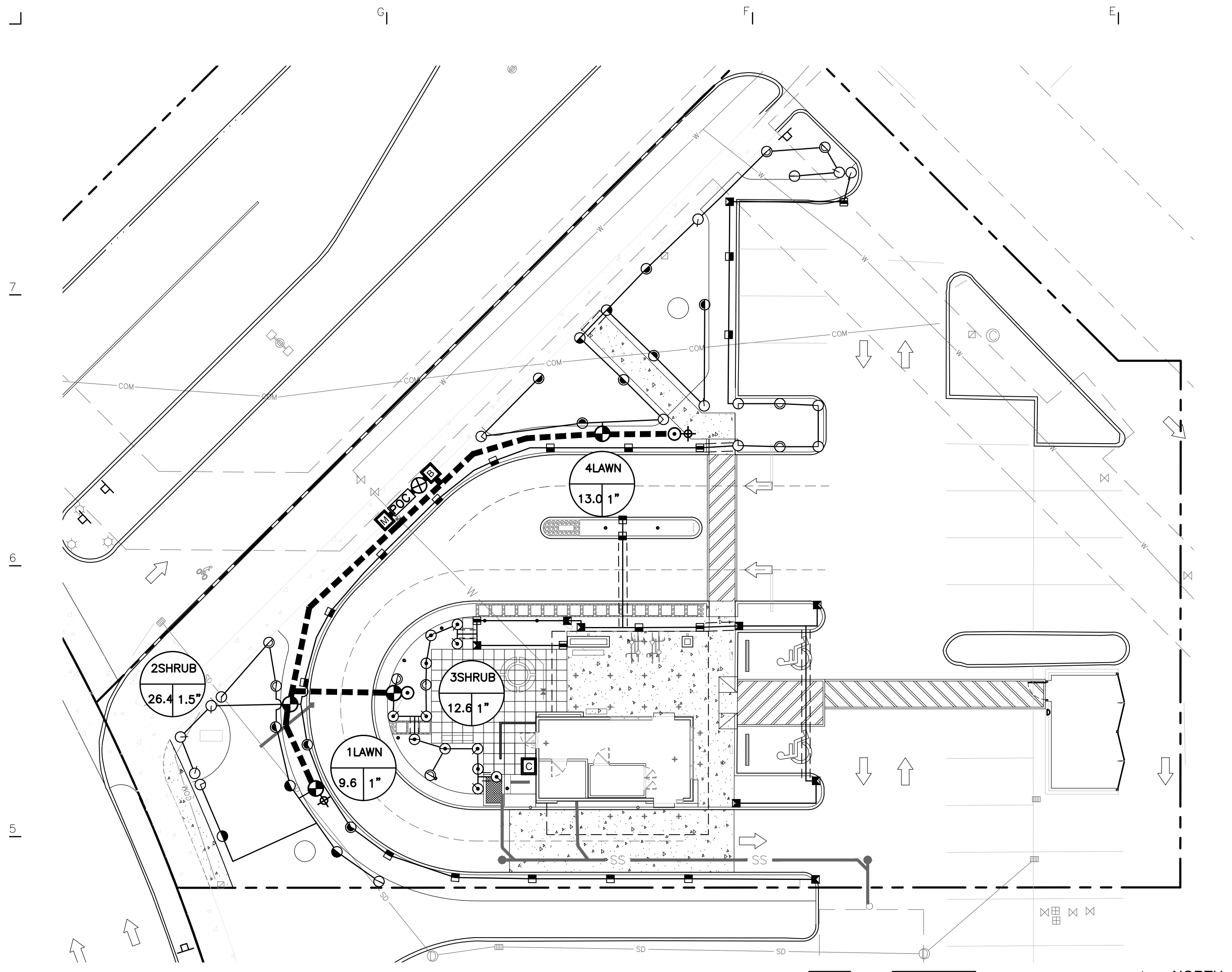
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08.26.2019 DATE

SPECIFICATIONS

L0.3

WILSONVILLE
29702 SW TOWN CENTER LOOP, W.C.
WILSONVILLE, OREGON 97170



SPRAY HEAD LEGEND

ALL NOZZLES TO BE INSERTED ONTO RAINBIRD SAM-1806 BODIES

90	RAINBIRD 05 SERIES MPR	30 PSI
180		
90	RAINBIRD HE-VAN 08 SERIES	30 PSI
180		
90	RAINBIRD HE-VAN 10 SERIES	30 PSI
120		
180		
90	RAINBIRD HE-VAN 12 SERIES	30 PSI
180		
240		
90	RAINBIRD HE-VAN 15 SERIES	30 PSI
180		
360		
■	CST RAINBIRD 15 STRIP SERIES	30 PSI
■	EST	
■	LCS	
■	SST	

IRRIGATION LEGEND

■	RAINBIRD ESP-ME3 CONTROLLER
■	WATER METER BY CIVIL
□	POINT OF CONNECTION
■	1-1/2" DOUBLE CHECK VALVE ASSEMBLY
○	QUICK COUPLER VALVE
⊕	DRAIN VALVE
⊕	GATE VALVE - LINE SIZE
⊕	REMOTE CONTROL VALVE - SEE PLAN FOR SIZING
---	SCHEDULE 40 PVC SLEEVE - SEE DETAIL FOR SIZING
---	1-1/2" SCHEDULE 40 MAIN LINE
---	CLASS 200 PVC LATERAL LINE - SIZE PER SIZING CHART
1L	STATION NUMBER
36 1.5"	VALVE SIZE
GPM	GPM

CLASS 200

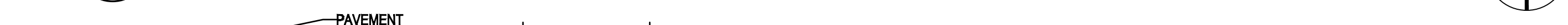
GPM	SYMBOL	SIZE
0-10	---	3/4"
10-17	---	1"
17-36	---	1 1/2"
36-56	---	2"
56-83	---	2 1/2"

ZONE SUMMARY

ZONE NUMBER	GPM	VALVE SIZE
1 Lawn	9.6	1"
2 Shrub	26.44	1.5"
3 Shrub	12.6	1"
4 Lawn	13.03	1"

1 IRRIGATION PLAN

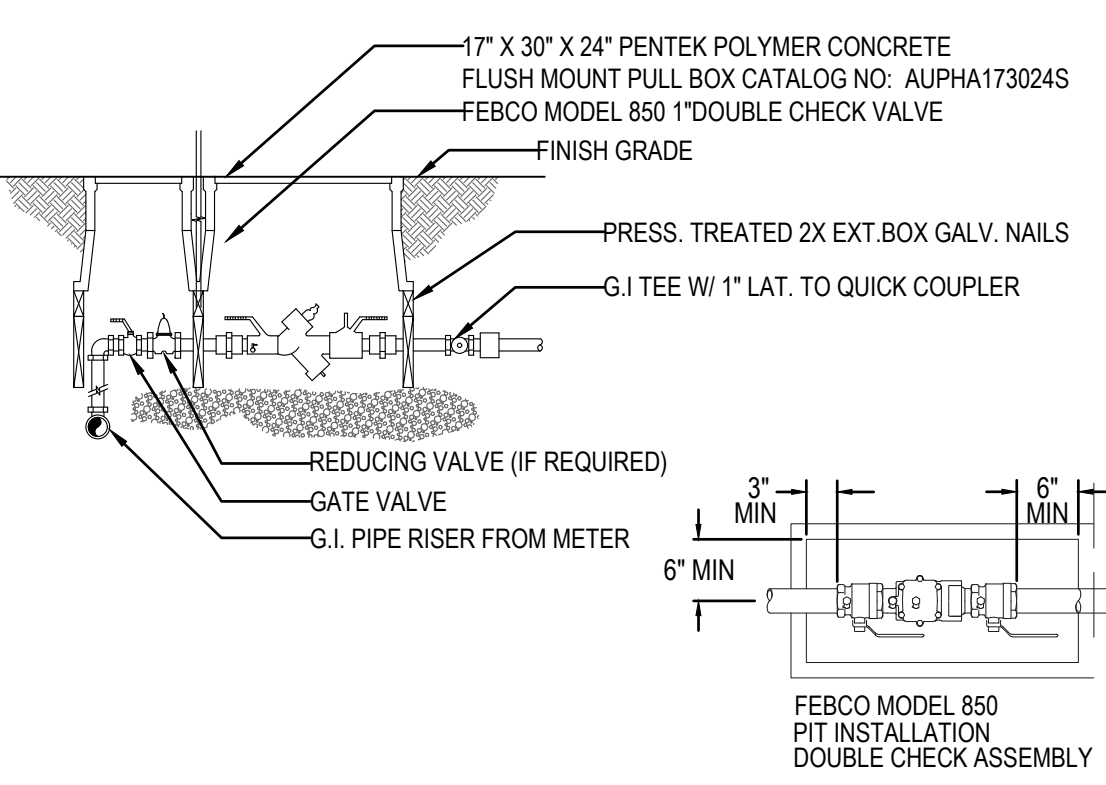
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- SEE PLANS FOR SLEEVE LOCATIONS.
- ALL SLEEVES SHALL EXTEND 5' BEYOND ANY FLATWORK
- CAP ENDS OF SLEEVES PRIOR TO BACKFILLING
- MARK EACH SLEEVE END WITH A METAL T-POST
- INSTALL A 1/4" NYLON FULL CORD EXTENDING
- INSTALL 1" PVC SLEEVE FOR MAINLINE AND OR CURBS SHOWN ON PLANS, 10' BEYOND MEDIAN CURBS
- IF THREE SLEEVES ARE NOTED ON PLANS, ADD (1)-2" PVC SLEEVE FOR LATERAL PIPE SLEEVING ON PLANS IS SHOWN IN DIAGRAMMATIC SLEEVES ARE SIDE BY SIDE IN SAME TRENCH AND MAY DIFFER IN ACTUAL FIELD CONDITIONS, ENTIRE LENGTH OF SLEEVE EXTENDING 2' ABOVE FINISHED GRADE & PAINTED ORANGE
- IF SLEEVES INSTALLED BY BORING, THE MAIN SLEEVE SHALL BE LARGE ENOUGH TO CONTAIN TWO SMALLER
- PERMANENTLY MARK CURB OR PAVEMENT BY SAW CUTTING OR SCORING AN "X" IN THE CONCRETE AT THE LOCATION OF THE SLEEVE.

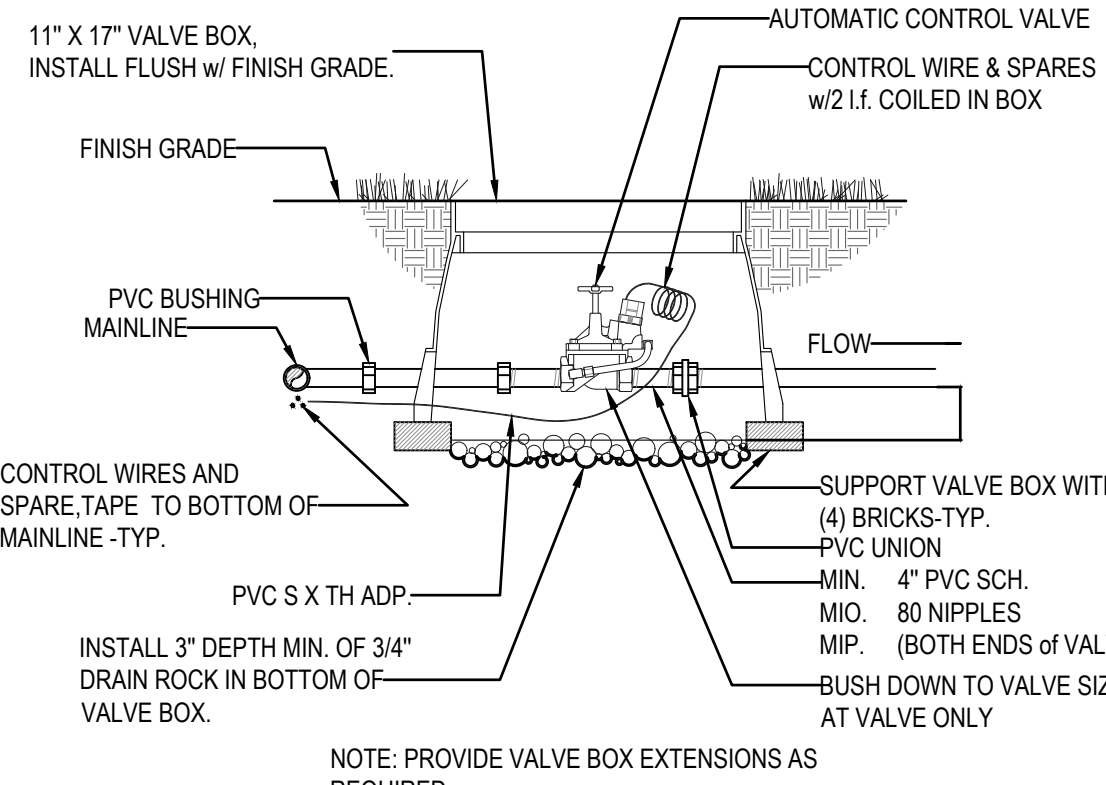
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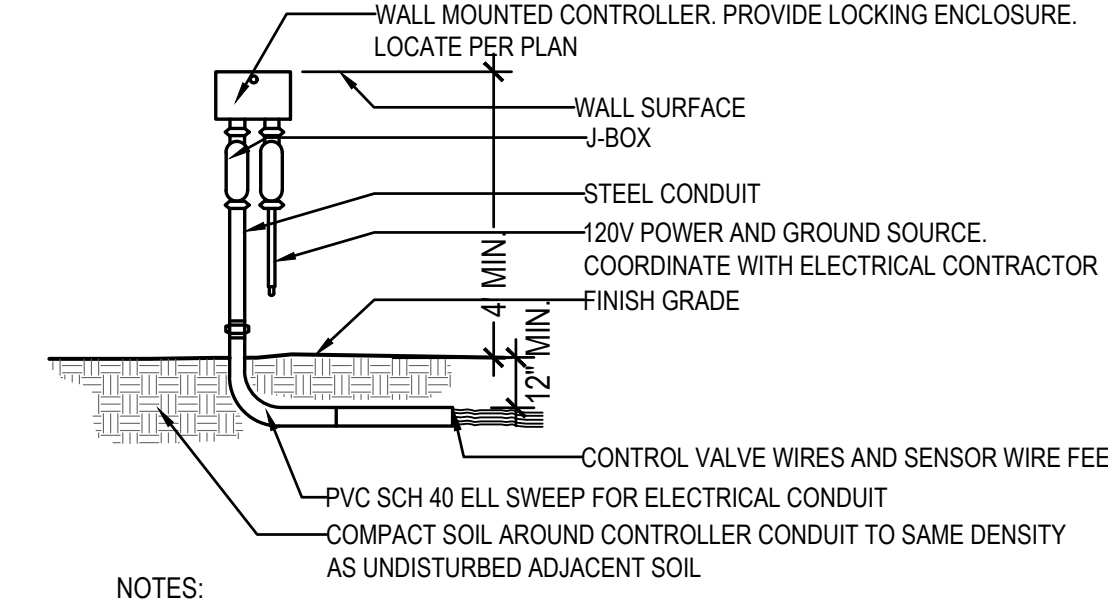
2 DOUBLE CHECK VALVE

SCALE: NTS



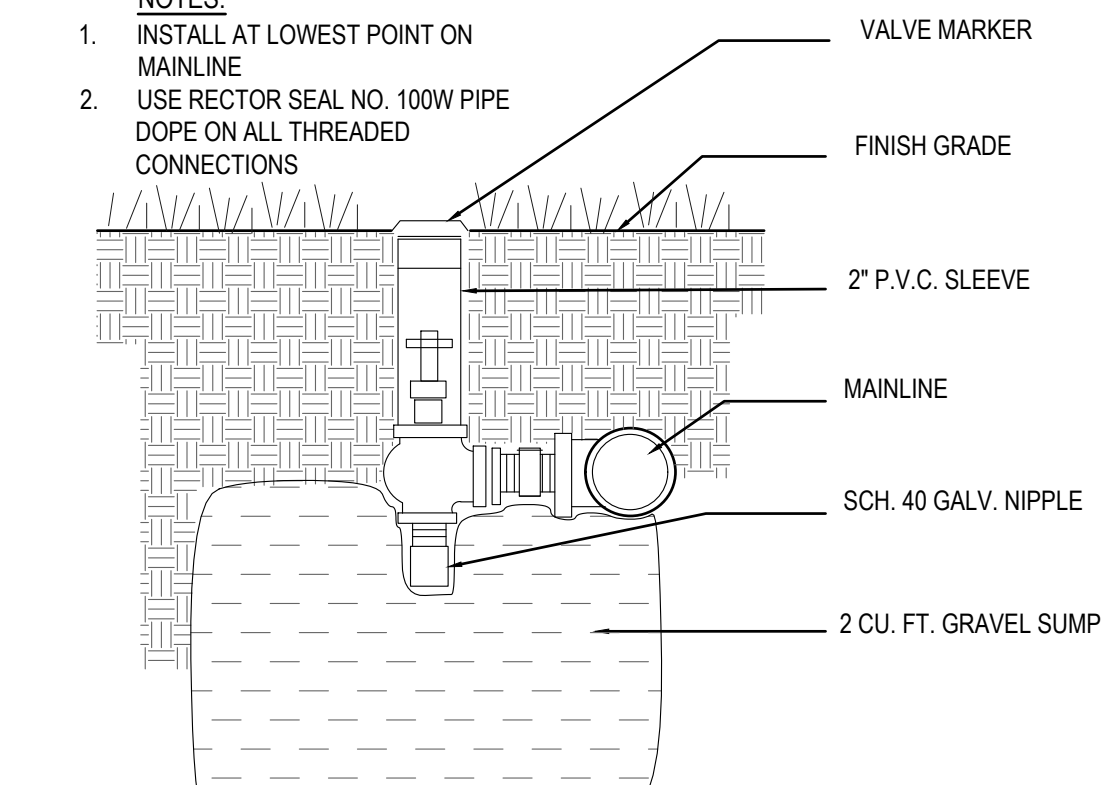
3 REMOTE CONTROL VALVE

SCALE: NTS



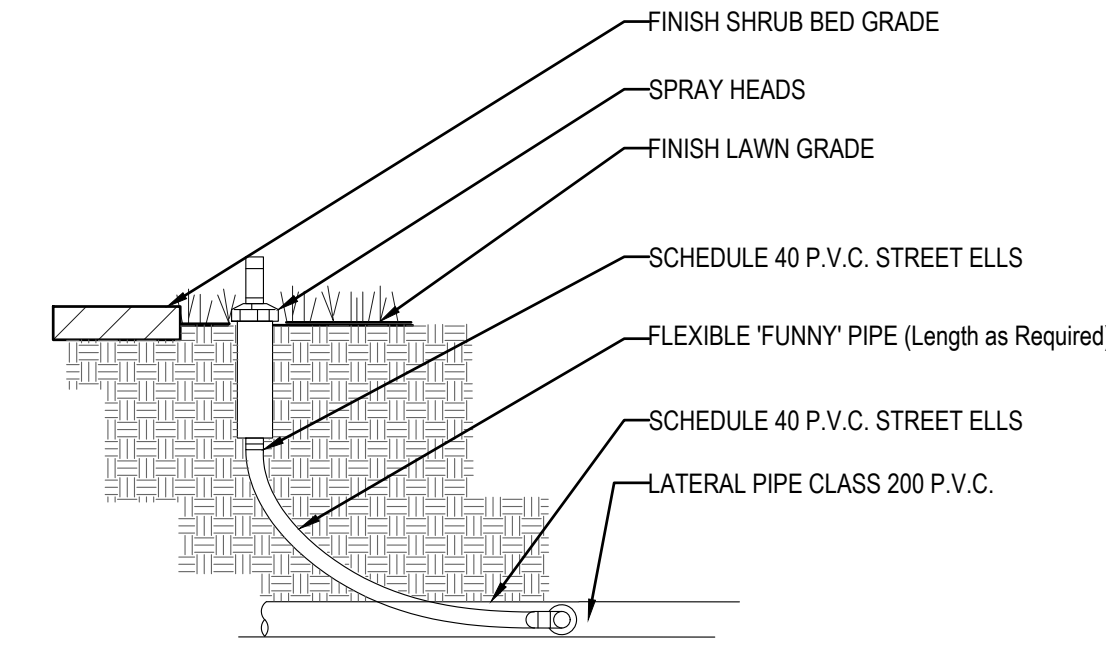
4 CONTROLLER, WALL MOUNT

SCALE: NTS



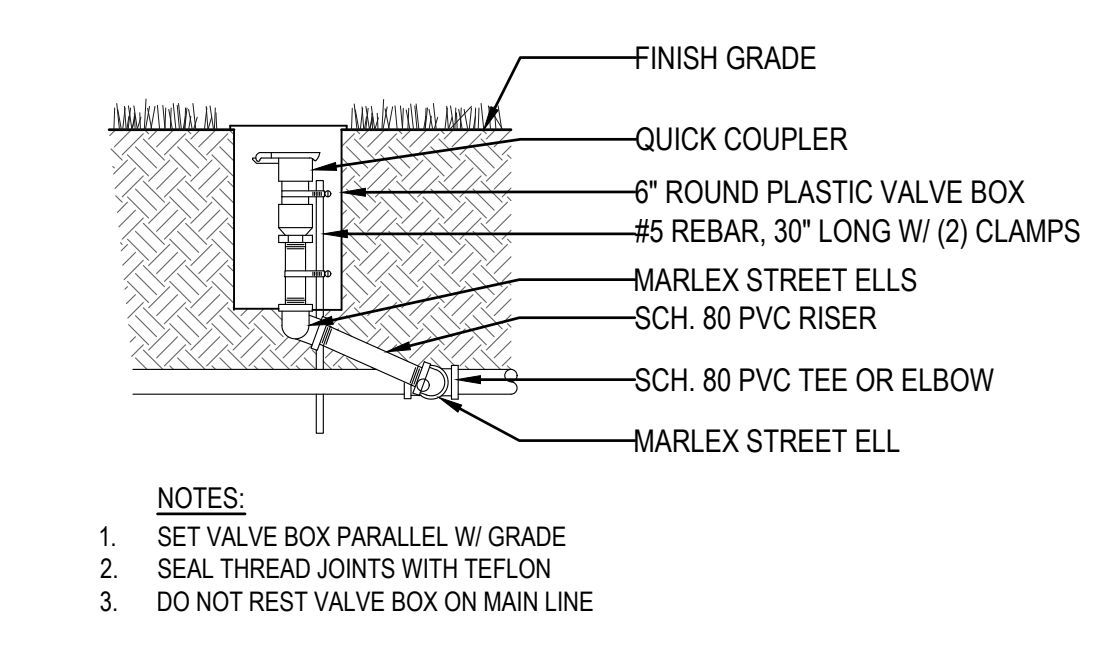
5 MANUAL DRAIN VALVE

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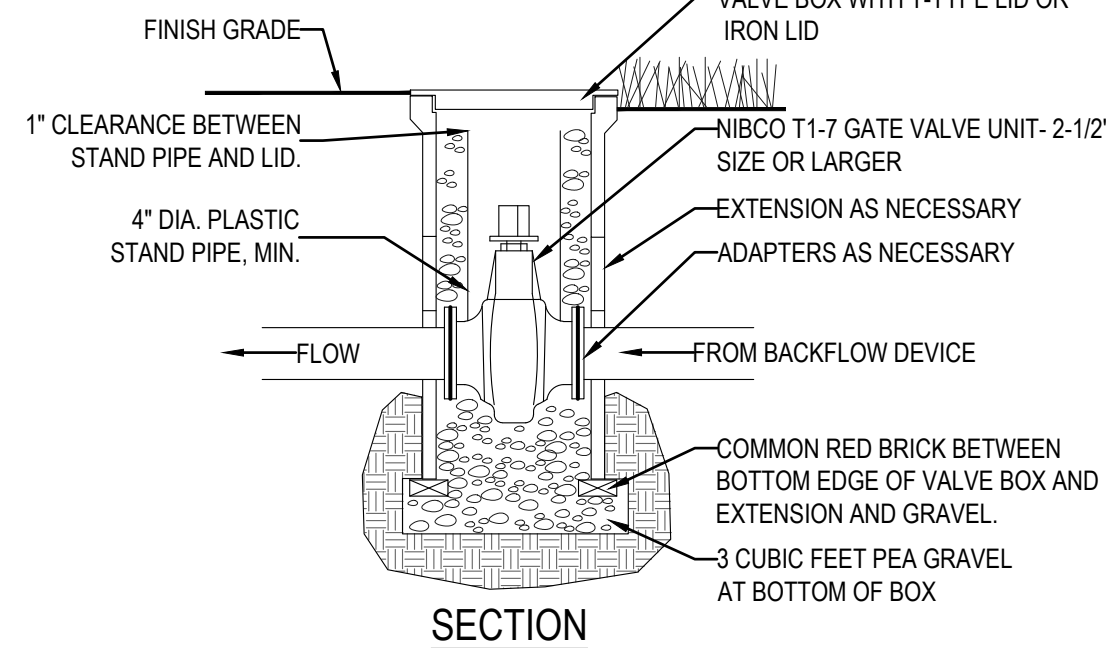
6 POP UP SPRAY SPRINKLER

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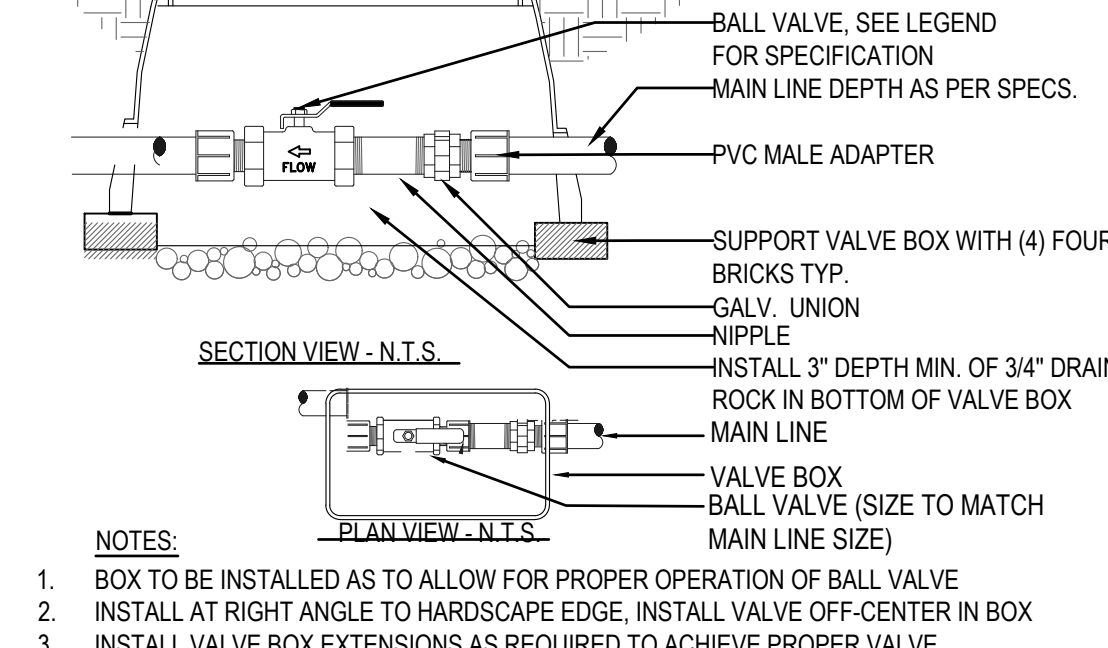
7 QUICK COUPLER

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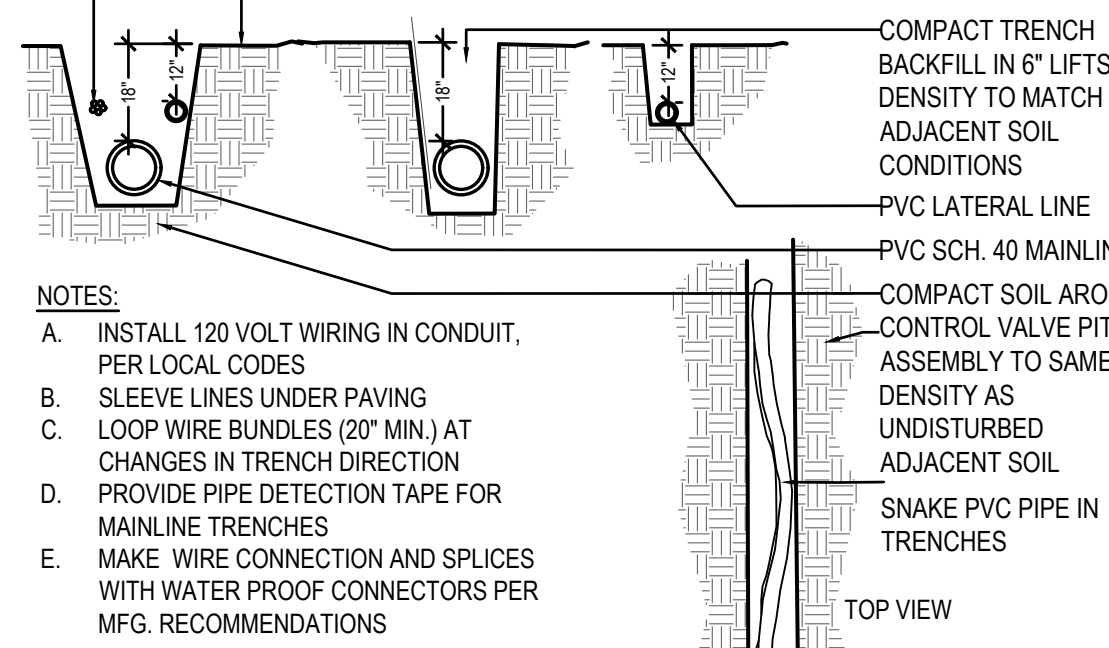
8 NIBCO GATE VALVE

SCALE: NTS



9 ISOLATION VALVE

SCALE: NTS



10 TRENCH DETAIL

SCALE: NTS

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DESCRIPTION	DATE

MACDONALD
ENVIRONMENTAL PLANNING, PC
WWW.MPCON.COM
CONSULTANT

REGISTERED
204
LAUREL A. MACDONALD
OREGON
LANDSCAPE ARCHITECT

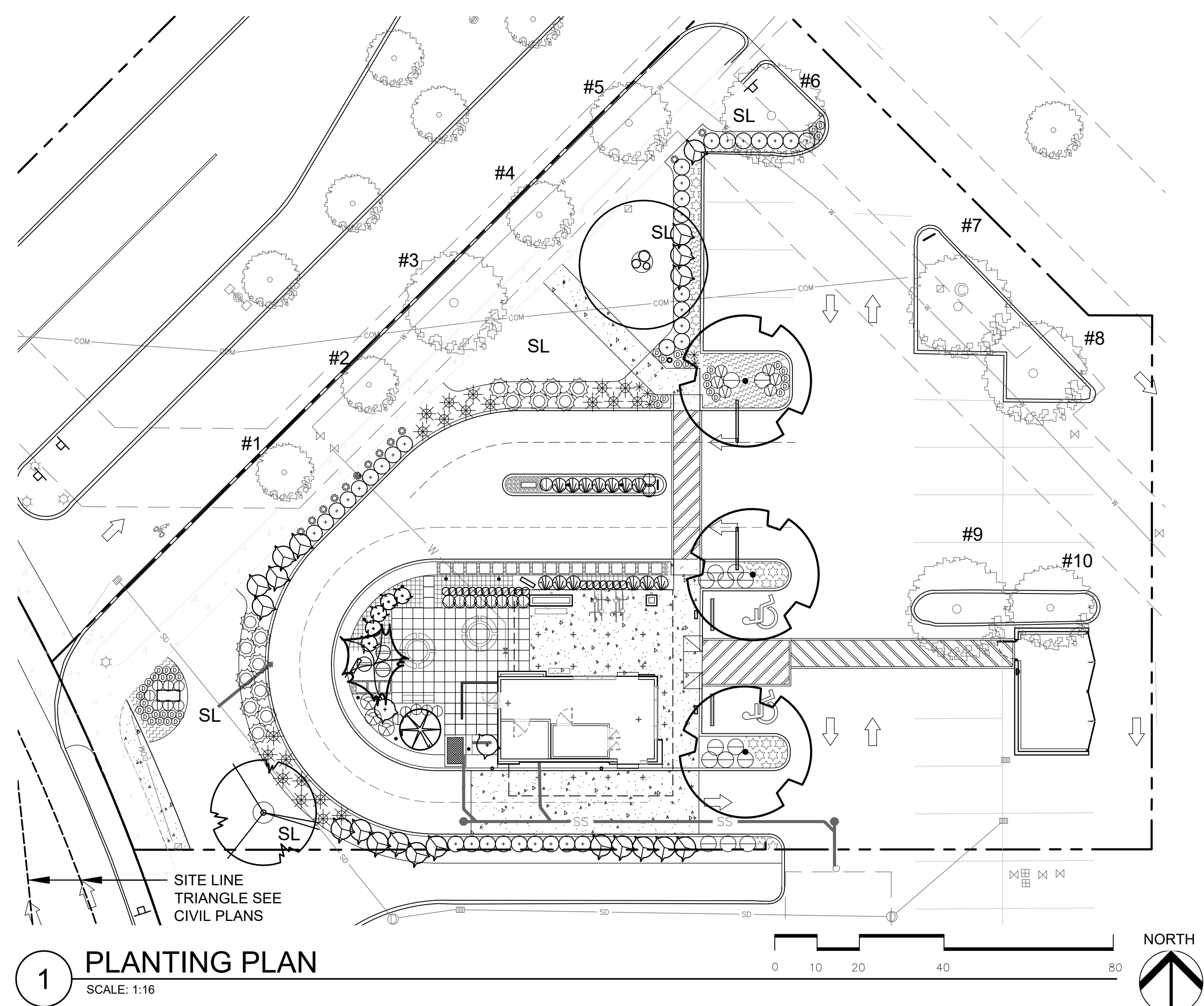
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11.01.2019 DATE

IRRIGATION PLAN

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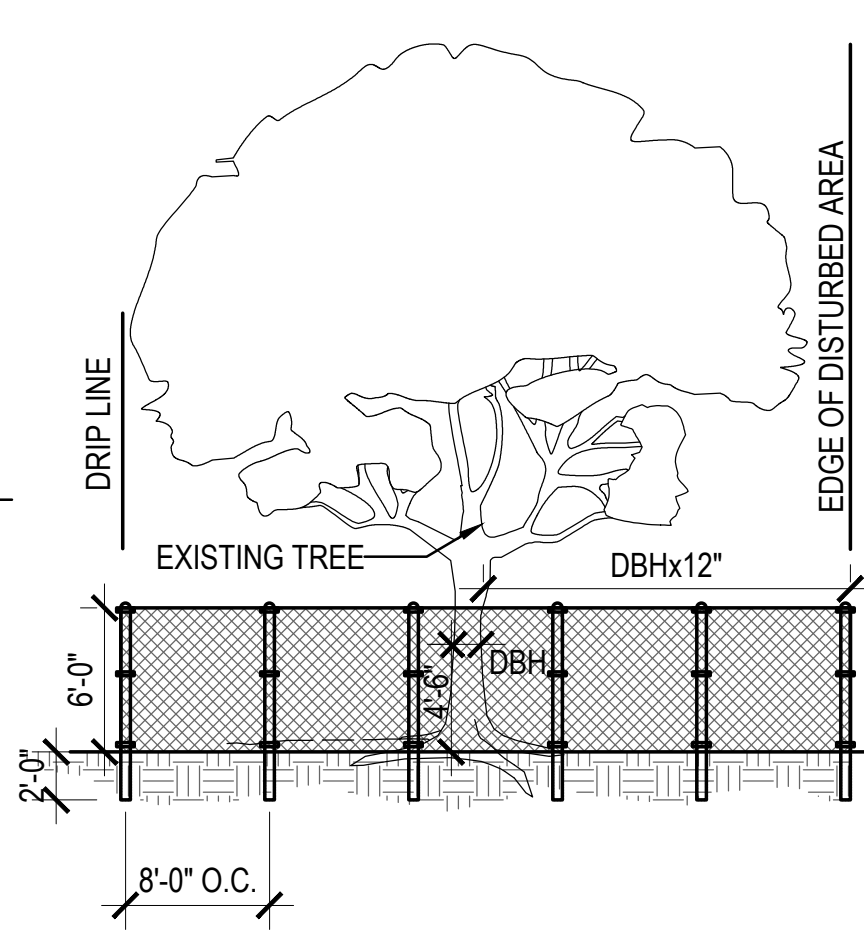
1 PLANTING PLAN
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LANDSCAPE NOTES

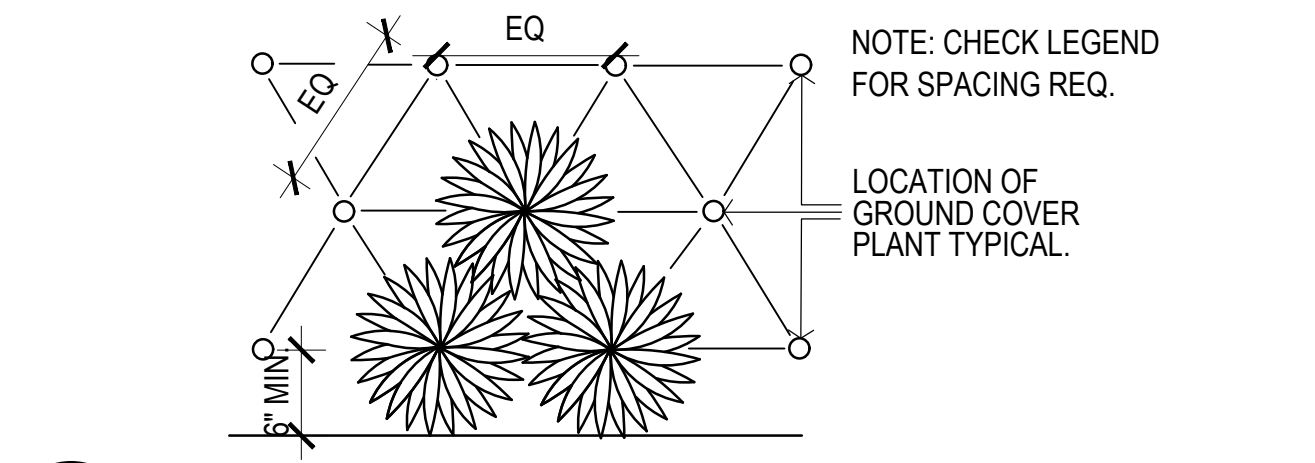
- LANDSCAPE CONTRACTOR SHALL SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED BEST INDUSTRY STANDARDS FOR PLANTING PROCEDURES.
- PLANT MATERIALS SHALL BE OF HIGH GRADE, AND SHALL MEET THE QUALITY AND SIZE STANDARDS FOR NURSERY STOCK.
- PLANTINGS SHALL BE INSTALLED BETWEEN FEBRUARY 1st AND MAY 1st OR BETWEEN OCTOBER 1st AND NOVEMBER 15th. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- PLANTINGS SHALL BE MULCHED TO A MINIMUM DEPTH OF 2 INCHES AND 18 INCHES IN DIAMETER.
- PLANT QUANTITIES SHOWN IN PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN LEGEND.
- PLANTS INDICATED AS SPECIMEN ARE TO BE HAND SELECTED BY LANDSCAPE ARCHITECT.
- PARKING INTERIOR LANDSCAPING: Parking lot area: 14,650 10% interior landscaping required = 1,465SF required 3,071SF provided
- PARKING TREE CALCULATIONS: Parking spaces 18 Required trees 1 deciduous tree per 8 spaces: 18/8 = 3 trees required 9 provided
- ON-SITE LANDSCAPE REQUIREMENTS: Site area is 22,822sf 15% of Site=3,423sf required 6,323sf provided.

NOTES:

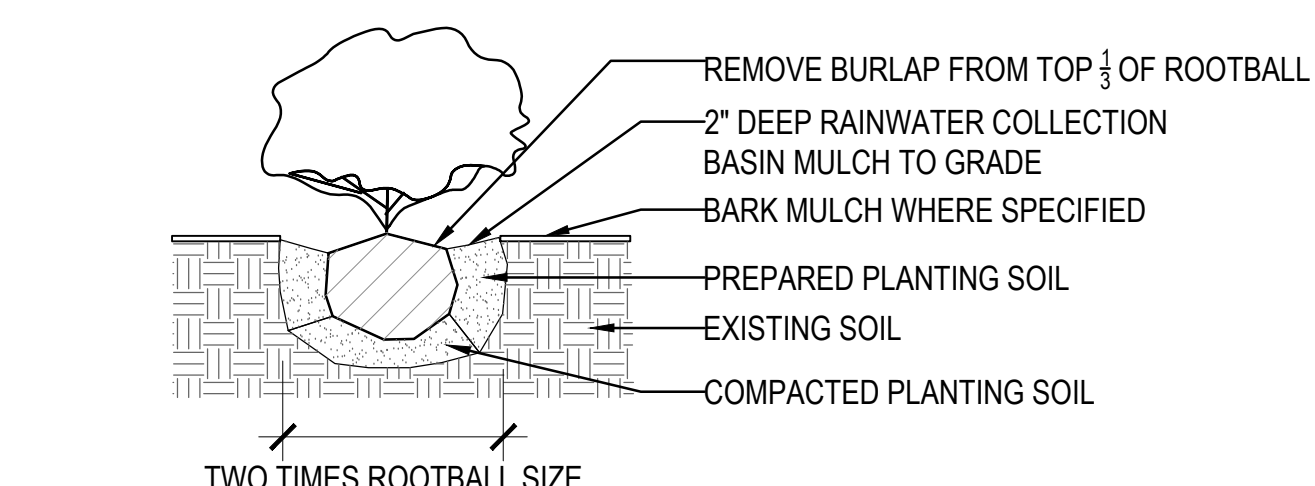
- FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIPLINE.
- FENCE MATERIALS SHALL CONSIST OF 2' MESH CHAIN LINKS SECURED TO A MINIMUM 1 1/2" DIA. STEEL LINE PIPE
- POST SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL
- FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE. IN COMPLIANCE WITH DETAIL RD-1230



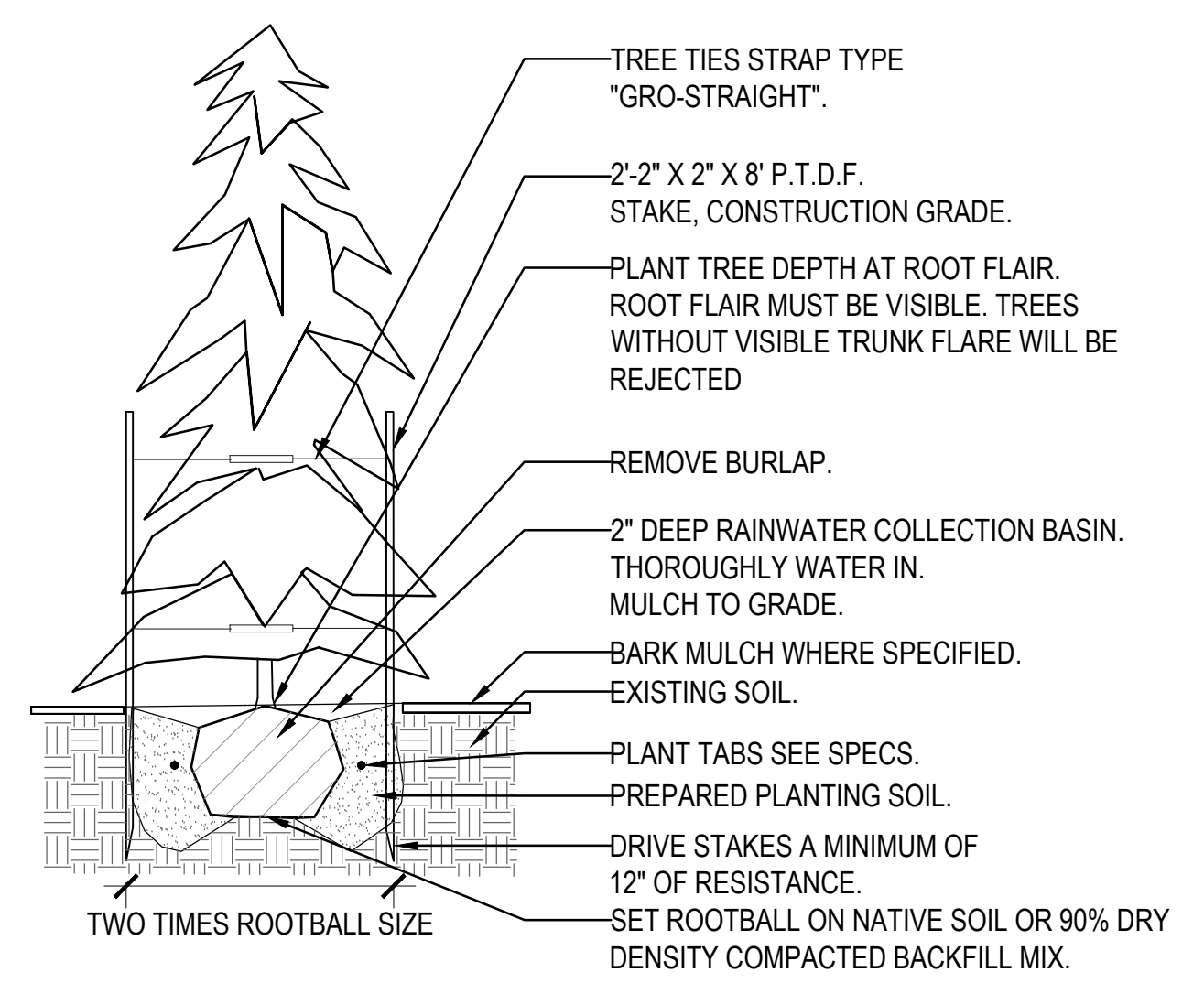
2 TREE PROTECTION FENCE
SCALE: NTS



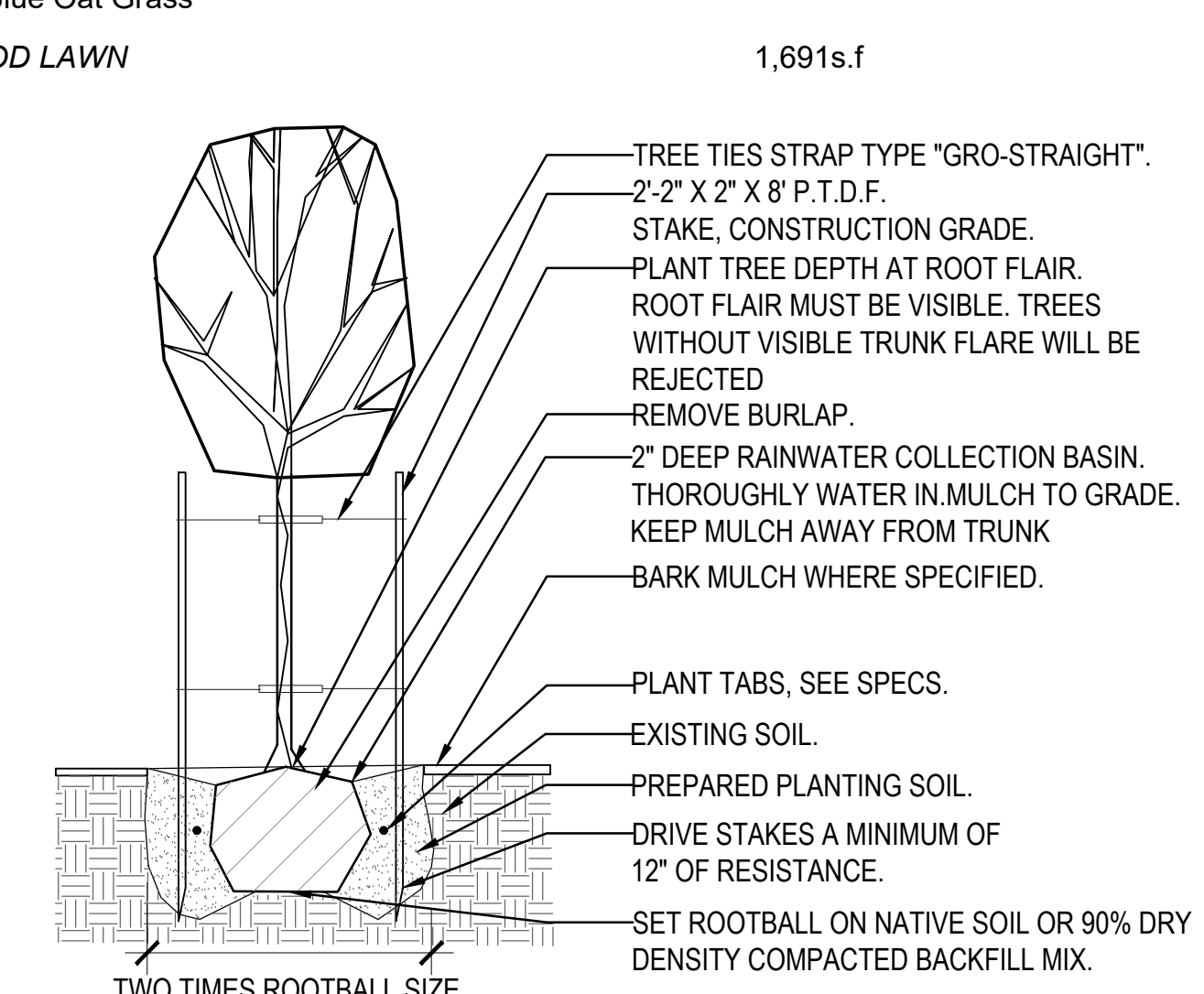
3 GROUNDCOVER PLANTING DETAIL
SCALE: NTS



4 SHRUB PLANTING DETAIL
SCALE: NTS



5 EVERGREEN TREE PLANTING DETAIL
SCALE: NTS



6 DECIDUOUS TREE PLANTING DETAIL
SCALE: NTS

TREE PRESERVATION LEGEND

EXISTING DECIDUOUS TREE TO REMAIN

NOTE: ORIGINAL SURVEY AMENDED TO DISTINGUISH BETWEEN TREES TO BE REMOVED AND TREES TO REMAIN

ONSITE TREE INVENTORY

TREE #	SPECIES	SIZE	CONDITION	STATUS
#1	PEAR	6"	HEALTHY	TO BE PROTECTED
#2	PEAR	6"	HEALTHY	TO BE PROTECTED
#3	PEAR	10"	HEALTHY	TO BE PROTECTED
#4	PEAR	7"	HEALTHY	TO BE PROTECTED
#5	PEAR	8"	HEALTHY	TO BE PROTECTED
#6	OAK	10"	HEALTHY	TO BE PROTECTED
#7	OAK	10"	HEALTHY	TO BE PROTECTED
#8	OAK	10"	HEALTHY	TO BE PROTECTED
#9	OAK	10"	HEALTHY	TO BE PROTECTED
#10	OAK	8"	HEALTHY	TO BE PROTECTED

PLANT LEGEND

TREES	NAME	QTY.	SIZE	TYPE
ACER PALMATUM SANGO KAKU'	Sango Kaku Japanese Maple	1	2" CAL.	B&B SPECIMEN
CERCIDIPHYLLUM JAPONICUM	Katsura	1	8-10' HT.	3 TRUNK MIN.
CHAMACYPARIS NOOTKATENSIS	Alaska Cedar	1	8-9' HT.	B&B
CORNUS X 'RUTGAN'	Celestial Dogwood	1	2" CAL.	B&B
GLEDITSIA TRIACHANTHOS 'SKYCOLE'	Skyline® Honeylocust	3	2" CAL.	B&B
SHRUBS				
BERBERIS THUNBERGII 'CRIMSON PYGMY'	Crymson Pygmy Barberry	12	2 GAL.	CONTAINER
CORNUS SERICEA 'KELSEY'	Kelsey Red Osier Dogwood	6	2 GAL.	CONTAINER
EUONYMUS JAPONICUS 'AUREO-MARGINATA'	Aureo-Marginata Euonymus	28	5 GAL.	CONTAINER
ILEX CRENATA 'CONVEXA'	Japanese Holly	34	15-18"	CONTAINER
ILEX CRENATA 'SKY PENCIL'	Sky Pencil Japanese Holly	20	24-30"	CONTAINER
LONICERA PILEATA	Privet Honeysuckle	15	2 GAL.	CONTAINER
OSMANTHUS HETEROPHYLLUS 'GOSHIKI'	Goshiki Variegated False Holly	5	24-30"	CONTAINER
PIERIS JAPONICA 'FOREST FLAME'	Forest Flame Andromeda	2	24-30"	CONTAINER
POLYSTICHUM MUNITUM	Western Sword Fern	3	2 GAL.	CONTAINER
PRUNUS LAUROCERASUS 'OTTO LUYKEN'	Cherry Laurel	20	5 GAL.	CONTAINER
ROSA x 'RADCON' PP #15,070	Pink Knock Out Rose	21	2 GAL.	CONTAINER
SPIRAEA X BUMALDA 'GOLD FLAME'	Gold Flame Spirea	3	2 GAL.	CONTAINER
GROUND COVERS & PERENNIALS				
ARCHTOSTAPHYLOS UVA URSI 'MASSACHUSETTS'	Kinnickinnick	76	1 GAL.	18"O.C.
EUONYMUS FORTUNEI 'ROEMERTWO'	Gold Splash Wintercreeper	196	1 GAL.	12"O.C.
HEMEROCALLIS 'STELLA DE ORO'	Day Lily	43	1 GAL.	AS SHOWN.
HEUCHERA 'MELTING FIRE'	Melting Fire Coral Bells	56	1 GAL.	18"O.C.
GRASSES & VINES				
CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	Karl Foerster's Feather Reed Grass	13	3 GAL.	AS SHOWN
CAREX MORROWII 'AUREA VARIEGATA'	Variegata Sedge	6	2 GAL.	CONTAINER
HAKONECHLOA MACRA	Japanese Forest Grass	10	1 GAL.	AS SHOWN
HELICTOTRICHON SEMPERVIRENS	Blue Oat Grass	11	1 GAL.	12"O.C.
SL	SOD LAWN		1,691s.f	

ANSI FULL BLEED D (34.00 x 22.00 INCHES)MOC.CREATION 4/15/2019 1:37:23 PM

WILSONVILLE
29702 SW TOWN CENTER LOOP, W.C.
WILSONVILLE, OREGON 97070

DESCRIPTION	DATE
REVISIONS	



CONSULTANT



1812043 PROJECT NO.

MCGUIR DESIGNS & ARCHITECTURE
www.mcguirdesigns.com
T: (503)347-4649

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11.05.2019 DATE

PLANTING PLAN

L3.1

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TITLE REPORT EXCEPTIONS

EXCEPTIONS PER FIRST AMERICAN TITLE COMPANY OF OREGON FILE NO. NCS-894237-OR1

- 1 TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE RECORDS OF ANY TAXING AUTHORITY THAT LEVIES TAXES OR ASSESSMENTS ON REAL PROPERTY OR BY THE PUBLIC RECORDS.
2 FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH ARE NOT SHOWN BY THE PUBLIC RECORDS BUT WHICH COULD BE ASCERTAINED BY AN INSPECTION OF THE LAND OR BY MAKING INQUIRY OF PERSONS IN POSSESSION THEREOF.
3 EASEMENTS, OR CLAIMS OF EASEMENT, NOT SHOWN BY THE PUBLIC RECORDS; RESERVATIONS OR EXCEPTIONS IN PATENTS OR IN ACTS AUTHORIZING THE ISSUANCE THEREOF; WATER RIGHTS, CLAIMS OR TITLE TO WATER.
4 ANY ENCROACHMENT (OF EXISTING IMPROVEMENTS LOCATED ON THE LAND ONTO ADJOINING LAND OR OF EXISTING IMPROVEMENTS LOCATED ON ADJOINING LAND ONTO THE LAND), ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND.
5 ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, MATERIAL, EQUIPMENT RENTAL OR WORKERS COMPENSATION HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
6 ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I REQUIREMENTS ARE MET.
7 GENERAL AND SPECIAL TAXES AND ASSESSMENTS FOR THE FISCAL YEAR 2019-2020, A LIEN NOT YET DUE OR PAYABLE.
8 CITY LIENS, IF ANY, FOR THE CITY OF WILSONVILLE.

NOTE: AN INQUIRY HAS NOT BEEN MADE CONCERNING THE ACTUAL STATUS OF SUCH LIENS. A FEE OF \$25.00 WILL BE CHARGED PER TAX ACCOUNT EACH TIME AN INQUIRY REQUEST IS MADE. NOT A MATTER OF SURVEY

- 9 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED AUGUST 08, 1990 AS FEE NO. 90038782. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE, PLOTTED
10 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED AUGUST 08, 1990 AS FEE NO. 90038783. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE, PLOTTED
11 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED AUGUST 08, 1990 AS FEE NO. 90038784. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE, PLOTTED
12 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED SEPTEMBER 13, 1990 AS FEE NO. 90045500, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES.
13 TERMS AND PROVISIONS OF AN UNRECORDED LEASE DATED AUGUST 06, 1990, BY AND BETWEEN CAPITAL REALTY CORPORATION AS LESSOR AND PAY LESS DRUG STORES NORTHWEST, INC. AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 13, 1990 AS FEE NO. 90045500.
AFFECTS: THE LAND AND OTHER PROPERTY. AFFECTS, BLANKET IN NATURE

14 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF RESTRICTIVE COVENANT" RECORDED NOVEMBER 13, 1991 AS FEE NO. 91057833. DOES NOT AFFECT THE PROPERTY TO WHICH THIS SURVEY DEFINES

15 EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDING INFORMATION: NOVEMBER 13, 1991 AS FEE NO. 91057834 IN FAVOR OF: TACO BELL CORP., A CALIFORNIA CORPORATION NOTE A: VEHICULAR PARKING AND PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

SAID EASEMENT CONTAINS A BLANKET DESCRIPTION. DOES NOT AFFECT THE PROPERTY TO WHICH THIS SURVEY DEFINES

16 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED FEBRUARY 14, 1992 AS FEE NO. 92008575, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS, NATIONAL ORIGIN, SEXUAL ORIENTATION, MARITAL STATUS, ANCESTRY, SOURCE OF INCOME OR DISABILITY, TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE TITLE 42, SECTION 3604(C), OF THE UNITED STATES CODES.
17 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED JULY 30, 1993 AS FEE NO. 93053738.
DOCUMENT RE-RECORDED DECEMBER 14, 1998 AS FEE NO. 98118646. DOES NOT AFFECT THE PROPERTY TO WHICH THIS SURVEY DEFINES

DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED MARCH 19, 1992 AS FEE NO. 92015608. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED OCTOBER 08, 1992 AS FEE NO. 92063558. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 17, 1993 AS FEE NO. 93095443. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 30, 1994 AS FEE NO. 94098676. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED FEBRUARY 26, 1996 AS FEE NO. 96013196. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED SEPTEMBER 11, 1998 AS FEE NO. 98085029. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED OCTOBER 03, 2003 AS FEE NO. 2003 133685. DOCUMENT(S) DECLARING MODIFICATIONS THEREOF RECORDED DECEMBER 11, 2014 AS FEE NO. 2014 063694. AFFECTS BUT NOT PLOTTABLE

17 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "RECIPROCAL NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED JULY 30, 1993 AS FEE NO. 93053738.

DOCUMENT RE-RECORDED DECEMBER 14, 1998 AS FEE NO. 98118646. DOES NOT AFFECT THE PROPERTY TO WHICH THIS SURVEY DEFINES

18 TERMS, CONDITIONS, RESTRICTION AND EASEMENTS CONTAINED IN DOCUMENT RECORDED OCTOBER 01, 1993 AS FEE NO. 93071891. DOES NOT AFFECT THE PROPERTY TO WHICH THIS SURVEY DEFINES

19 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "A NON-EXCLUSIVE EASEMENT AGREEMENT" RECORDED APRIL 07, 1994 AS FEE NO. 94029334. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE (TRACT A), AS SHOWN

20 EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDING INFORMATION: DECEMBER 20, 2004 AS FEE NO. 2004 115920 IN FAVOR OF: THE CITY OF WILSONVILLE, A POLITICAL SUBDIVISION OF THE STATE OF OREGON, ITS SUCCESSORS AND ASSIGNS FOR: MONUMENT SIGN PLOTTED AS SHOWN, DOES NOT AFFECT THE PROPERTY TO WHICH THIS SURVEY DEFINES

21 RESTRICTIONS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019. AFFECTS, BLANKET IN NATURE

22 EASEMENTS FOR PUBLIC UTILITY PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019. AFFECTS THE WEST LINE, AS SHOWN

23 EASEMENTS FOR PUBLIC WATERLINE PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019. AFFECTS THE NORTHWEST LINE AND EAST/NORTHEAST QUARTER OF THE SUBJECT PARCEL, AS SHOWN

24 EASEMENTS FOR PUBLIC STORM SEWER PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019. AFFECTS A PORTION OF THE EASTERLY LINE, AS SHOWN

25 EASEMENTS FOR PUBLIC SANITARY SEWER PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019. DOES NOT AFFECT THE PROPERTY TO WHICH THIS SURVEY DEFINES, PLOTTED OFFSITE TO THE SOUTH

26 EASEMENTS FOR PUBLIC USE, ACCESS AND UTILITY OVER TRACT A PURPOSES AS SHOWN ON THE RECORDED PARTITION PLAT NO. 2006-019. AFFECTS THE ROADWAY AREA KNOWN AS PARK PLACE (TRACT A), AS SHOWN

27 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED FEBRUARY 17, 2006 AS FEE NO. 2006 014921. AFFECTS THE NORTHWESTERLY LINE, AS SHOWN

28 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "MAINTENANCE ACCESS EASEMENT" RECORDED JULY 12, 2006 AS FEE NO. 2006 063539. AFFECTS THE NORTHWESTERLY LINE, AS SHOWN

29 WE FIND NO OUTSTANDING VOLUNTARY LIENS OF RECORD AFFECTING SUBJECT PROPERTY. AN INQUIRY SHOULD BE MADE CONCERNING THE EXISTENCE OF ANY UNRECORDED LIEN OR OTHER INDEBTEDNESS WHICH COULD GIVE RISE TO ANY SECURITY INTEREST IN THE SUBJECT PROPERTY. NOT A MATTER OF SURVEY

30 UNRECORDED LEASES OR PERIODIC TENANCIES, IF ANY. NOT A MATTER OF SURVEY

GENERAL NOTES:

- 1. THIS SURVEY, WITH THE EXCEPTIONS SHOWN HEREON, IS BASED UPON FIRST AMERICAN TITLE COMPANY OF OREGON FILE NO. NCS-894237-OR1, DATED JUNE 29, 2018 AT 8:00 AM.
2. THIS SURVEY IS BASED UPON FIELD MEASUREMENTS MADE BETWEEN AUGUST 1 AND AUGUST 8, 2019.
3. THE PROPERTY BOUNDARY AND BASIS OF BEARINGS WERE ESTABLISHED PER PARTITION PLAT 2006-019, WASHINGTON COUNTY SURVEY RECORDS.
4. THE RECORD DESCRIPTION PROVIDED IN THE AFOREMENTIONED PRELIMINARY TITLE REPORT DOES NOT FORM A CLOSED MATHEMATICAL FIGURE OR POLYGON.
5. THE SUBJECT PROPERTY CONTAINS ±22,823 SQUARE FEET OR 0.52 ACRES.
6. ZONING IS DESIGNATED "PLANNED DEVELOPMENT COMMERCIAL TOWN CENTER (PDC-TC)" PER WILSONVILLE GIS OFFICIAL ZONING MAP, DATED JUNE 5, 2017.
7. UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND/OR PUBLIC RECORDS. THIS SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED, BUT ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.
8. THERE IS NO EVIDENCE OF A BUILDING PRESENT UPON THESE PREMISES.
9. THERE IS NO EVIDENCE OF CURRENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
10. THERE IS NO EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
11. THERE IS A TOTAL OF 34 PARKING SPACES WITHIN THE BOUNDS OF PARCEL 4. THE PARKING IN THIS AREA IS BELIEVED TO BE COMMON FOR ALL BUSINESSES IN THE AREA EVEN THOUGH NO RECORDS OF A PARKING AGREEMENT WAS FOUND DURING THE TITLE SEARCH.
12. THERE WAS NO EVIDENCE OF ANY WETLANDS DELINEATION FLAGS OR MARKERS PRESENT.
13. AT THE TIME OF THIS SURVEY, THIS SURVEYOR WAS NOT NOTIFIED OR WAS MADE AWARE OF ANY CHANGES TO THE RIGHT-OF-WAY WIDTHS.
14. THE SUBJECT PROPERTY SITS AT THE SOUTHEAST INTERSECTION OF TOWN CENTER LOOP W AND PARK PLACE.

FLOOD ZONE DESIGNATION

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION AS X BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT. ZONE X IS DESCRIBED AS AREAS HAVING A 0.2% ANNUAL CHANCE OF FLOOD; AREAS OF 1% ANNUAL CHANCE OF FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. THIS IS DESIGNATED ON FLOOD INSURANCE RATE MAP NO. 41005C0242D, WITH AN EFFECTIVE DATE OF JUNE 17, 2008, FOR COMMUNITY NUMBER 415588, CLACKAMAS COUNTY AND 410025, WILSONVILLE, CITY OF. THIS IS THE CURRENT FLOOD INSURANCE RATE MAP OF THE COMMUNITIES, LOCATED IN THE STATE OF OREGON, IN WHICH SAID PROPERTY IS SITUATED.

PROPERTY DESCRIPTION

PER FIRST AMERICAN TITLE COMPANY OF OREGON FILE NO. NCS-894237-OR1

PARCEL I: PARCEL 4, PARTITION PLAT NO. 2006-019, IN THE COUNTY OF CLACKAMAS AND STATE OF OREGON, BEING A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 13 AND THE SOUTHEAST QUARTER OF SECTION 14 IN TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, IN THE CITY OF WILSONVILLE, COUNTY OF CLACKAMAS AND STATE OF OREGON, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, IN THE COUNTY OF CLACKAMAS AND STATE OF OREGON; THENCE, NORTH 00°03'00" EAST ALONG THE SECTION LINE BETWEEN SECTIONS 13 AND 14 A DISTANCE OF 44.00 FEET; THENCE, CONTINUING NORTH 00°03'01" EAST ALONG SAID SECTION LINE A DISTANCE OF 339.50 FEET; THENCE, SOUTH 89°58'30" WEST A DISTANCE OF 338.63 FEET TO THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER LOOP ROAD WEST; THENCE, NORTH 00°00'22" EAST ALONG SAID EASTERLY RIGHT OF WAY LINE A DISTANCE OF 46.55 FEET TO A POINT OF CURVATURE; THENCE, 137.13 FEET ALONG THE ARC OF A 380.54 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 20°38'51" AND WHOSE CHORD BEARS NORTH 10°19'19" WEST A DISTANCE OF 136.45 FEET TO THE TRUE POINT OF BEGINNING; THENCE, CONTINUING 38.76 FEET ALONG THE ARC OF A 380.54 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 05°50'09" AND WHOSE CHORD BEARS NORTH 23°34'05" WEST A DISTANCE OF 38.74 FEET TO A POINT ON A CURVE; THENCE, NORTH 45°03'00" EAST A DISTANCE OF 185.06 FEET; THENCE, CONTINUING SOUTH 44°57'11" EAST A DISTANCE OF 92.09 FEET; THENCE, SOUTH 89°56'59" EAST A DISTANCE OF 12.00 FEET; THENCE, SOUTH 00°03'01" WEST A DISTANCE OF 100.99 FEET; THENCE, SOUTH 89°58'30" WEST A DISTANCE OF 192.45 FEET TO THE TRUE POINT OF BEGINNING.

EXCLUDING THEREFROM, THAT PORTION OF THE ABOVE DESCRIBED REAL PROPERTY DEDICATED TO THE CITY OF WILSONVILLE FOR RIGHT OF WAY PURPOSES, PURSUANT TO THE DEDICATION FOR ROAD AND RIGHT OF WAY PURPOSES, DESCRIBED AS FOLLOWS:

A PARCEL OF LAND SITUATED IN THE SOUTHWEST QUARTER OF SECTION 13 AND THE SOUTHEAST QUARTER OF SECTION 14 IN TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CLACKAMAS COUNTY, OREGON, SAID PARCEL OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 13, TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CLACKAMAS COUNTY, OREGON; THENCE, NORTH 00°03'00" EAST ALONG THE SECTION LINE BETWEEN SECTIONS 13 AND 14 A DISTANCE OF 44.00 FEET; THENCE, CONTINUING NORTH 00°03'01" EAST ALONG SAID SECTION LINE A DISTANCE OF 339.50 FEET; THENCE, SOUTH 89°58'30" WEST A DISTANCE OF 338.63 FEET TO THE EASTERLY RIGHT OF WAY LINE OF TOWN CENTER LOOP ROAD WEST; THENCE, NORTH 00°00'22" EAST ALONG SAID EASTERLY RIGHT OF WAY LINE A DISTANCE OF 46.55 FEET TO A POINT OF CURVATURE; THENCE, 176.01 FEET ALONG THE ARC OF A 380.54 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 26°30'03" AND WHOSE CHORD BEARS NORTH 31°14'39" WEST A DISTANCE OF 174.45 FEET TO A POINT ON A CURVE AND SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE, 71.90 FEET ALONG THE ARC OF A 380.54 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 10°49'34" AND WHOSE CHORD BEARS NORTH 31°54'27" WEST A DISTANCE OF 71.79 FEET TO A POINT ON A CURVE; THENCE, NORTH 45°03'00" EAST A DISTANCE OF 589.42 FEET TO THE COMMON LINE TO SAID SECTIONS 13 AND 14; THENCE, CONTINUING NORTH 45°03'00" EAST A DISTANCE OF 4.59 FEET; THENCE, SOUTH 89°57'00" EAST A DISTANCE OF 66.14 FEET; THENCE, SOUTH 00°03'00" WEST A DISTANCE OF 63.00 FEET; THENCE, SOUTH 89°57'00" EAST A DISTANCE OF 479.78 FEET; THENCE, SOUTH 00°03'01" WEST A DISTANCE OF 31.50 FEET; THENCE, SOUTH 89°57'00" WEST A DISTANCE OF 541.50 FEET; THENCE, SOUTH 45°03'00" WEST A DISTANCE OF 546.51 FEET TO THE TRUE POINT OF BEGINNING.

THE LEGAL DESCRIPTION WAS CREATED PRIOR TO JANUARY 01, 2008.

PARCEL II: AN EASEMENT FOR VEHICULAR AND PEDESTRIAN INGRESS AND EGRESS AND FOR PARKING AS MORE FULLY SET FORTH AND DESCRIBED IN INSTRUMENT RECORDED FEBRUARY 17, 2006 AS FEE NO. 2006 014921.

PARCEL III: THOSE RECIPROCAL, NONEXCLUSIVE RIGHTS TO EASEMENTS FOR INGRESS, EGRESS, PARKING AND UTILITIES, AS DESCRIBED IN PLANNED BUSINESS COMMUNITY DECLARATION FOR WILSONVILLE TOWN CENTER PROPERTY, RECORDED FEBRUARY 14, 1992 AS FEE NO. 92008575 AND MODIFICATIONS RECORDED MARCH 19, 1992 AS FEE NO. 92015608, OCTOBER 08, 1992 AS FEE NO. 92063558, DECEMBER 17, 1993 AS FEE NO. 93095443, DECEMBER 30, 1994 AS FEE NO. 94098676, FEBRUARY 26, 1996 AS FEE NO. 96013196, SEPTEMBER 11, 1998 AS FEE NO. 98085029, OCTOBER 03, 2003 AS FEE NO. 2003 133685.

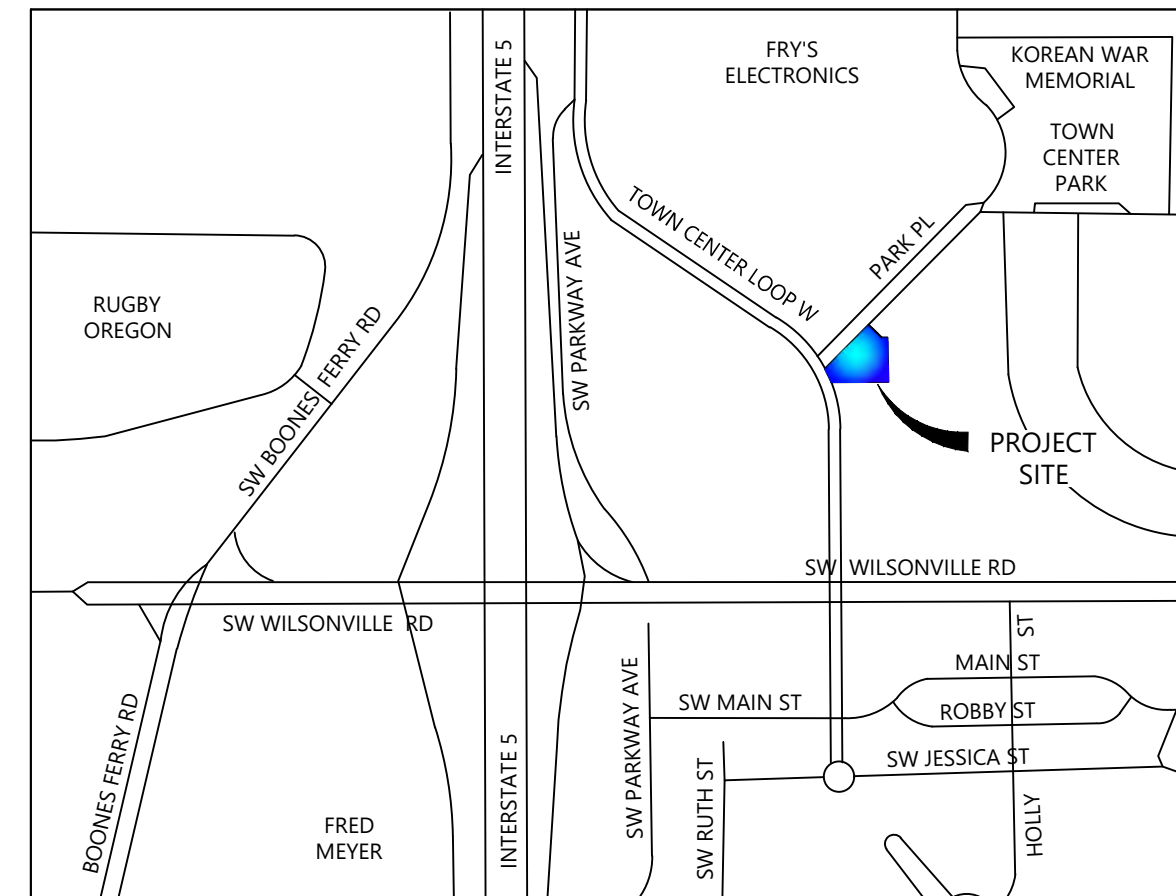
PARCEL IV: AN EASEMENT FOR INGRESS AND EGRESS AS DESCRIBED IN DOCUMENT RECORDED JULY 30, 1993 AS FEE NO. 93053738.

PARCEL V: AN EASEMENT FOR PUBLIC USE, ACCESS AND UTILITY OVER TRACT A AS DISCLOSED BY THE PARTITION PLAT MAP 2006-19.

DEVELOPMENT ZONING DESIGNATION

PER THE CITY OF WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE (AKA: DEVELOPMENT CODE AND ZONING CODE) THE SUBJECT PROPERTY IS ZONED: PLANNED DEVELOPMENT COMMERCIAL ZONE - TOWN CENTER COMMERCIAL (PDC-TC)

THE PURPOSE OF THIS ZONING IS TO PERMIT AND ENCOURAGE A TOWN CENTER, ADHERING TO PLANNED COMMERCIAL AND PLANNED DEVELOPMENT CONCEPTS, INCLUDING PROVISION FOR COMMERCIAL SERVICES, SALES OF GOODS AND WARES, BUSINESS AND PROFESSIONAL OFFICES, DEPARTMENT STORES, SHOPPING CENTERS AND OTHER CUSTOMER ORIENTED USES TO MEET THE NEEDS OF THE WILSONVILLE COMMUNITY AS WELL AS TO MEET THE GENERAL SHOPPING AND SERVICE NEEDS ON AN AREA-WIDE BASIS, TOGETHER WITH SUCH MULTIPLE FAMILY RESIDENTIAL FACILITIES, OPEN SPACE, RECREATIONAL AND PARK AREAS, AND PUBLIC USES FACILITIES AS MAY BE APPROVED AS PART OF THE TOWN CENTER COMPATIBLE WITH THE COMPREHENSIVE PLAN OF THE CITY.



VICINITY MAP NTS

SURVEYOR'S CERTIFICATE:

TO: DOUGLAS A. FRY AND CINDY J. FRY, FIRST AMERICAN TITLE INSURANCE COMPANY OF OREGON, A NEBRASKA CORPORATION, AND EACH OF THEIR SUCCESSORS AND/OR ASSIGNS, AS THEIR INTERESTS MAY APPEAR.

THIS IS TO CERTIFY THAT THIS MAP, OR PLAT, AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATIONS (ALTA) AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS (NSPS) AND INCLUDES ITEMS 2, 3, 4, 7(a) AND 7(b)(1), 8, 9, 11, 14, 16, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 8, 2019.

JESSE M. WHITE DATE PROFESSIONAL LAND SURVEYOR NO. 92118

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON JULY 10, 2018 JESSE M. WHITE 92118 RENEWS: 6/30/2020

PROJECT NO. 19851 SHEET 1 OF 1

PORTION OF: SW 1/4, SW 1/4, SECTION 13, T. 3 S., R. 1 W., W.M.

FILE NAME: P:\P19\19851 - DDC FRY - WILSONVILLE DUTCH BROS CAD SURVEY\19851_ALT.DWG
LAYOUT: THE ALTA.PLT
USER: JESSE.M.WHITE
DATE: 6/27/2019 10:07 PM
PLOT TIME:
XREF FILES:

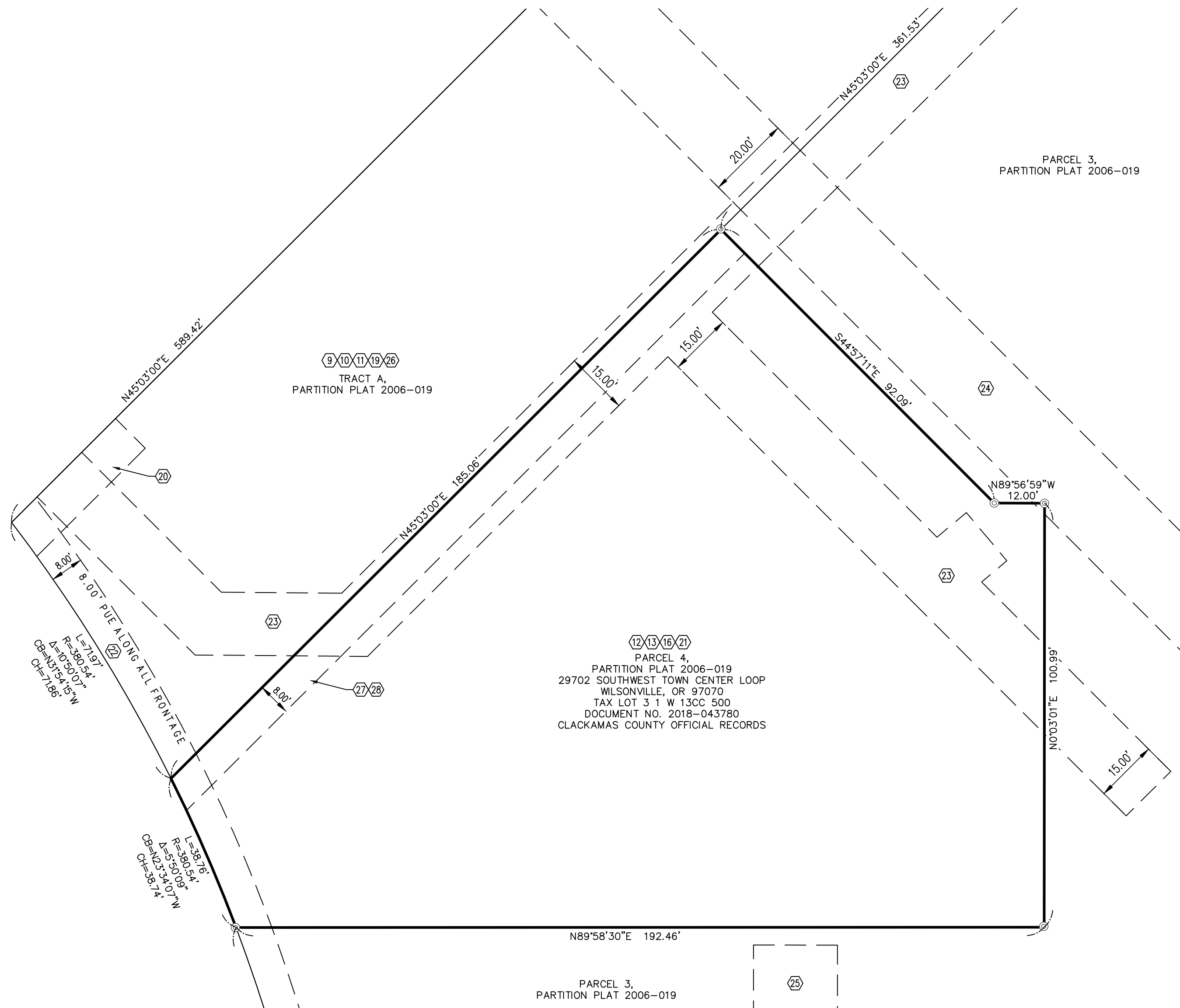
Table with columns: CALC, D., HOCKMAN, CAD, D., HOCKMAN, PM, J., WHITE, SYM, REVISION, DATE, BY, APP'D

PACE An Engineering Services Company logo and contact information: 4500 Kruse Way, Suite 250, Lake Oswego, OR 97035, p. 503.597.3222 | f. 503.597.7655, www.paceengineers.com

DUTCH BROTHERS 29702 SOUTHWEST TOWN CENTER LOOP WILSONVILLE, OR 97070 TAX LOT 500, TAX MAP 3 1 W 13CC Civil | Structural | Planning | Survey

Table with columns: DATE, SCALE, SURVEY TEAM, FIELD BOOK, DWG: 19831 ALTA.DWG

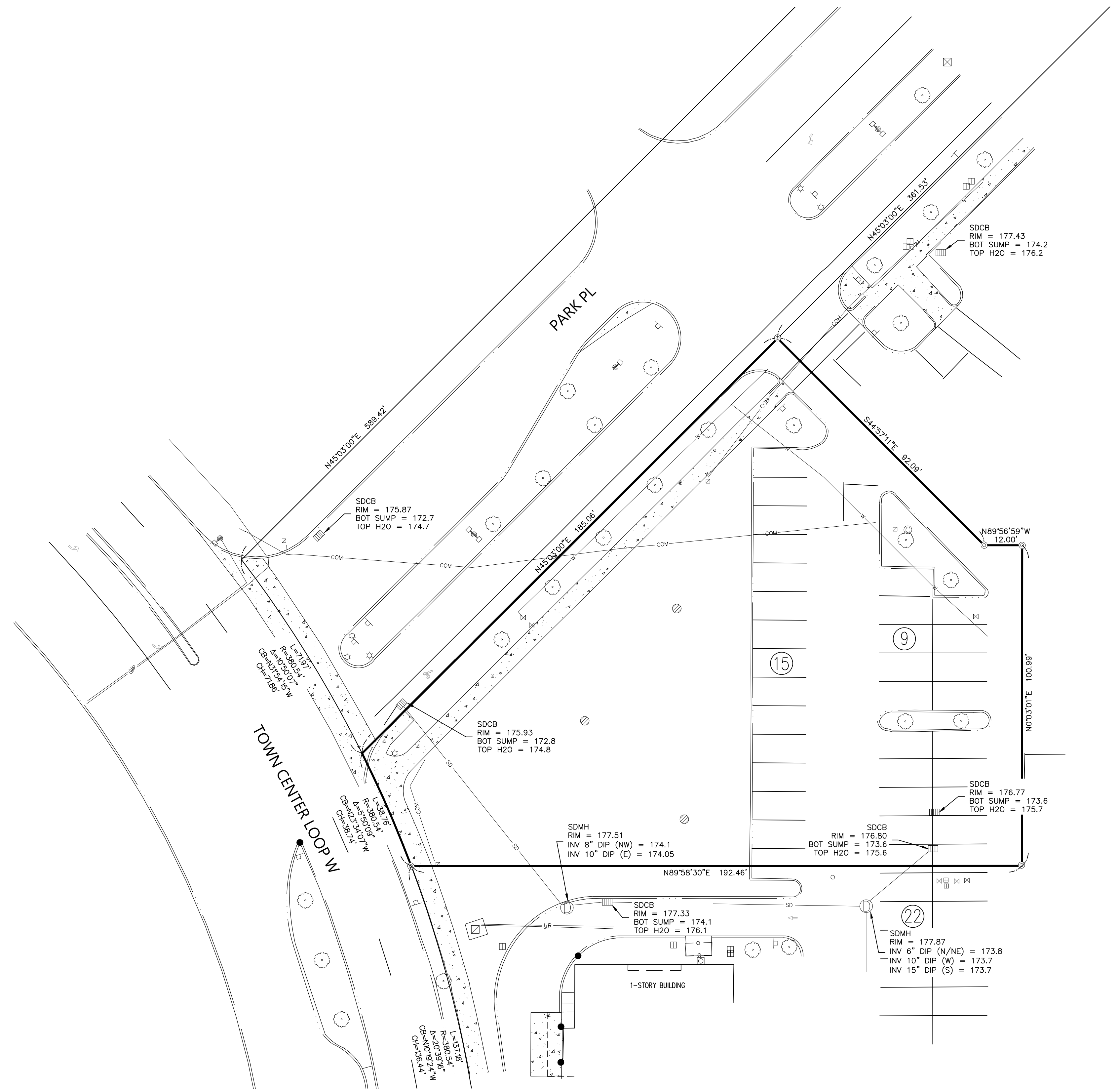
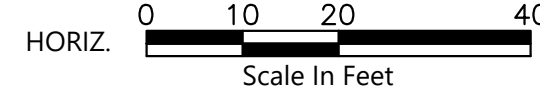
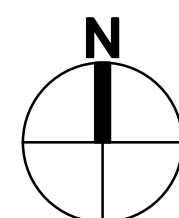
ALTA/NSPS LAND TITLE SURVEY FOR DOUGLAS A. FRY AND CINDY J. FRY



BOUNDARY AND EASEMENTS

LEGEND

- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ STORM MANHOLE
- ▭ CATCH BASIN - RECTANGLE
- ⊕ GEOTECH TEST PIT
- ⊕ SANITARY CLEAN OUT
- ⊕ COMMUNICATION MANHOLE
- ⊕ GAS METER
- ⊕ JUNCTION BOX
- ⊕ PEDISTAL
- ⊕ SIGN
- ⊕ BOLLARD
- ⊕ LUMINARY
- ⊕ STREET LIGHT - SINGLE
- ⊕ STREET LIGHT - DOUBLE
- ⊕ DECIDUOUS TREE
- ⊕ MONUMENT FOUND (AS NOTED)
- ⊕ PARKING SPACE COUNT
- ⊕ TITLE EXCEPTION NUMBER
- ⊕ IR
- ⊕ W/YPC
- WATER LINE
- STORM DRAIN LINE
- UNDERGROUND POWER LINES
- UNDERGROUND COMMUNICATION LINES



TOPOGRAPHY & IMPROVEMENTS

FILE NAME: P:\P19\19851 - 0000.FRY - WILSONVILLE DUTCH BROS\CAD\SURVEY\19851.ALT.DWG
 LAYOUT: THE ALTA.P2
 USER: JIM.MAY
 PLOT TIME: 6/30/2020 10:08 PM
 XREF FILES:

CALC	D. HOCKMAN							
CAD	D. HOCKMAN							
PM	J. WHITE							
SYM		REVISION	DATE	BY	APP'D			



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DUTCH BROTHERS
 29702 SOUTHWEST TOWN CENTER LOOP
 WILSONVILLE, OR 97070
 TAX LOT 500, TAX MAP 3 1 W 13CC

DATE	2019
SCALE	1" = 20'
SURVEY TEAM	TM/AW
FIELD BOOK	
DWG:	19831 ALTA.DWG

ALTA/NSPS LAND TITLE SURVEY
 FOR
DOUGLAS A. FRY AND CINDY J. FRY

REGISTERED PROFESSIONAL LAND SURVEYOR
 OREGON JULY 10, 2018
 JESSE M. WHITE 92118
 RENEWS: 6/30/2020

PROJECT NO. **19851**
 SHEET **2** OF **2**

PORTION OF: SW 1/4, SW 1/4, SECTION 13, T. 3 S., R. 1 W., W.M.