

INDUSTRIAL FOCUS

WILSONVILLE, OREGON

NICOLI PACIFIC LLC.

PO BOX 2401
LAKE OSWEGO, OR 97035
+503.692.1799
DAVE NICOLI

OWNER

CIDA, INC.

15895 SW 72ND AVE, SUITE 200
PORTLAND OR 97224
+503.226.1285
TARA LUND, GAVIN RUSSELL, CURTIS GAGNER

ARCHITECTURAL/ STRUCTURAL

AAI ENGINEERING

4875 SW GRIFFITH DR, SUITE 300
BEAVERTON, OR 97005
+503.620.3030
DUSTIN ELMORE, TERESA LONG

CIVIL/ LANDSCAPE

HOLM BROTHERS CONSTRUCTION

5255 NE 74TH AVE,
PORTLAND, OR 97218
+503.252.2291
DALE HOLM

CONTRACTOR

R&W ENGINEERING, INC.

9615 SW ALLEN BLVD., SUITE 207
BEAVERTON, OR 97005
+503.292.6000
ED CARLISLE

MECHANICAL, ELECTRICAL & PLUMBING

PROJECT SUMMARY

PHASE 1: NEW 54,000 SF CONCRETE TILT BUILDING. SPECULATIVE INDUSTRIAL/FLEX. SITE WILL INCLUDE 40,000 GRAVEL STORAGE YARD AND LOADING AREAS, LANDSCAPE AND WASHBAY.

ZONING CODE INFORMATION

TAX MAP: 31W14A

TAX LOT: 500

ZONE: RAH - CHANGE TO PDI IN PROGRESS

SITE AREA: 171,206 SF (4 ACRES)

BUILDING AREA: 54,000 SF

LANDSCAPING AREA:
REQUIRED = 25,681 SF (15%)
PROVIDED = 29,621 SF (17.3%)

PARKING:
REQUIRED = 101 SPACES
PROVIDED = 110 SPACES
79 STANDARD
31 COMPACT (30%)

BIKE PARKING:
REQUIRED = 14 SPACES
PROVIDED = 14 SPACES
7 SHORT TERM
7 LONG TERM (LOCATED IN BUILDING)

BUILDING SETBACKS REQUIRED: N = 30'-0", 57'-6" PROVIDED
E = 30'-0", 81'-0" PROVIDED
S = 30'-0", 73'-8" PROVIDED
W = 30'-0", 312'-2" PROVIDED

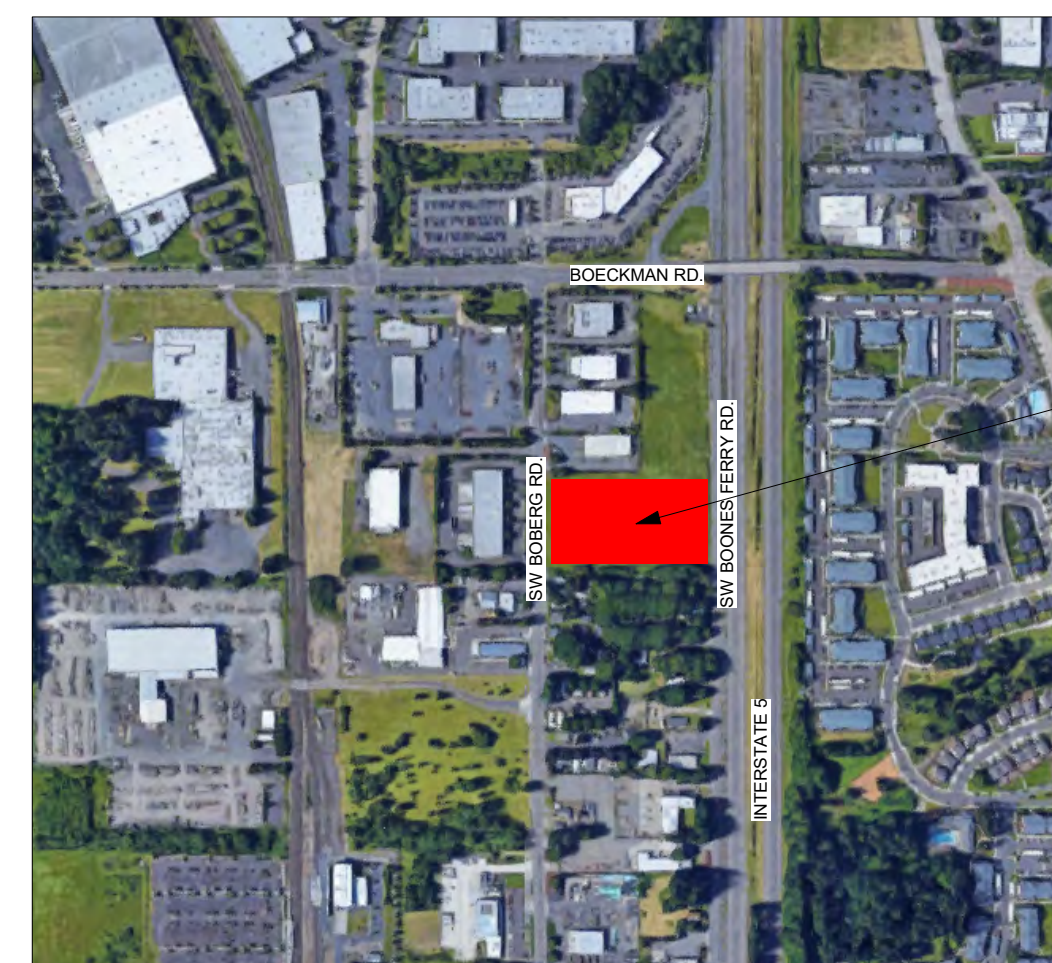
BUILDING HEIGHT LIMIT: NO LIMIT

BUILDING CODE INFORMATION

DESIGN CODE: 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)

DEFERRED SUBMITTALS

- MECHANICAL
- ELECTRICAL
- PLUMBING
- OPEN WEB STEEL JOISTS
- GEOPIERS



NORTH
VICINITY MAP

RELEASES

SHEET NUMBER	SHEET NAME	ISSUE	DATE
01_GENERAL			
CS1	COVER SHEET	DESIGN REVIEW RESPONSE	6/12/19
02_CIVIL			
CO.1	GENERAL NOTES	DESIGN REVIEW RESPONSE	6/12/19
CO.2	EXISTING CONDITIONS	DESIGN REVIEW RESPONSE	6/12/19
CO.3	DEMOLITION PLAN	DESIGN REVIEW RESPONSE	6/12/19
C1.0	SITE PLAN	DESIGN REVIEW RESPONSE	6/12/19
C2.0	GRADING PLAN	DESIGN REVIEW RESPONSE	6/12/19
C3.0	STORM PLAN	DESIGN REVIEW RESPONSE	6/12/19
C4.0	UTILITY PLAN	DESIGN REVIEW RESPONSE	6/12/19
03_LANDSCAPE			
L1.1	TREE MAINTENANCE & PROTECTION PLAN	DESIGN REVIEW RESPONSE	6/12/19
L1.2	TREE MAINTENANCE & PROTECTION PLAN	DESIGN REVIEW RESPONSE	6/12/19
L1.3	PLANTING PLAN	DESIGN REVIEW RESPONSE	6/12/19
L1.3A	PLANTING LEGEND	DESIGN REVIEW RESPONSE	6/12/19
L1.3B	WATER USAGE EXHIBIT	DESIGN REVIEW RESPONSE	6/12/19
L1.4	PLANTING PLAN	DESIGN REVIEW RESPONSE	6/12/19
L2.0	LANDSCAPE DETAILS	DESIGN REVIEW RESPONSE	6/12/19
L2.1	IRRIGATION DETAILS	DESIGN REVIEW RESPONSE	6/12/19
L3.0	LANDSCAPE & IR SPECS	DESIGN REVIEW RESPONSE	6/12/19
04_ARCHITECTURAL			
A0.1	SITE PLAN	DESIGN REVIEW RESPONSE	6/12/19
A0.2	SITE DETAILS	DESIGN REVIEW RESPONSE	6/12/19
A0.3	SITE DETAILS	DESIGN REVIEW RESPONSE	6/12/19
A0.4	SITE DETAILS	DESIGN REVIEW RESPONSE	6/12/19
A0.5	SITE LIGHTING PLAN	DESIGN REVIEW RESPONSE	6/12/19
A0.6	CIRCULATION PLAN	DESIGN REVIEW RESPONSE	6/12/19
A0.X1	PROGRAMMED SPACES	DESIGN REVIEW RESPONSE	6/12/19
A0.X2	PROGRAMMED SPACES	DESIGN REVIEW RESPONSE	6/12/19
A0.X3	Unnamed	DESIGN REVIEW RESPONSE	6/12/19
A0.X4	Unnamed	DESIGN REVIEW RESPONSE	6/12/19
A1.0	WALL TYPES	DESIGN REVIEW RESPONSE	6/12/19
A1.1	LOWER & FIRST FLOOR PLAN	DESIGN REVIEW RESPONSE	6/12/19
A1.2	SECOND & THIRD FLOOR PLAN	DESIGN REVIEW RESPONSE	6/12/19
A2.1	ELEVATIONS	DESIGN REVIEW RESPONSE	6/12/19
A2.2	ELEVATIONS	DESIGN REVIEW RESPONSE	6/12/19
A7.2	EXTERIOR DETAILS & WASHDOWN BAY	DESIGN REVIEW RESPONSE	6/12/19



Exterior Perspective
12" = 1'-0"

PRELIMINARY
PLAN
ONLY-NOT
FOR
CONSTRUCTION

04/04/19
6/12/19

ISSUE DATE
DESIGN REVIEW
DESIGN REVIEW RESPONSE
1 2

CIDA
ARCHITECTURE
ENGINEERING
PLANNING
INTERIORS
LANDSCAPE

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NEW CONSTRUCTION FOR
INDUSTRIAL FOCUS
NO SITUS - 31W14A.00500
WILSONVILLE, OREGON 97070

COVER SHEET

CS1

180146.01

GENERAL NOTES

- CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED – DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2017 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF WILSONVILLE.
- THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CITY OF WILSONVILLE FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF WILSONVILLE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- NOTIFY CITY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY REPRESENTATIVE SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.
- EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 – 209.155.

CONSTRUCTION NOTES

DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
- EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
- ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
- SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

UTILITIES

- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

STORM AND SANITARY

- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 00490, "WORK ON EXISTING SEWERS AND STRUCTURES".
- BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
- ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.

WATER

- ALL WATER AND FIRE PROTECTION PIPE SHALL HAVE A MINIMUM 36-INCH COVER TO THE FINISH GRADE.
- ALL WATER AND FIRE PRESSURE FITTINGS SHALL BE PROPERLY RESTRAINED WITH THRUST BLOCKS PER DETAIL.
- ALL WATER MAIN / SANITARY SEWER CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT REGULATIONS, CHAPTER 333.

EARTHWORKS

- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

PAVING

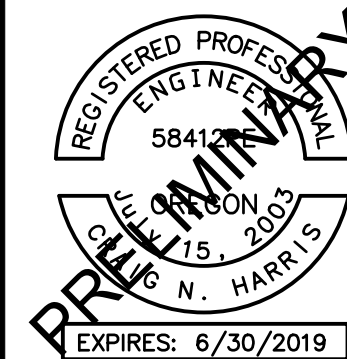
- SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

MATERIAL NOTES

- GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM ENGINEER PRIOR TO INSTALLATION.
- STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2' OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- PRIVATE WATER MAINS 4-INCH DIAMETER AND LARGER SHALL BE DUCTILE IRON PIPE SCH 80; AS INDICATED IN THE PLANS.
- PRIVATE WATER LINES 3-INCH DIAMETER AND SMALLER SHALL BE TYPE K COPPER OR PVC; AS INDICATED IN THE PLANS.
- CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

SEPARATION STATEMENT

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.



04/04/19

ISSUE DATE
DESIGN REVIEW

1



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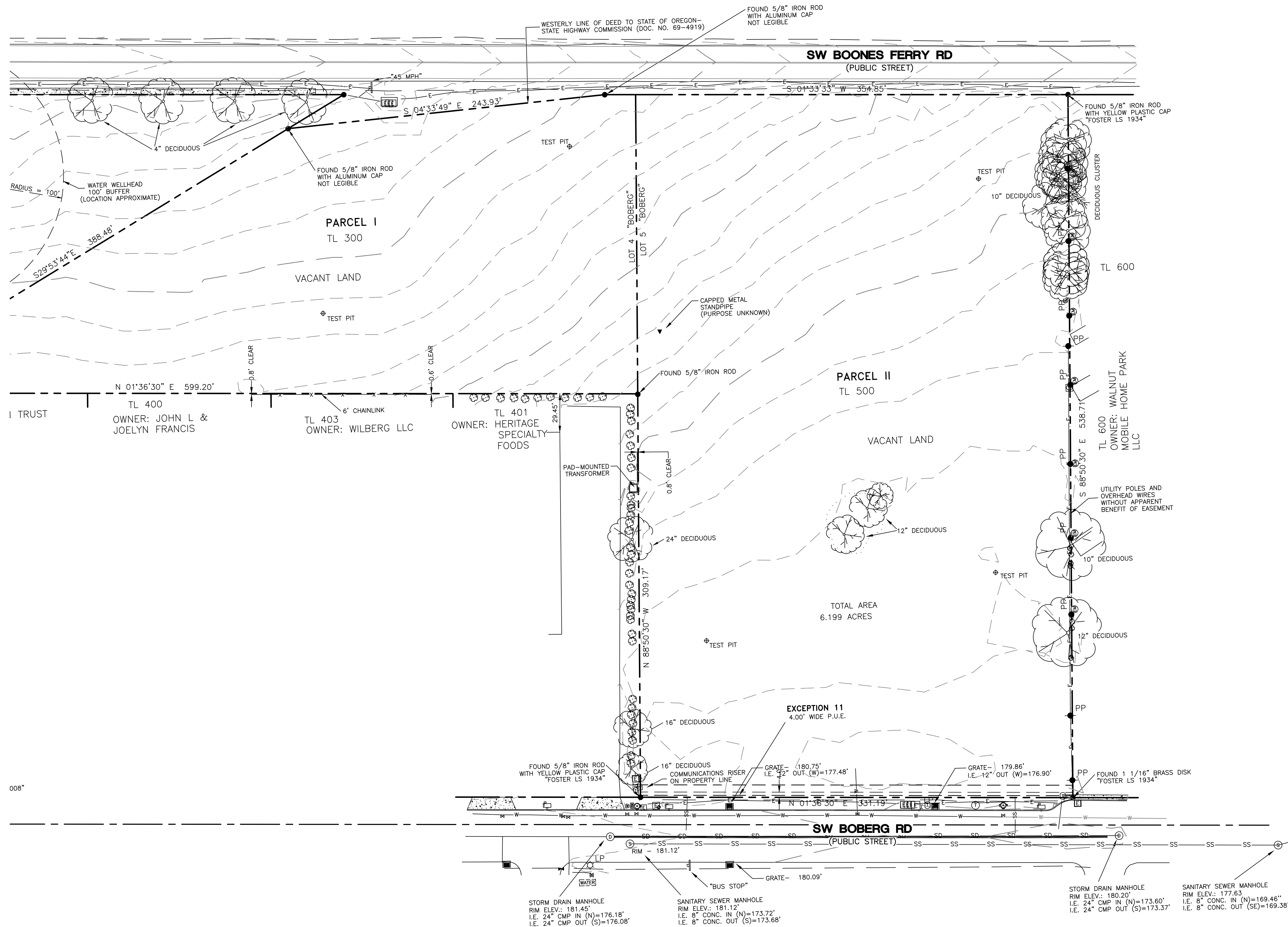
NEW CONSTRUCTION
INDUSTRIAL FOCUS - PHASE 1
NO SITUS - 31W14A.00500
WILSONVILLE, OREGON 97070

GENERAL NOTES

C0.1

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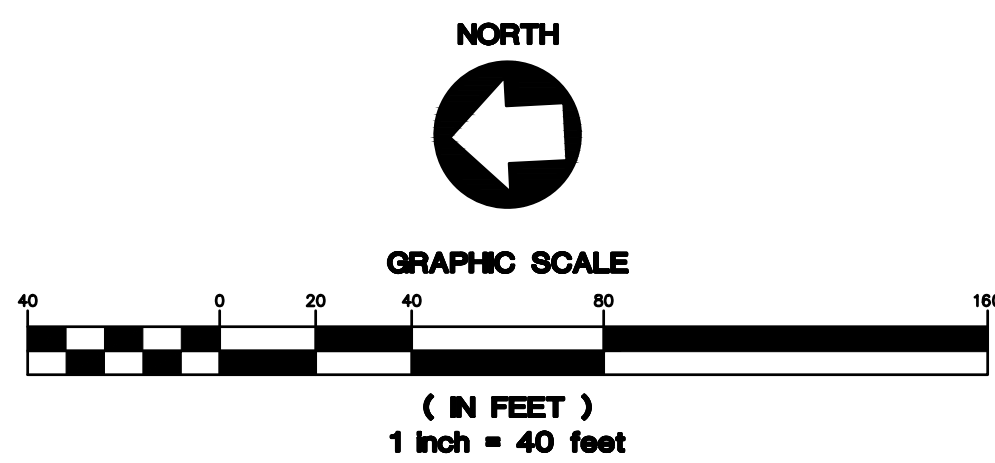


SHEET NOTES

- 1 THE BASIS OF BEARING FOR THIS SURVEY IS PER SURVEY NO. SN2015-164, CLACKAMAS COUNTY RECORDS. THIS IS NOT A RECORDABLE SURVEY.
- 2 UNDERGROUND UTILITIES ARE SHOWN PER SURFACE MARKINGS AND AS-BUILT INFORMATION PROVIDED BY THE CONTROLLING JURISDICTIONS. THE SURVEYOR MAKES NO GUARANTEE AS TO THE EXACT LOCATION, EXISTENCE, NON-EXISTENCE OR COMPLETENESS OF ANY SUBSURFACE UTILITIES SHOWN, OR NOT SHOWN ON THE MAP. CALL 811 BEFORE DIGGING.
- 3 THE BENCHMARK USED FOR THIS SURVEY IS AN OPUS GPS DERIVED ELEVATION ON A NAIL NEAR THE NW PROPERTY CORNER. ELEVATION: 181.11' (NAVD 88)

LEGEND

- BOLLARD
- CABLE TELEVISION VAULT
- COLUMN
- COMMUNICATIONS RISER
- CURB INLET
- DECIDUOUS TREE
- FIRE HYDRANT
- FOUND MONUMENT AS NOTED
- GPS OCCUPATION
- MAILBOX
- GAS VALVE
- LIGHT POLE
- POWER POLE
- POWER METER
- POWER PANEL
- POWER VAULT
- PUBLIC UTILITY EASEMENT
- SANITARY SEWER MANHOLE
- SHRUB
- SIGN AS INDICATED
- STORM SEWER MANHOLE
- TELEPHONE MANHOLE
- TEST PIT
- TRANSFORMER
- UTILITY VAULT
- WATER METER
- WATER VALVE
- WATER VAULT
- BUILDING
- BUILDING OVERHANG
- FENCE
- GAS LINE
- OVERHEAD POWER
- SANITARY SEWER
- STORM SEWER
- UNDERGROUND TELEVISION
- WATER LINE
- CONCRETE



ISSUE DATE 04/04/19
DESIGN REVIEW 1

AAI ENGINEERING
4075 SW Griffin Drive | Suite 300 | Beaverton, OR 97005
503.620.2020 | www.aai-engineering.com

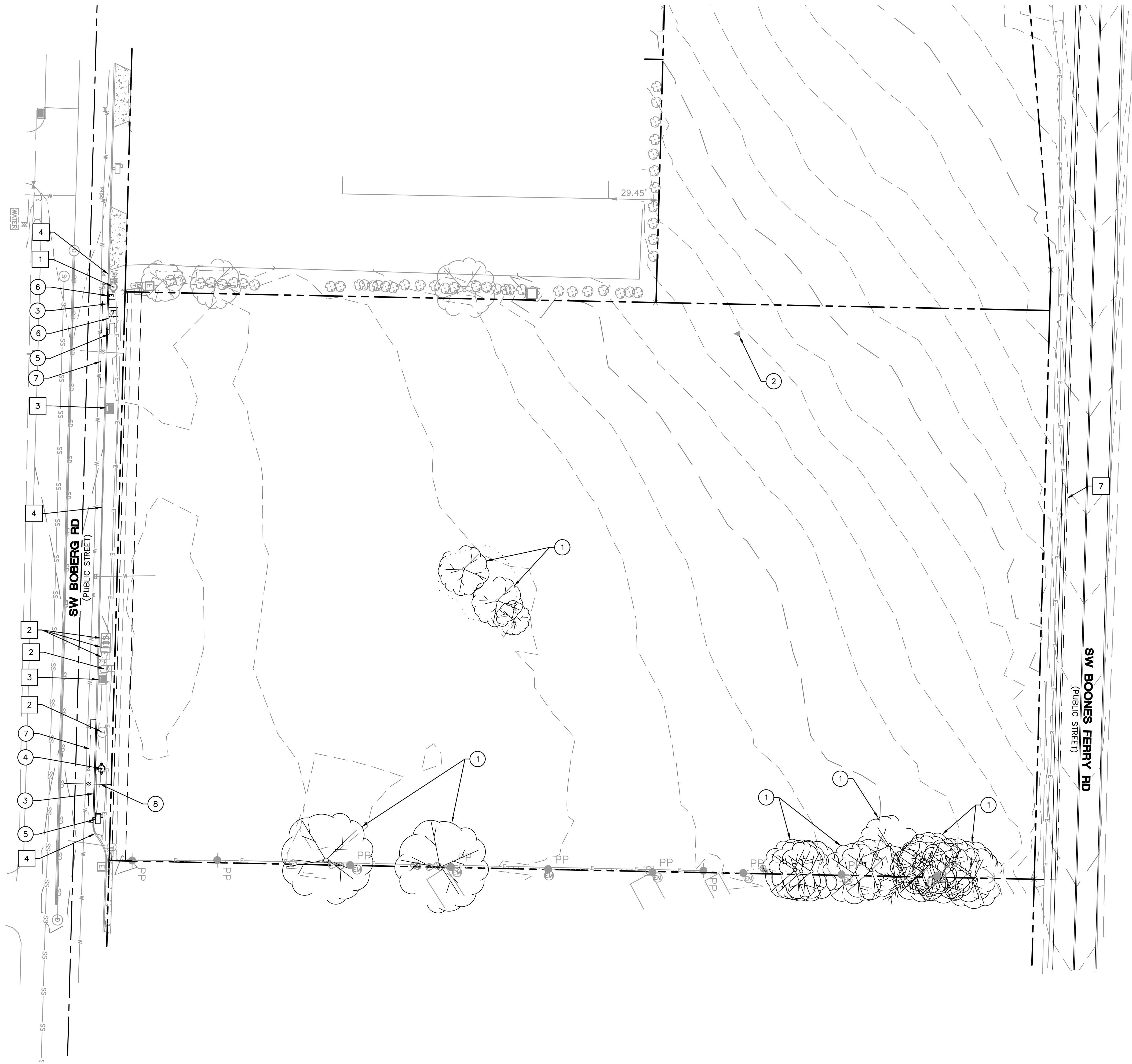
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NEW CONSTRUCTION
INDUSTRIAL FOCUS - PHASE 1
NO SITUS - 31W14A.00500
WILSONVILLE, OREGON 97070

EXISTING CONDITIONS
C0.2
180146.01
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P:\2018\W1824-10 - Industrial Focus (Civil) (Sheet) (Cadastral) (1824) (01) (L) - Conforming Jun 12, 2019 - 1:15pm



SHEET NOTES

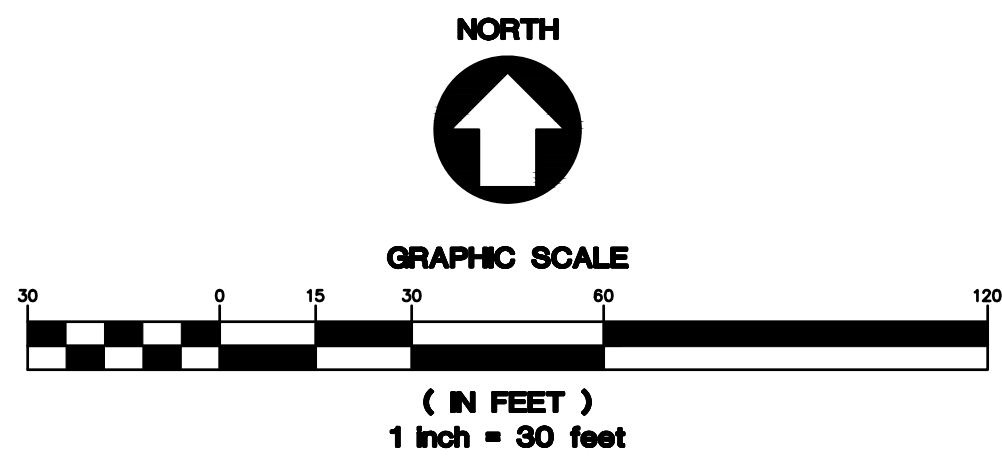
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
11. PROTECT ALL EXISTING VEGETATION TO REMAIN.

X PROTECTION NOTES

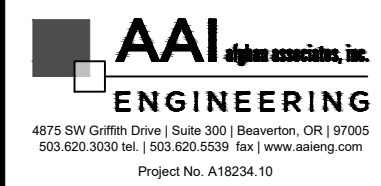
- 1 PROTECT EXISTING FIRE HYDRANT
- 2 PROTECT EXISTING UTILITY STRUCTURE
- 3 PROTECT EXISTING CURB INLETS
- 4 PROTECT EXISTING CURB

X DEMOLITION NOTES

- 1 REMOVE EXISTING TREES
- 2 REMOVE EXISTING STANDPIPE
- 3 REMOVE EXISTING CURB
- 4 REMOVE AND RELOCATE EXISTING HYDRANT
- 5 REMOVE AND RELOCATE EXISTING MAILBOX
- 6 ADJUST OR RELOCATE EXISTING UTILITY STRUCTURE
- 7 SAWCUT AND REMOVE EXISTING ASPHALT
- 8 REMOVE EXISTING SANITARY LATERAL AND CAP



04/04/19
ISSUE DATE
DESIGN REVIEW
1



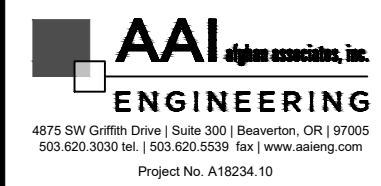
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NEW CONSTRUCTION
INDUSTRIAL FOCUS - PHASE 1
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DEMOLITION PLAN
C0.3
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ISSUE DATE
DESIGN REVIEW
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NEW CONSTRUCTION
INDUSTRIAL FOCUS - PHASE 1
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HARDSCAPE PLAN
C1.0
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SHEET NOTES

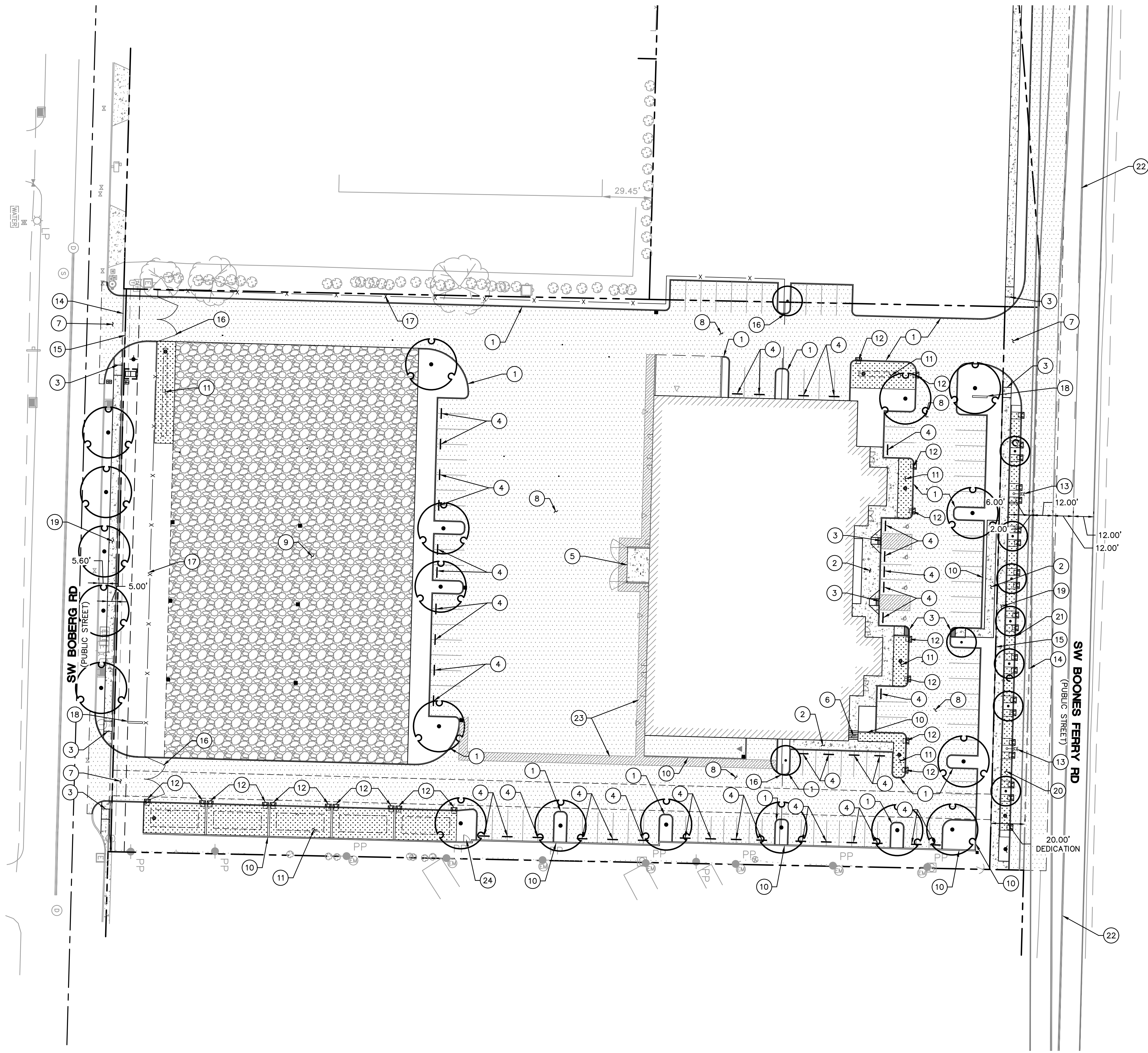
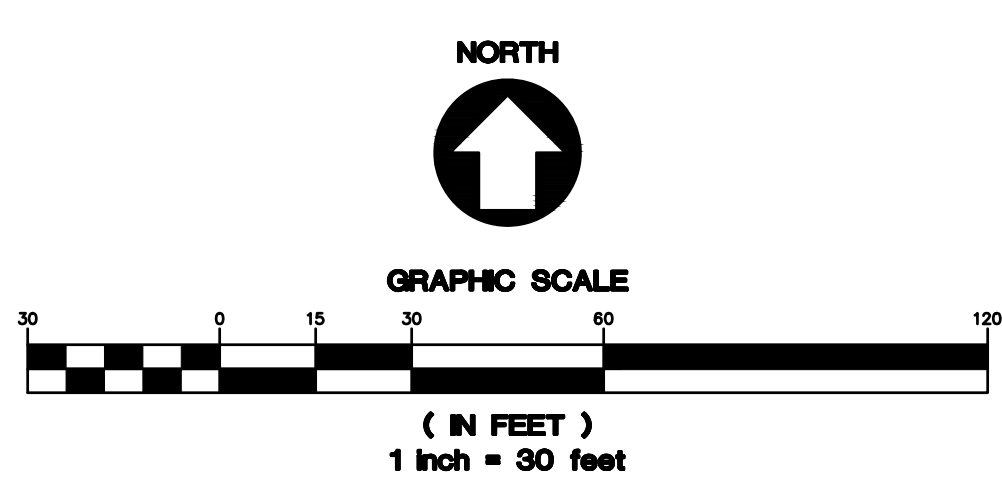
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

CONSTRUCTION NOTES

- INSTALL PRIVATE CURB
- INSTALL PRIVATE SIDEWALK
- INSTALL ADA RAMP
- INSTALL WHEELSTOP
- INSTALL TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- INSTALL STAIRS, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- INSTALL DRIVEWAY
- INSTALL ASPHALT SURFACING
- INSTALL GRAVEL SURFACING
- INSTALL WALL, DESIGN BY OTHERS
- INSTALL PRIVATE STORMWATER FACILITY. SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- INSTALL CONCRETE INLET
- INSTALL PUBLIC LIGHTPOLE
- EXISTING PROPERTY LINE TO BE ABANDONED
- PROPOSED PROPERTY LINE
- INSTALL GATE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- INSTALL FENCE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- INSTALL SIGN, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- INSTALL PUBLIC SIDEWALK
- INSTALL PUBLIC STORMWATER FACILITY
- INSTALL PUBLIC CURB
- OFFSITE IMPROVEMENT NOT ADJACENT TO THE PROPOSED PROJECT ARE SHOWN FOR REFERENCE ONLY. CONTINUED COORDINATION WITH THE CITY WILL BE COMPLETED PRIOR TO PERMIT SUBMITTAL
- PEDESTRIAN CROSSING STRIPING, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- MAN DOOR, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION

LEGEND

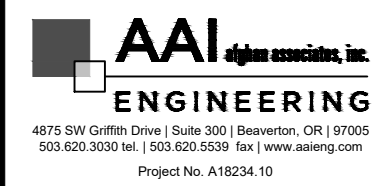
PROPERTY LINE	
CONCRETE SIDEWALK SURFACING	
ASPHALT SURFACING	
GRAVEL SURFACING	



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ISSUE DATE 04/04/19
DESIGN REVIEW 1



15895 SW 72ND AVE SUITE 200
PORTLAND, OREGON 97224
TEL: 503.226.1288
FAX: 503.226.1870
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NEW CONSTRUCTION INDUSTRIAL FOCUS - PHASE 1 NO SITUS - 31W14A.00500 WILSONVILLE, OREGON 97070

GRADING PLAN
C2.0
180146.01

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SHEET NOTES

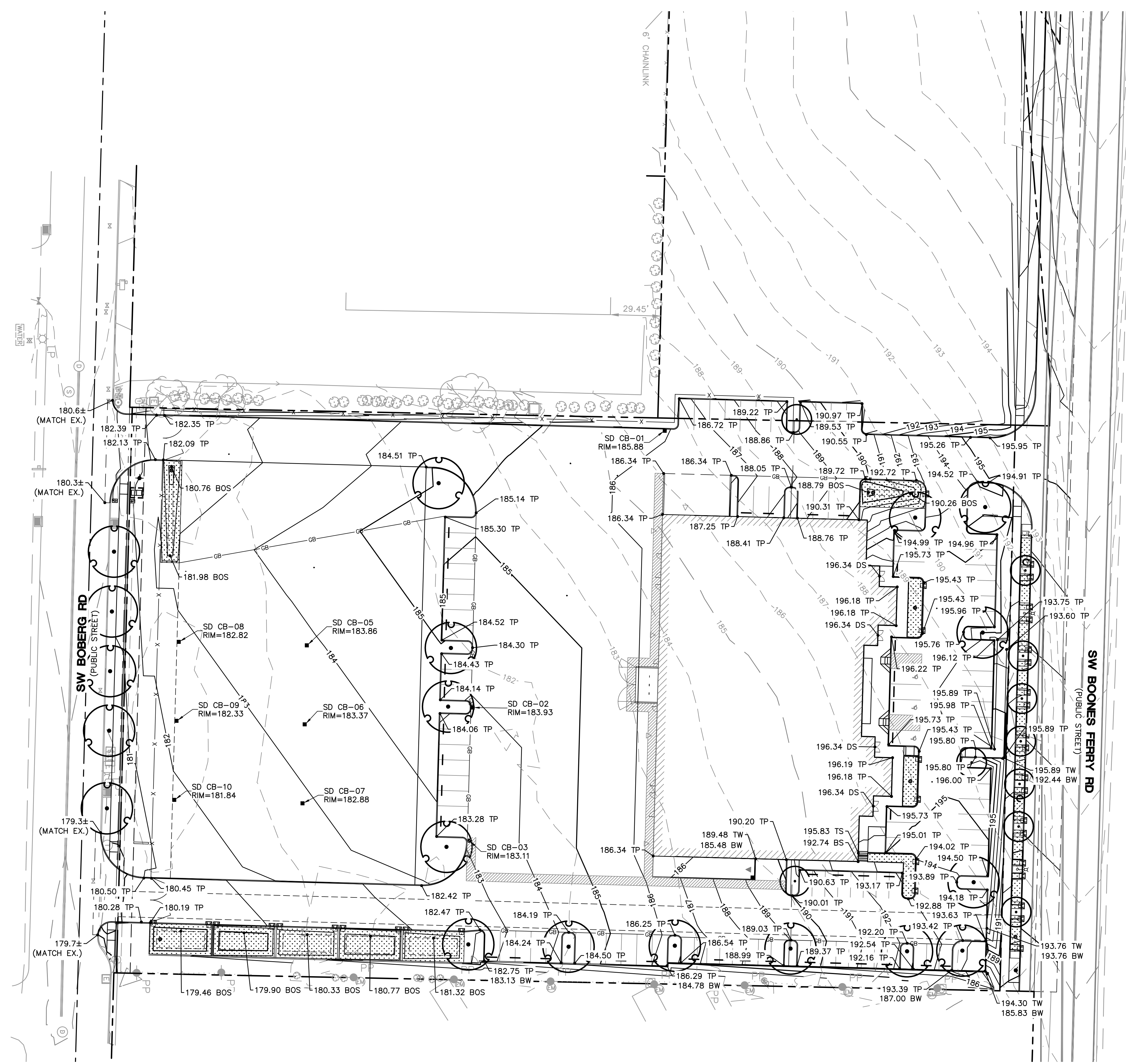
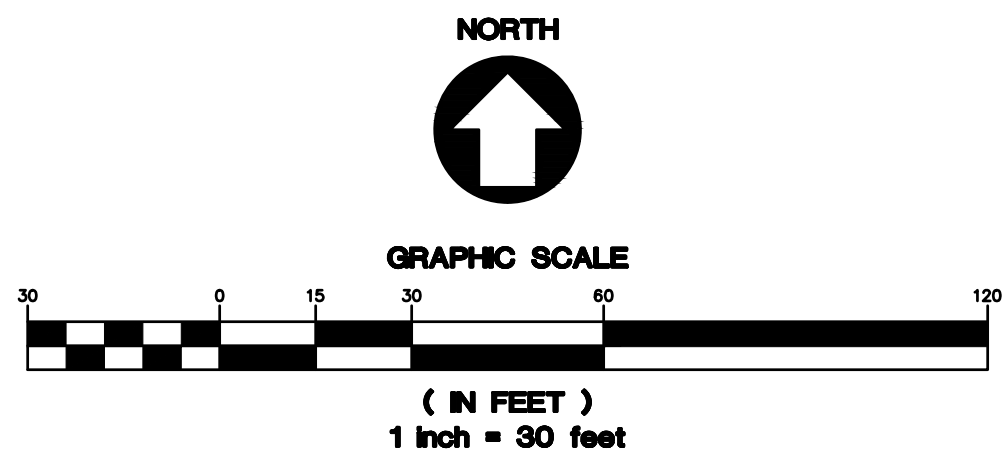
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- CURB HEIGHTS ARE 6" UNLESS NOTED OTHERWISE.
- LANDINGS ON ACCESSIBLE ROUTES SHALL NOT EXCEED 2% IN ANY DIRECTION.
- ALL ACCESSIBILITY ROUTES SHALL COMPLY WITH CURRENT ADA ACCESSIBILITY GUIDELINES FOR BUILDING AND FACILITIES (ADAAG).
- ALL WALKWAYS FROM ACCESSIBLE UNITS ARE DESIGNED TO NOT REQUIRE HANDRAILS. THEREFORE, RAMP WITH SLOPES STEEPER THAN 5.0% AND LESS THAN 8.33% SHALL NOT EXCEED 0.5' RISE OR 6.0' LENGTH.
- FINISH GRADES ARE TO BE BROUGHT TO WITHIN 0.08 FT IN 10 FT OF THE GRADES SHOWN AT SUBGRADE AND TO WITHIN 0.03 FT IN 10 FT AT FINISH GRADE. CONTRACTOR TO ALLOW FOR PLACEMENT OF REQUIRED TOPSOIL IN ROUGH GRADING.
- GRADING ELEVATIONS AS SHOWN ON SITE AND LANDSCAPE PLANS ARE FINISHED GRADE WHICH INCLUDES SUBGRADE SOIL, TOPSOIL, SOIL AMENDMENTS, ROCKERY AND RUNOFF PROTECTION CONTRACTOR IS RESPONSIBLE TO COORDINATE GRADING WITH BOTH EXCAVATOR AND LANDSCAPE CONTRACTOR.

GRADING LABEL LEGEND

CALLOUT	DESCRIPTION
XX.XX XX	SPOT ELEVATION
	DESCRIPTION LISTED BELOW.
BS	BOTTOM OF STAIRS
BOS	BOTTOM OF SWALE
BW	BOTTOM OF WALL
DS	DOOR SILL
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TS	TOP OF STAIRS
TW	TOP OF WALL

LEGEND

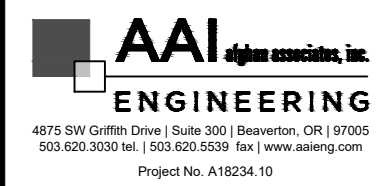
EXISTING CONTOUR MINOR	---	102
EXISTING CONTOUR MAJOR	---	100
PROPOSED CONTOUR MINOR	---	102
PROPOSED CONTOUR MAJOR	---	100
GRADE BREAK	---	GB



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04/04/19
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DESIGN REVIEW
1



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NO SITUS - 31W14A 00500
WILSONVILLE, OREGON 97070

STORM PLAN

C3.0

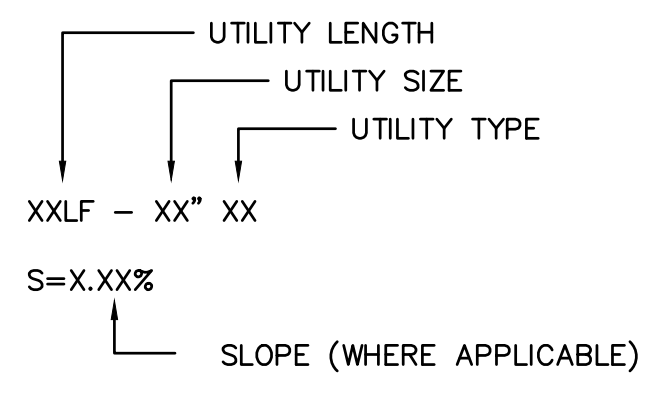
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SHEET NOTES

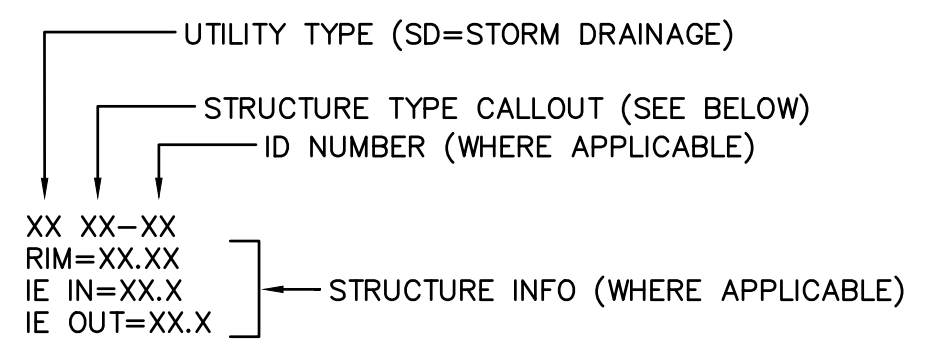
- SEE C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- ALL STORM PIPING SHALL BE PVC 3034 OR APPROVED EQUAL AT 1.0% MIN SLOPE, UNLESS NOTED OTHERWISE.
- PIPE BEDDING AND BACKFILL FOR ALL UTILITIES SHALL BE DONE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN.
- UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- CHANGES IN DIRECTION OF DRAINAGE PIPING SHALL BE MADE BY THE APPROPRIATE USE OF APPROVED FITTINGS AND SHALL BE OF THE ANGLES PRESENTED BY ONE-SIXTEENTH BEND, ONE-EIGHTH BEND, ONE-SIXTH BEND OR OTHER APPROVED FITTINGS OF EQUIVALENT SWEEP.
- INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.

LABEL LEGEND

PIPE LABELS



STRUCTURE LABELS



STRUCTURE TYPES

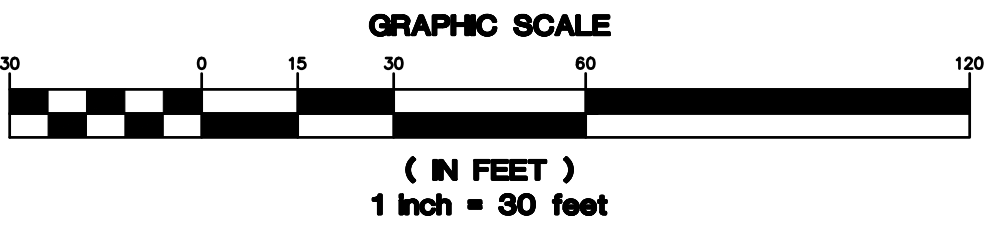
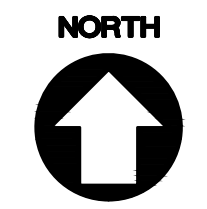
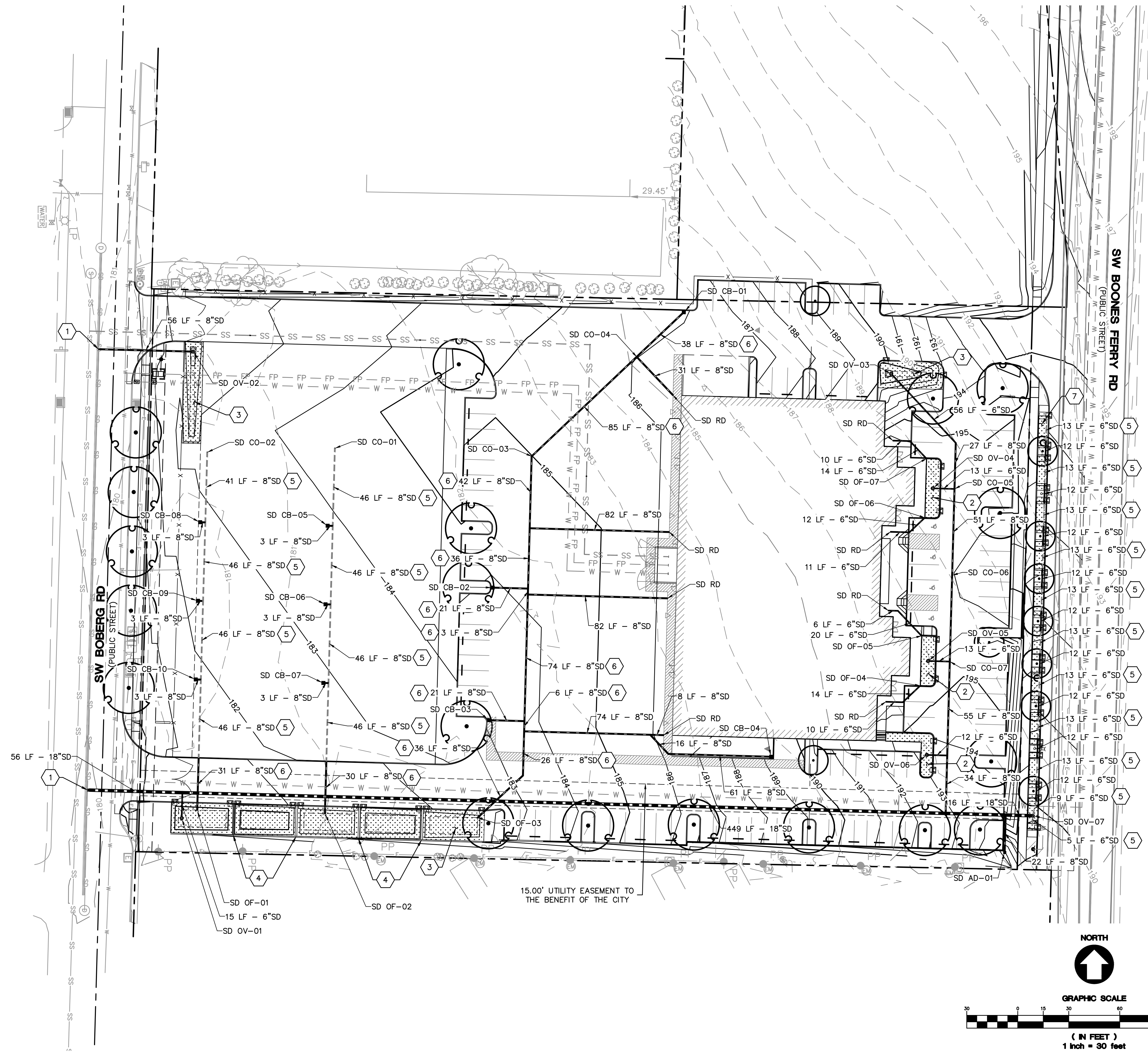
CALLOUT	DESCRIPTION
CB	CATCH BASIN
CO	CLEANOUT
OF	OUTFALL
OV	OVERFLOW
RD	ROOF DRAIN CONNECTION
AD	AREA DRAIN

LEGEND



STORM NOTES

- CONNECT TO EXISTING STORM MAIN
- INSTALL PRIVATE FILTRATION PLANTER
- INSTALL PRIVATE FILTRATION SWALE (TYP)
- INSTALL CHECK DAM
- INSTALL PERFORATED PIPE DRAIN
- INSTALL DUCTILE IRON PIPE
- INSTALL PUBLIC FILTRATION PLANTER (TYP)



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WILSONVILLE, OREGON 97070

UTILITY PLAN

C4.0

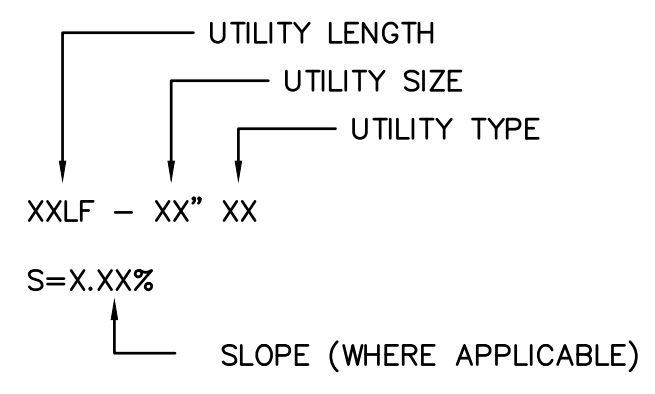
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SHEET NOTES

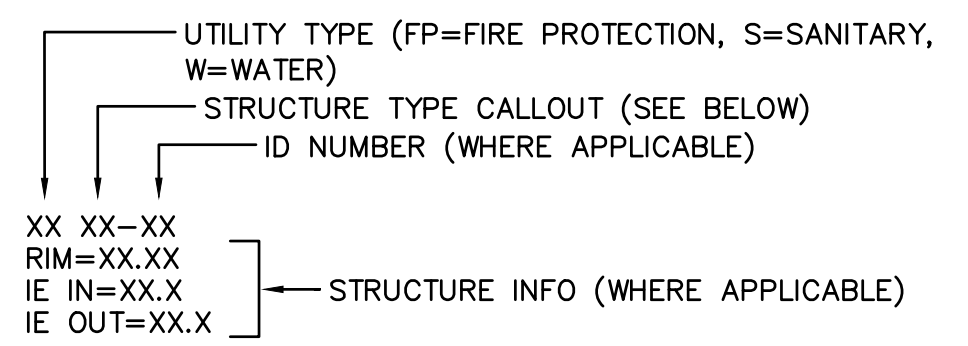
- SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
- STRUCTURES HORIZONTAL LOCATIONS AND PIPE INVERTS ARE BASED ON THE CENTER OF THE STRUCTURE.
- PIPE BEDDING AND BACKFILL UTILITIES SHALL BE DONE.
- ALL SANITARY PIPING SHALL BE PVC 3034 OR APPROVED EQUAL UNLESS NOTED OTHERWISE.
- THIS PLAN IS GENERALLY DIAGRAMMATIC. IT DOES NOT SHOW EVERY JOINT, BEND, FITTING, OR ACCESSORY REQUIRED FOR CONSTRUCTION.
- CLEAN OUTS SHALL BE INSTALLED IN CONFORMANCE WITH UPC CHAPTER SEVEN, SECTION 707 AND SECTION 719. NOT ALL REQUIRED CLEAN OUTS ARE SHOWN.
- DOMESTIC WATER AND FIRE LINES AND ACCESSORIES BETWEEN THE WATER METER AND THE BUILDING SHALL BE INSTALLED BY A LICENSED PLUMBER EMPLOYED BY A LICENSED PLUMBING CONTRACTOR.
- UTILITIES WITHIN FIVE FEET OF A BUILDING SHALL BE CONSTRUCTED OF MATERIALS APPROVED FOR INTERIOR USE AS DESCRIBED IN THE CURRENT EDITION OF THE UPC.
- INLETS AND OUTLETS TO ON-SITE MANHOLES SHALL HAVE FLEXIBLE CONNECTION NO CLOSER THAN 12" AND NO FARTHER THAN 36" FROM THE MANHOLE.
- CONTRACTOR TO VERIFY SANITARY AND WATER SIZING WITH APPROVED PLUMBING PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION OF SAID UTILITIES.

LABEL LEGEND

PIPE LABELS



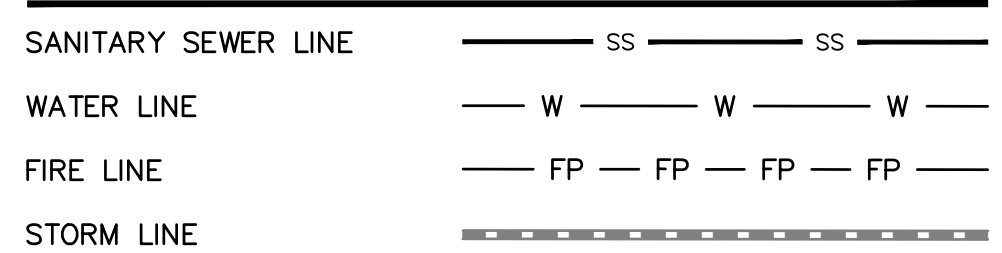
STRUCTURE LABELS



STRUCTURE TYPES

CALLOUT	DESCRIPTION
BF	BACKFLOW
CO	CLEANOUT
FDC	FIRE DEPARTMENT CONNECTION
FV	FIRE VAULT
WM	WATER METER

LEGEND

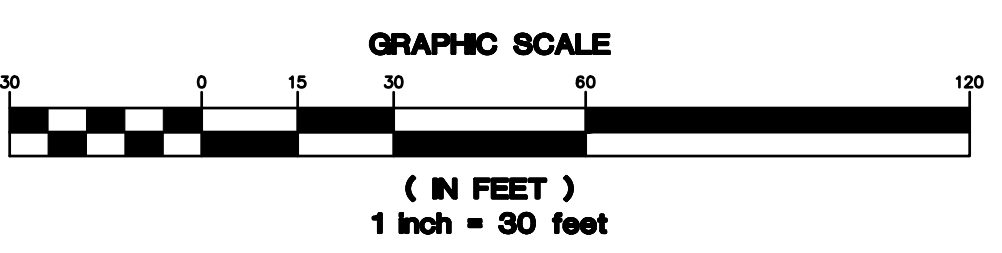
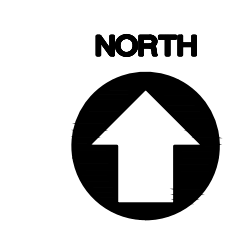
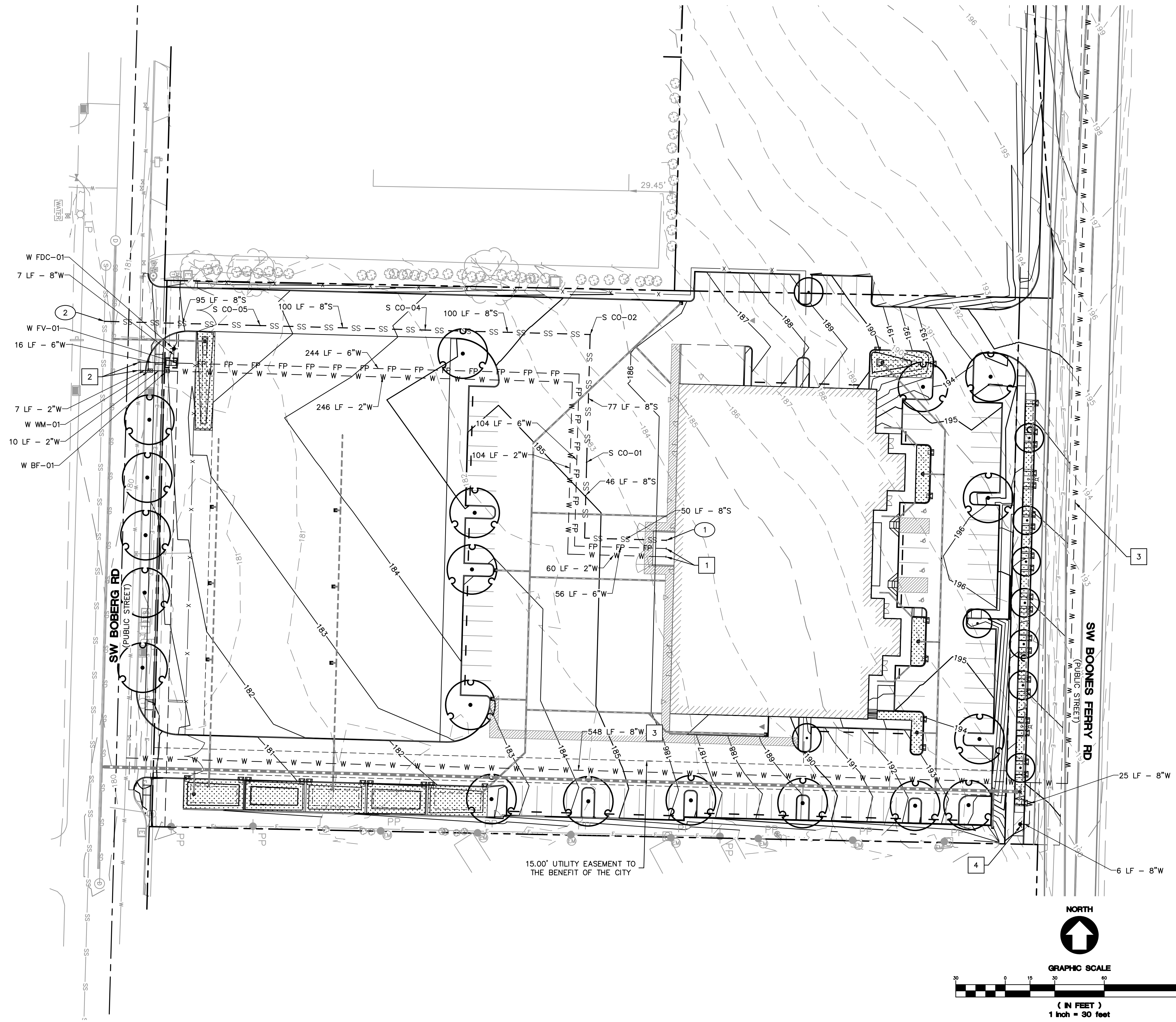


(X) SANITARY NOTES

- SANITARY SEWER POINT OF CONNECTION
- CONNECT TO EXISTING SANITARY SEWER MAIN

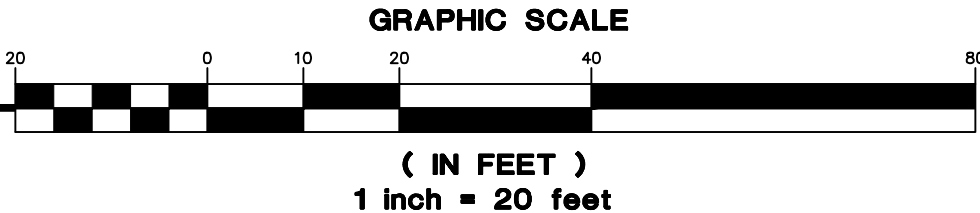
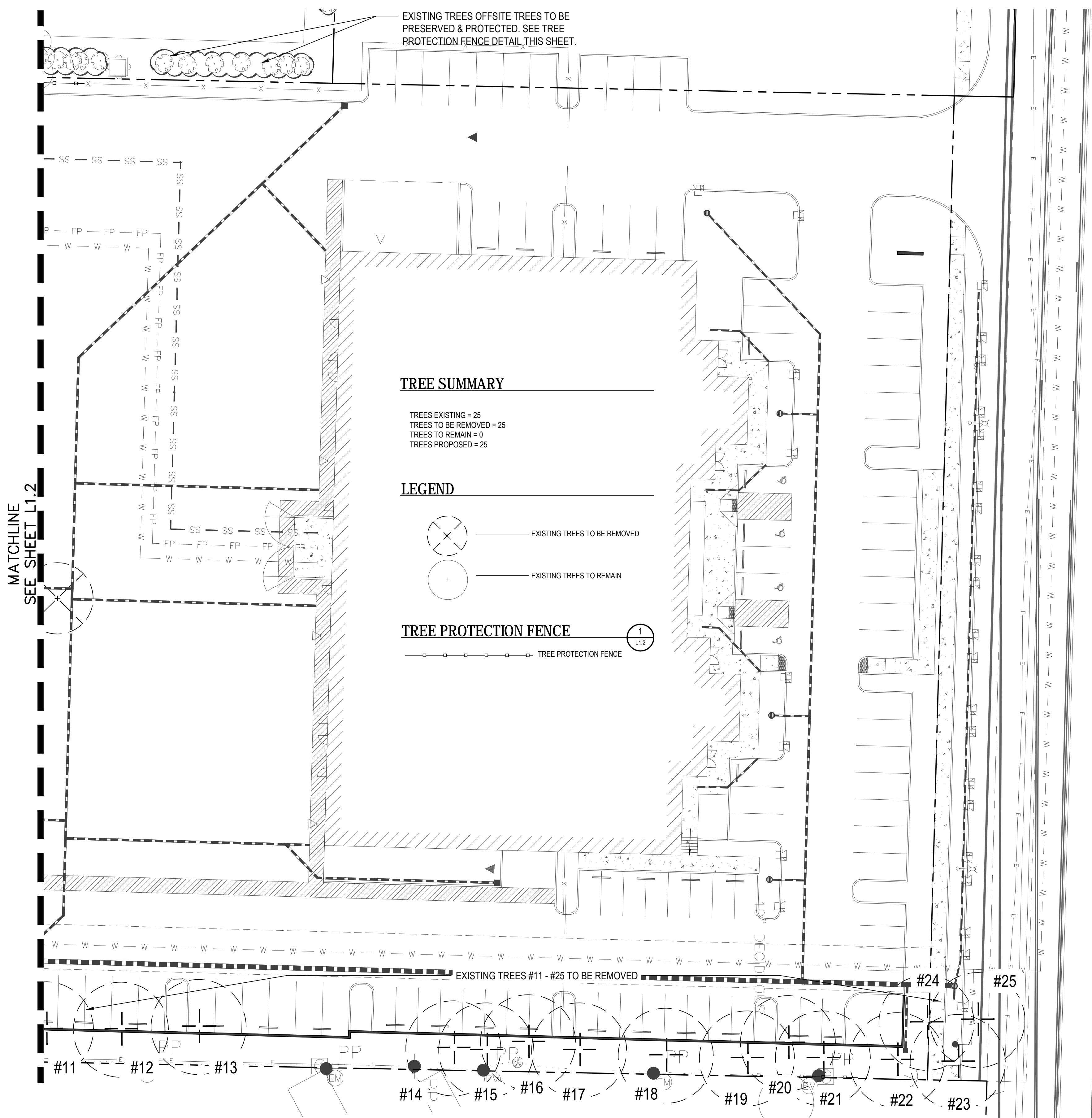
(X) WATER NOTES

- WATER POINT OF CONNECTION
- CONNECT TO EXISTING WATER MAIN
- INSTALL PUBLIC WATER MAIN
- INSTALL PUBLIC FIRE HYDRANT



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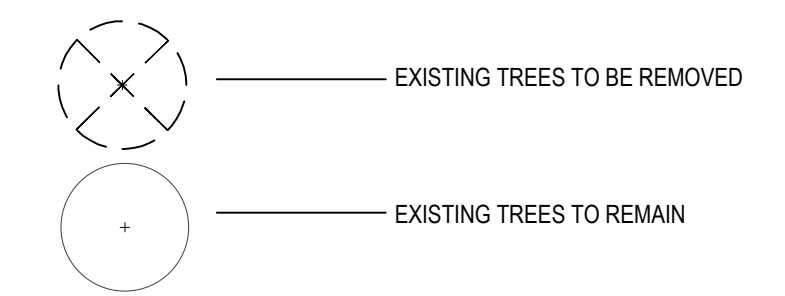
Tree #	Common Name	Scientific Name	DBH	Condition	Structure	Comments	Recommend to Retain
1	Red Oak	Quercus rubra	13.5"	Fair	Fair		
2	Red Oak	Quercus rubra	13.5"	Fair	Fair		
3	Hawthorn	Crataegus monogyna	22"	Poor	Poor	Poor structure, over mature, topped for powerline clearance	No
4	Big Leaf Maple	Acer macrophylla	27"	Poor	Poor	Poor structure and topped for powerline clearance	No
5	Hazelnut	Corylus americana	Multi-stem	Poor	Fair	Poor structure and topped for powerline clearance	No
6	Hazelnut	Corylus americana	Multi-stem	Poor	Fair	Poor structure and topped for powerline clearance	No
7	Hazelnut	Corylus americana	Multi-stem	Poor	Fair	Poor structure and topped for powerline clearance	No
8	Big Leaf Maple	Acer macrophyllum	6"	Fair	Poor	Tree has been topped for line clearance Trees are stump sprouts	N
9	Big Leaf Maple	Acer macrophyllum	6"	Fair	Poor	Tree has been topped for line clearance Trees are stump sprouts	N
10	Big Leaf Maple	Acer macrophyllum	6"	Fair	Poor	Tree has been topped for line clearance Trees are stump sprouts	N
11	Big Leaf Maple	Acer macrophyllum	16"	Fair	Poor	Co-dominant with poor structure	N
12	Big leaf Maple	Acer macrophyllum	19"	Fair	Poor	Tree has been topped for line clearance Trees are stump sprouts	N
13	Big Leaf Maple	Acer macrophyllum	17"	Fair	Poor	Tree has been topped for line clearance Trees are stump sprouts	N
14	Big Leaf Maple	Acer macrophyllum	15"	Fair	Poor	Tree has been topped for line clearance Trees are stump sprouts	N
15	Big Leaf Maple	Acer macrophyllum	21"	Fair	Poor	Trees are stump sprouts	N
16	Big Leaf Maple	Acer macrophyllum	8"	Fair	Poor	Trees are stump sprouts	N
17	Big Leaf Maple	Acer macrophyllum	18"	Fair	Poor	Trees are stump sprouts	N
18	Big Leaf Maple	Acer macrophyllum	6"	Fair	Poor	Trees are stump sprouts	N
19	Black Locust	Robinia pseudoacacia	19"	Fair	Poor	Tree has been trimmed for line clearance And has poor structure	N
20	Big Leaf Maple	Acer macrophyllum	14"	Fair	Poor	Trees are stump sprouts	N
21	Big Leaf Maple	Acer macrophyllum	6"	Fair	Poor	Trees are stump sprouts	N
22	Black Locust	Robinia pseudoacacia	11"	Fair	Poor	Trees are stump sprouts	N
23	Black Locust	Robinia pseudoacacia	8"	Fair	Poor	Trees are stump sprouts	N
24	Black Locust	Robinia pseudoacacia	12"	Fair	Poor	Trees are stump sprouts	N
25	Black Locust	Robinia pseudoacacia	8"	Fair	Poor	Trees are stump sprouts	N



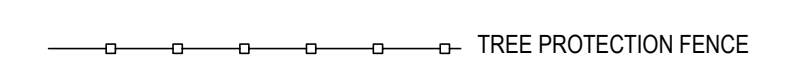
TREE SUMMARY

TREES EXISTING = 25
TREES TO BE REMOVED = 25
TREES TO REMAIN = 0
TREES PROPOSED = 25

LEGEND



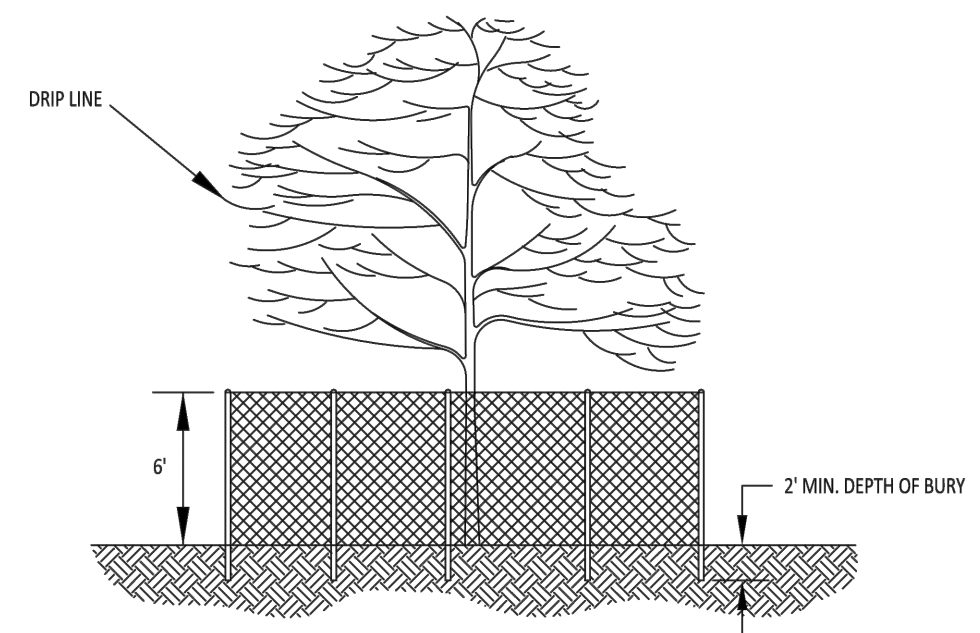
TREE PROTECTION FENCE



TREE PROTECTION NOTES:

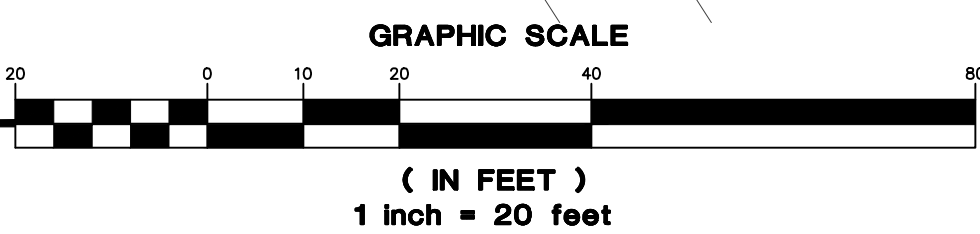
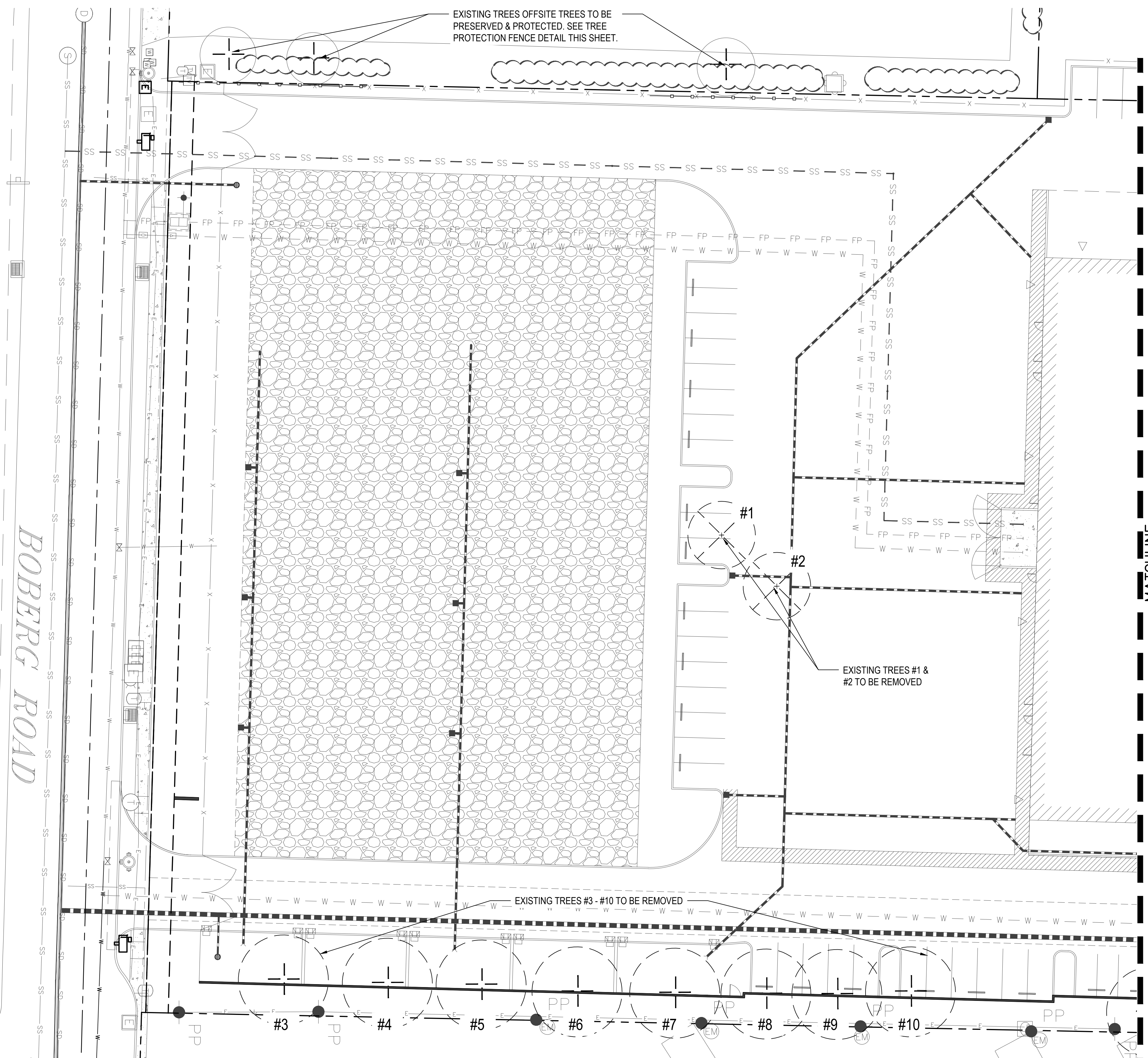
- BEFORE WORK IS STARTED, INSTALL TREE PROTECTION FENCING. CONTACT THE PROJECT ARBORIST FOR ASSISTANCE.
- REFER TO SECTION 4.620.20 MAINTENANCE AND PROTECTION STANDARDS OF THE WILSONVILLE CITY CODE.
- NO ENCROACHMENT OF ANY KIND IS ALLOWED WITHIN THE TREE PROTECTION FENCE ZONE DURING CONSTRUCTION.
- INSTALL FENCE ON TREE SIDE OF EXISTING CURB FOR ALL TREES TO BE PRESERVED. ROOT PROTECTION ZONE IS AN AREA AROUND A TREE THAT IS BASED ON THE DIAMETER OF THE TREE CANOPY AND BETWEEN EXISTING CURB AND PROPOSED SIDEWALK.
- FENCE SHALL BE INSTALLED PRIOR TO LAND CLEARING, FILLING OR ANY LAND ALTERATION AND SHALL REMAIN IN PLACE UNTIL AFTER CONSTRUCTION IS COMPLETE.
- NO EXCAVATION OR COMPACTION OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES ALLOWED WITHIN THE PROTECTION FENCING.
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMITS OF THE FENCING.
- WITHIN CLEARING/GRADING LIMITS OR AT THE EDGE OF THE CLEARING/GRADING LIMITS, TREE PROTECTION MAY BE INSTALLED AROUND GROUPS OF TREES.
- DURING WORK, ANY ROOTS GREATER THAN TWO INCHES FOUND DURING EXCAVATION SHALL BE CLEANLY CUT. MULTIPLE ROOT PRUNING EVENTS FOR SINGLE TREES SHALL BE MANAGED & MONITORED BY THE PROJECT LANDSCAPE ARCHITECT.
- AFTER CONSTRUCTION IS COMPLETE, PROJECT LANDSCAPE ARCHITECT SHALL VERIFY TREE PROTECTION FENCING CAN BE REMOVED.

This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

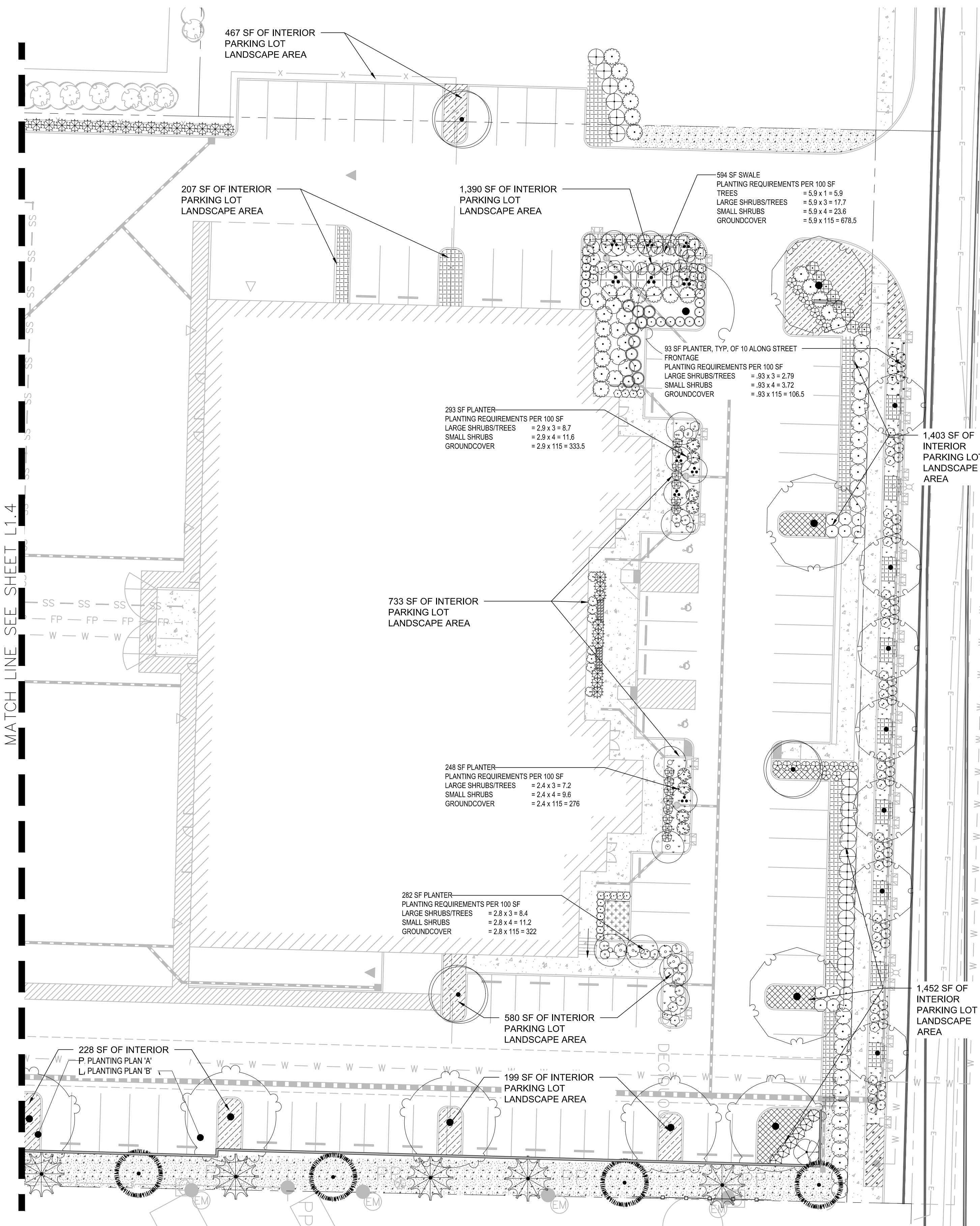


- NOTES:
- FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIP LINE.
 - FENCE MATERIALS SHALL CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1 1/2" DIA. STEEL OR ALUMINUM LINE POSTS.
 - POSTS SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
 - FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

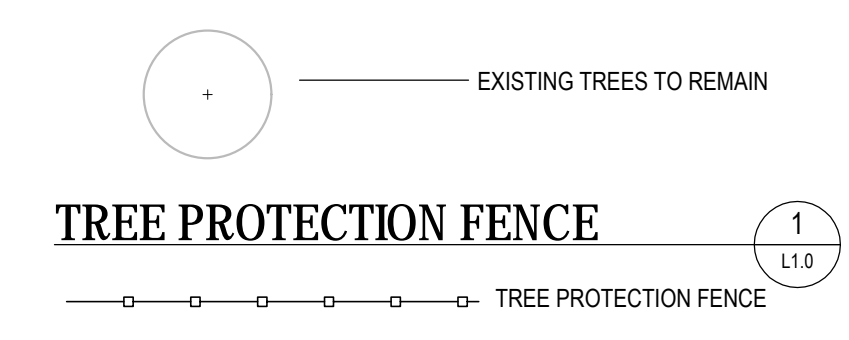
Tree Protection Fencing		CITY OF WILSONVILLE
DRAWING NUMBER: RD-1230	DRAWN BY: SR	SCALE: N.T.S.
FILE NAME: RD-1230.DWG	APPROVED BY: NK	DATE: 4/2/14
		PUBLIC WORKS STANDARDS



MATCHLINE
SEE SHEET L1.1



LEGEND



LANDSCAPE REQUIREMENTS

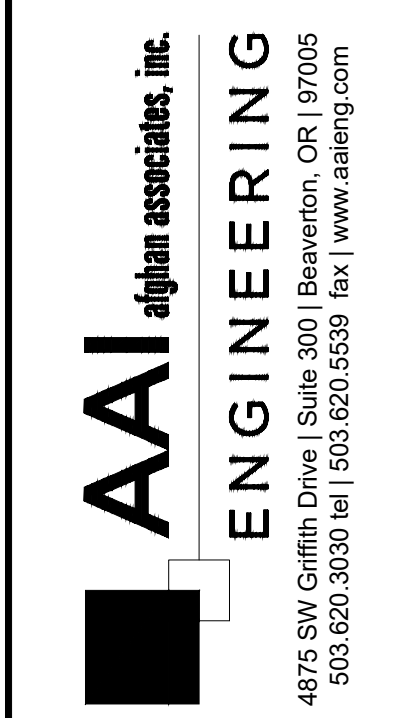
TOTAL SITE AREA	= 171,206 SF
LANDSCAPE AREA REQUIRED 15% OF SITE	= 25,681 SF
LANDSCAPE AREA PROPOSED 17.3% OF SITE	= 29,621 SF
PARKING AREA PKG.	= 36,044 SF
LOT LANDSCAPING REQ. 10% OF PARKING AREA	= 3,604 SF
AREA PROPOSED FOR SCREENING (29%)	= 10,437 SF
PARKING SPACES PROPOSED	= 110 SPACES
1 PARKING LOT TREES PER 8 SPACE	= 14
PARKING LOT TREES PROPOSED	= 17

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AF	1	ACER RUBRUM 'FRANKSRED'™	RED SUNSET MAPLE	2" CAL.
	GI	6	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE'	THORNLESS HONEY LOCUST	2" CAL.
	PJ	3	PARROTIA PERSICA 'JL COLUMNAR' P.A.F.	PERSIAN SPIRE PARROTIA	2" CAL.
	UP	9	ULMUS X 'PIONEER'	PIONEER ELM	2" CAL.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	CP	8	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA FALSE CYPRESS	6" HT.
	PF	10	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	6" HT.
	TH	9	THUJA PLICATA 'HOGAN'	HOGAN CEDAR	6" HT.
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AB	7	ACER RUBRUM 'BOWHALL RED'	RED MAPLE	2" CAL.
	AF2	5	ACER RUBRUM 'FRANKSRED'™	RED SUNSET MAPLE	2" CAL.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AC	9	ACER CIRCINATUM	VINE MAPLE	10 GAL.
	BV	96	BERBERIS VERRUCULOSA	WARTY BARBERRY	2 GAL.
	CB	29	CISTUS X CYPRIUS	BICOLOR ROCK ROSE	2 GAL.
	CK2	11	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	2 GAL.
	CR2	7	COTINUS COGGYGRIA 'ROYAL PURPLE'	ROYAL PURPLE SMOKE TREE	1 GAL.
	IS	88	ILEX GLABRA 'SHAMROCK'	INKBERRY	2 GAL.
	LB	74	LONICERA NITIDA 'BAGGESEN'S GOLD'	BOXLEAF HONEYSUCKLE	2 GAL.
	LE	28	LOROPETALUM CHINENSE 'PIPA'S RED'	PIPA'S RED LOROPETALUM	2 GAL.
	MP	10	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	1 GAL.
	ND	8	NANDINA DOMESTICA	HEAVENLY BAMBOO	2 GAL.
	Ng	73	NANDINA DOMESTICA 'GULF STREAM'™	HEAVENLY BAMBOO	2 GAL.
	PH	17	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL.
	RE3	19	RHODODENDRON X 'PRESIDENT ROOSEVELT'	PRESIDENT ROOSEVELT RHODODENDRON	1 GAL.
	RN2	53	RHODODENDRON X 'TAURUS'	TAURUS RHODODENDRON	1 GAL.
	TD	51	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE ARBORVITAE	5 GAL.
	VO	18	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL.

GENERAL NOTES

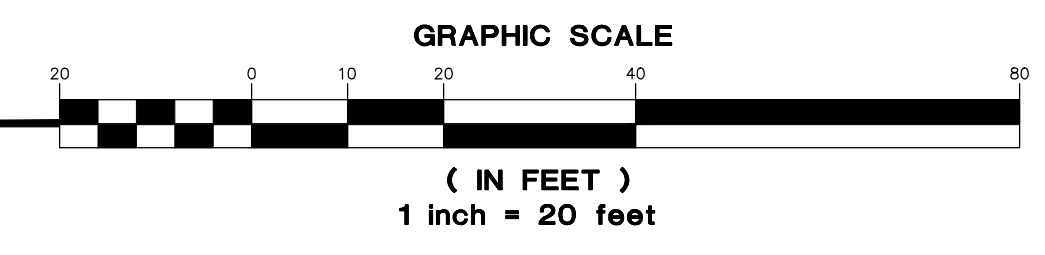
- CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
- PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
- REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS. PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
- COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
- INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF WILSONVILLE STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL.
- CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION. SEE SPECS.
- CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS. SEE SPECS.
- CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
- ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
- ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECS.
- CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL. SEE SPECS.
- PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.



INDUSTRIAL FOCUS
WILSONVILLE, OR

SHEET TITLE
PLANTING PLAN
DATE: 04/02/19
DRAWN: NJD
CHECKED: DSE
REVISIONS:

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SHEET NUMBER

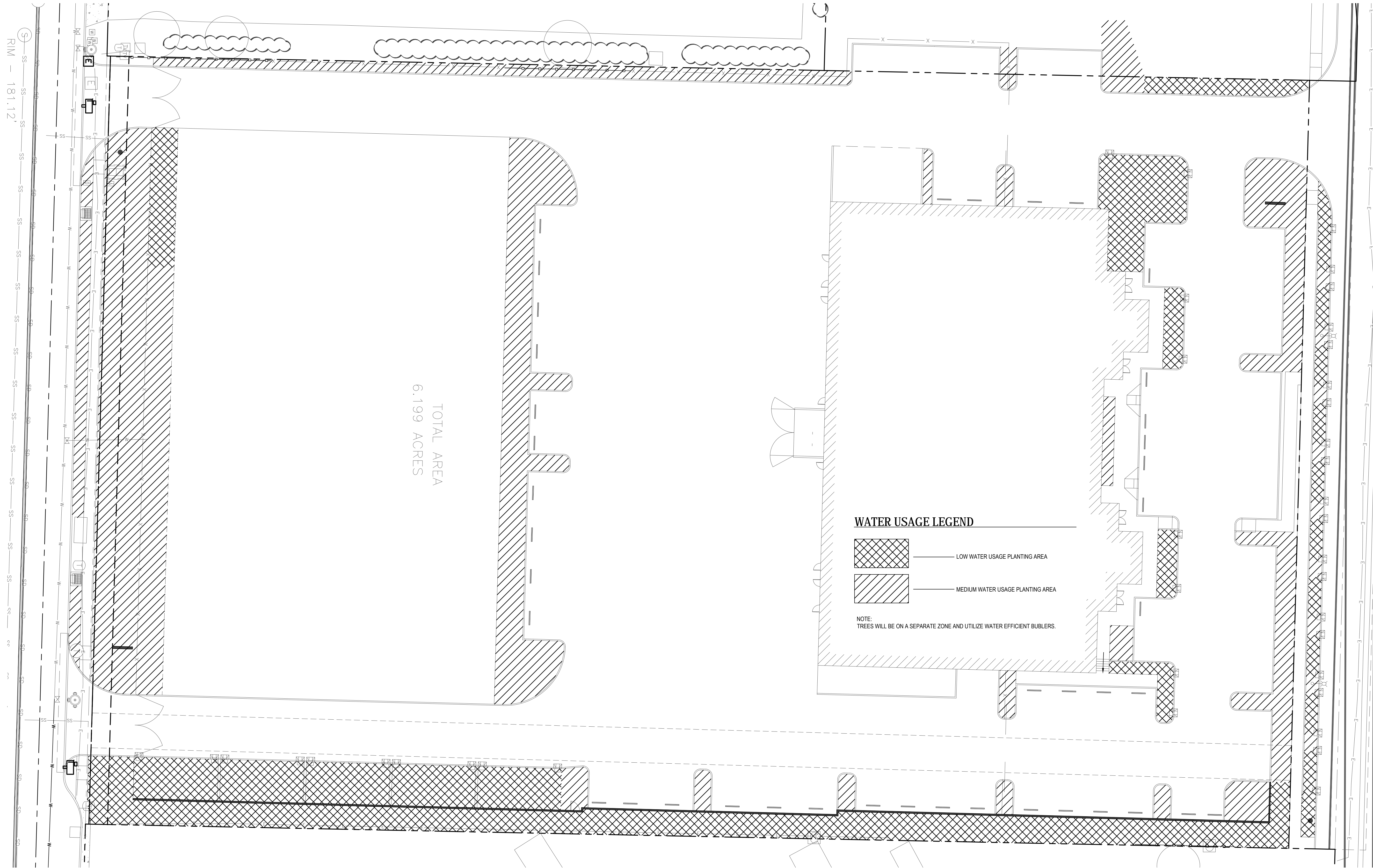


PLANT SCHEDULE CONTINUED ON SHEET L1.4

PLANT SCHEDULE



TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	AF	1	ACER RUBRUM 'FRANKSRED' TM	RED SUNSET MAPLE	2" CAL.			X	X
	GI	6	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE'	THORNLESS HONEY LOCUST	2" CAL.	X	X	X	X
	PJ	3	PARROTIA PERSICA 'JL COLUMNAR' P.A.F.	PERSIAN SPIRE PARROTIA	2" CAL.				
	UP	9	ULMUS X 'PIONEER'	PIONEER ELM	2" CAL.				X
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	CP	8	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEeping NOOTKA FALSE CYPRESS	6' HT.		X	X	
	PF	10	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	6' HT.		X		
	TH	9	THUJA PLICATA 'HOGAN'	HOGAN CEDAR	6' HT.			X	X
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	AB	7	ACER RUBRUM 'BOWHALL RED'	RED MAPLE	2" CAL.			X	
	AF2	5	ACER RUBRUM 'FRANKSRED' TM	RED SUNSET MAPLE	2" CAL.			X	X
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	VERY LOW	LOW	MEDIUM	HIGH
	AC	9	ACER CIRCINATUM	VINE MAPLE	10 GAL.				X
	BV	96	BERBERIS VERRUCULOSA	WARTY BARBERRY	2 GAL.			X	
	CB	29	CISTUS X CYPRIUS	BICOLOR ROCK ROSE	2 GAL.		X		
	CK2	11	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	2 GAL.			X	
	CR2	7	COTINUS COGGYGRIA 'ROYAL PURPLE'	ROYAL PURPLE SMOKE TREE	1 GAL.		X		
	IS	68	ILEX GLABRA 'SHAMROCK'	INKBERRY	2 GAL.			X	
	LB	74	LONICERA NITIDA 'BAGGESEN'S GOLD'	BOXLEAF HONEYSUCKLE	2 GAL.			X	X
	LE	28	LOROPETALUM CHINENSE 'PIPA'S RED'	PIPA'S RED LOROPETALUM	2 GAL.				
	MP	10	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	1 GAL.			X	
	ND	8	NANDINA DOMESTICA	HEAVENLY BAMBOO	2 GAL.		X		
	Ng	73	NANDINA DOMESTICA 'GULF STREAM' TM	HEAVENLY BAMBOO	2 GAL.		X		
	PH	17	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL.		X		
	RE3	19	RHODODENDRON X 'PRESIDENT ROOSEVELT'	PRESIDENT ROOSEVELT RHODODENDRON	1 GAL.				
	RN2	53	RHODODENDRON X 'TAURUS'	TAURUS RHODODENDRON	1 GAL.				
	TD	51	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE ARBORVITAE	5 GAL.			X	
	VO	18	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL.		X	X	

PLANTERS PLANTING LEGEND	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	VERY LOW	LOW	MEDIUM	HIGH	
	AC3	4	ACER CIRCINATUM	VINE MAPLE	1" CAL.				X	
	AN	8	ACER RUBRUM 'NEW WORLD'	NEW WORLD RED MAPLE	1" CAL.			X	X	
	CK4	44	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	1 GAL.			X		
	PM2	15	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL.			X		
	RP	44	ROSA PISOCARPA	CLUSTERED WILD ROSE	1 GAL.				X	
	SD	8	SPIRAEA DOUGLASII	WESTERN SPIREA	5 GAL.				X	
	VE	5	VIBURNUM EDULE	HIGHBUSH CRANBERRY	5 GAL.				X	
RAIN GARDENS & SWALES PLANT LEGEND	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	VERY LOW	LOW	MEDIUM	HIGH	
	AC4	22	ACER CIRCINATUM	VINE MAPLE	1" CAL.				X	
	CE	26	CORNUS NUTTALLII 'EDDIE'S WHITE WONDER'	EDDIE'S WHITE WONDER DOGWOOD	1" CAL.		X	X		
	CR	123	CORNUS SERICEA	RED TWIG DOGWOOD	1 GAL.			X	X	
	CK3	112	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	1 GAL.			X		
	RS	9	RIBES SANGUINEUM	RED FLOWERING CURRANT	1 GAL.		X			
	Rn	13	ROSA NUTKANA	NOOTKA ROSE	1 GAL.	X			X	
	ST2	55	SPIRAEA BETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	1 GAL.			X	X	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	VERY LOW	LOW	MEDIUM	HIGH
	Cc	24	CEANOTHUS X 'CENTENNIAL'	CENTENNIAL CEANOTHUS	1 GAL.	24" o.c.		X		
	FS	1,149	FRAGARIA X 'LIPSTICK'	FALSE STRAWBERRY	4" POT	24" o.c.				X
	LA	32 SF	LIRIOPE MUSCARI 'ALBA'	WHITE LILY TURF	1 GAL.					X
	MN	106	MAHONIA NERVOSA	OREGON GRAPE	4" POT	24" o.c.		X	X	
	R3	24	ROSA X 'NOALA'	FLOWER CARPET CORAL GROUNDCOVER ROSE	1 GAL.	36" o.c.				
	RE	1,109	RUBUS CALYCIDOIDES 'EMERALD CARPET'	EMERALD CARPET CREEPING RASPBERRY	4" POT	24" o.c.			X	
GROUNDCOVERS - RAIN GARDEN	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	VERY LOW	LOW	MEDIUM	HIGH
	Co	635	CAREX OBNUPTA	SLOUGH SEDGE	4" POT	11" o.c.			X	
	DT	976	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	4" POT	11" o.c.		X	X	
	FC	2,163	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	4" POT	11" o.c.	X	X		
	JP	585	JUNCUS PATENS	CALIFORNIA GRAY RUSH	4" POT	11" o.c.		X		
		13,565 SF	ECO PRAIRIE SEED MIX, SUNMARK SEEDS ECOPRAIRIE MIX APPLICATION RATE: 1.5 PLS LBS. PER 1,000 SF				X			
		2,900 SF	HERBACEOUS PLANTS FOR STORM FACILITIES CAREX Densa / DENSE SEDGE JUNCUS PATENS / CALIFORNIA GRAY RUSH				X			

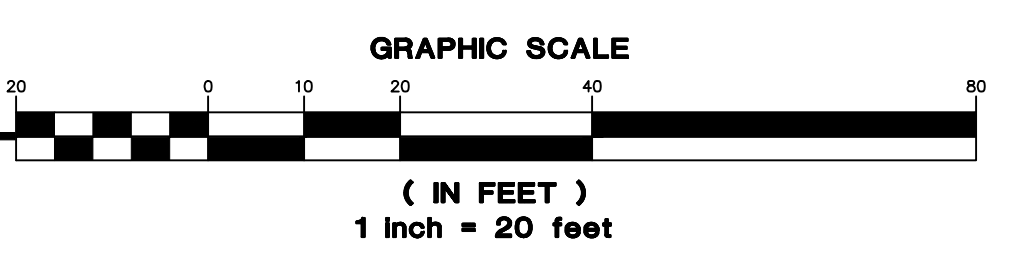


TOTAL AREA
6.199 ACRES

WATER USAGE LEGEND

-  LOW WATER USAGE PLANTING AREA
-  MEDIUM WATER USAGE PLANTING AREA

NOTE:
TREES WILL BE ON A SEPARATE ZONE AND UTILIZE WATER EFFICIENT BUBLERS.



NORTH
LANDSCAPE PLAN - WATER USAGE EXHIBIT
SCALE 1" = 20'

REGISTERED
552
Teresa Katherine Long
OREGON
5-14-04
LANDSCAPE ARCHITECT

AAI *align* associates, inc.
ENGINEERING
4875 SW Griffith Drive | Suite 300 | Beaverton, OR | 97005
503.620.3030 tel | 503.620.5539 fax | www.aaleng.com

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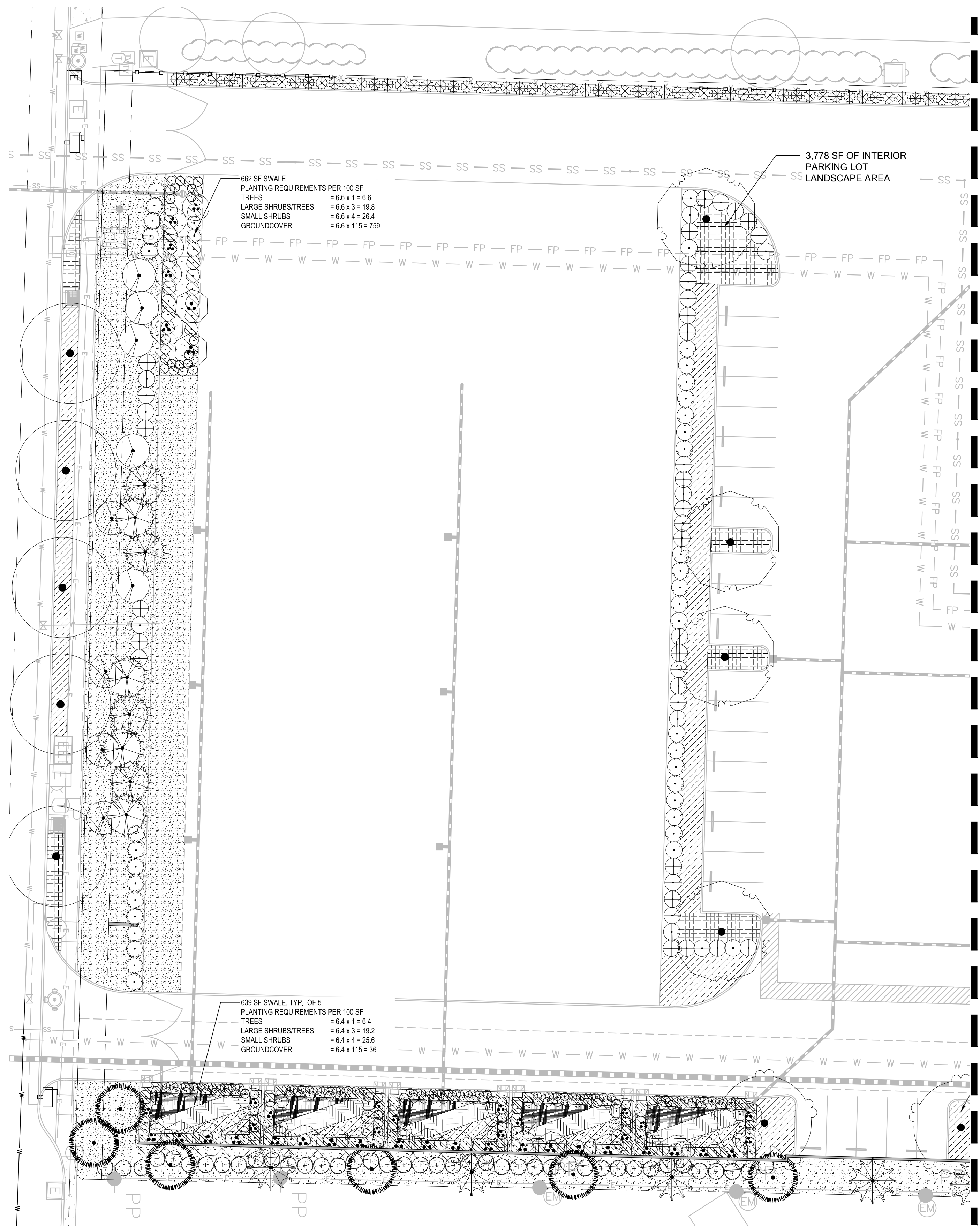
SHEET TITLE
WATER USAGE EXHIBIT
DATE: 04/02/19
DRAWN: NJD
CHECKED: DSE
REVISIONS:

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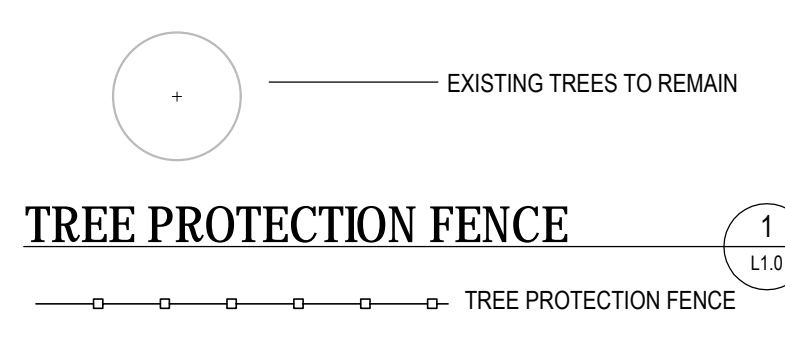
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JOB NUMBER: A18234.10

05/22/2019 – LAND USE RESUBMITTAL



LEGEND



LANDSCAPE REQUIREMENTS

TOTAL SITE AREA	= 171,206 SF
LANDSCAPE AREA REQUIRED 15% OF SITE	= 25,681 SF
LANDSCAPE AREA PROPOSED 17.3% OF SITE	= 29,621 SF
PARKING AREA PKG.	= 36,044 SF
LOT LANDSCAPING REQ. 10% OF PARKING AREA	= 3,604 SF
AREA PROPOSED FOR SCREENING (29%)	= 10,437 SF
PARKING SPACES PROPOSED	= 110 SPACES
1 PARKING LOT TREES PER 8 SPACE	= 14
PARKING LOT TREES PROPOSED	= 17

GENERAL NOTES

1. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT AT LEAST TWO WEEKS PRIOR TO START OF LANDSCAPE WORK TO REVIEW PLANT SUBSTITUTIONS & JURISDICTIONAL REQUIREMENTS.

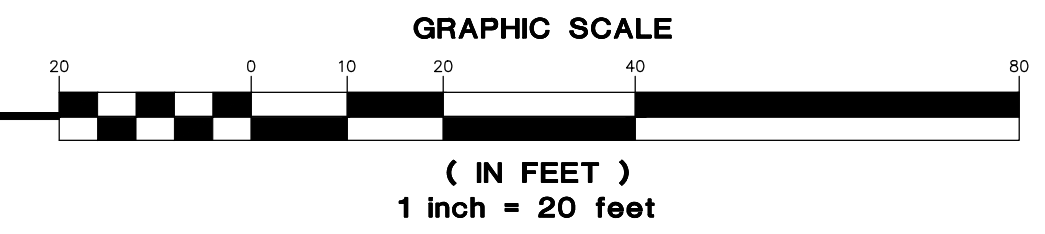
PLANTING NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF WILSONVILLE STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
- VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES. PRIOR TO BEGINNING ANY WORK, REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
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- MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
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- ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.

PLANT SCHEDULE CONTINUED FROM SHEET L1.3

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
AC3	4	ACER CIRCINATUM	VINE MAPLE	1" CAL.	
AN	8	ACER RUBRUM 'NEW WORLD'	NEW WORLD RED MAPLE	1" CAL.	
CK4	44	CORNUS SERICEA 'KELSEYI'	KELSEYI DOGWOOD	1" GAL.	
PM2	15	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1" GAL.	
RP	44	ROSA PISOCARPA	CLUSTERED WILD ROSE	1" GAL.	
SD	8	SPIRAEA DOUGLASSII	WESTERN SPIREA	5 GAL.	
VE	5	VIBURNUM EDULE	HIGHBUSH CRANBERRY	5 GAL.	
RAIN GARDENS & SWALES PLANT LEGEND					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	
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CR	123	CORNUS SERICEA	RED TWIG DOGWOOD	1" GAL.	
CK3	112	CORNUS SERICEA 'KELSEYI'	KELSEYI DOGWOOD	1" GAL.	
RS	9	RIBES SANGUINEUM	RED FLOWERING CURRANT	1" GAL.	
Rn	13	ROSA NUTKANA	NOOTKA ROSE	1" GAL.	
ST2	55	SPIRAEA BETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	1" GAL.	
GROUND COVERS					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Cc	24	CEANOTHUS X 'CENTENNIAL'	CENTENNIAL CEANOTHUS	1" GAL.	24" o.c.
FS	1,149	FRAGARIA X 'LIPSTICK'	FALSE STRAWBERRY	4" POT	24" o.c.
LA	32 SF	LIRIOPE MUSCARI 'ALBA'	WHITE LILY TURF	1" GAL.	
MIN	106	MAHONIA NERVOSA	OREGON GRAPE	4" POT	24" o.c.
R3	24	ROSA X 'NOALA'	FLOWER CARPET CORAL GROUND COVER ROSE	1" GAL.	36" o.c.
RE	1,109	RUBUS CALYCINOIDES 'EMERALD CARPET'	EMERALD CARPET CREEPING RASPBERRY	4" POT	24" o.c.
GROUND COVERS - RAIN GARDEN					
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Co	635	CAREX OBNUPTA	SLOUGH SEDGE	4" POT	11" o.c.
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FC	2,163	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	4" POT	11" o.c.
JP	585	JUNCUS PATENS	CALIFORNIA GRAY RUSH	4" POT	11" o.c.
13,565 SF		ECO PRAIRIE SEED MIX SUNMARK SEEDS ECO PRAIRIE MIX APPLICATION RATE: 1.5 PLS. LBS. PER 1,000			
2,900 SF		HERBACEOUS PLANTS FOR STORM FACILITIES CAREX Densa / DENSE SEDGE JUNCUS PATENS / CALIFORNIA GRAY RUSH			

LANDSCAPE PLAN
SCALE 1" = 20'



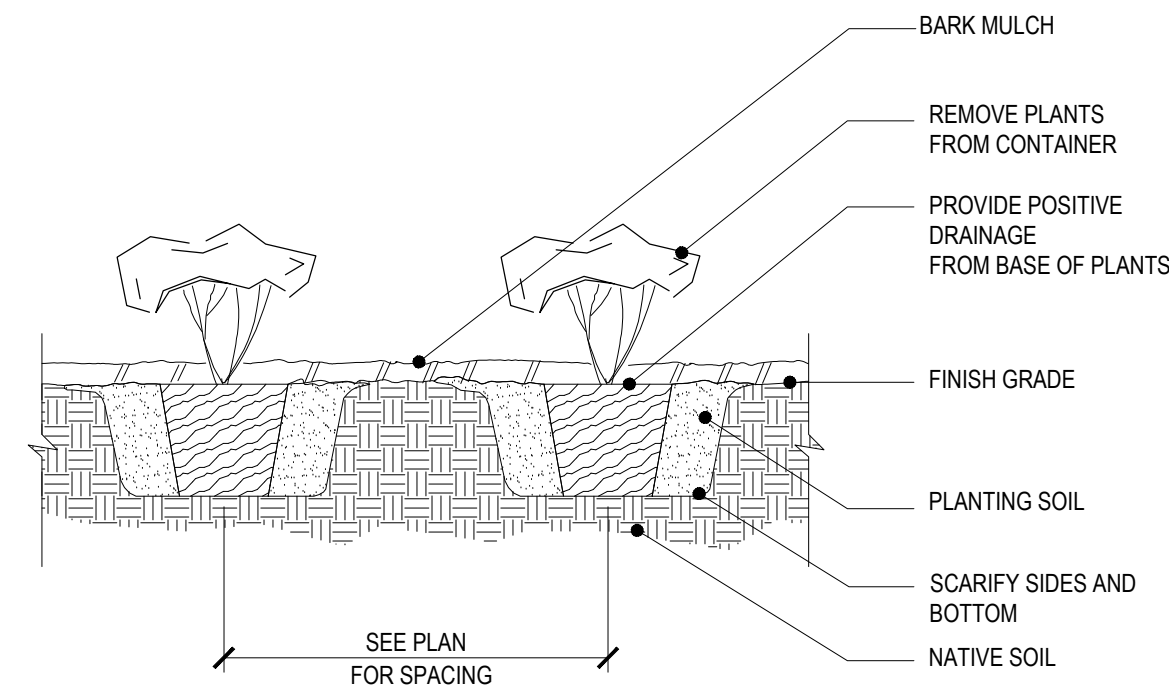
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ENGINEERING
4875 SW Griffith Drive | Suite 300 | Beaverton, OR | 97005
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WILSONVILLE, OR

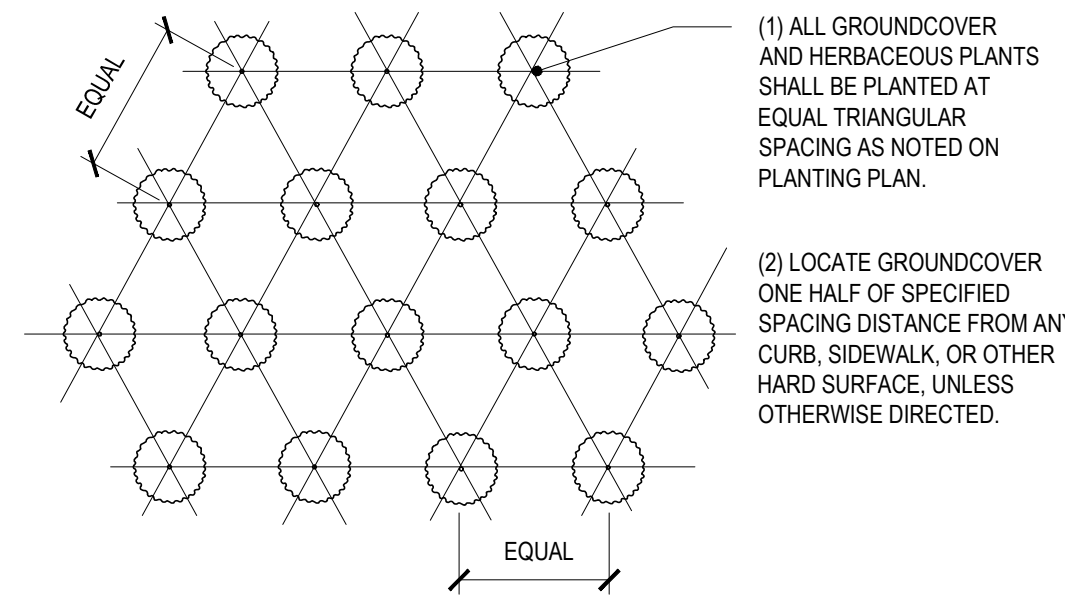
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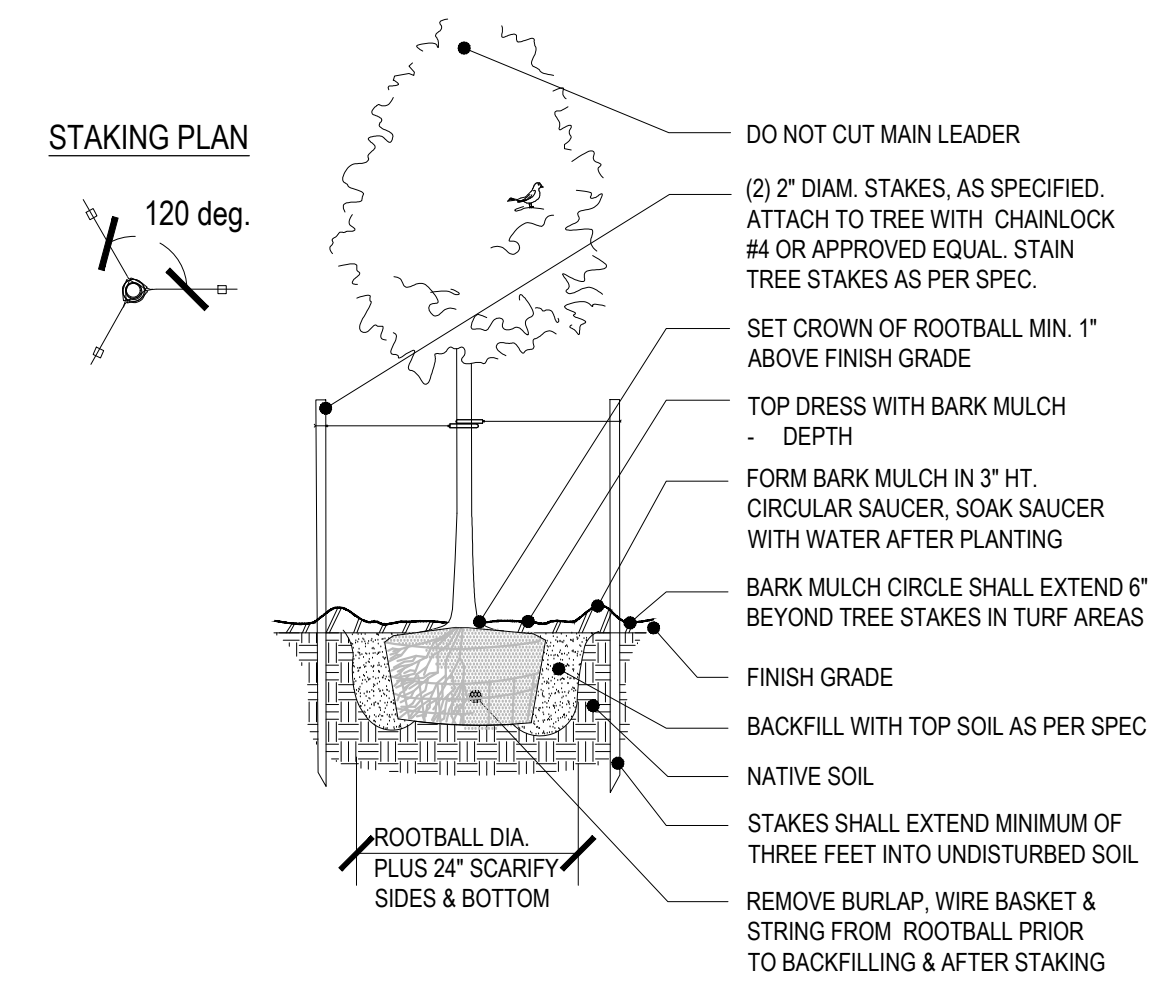
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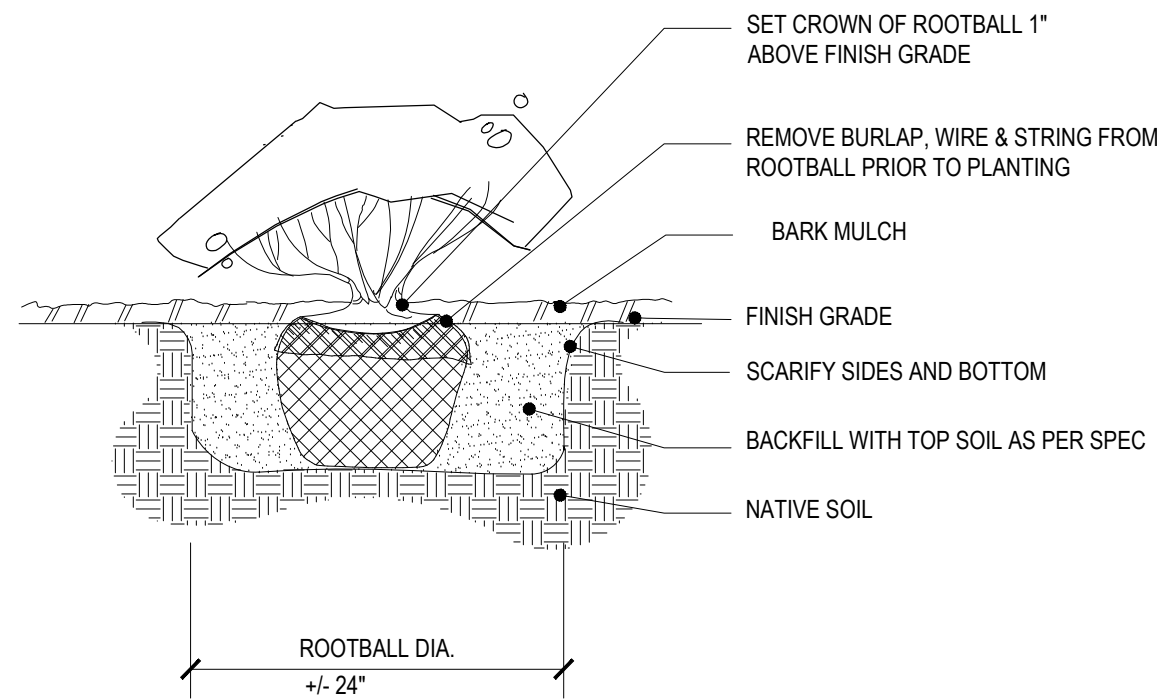
1 GROUNDCOVER & HERBACEOUS PLANT PLANTING DETAIL
L2.0 SCALE: NTS



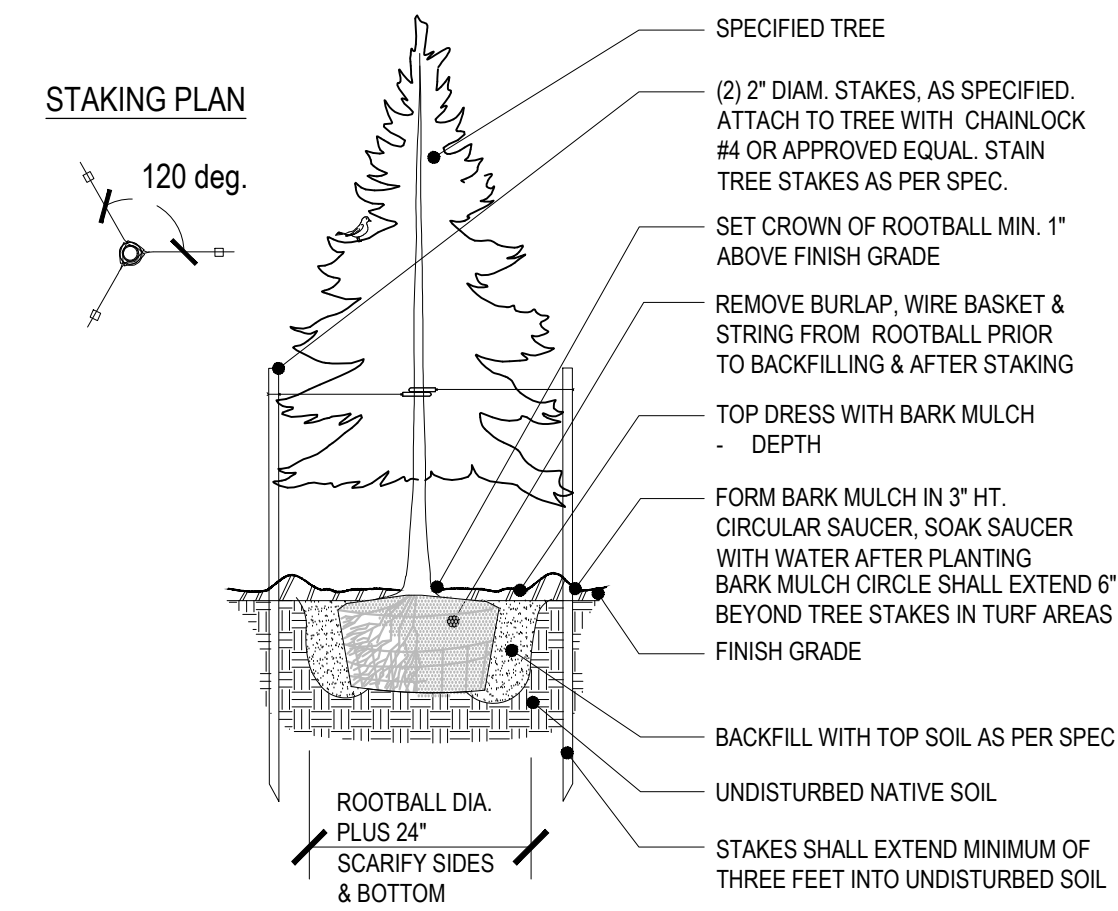
2 GROUNDCOVER & HERBACEOUS PLANT PLANTING PLAN
L2.0 SCALE: NTS



3 DECIDUOUS TREE PLANTING DETAIL
L2.0 SCALE: NTS



4 SHRUB PLANTING
L2.0 SCALE: NTS

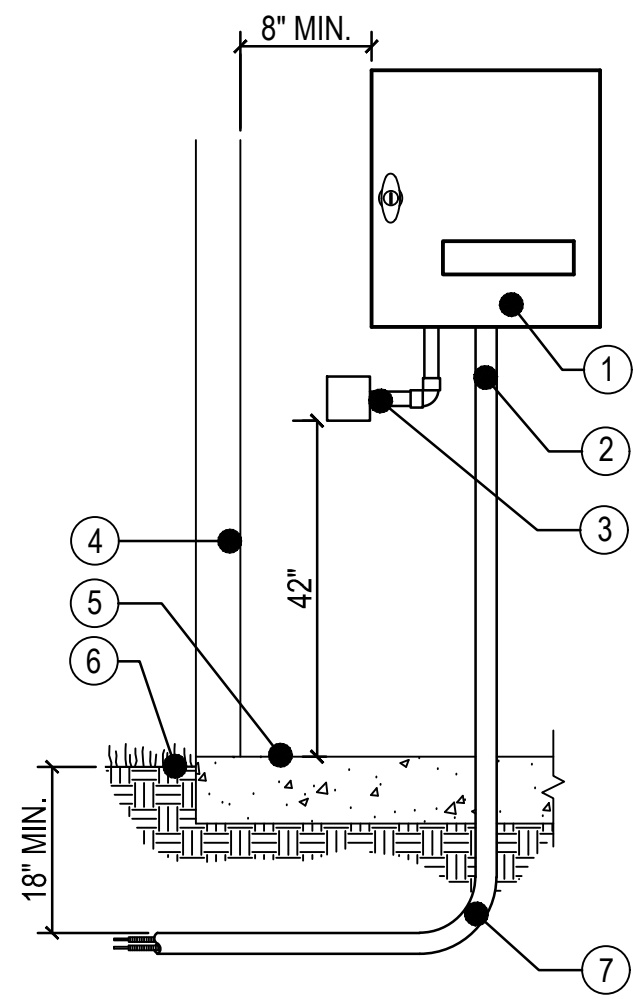


5 CONIFER TREE PLANTING DETAIL
L2.0 SCALE: NTS

Stormwater Facility Growing Medium
Furnish imported growing medium for vegetated stormwater facilities conforming to the following:

- A.3.1 Standard Blend.
 - a. General Composition: The medium should be a blend of loamy soil, sand, and compost that is 30 to 40 percent compost (by volume) and meets the criteria in this specification.
 - b. Analysis Requirements for the Blended Material: Particle Gradation: A particle gradation of the blended Material, including compost, should be in conformance with ASTM C1 17/C13(AASHTO T11/T27).
 - c. Organic Matter Content: The soil organic matter content should be in conformance with ASTM D2974 (loss on ignition test). The soil organic matter content should be a minimum of 10 percent.
 - d. pH: The blended material should have a pH of 5.5 to 7.
- A.3.2 General Requirements for the Blended Material:
 - a. The material should be loose and friable.
 - b. It should be well mixed and homogenous.
 - c. It should be free of wood pieces, plastic, screened and free of stones 1 inch (25 mm) or larger in any dimension; free of roots, plants, sod, clods, clay lumps, pockets of coarse sand, paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, building debris, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, acid, and other extraneous materials harmful to plant growth; and free of weeds and invasive plants.
 - d. Protection of the Growing Medium: The growing medium should be protected from all sources of contamination, including weed seeds, while at the supplier, in conveyance, and at the project site.
 - e. Placement of the Growing Medium: The medium should be placed in loose lifts, not to exceed 8 inches each and each lift should be compacted with a water-filled landscape roller. The material should not otherwise be mechanically compacted.

- f. Timing of Plant Installation: Weather permitting, plants should be installed as soon as possible after placing and grading the growing medium in order to minimize erosion and further compaction.
 - g. Erosion Control: Temporary erosion control measures may be required until permanent stabilization measures are functional, including protection of overflow structures.
 - h. Protection of the Facility: In all cases, the facility must be protected from foot or equipment traffic that is unrelated to the construction of the facility. Temporary fencing or walkways should be installed as needed to keep workers, pedestrians, and equipment out of the facility. Under no circumstances should materials and equipment be stored in the facility.
 - i. Sediment protection: Stormwater facilities should be kept clean and should not be used as erosion and sediment control structures during construction.
 - j. Wet and Winter Conditions: Placement of the growing medium is not recommended when the ground is frozen or saturated or when the weather is determined to be too wet.
- A.3.5 Watering, Fertilizing, and Mulching
- a. Water all plants during establishment to maintain all plantings in a healthy thriving condition.
 - b. Fertilizers should generally be avoided in stormwater facilities. Fertilize all plants during establishment as needed with slow release, organic (low material).
 - c. Mulch for Vegetated Stormwater Facilities: Mulch cover should be maintained throughout the life of the stormwater facility with minimum thickness of 2 inches in depth.



LEGEND

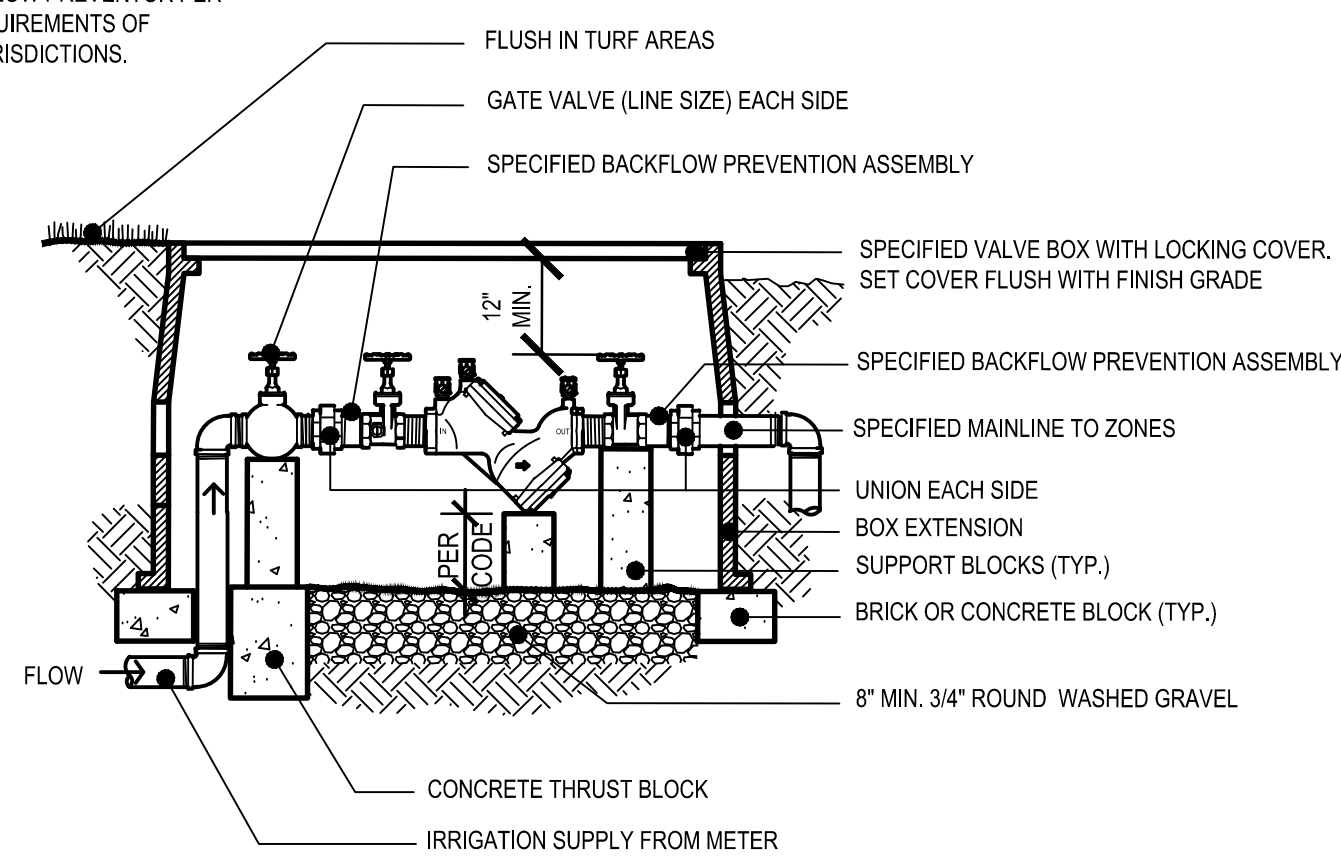
- ① AUTOMATIC CONTROLLER WITH LOCKING ACCESS DOOR.
- ② 2" DIA. P.V.C. CONDUIT FOR COMMON AND CONTROL WIRES TO 5' BEYOND EDGE OF BUILDING.
- ③ CONDUIT FOR 120 VOLT ELECTRICAL SERVICE WITH JUNCTION BOX.
- ④ BUILDING WALL.
- ⑤ BUILDING FLOOR.
- ⑥ FINISH GRADE.
- ⑦ SWEEP EL ON ALL ELECTRICAL CONDUIT.

NOTES

- 1 ALL WIRES TO BE INSTALLED AS PER LOCAL CODE.
- 2 VERIFY LOCATION PRIOR TO INSTALLATION.
- 3 INSTALL CONTROLLER PER MANUFATURER'S INSTRUCTIONS.

1 WALL MOUNTED CONTROLLER
SCALE: NTS

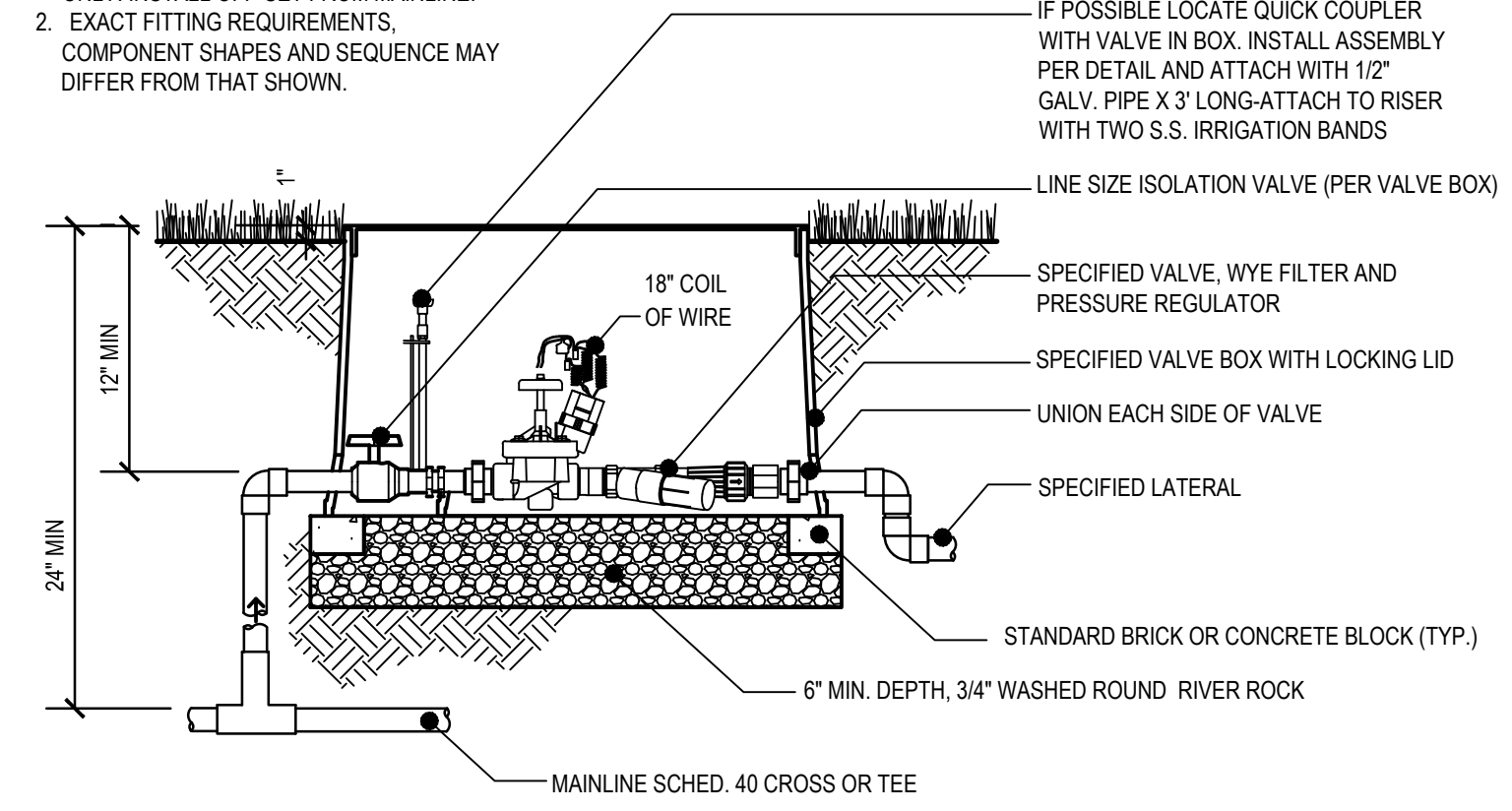
NOTE:
INSTALL BACKFLOW PREVENTOR PER CODE AND REQUIREMENTS OF PREVAILING JURISDICTIONS.



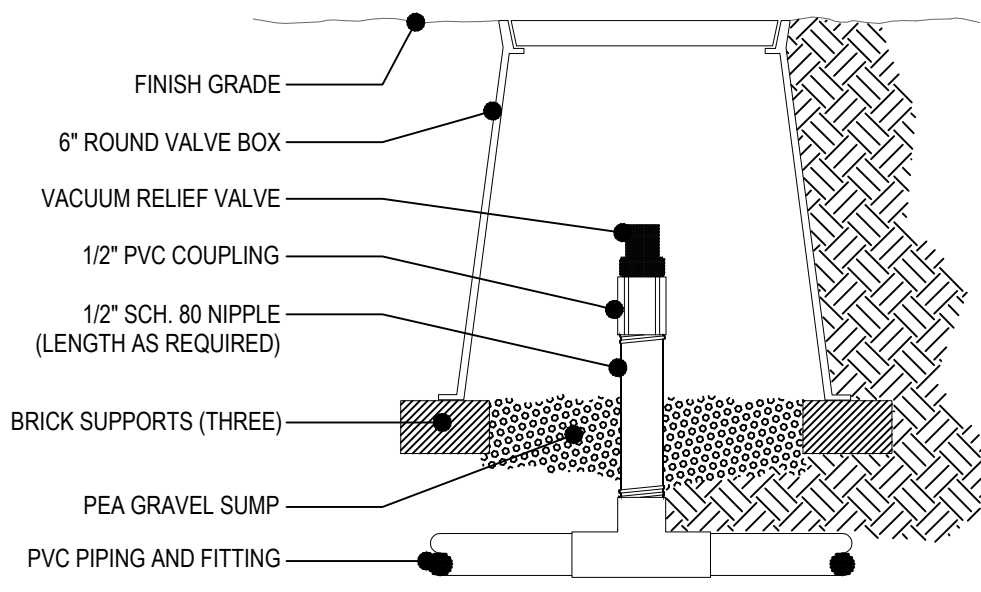
2 BACKFLOW PREVENTION DEVICE ASSEMBLY
SCALE: NTS

NOTES

- 1. LOCATION OF QUICK COUPLER WITHIN VALVE BOX IS SHOWN FOR CLARIFICATION ONLY. INSTALL OFF-SET FROM MAINLINE.
- 2. EXACT FITTING REQUIREMENTS. COMPONENT SHAPES AND SEQUENCE MAY DIFFER FROM THAT SHOWN.



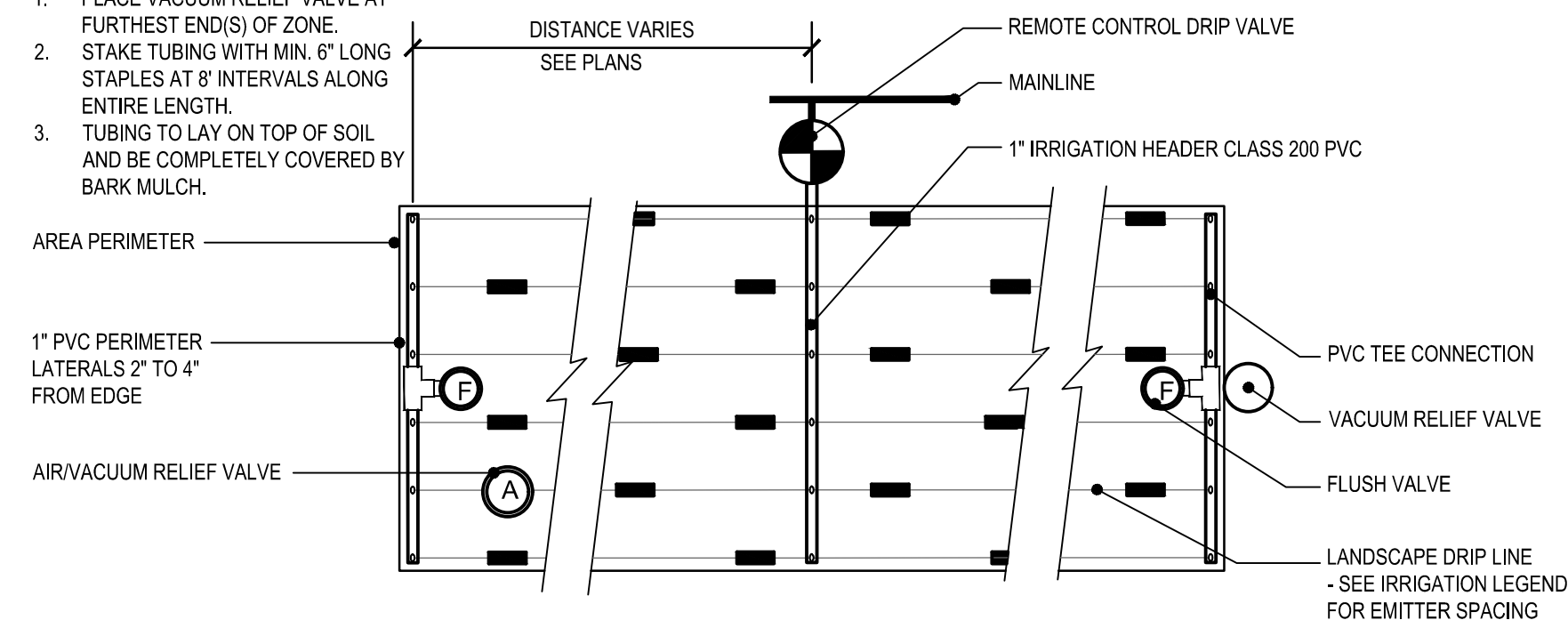
3 DRIP IR CONTROL VALVE ASSEMBLY
SCALE: NTS



4 VACUUM RELIEF VALVE
SCALE: NTS

NOTES

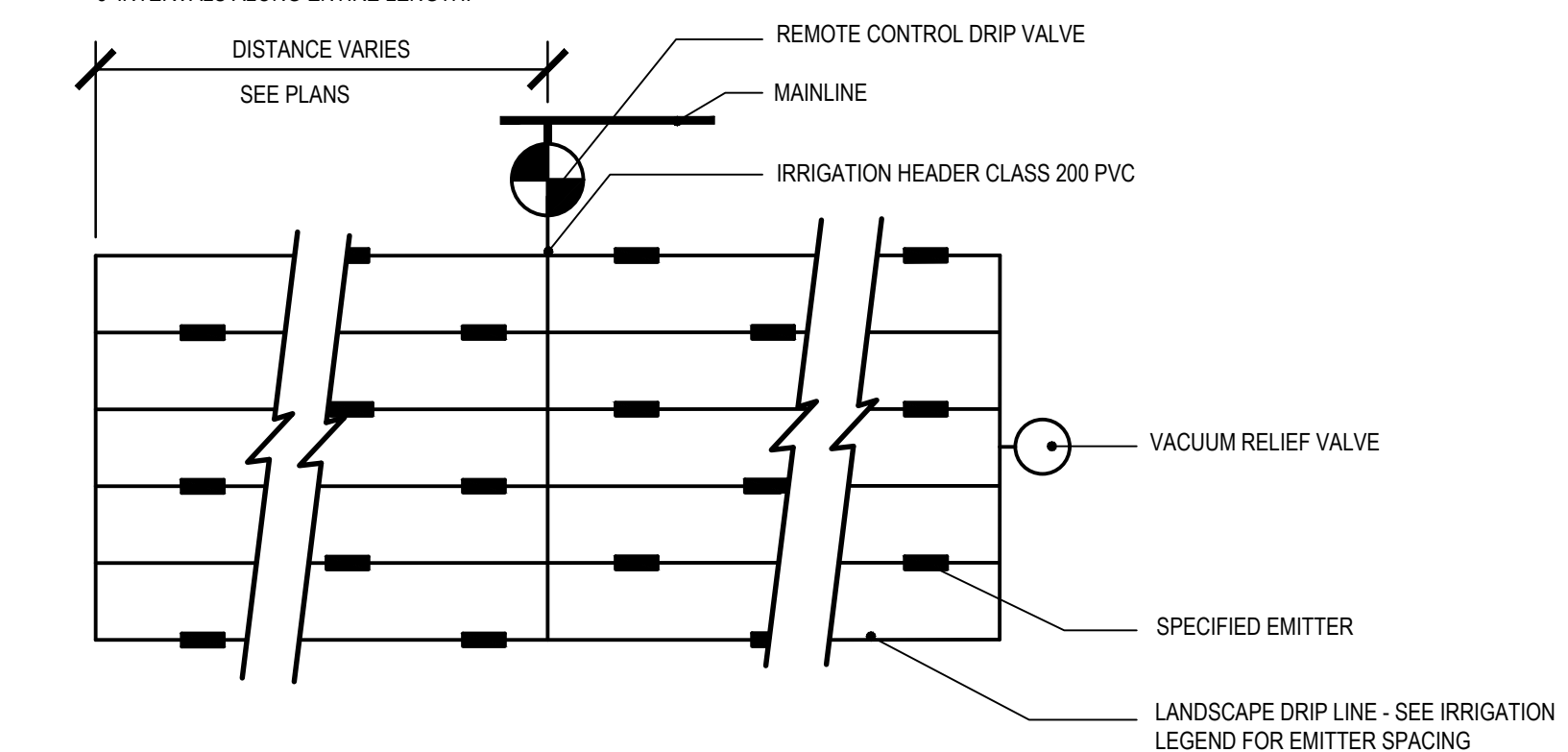
- 1. PLACE VACUUM RELIEF VALVE AT FURTHEST END(S) OF ZONE.
- 2. STAKE TUBING WITH MIN. 6" LONG STAPLES AT 8' INTERVALS ALONG ENTIRE LENGTH.
- 3. TUBING TO LAY ON TOP OF SOIL AND BE COMPLETELY COVERED BY BARK MULCH.



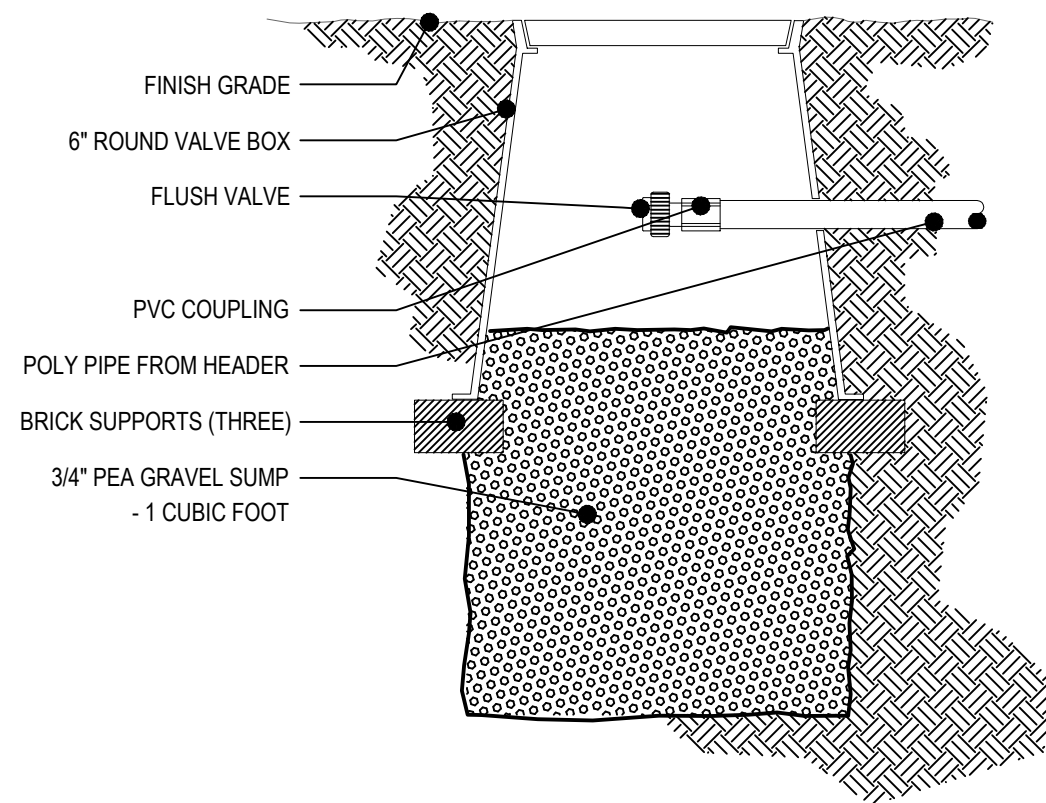
5 DRIPLINE LAYOUT DIAGRAM
SCALE: NTS

NOTES

- 1. PLACE VACUUM RELIEF VALVE AT FURTHEST END(S) OF ZONE.
- 2. STAKE TUBING WITH MIN. 6" LONG STAPLES AT 8' INTERVALS ALONG ENTIRE LENGTH.



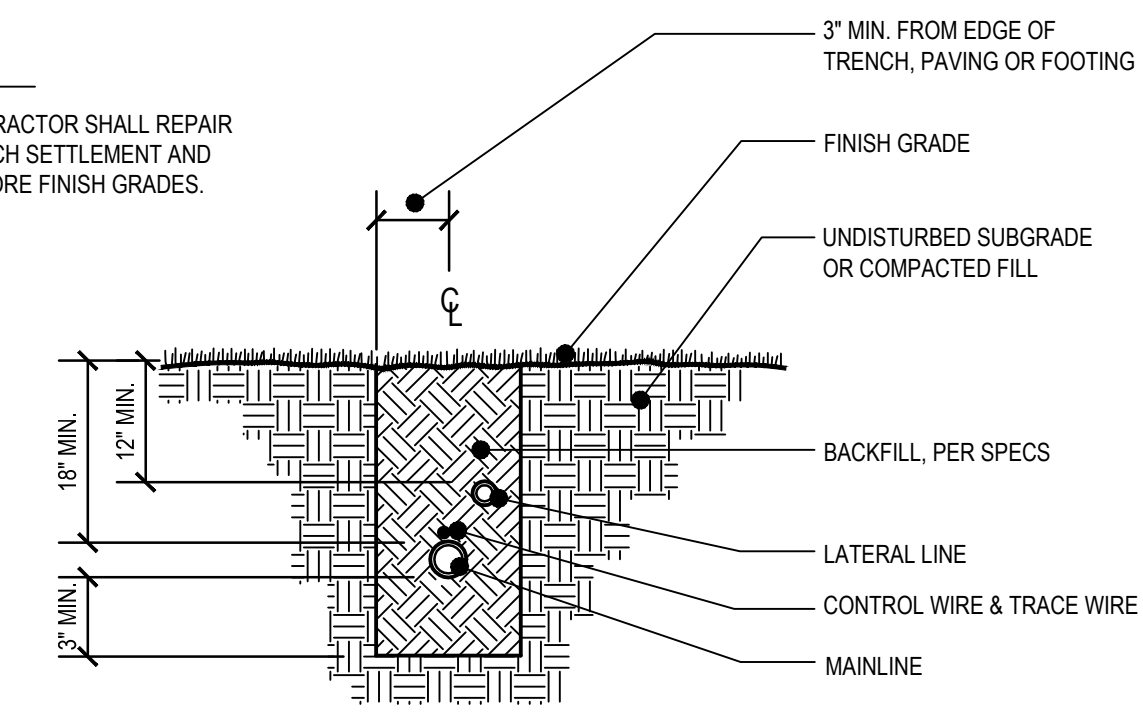
6 INLINE EMITTER TUBING INSTALLATION
SCALE: NTS



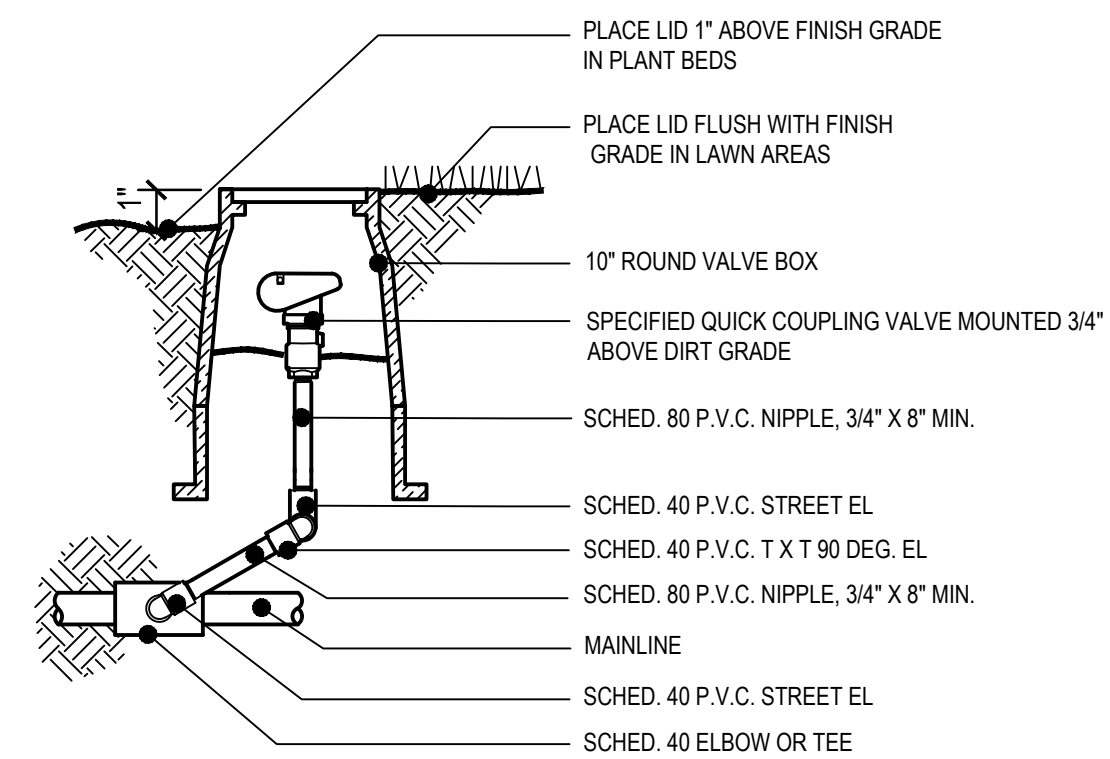
7 FLUSH VALVE
SCALE: NTS

NOTES

- 1. CONTRACTOR SHALL REPAIR TRENCH SETTLEMENT AND RESTORE FINISH GRADES.



8 IR TRENCHING DETAIL
SCALE: NTS



9 QUICK COUPLER VALVE DETAIL
SCALE: NTS

Landscaping Construction Specifications

General

- Municipal, County, State and Federal laws, regarding uses and regulations governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications, and their provisions shall be carried out by the contractor.
- The Contractor shall verify the locations of all existing utilities, structures, and services before commencing work. The location of utilities, structures, services shown on these plans are approximate only. Any discrepancies between these plans and the actual field conditions shall be reported to the Owner's representative.
- The Contractor shall locate and protect all existing utilities, features and plants on and adjacent to the project site during construction. Contractor shall repair, at his own expense, all damage resulting from his operations or negligence.
- The Contractor shall obtain all necessary valid licenses, permits, and insurance required to perform the work indicated herein before commencing work, and shall be responsible for coordinating work with all parties involved, including jurisdictional agencies.
- The Contractor shall use all means necessary to protect the public at all times during the construction process.
- In the event of conflict between pertinent codes, regulations, structural notes, and/or requirements, or the referenced standards of these Specifications, the provisions of the more stringent shall govern.
- Weather Limitations: Soil work shall be performed only when the weather conditions do not detrimentally affect the quality of work.

Mandatory Site Inspection Schedule

- Schedule for Mandatory site inspection procedures. The mandatory site inspections include but are not limited to the following:

Pre-Construction Site Meeting

Contractor shall be notified a minimum of 48 hours prior to meeting to review site conditions, proposed construction and construction schedule, and review construction specifications prior to commencement of construction operations.

Rough Grading Inspection

Contractor shall notify Owner's Representative a minimum 48 hours prior to request for inspection of rough soil grades. All rough grading operations shall be completed per specifications and prepared for inspection. No topsoil placement or backfilling in areas to be landscaped should occur until written approval by Owner's Representative has been issued.

Open Trench Irrigation Inspection

Contractor shall notify Owner's Representative 24 hours prior to inspection for written approval of irrigation trench depths, piping conditions, and pressure testing. (Refer to Irrigation Specification for inspection procedures)

Plant Material Inspection

Plant material quality and layout inspection and written approval shall occur with 24 hours notice to Owner's Representative prior to installation of any plant material. (Refer to Planting Specification for inspection procedures)

Final Landscape Areas and Irrigation Performance Inspection

Contractor shall notify Owner's Representative 48 hours prior to inspection for approval of landscape and irrigation work. Irrigation operations and coverage shall be inspected. Plant quality and layout shall be inspected. Written approval shall be issued upon inspection approval of specified construction. (Refer to relative specification sections)

Erosion Control

- Provide and maintain positive drainage patterns throughout the construction process, and as directed by the Owner's Representative if weather or construction activity creates drainage conflicts detrimental to construction process or environmental conditions. Comply with jurisdictional requirements.
- Maintain erosion measures throughout the landscaping process. Restore erosion control measures disturbed by landscaping operations. Remove only upon approval of Owner's Representative.

Invasive Weed Control Prior to Construction

- Verify and identify conditions requiring eradication of invasive weeds and grasses prior to existing soil surface disturbance as directed by Owner's Representative. Stockpiled topsoil shall be treated to eradicate weeds prior to soil ripping and stockpiling. Weed eradication shall include herbicide and non-herbicide methods only administered by a currently licensed applicator. Eradication shall include and is not limited to elimination of the following invasive species from areas to be landscaped:

Cirsium arvense (Canadian Thistle) Lotus corniculatus (Bird's foot Trefoil)
Convolvulus spp. (Morning Glory) Lythrium salicaria (Purple Loosestrife)
Cytisus scoparius (Scotch Broom) Melilotus spp. (Sweet Clover)
Dipsacus sylvestris (Common Teasel) Myriophyllum spicatum (Eurasian Milfoil)
Equisetum spp. (Horsetail) Phalaris arundinaceae (Reed Canary Grass)
Festuca arundinaceae (Tall Fescue) Rubus discolor (Himalayan Blackberry)
Hedera helix (English Ivy) Solanum spp. (Nightshade)
Holicus canatus (Velvet Grass) Trifolium spp. (Clovers)
Lolium spp. (Rye Grasses)

Rough Grade Inspection

- Conditions and quality of rough grade shall be inspected and approved by Owner's Representative prior to the commencement of specified work in areas to be landscaped. The contractor shall then be responsible for completion of activities specified herein, and defined on the plan.
- In all plant bed areas the sub-grade shall be free of unsuitable material such as stumps, roots, rocks, concrete, asphalt, or metals, for a minimum depth of 24 inches, and in all lawn or seeded areas the sub-grade shall be free of unsuitable material for a minimum depth of 12 inches
- The Owner's Representative, at their discretion, shall direct further rough grading or soil preparation if specified activities have not created a surface satisfactory for further work to commence. Compensation for additional surface work created by conditions unknown at the outset and as directed in writing by the Owner's Representative shall be negotiated at the time of the directive, and prior to the commencement of particular construction activities.

Finish Grading

- Verify that rough grade in landscape areas is sufficiently below proposed final grade for planting beds and lawn areas to allow for placement of topsoil mix. Refer to grading plans for finish grade references. Verify that grades provide positive drainage at all landscape areas, and slope away from structures at a minimum of 2% slope. Final grades in all landscape areas shall be crowned at center to facilitate proposed drainage.

Installation Of Irrigation Sleeving

- Sleeving conduit shall be installed at existing and proposed paved areas as per specifications, as directed by the Owner's Representative, or as irrigation installation requirements, prior to preparation for paving construction. Set piping to provide minimum covers of:

18-inch for sleeving beneath walkways;
24-inch for sleeving beneath vehicular traffic or structures.

Mark each end of sleeving with a 2 x 4 stake with 24" exposed, clearly marked 'SLEEVE LOCATION'. Contractor shall maintain staking identification and location throughout construction process. Protect all existing paving when installing sleeving. Restore all paving damaged by sleeve installation.

- Size of sleeving conduit pipe shall be a minimum of two times the diameter of the bell end of the pipe that is to be fed into the sleeve.
- Set sleeving in a compacted bed of material that will not damage the pipe during compaction of surface backfill material.

Design / Build Irrigation Specification

1.1 DESIGN BUILD SUBMITTALS AND REQUIREMENTS

A. Design Criteria: Submitted plan shall meet the following criteria and shall be approved for construction only upon verification that all required criteria have been met.

- Drawings submitted for design approval:
 - Must clearly illustrate irrigation heads, dripline, valve, controller and point of connection locations. Individual valves and controllers shall be numbered sequentially. The size and maximum flow through each valve and capacity of each controller shall be clearly noted.
 - Must clearly illustrate pipe sizes from all laterals and mainline pipe.
 - Drawings must be to a standard measurable engineering scale that is at a minimum of 1"=30'-0".
 - Drawings must be CAD generated.
 - Drawings must include a legend that describes all symbols and materials represented on the plan.
 - Drawings must clearly illustrate that the proposed irrigation system meets all performance criteria described by these specifications.
 - Must utilize graphics that clearly distinguish between lateral and mainline pipe and sleeves under pavement; dripline; manual or automatic control valves, isolation valves and drain valves; irrigation controllers and all other equipment located on the plan.
- Irrigation system as designed and installed shall perform within the tolerances and specification of the specified manufacturers.
- The system shall be fully adjustable to fine-tune the system performance for specific zones. Indicate water pressure and gallowage parameters at available water source on the required submittal.
- Irrigation system shall be designed so that planting beds, sloped banks and lawn zones are on separate control valves to facilitate the different water requirements of each area.
- Emission system shall be designed to supply manufacturer's specified minimum operating pressure to furthest emitter from water meter. Water flow through piping shall not exceed a velocity of 5 feet per second.
- System shall furnish components to allow operation within manufacturer's specified tolerances for optimum performance. Undersized components shall not be approved for installation.

- Upon completion of the irrigation system installation and as a condition of its acceptance, deliver to the Owner's representative the following 'As-built' drawings: Three prints and one reproducible sepia of all changes to the irrigation system including a Controller Zone Reference chart. Instruct owner of system components operation, system winterization, and controller adjustment processes. Instruct owner of precipitation requirements and schedule of anticipated controller adjustments as landscape matures.

- Protect existing buildings, walls, pavements, reference points, monuments, and markers on this site. Verify location of and protect all utilities. Protect adjacent property. Protect work and materials of other trades. Protect irrigation system materials before, during, and after installation. In the event of damage, repair or replace items as necessary to the approval of the Owner's representative and at no additional cost to the Owner. Use all means necessary to protect the public from injury at all times.

- Provide warranty for all installed materials and work for one year beyond the date of final acceptance of the irrigation system installation.

- Verify gallowage, pressure, size, and location of service water line. The Contractor shall guarantee an irrigation system that functions to manufacturer's specifications with the source volume and pressure afforded to site. Make arrangements for water shut-off during construction if necessary, notify owner 24 hours prior to suspension of water service.

- Irrigation trenches shall be a depth to provide a minimum cover of 18 inches for sleeving beneath walkways; 18 inches for all pressurized main lines; 36 inches for sleeving beneath asphalt paving, and 12 inches for all lateral lines. Backfill with clean fill void of material injurious to system components. All sleeving under vehicular traffic to be Class 200 PVC, all other sleeving shall be class 200 PVC. Locate top of zone valves a minimum of 6" below finish grade.

- Combine wire and piping where possible.

- Contractor shall follow manufacturer's instructions for solvent welding of PVC pipe and fittings to achieve tight and inseparable joints. Utilize single wrap Teflon tape at all threaded joints.

- Install all valves with fittings that facilitate maintenance removal and place valve boxes at location that are easily serviced but not in conspicuous locations. Locate in planting beds wherever possible, away from mower, edger, or de-thatcher operations.

- Contractor shall install one manual drain valve at discharge side of each remote control valve and at all low points in mainline pipe so as to allow for complete drainage of all main lines. Mark with a painted sleeve cover and indicate locations on As-Built drawings.

- Contractor shall provide backflow prevention as required per local and state codes, installed as per manufacturer's specifications.

- Contractor shall install irrigation controller in accordance with manufacturer's specifications. Verify a 120 V.A.C. electrical source and a min. 1 1/2" conduit from controller location open to all electrical zone valves in field. Weatherproof any exterior wall penetrations.

- Automatic Controller: Rainbird or Hunter capable of meeting Water Sense EPA Criteria or approved equal. Controller shall have ability for all zones to fully operate and meet both normal and specified low volume system requirements as specified herein, and as required by site conditions. Coordinate location in field with owner's representative.

- Install all wire in accordance with manufacturer's specifications with a minimum of 18 inch looped inside valve box at each remote control valve and at the controller. All splices shall occur within valve boxes with water-proof connectors.

- Contractor shall install all sprinkler heads with flexible risers, using flexible polyethylene pipe not to exceed 18 inches in length or PVC swing joints. Tee fittings shall extend horizontally from pipe.

- Contractor shall thoroughly flush irrigation system after piping, risers, and valves are installed but prior to installing sprinkler heads. Thoroughly clean, adjust and balance the installed irrigation system. Adjust spray pattern of nozzles to minimize throw of water onto buildings, walls, roads and parking lots. Adjust controller for optimum performance and precipitation rates utilizing proper water conservation measures.

Topsoil Placement and Soil Preparation

- Contractor shall submit certified topsoil analysis report for owner's approval prior to plant installation.

- Contractor is responsible for any amendments to soil PH, fertility and/or drainage conditions necessary to ensure proper growing conditions for proposed planting.

- Topsoil shall be friable soil from existing stockpiled material or imported, with added soil amendments as specified. It shall not be delivered while in a frozen or muddy condition. Protect from erosion at all times. Utilize existing stockpiled topsoil only under the direction of the Owner's Representative. Do not place topsoil in areas that have not been cleared of weeds listed herein. Topsoil shall meet the following requirements:

- Free of roots and rocks larger than 1/2 inch,
- Free of subsoil, debris, large weeds, foreign matter and any other material deleterious to plant material health.
- Acidity range (pH) of 5.5 to 7.5.
- Containing a minimum of 4 percent and a maximum of 25 percent inorganic matter with decaying matter of 25 percent content by volume or less.
- Textural gradations shall be sand: 45-75%, silt: 15-35%, clay: 05-20%.

- Commercial fertilizer shall be an organic base, complete fertilizer containing in available form by within a minimum of 10N 10P 5K - with 50 percent of the available nitrogen in slow-release formula, Webfoot Organic Delux, or approved equal.a

- Compost shall be yard debris compost meeting industry and jurisdictional standards.

- Contractor shall remove all debris, rocks one inch in diameter or larger, sticks, mortar, concrete, asphalt, paper, contaminated soil and any material harmful to plant life, in all planting areas.

- Contractor shall rototill subgrade six (6) inches deep before placing topsoil. Specified imported topsoil shall be placed at a minimum depth of 12" in all planting areas. Do not place material during wet conditions. Do not work saturated soils in any manner. floated to a level, sloped or mounded grade between any existing or constructed point on the site, such as curbs, walls, walks, paving and the like. Final soil grades in planting beds shall be 2" below adjacent paving and curbs for mulch application.

- Distribute following soil amendments to all landscape areas in even layers and power rototill or spade to a minimum depth of six (6) inches into topsoil, as follows;

- Planting Beds:
- Compost: Apply nine cubic yards per 1000 sq. ft.
 - Commercial Fertilizer: Apply 50 pounds per 1000 sq. ft.

- Preparation of backfill planting soil mix shall be as follows:

- Thoroughly blend and mix the following proportion of materials while in a moist condition:
- Three cubic yards topsoil
 - 1 1/2 cubic yards compost
 - 1 1/2 cubic yards medium bark,
 - 10 pounds commercial fertilizer
 - Five pounds bonemeal

- Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus materials. Any paved area or surfaces stained or soiled from landscaping materials shall be cleaned with a power sweeper using water under pressure. Building surfaces shall be washed with proper equipment and materials as approved by the Owner's representative.

Seed Installation

- Seeding operations shall occur only between March 15 and October 15.

- Seeding is not permitted during cold weather (less than 32 degrees F), hot weather (greater than 80 degrees F), when soil temperature is less than 55 degrees F, when ground is saturated, or when wind velocity is greater than 10 mph.

- Contractor shall float rough graded seedbed. Do not disturb natural drainage patterns. Remove rocks, clumps, or debris at surface. Lightly scarify surface.

- Contractor shall apply 10 pounds commercial fertilizer per 1,000 square feet of surface area before spreading seed.

- Lawn Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Northwest Supreme Lawn Mix" grass seed per 1,000 square feet.

- Fieldgrass Seed: Contractor shall manually broadcast or hydro-seed eight pounds of Sunmark "Diamond Green" grass seed per 1,000 square feet.

- The Contractor shall protect and maintain the seeded area by fencing, watering, feeding, reseeding, mowing and repairing as necessary to establish a thick, uniform stand of grass acceptable to the Owner's representative. Contractor to maintain lawn for a minimum of 3 mowings.

Trees, Shrubs, & Groundcover Installation

- Contractor shall guarantee materials and workmanship in general landscape areas for one year from date of conditional acceptance. Plant material shall be in accordance with American Standard for Nursery Stock (ANSI Z60.1), shall comply with State and Federal laws with respect to inspection for insect infestation and plant diseases and shall be free of insect pests and plant diseases.

- Plant materials shall have a minimum of 6 inches of prepared soil under the root ball, and a minimum of 6 inches on each side of the root ball. Tree roots or root ball shall have a minimum of 12 inches of plant soil under the root ball and a minimum of 12 inches on each side of the root ball, or roots. Final grade should maintain root ball slightly above surrounding grade (not to exceed one inch) for bark mulch installation.

- Root control barrier shall be installed in trenches, alongside hardscape structures and utility lines such as sidewalks, curbs, pavement, walls, and concrete located within 5 feet of new trees measured from the trunk. Root barrier is to be 40 - 60 mil HDPE, minimum 18" deep and extend 10' in either direction measured from the center of the trunk.

- Mulch all planting beds after planting, final raking, grading and leveling of the planting beds with a layer of Hem/Fir medium screened bark mulch as specified on the plans.

- Balled and burlapped trees, boxed trees or bare root trees shall be either guyed or staked as detailed on the plans.

- Remove all dead or dying branches and criss-crossing branches from trees. Do not cut leader.

- Keep project free from accumulation of debris, topsoil and other material. At completion of each area of work, remove debris, equipment and surplus material. All paved areas or surfaces stained or soiled from landscape material shall be cleaned with a water-pressure power sweeper. Building surfaces shall be washed with proper equipment and materials as approved by the Owner.

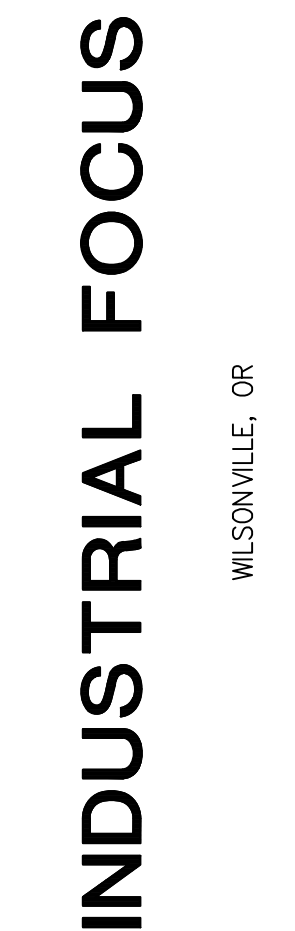
- River Rock Mulch: River rock mulch shall be minimum 3/4" to maximum 1-1/2" diameter washed round river rock, uniform in size. All fines shall be screened from the aggregate within a one-quarter inch (1/4") tolerance. Color shall be white to light brown. Contractor shall provide the owner with samples of river rocks for approval prior to installation.

Maintenance

- Contractor shall maintain general landscape areas for one year after accepted completion of project.

- Maintenance shall include; all grade resettlement, weeding, policing and removal of plant material debris during maintenance period. Remove and replace dead plant material as needed at no cost to owner for maintenance period. Seasonal leaf fall removal is outside the scope of this maintenance specification.

- Any unsatisfactory condition arising during this maintenance period shall be brought to the attention of the Owner's Representative immediately.



SHEET TITLE

LANDSCAPE
& IR SPECS

DATE: 04/02/19

DRAWN: NJD

CHECKED: DSE

REVISIONS:

AAI ENGINEERING INC.
2019. ALL RIGHTS RESERVED

THESE DRAWINGS ARE THE
PROPERTY OF AAI ENGINEERING INC.
AND ARE NOT TO BE USED OR
REPRODUCED IN ANY MANNER,
EXCEPT WITH THE PRIOR WRITTEN
PERMISSION OF AAI ENGINEERING INC.

SHEET NUMBER

L3.0

JOB NUMBER: A18234.10

PROJECT INFO

SITE AREA: LOT 500: 171,206 SF (3.9 ACRES)
BUILDING AREA: 53,000 SF
24,000 SF FOOTPRINT
24,000 SF 2ND FLOOR
5,000 SF 3RD FLOOR

LANDSCAPING AREA:
LANDSCAPING AREA REQUIREMENTS: 25,681 SF = 15%
LANDSCAPING AREA PROVIDED: 29,621 SF = 17.3%
IMPERVIOUS AREA = 142,273 SF

PARKING COUNTS:
PARKING SPACE REQUIREMENTS: 101
PARKING SPACES PROVIDED: 110 SPACES (2.3 PER 1000 SF)
79 STANDARD
31 COMPACT (27%)

BICYCLE PARKING COUNT:
PARKING SPACE REQUIREMENTS: 14
PARKING SPACES PROVIDED: 14
7 SHORT TERM
7 LONG TERM

NOTE: LONG TERM LOCATED IN BUILDING, TO BE INDICATED ON TENANT IMPROVEMENT DRAWINGS

GENERAL NOTES

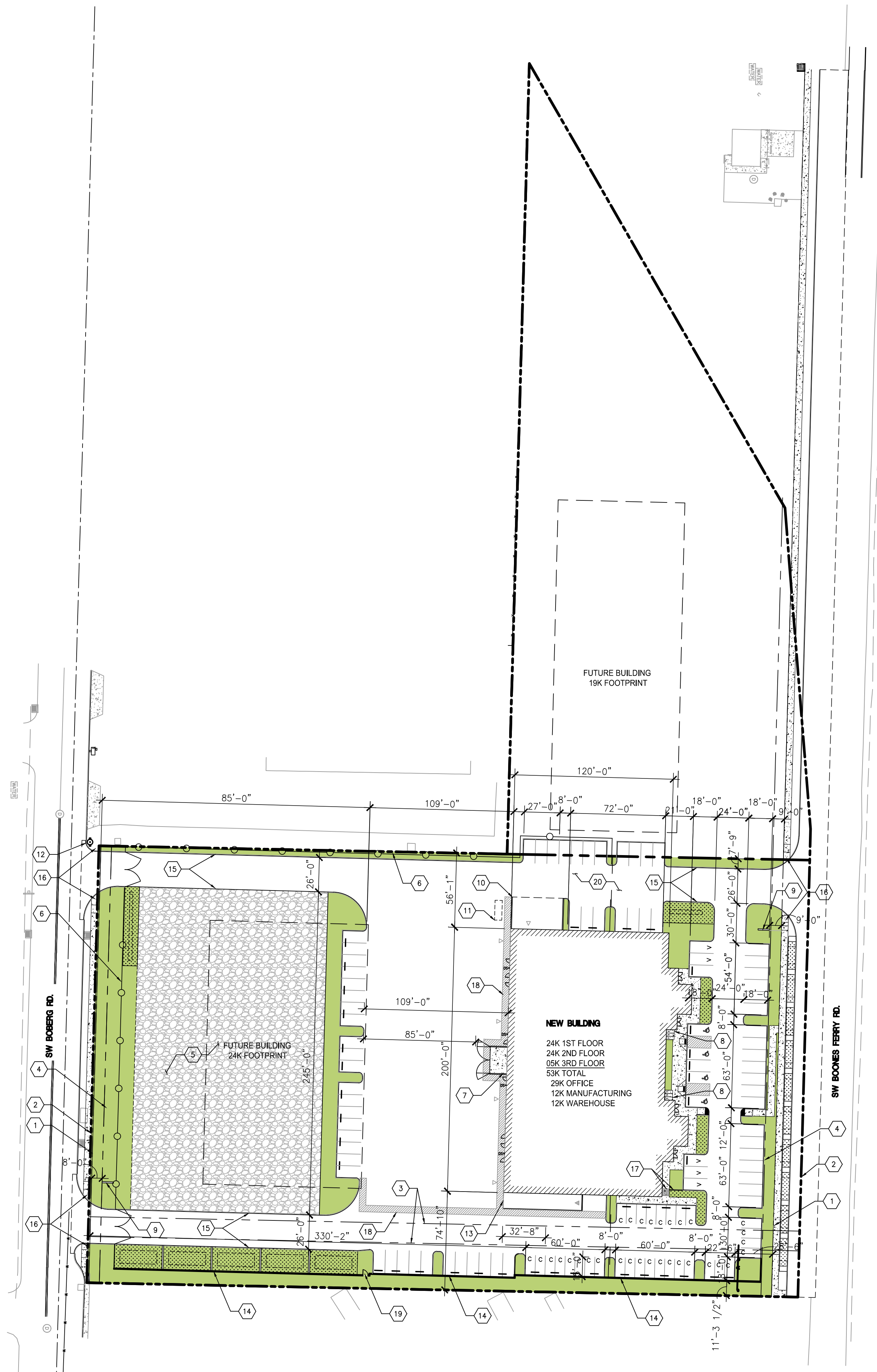
- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- TYPICAL CURB RADIUS = 3' UNLESS NOTED OTHERWISE. PLEASE NOTE WHERE TYPICAL RADI ARE NOTED PLEASE REFERENCE SIMILAR ISLANDS OR CONDITIONS WHERE THESE OCCUR
- EXISTING CONDITIONS BASED ON BOUNDARY SURVEY BY WEDDLE SURVEYING INC. DATED SEPTEMBER 21, 2018

LEGEND

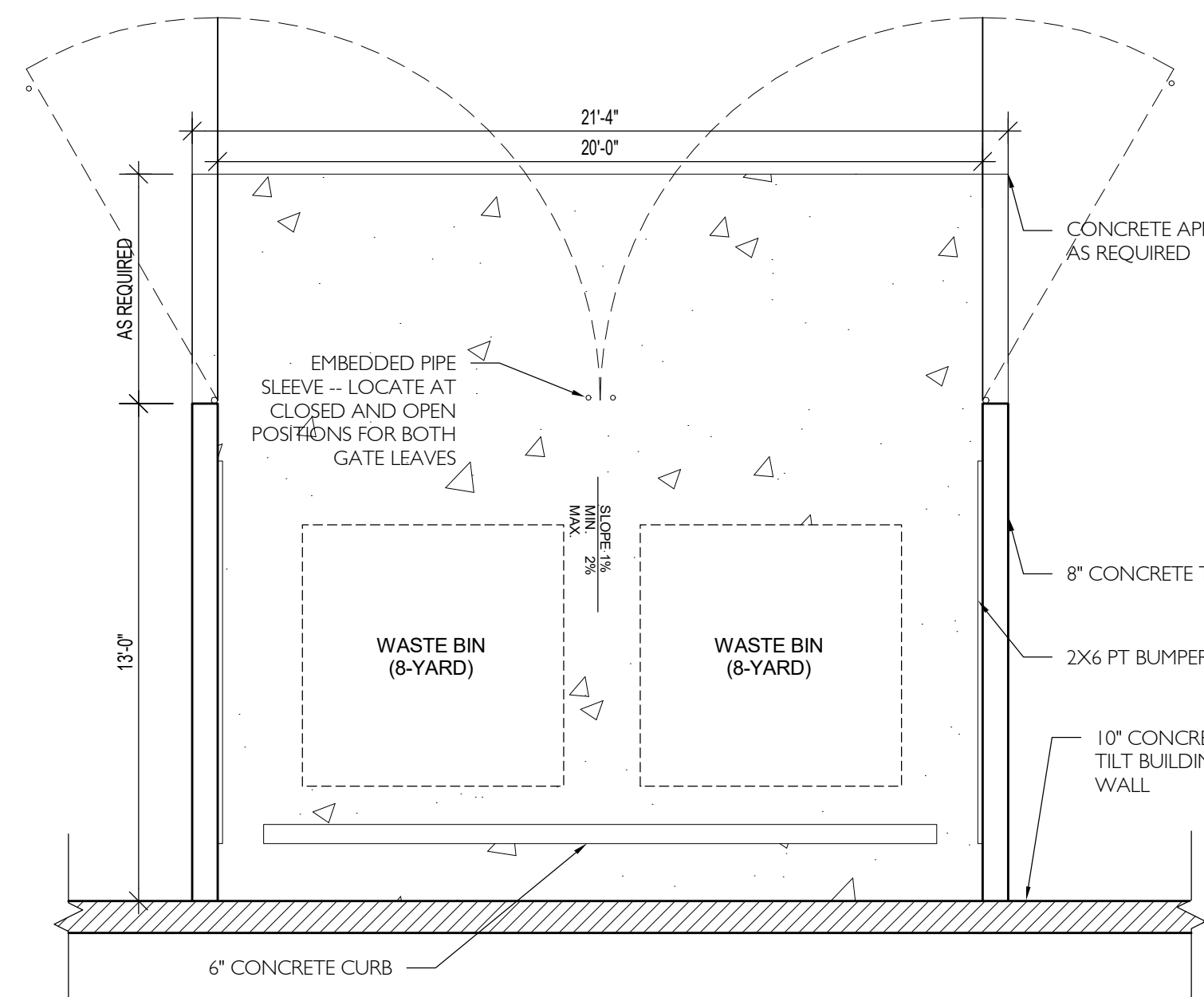
- ♿ ACCESSIBLE PARKING STALL
- C COMPACT PARKING STALL
- V VANPOOL PARKING STALL
- ▽ DRIVE IN
- ▼ DOCK HIGH
- ▨ ADA COMPLIANT DIAMOND TEXTURE SURFACE - PROVIDE AT ACCESSIBLE CURB RAMPS
- ▨ PAINT STRIPED ACCESSIBLE AISLE AND NO PARKING AREA
- ▨ NEW ASPHALT PAVING
- ▨ GRAVEL
- ▨ WATER TREATMENT AREAS - SEE CIVIL SHEETS
- ▨ LANDSCAPE - SEE LANDSCAPE SHEETS

KEYNOTES

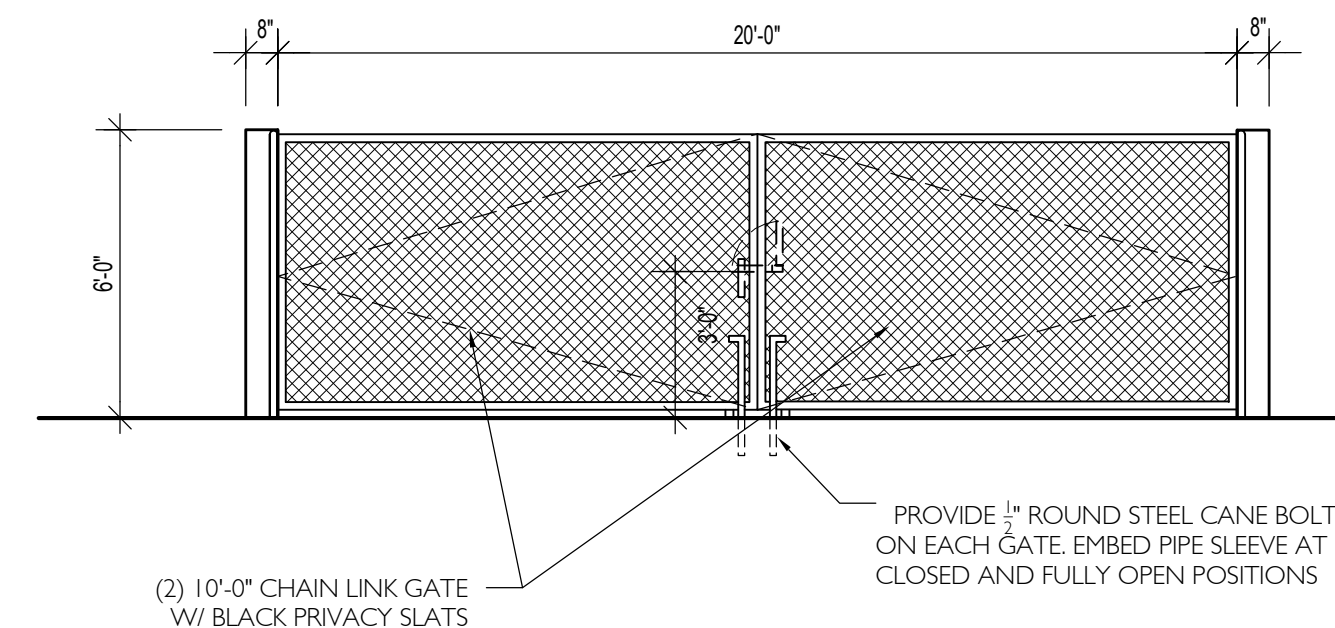
- 1 NEW PROPERTY LINE
- 2 OLD PROPERTY LINE
- 3 15' WATER EASEMENT
- 4 8' UTILITY EASEMENT
- 5 40,000 SF GRAVEL STORAGE AREA
- 6 FENCE
- 7 284 SF TRASH ENCLOSURE
- 8 SHORT TERM BIKE PARKING
- 9 FREESTANDING MONUMENT SIGN - SEE A0.2
- 10 1,000 SF COVERED WASH BAY
- 11 SELF CONTAINED PUMP EQUIPMENT
- 12 EXISTING FIRE HYDRANT TO BE RELOCATED
- 13 DOCK RAMP
- 14 CMU WALL - SEE A0.3
- 15 PAINT CURB AND PROVIDE SIGNAGE AS REQUIRED FOR FIRE ACCESS
- 16 ADA RAMP
- 17 RETAINING WALL AND STAIRS - SEE A0.2
- 18 STRIPED PEDESTRIAN WALKWAY
- 19 CMU WALL GATE
- 19 EMPLOYEE PARKING AREA



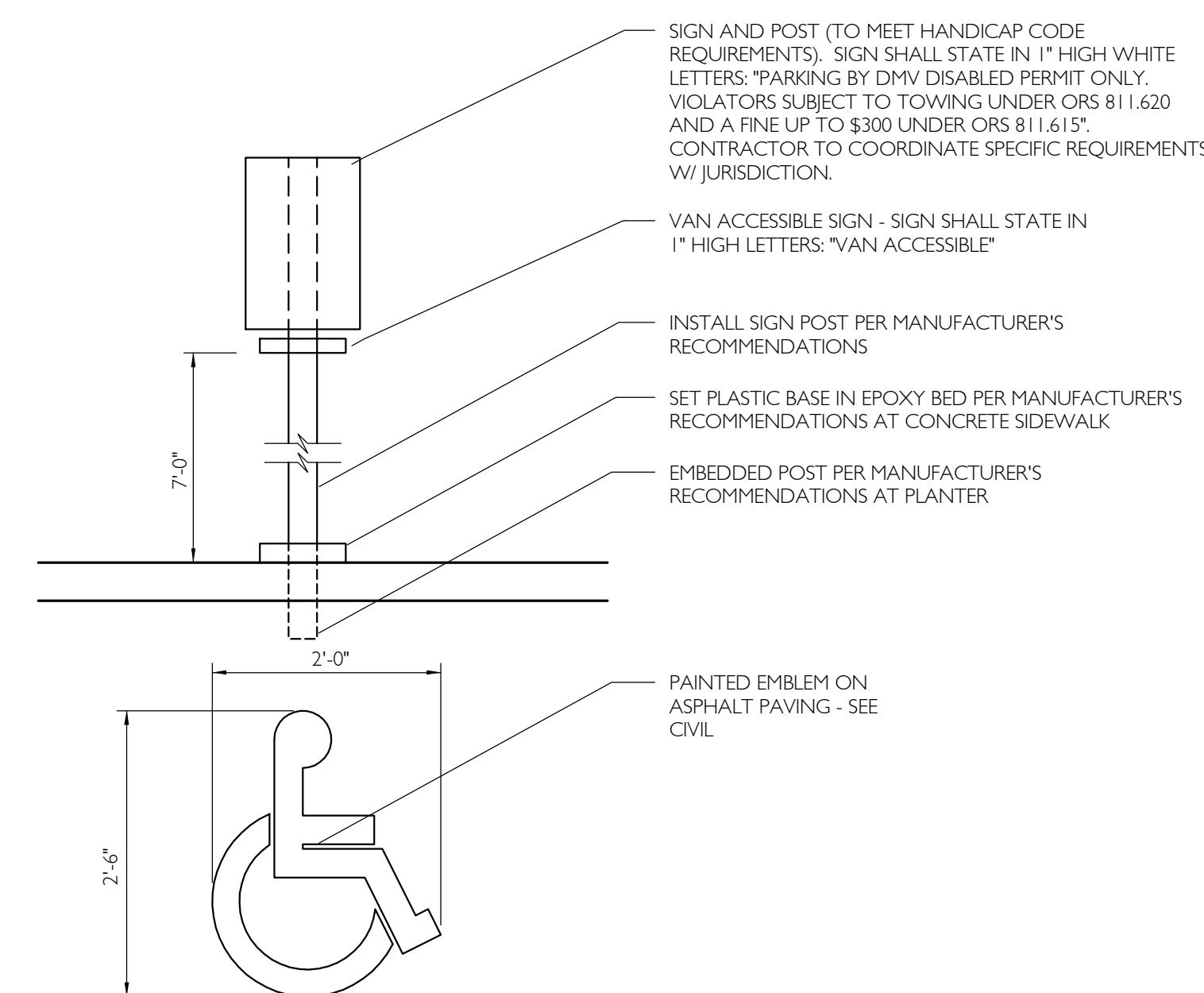
1
A0.1
SITE PLAN - PHASE 1
1" = 50'-0"



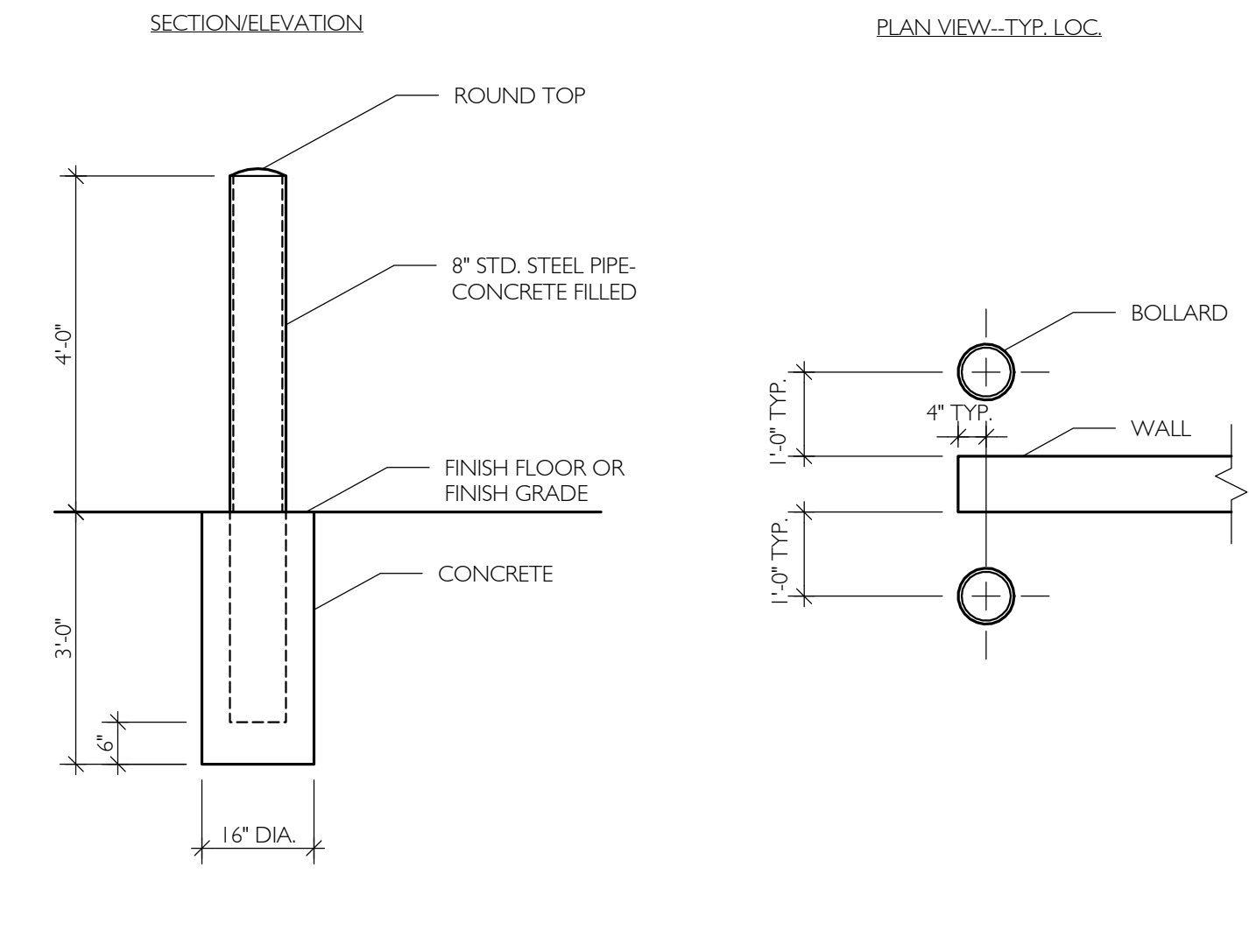
1 A0.2 TRASH ENCLOSURE PLAN
1/4" = 1'-0"



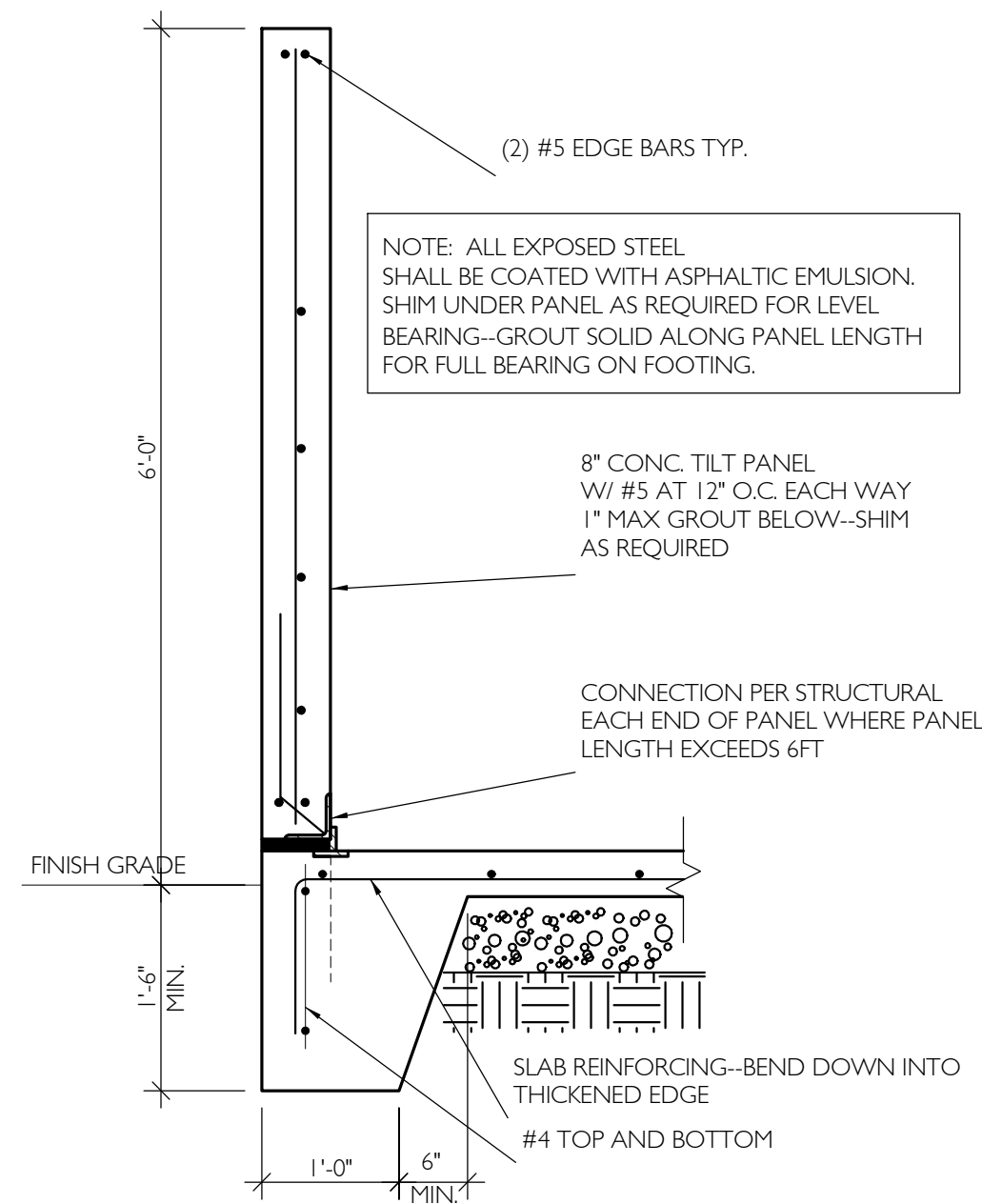
2 A0.2 TRASH ENCLOSURE ELEVATION
1/4" = 1'-0"



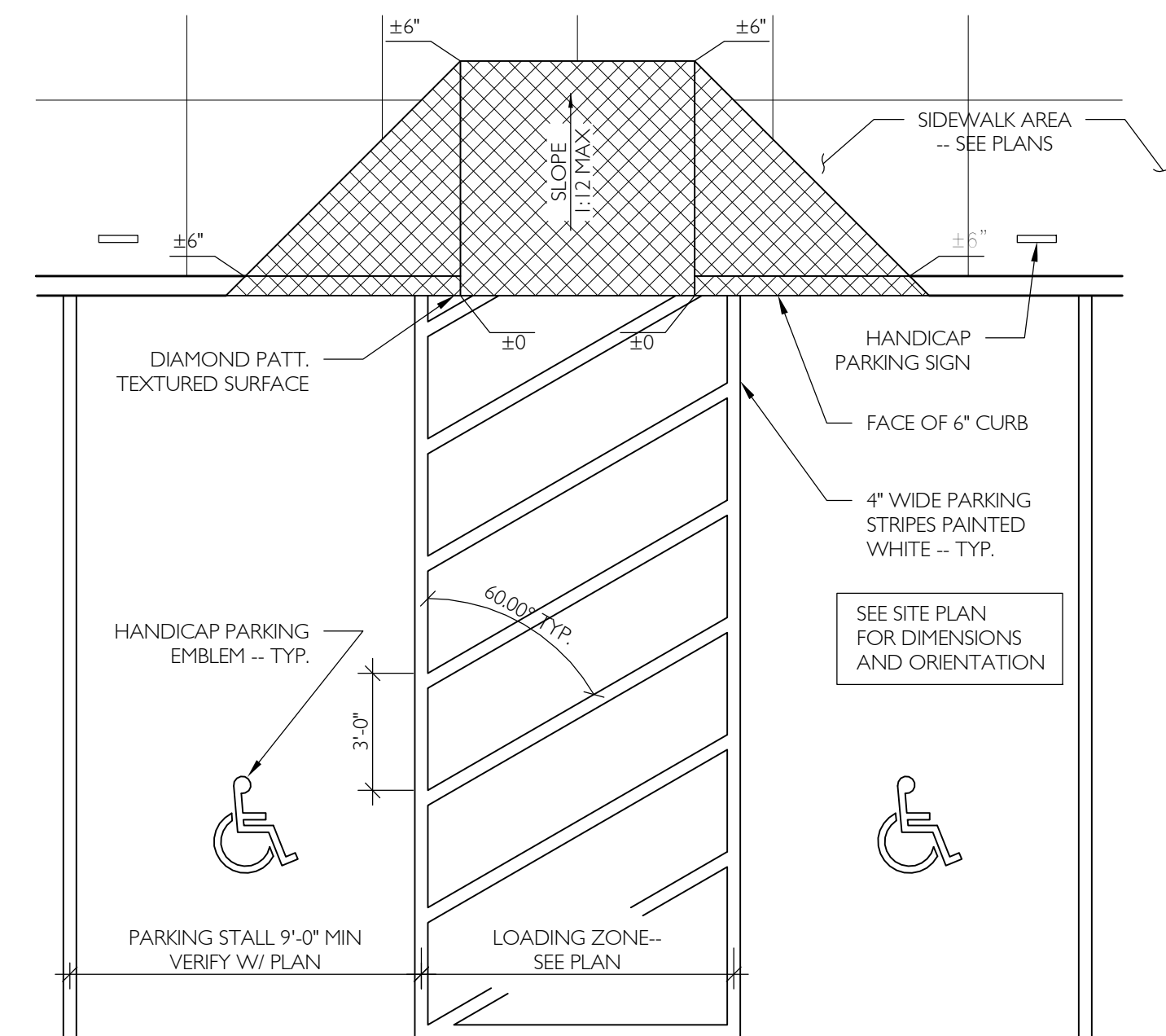
3 A0.2 HANDICAP PARKING EMBLEM AND SIGN
3/4" = 1'-0"



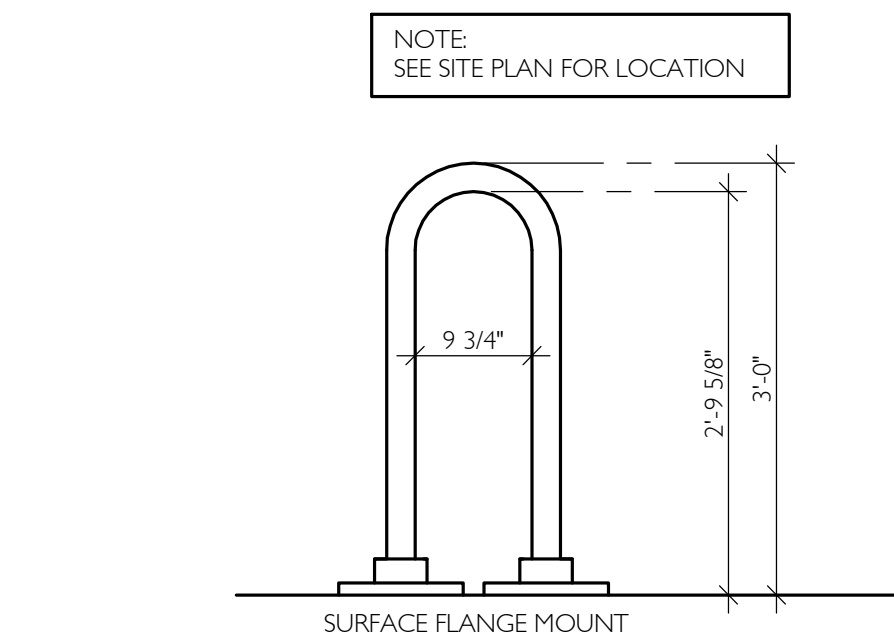
7 A0.2 BOLLARD DETAIL
1/2" = 1'-0"



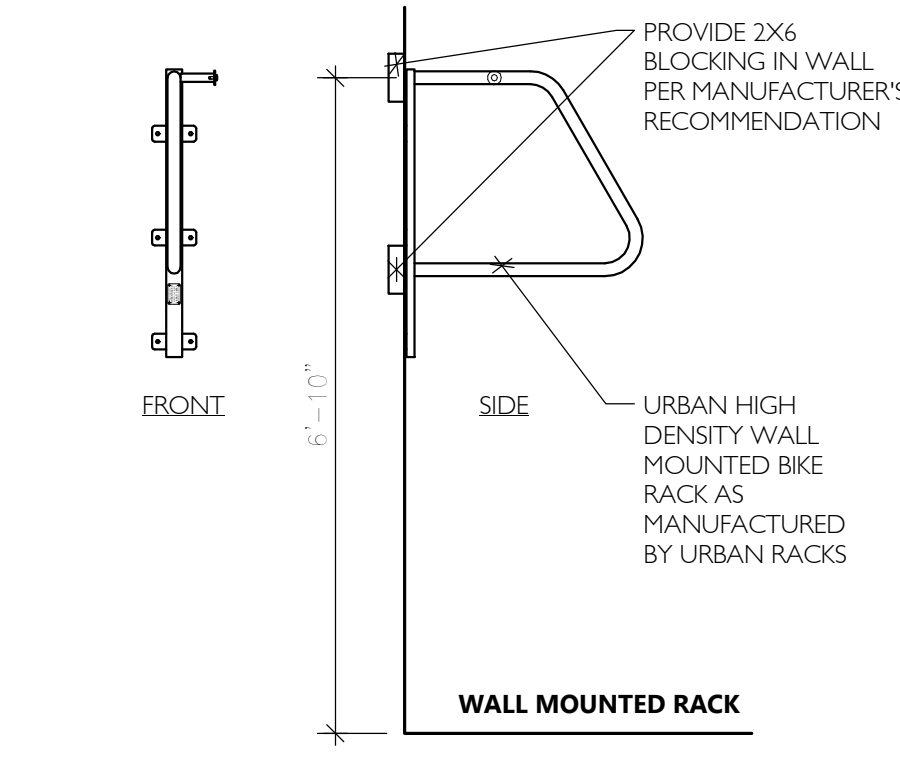
5 A0.2 TRASH ENCLOSURE WALL
3/4" = 1'-0"



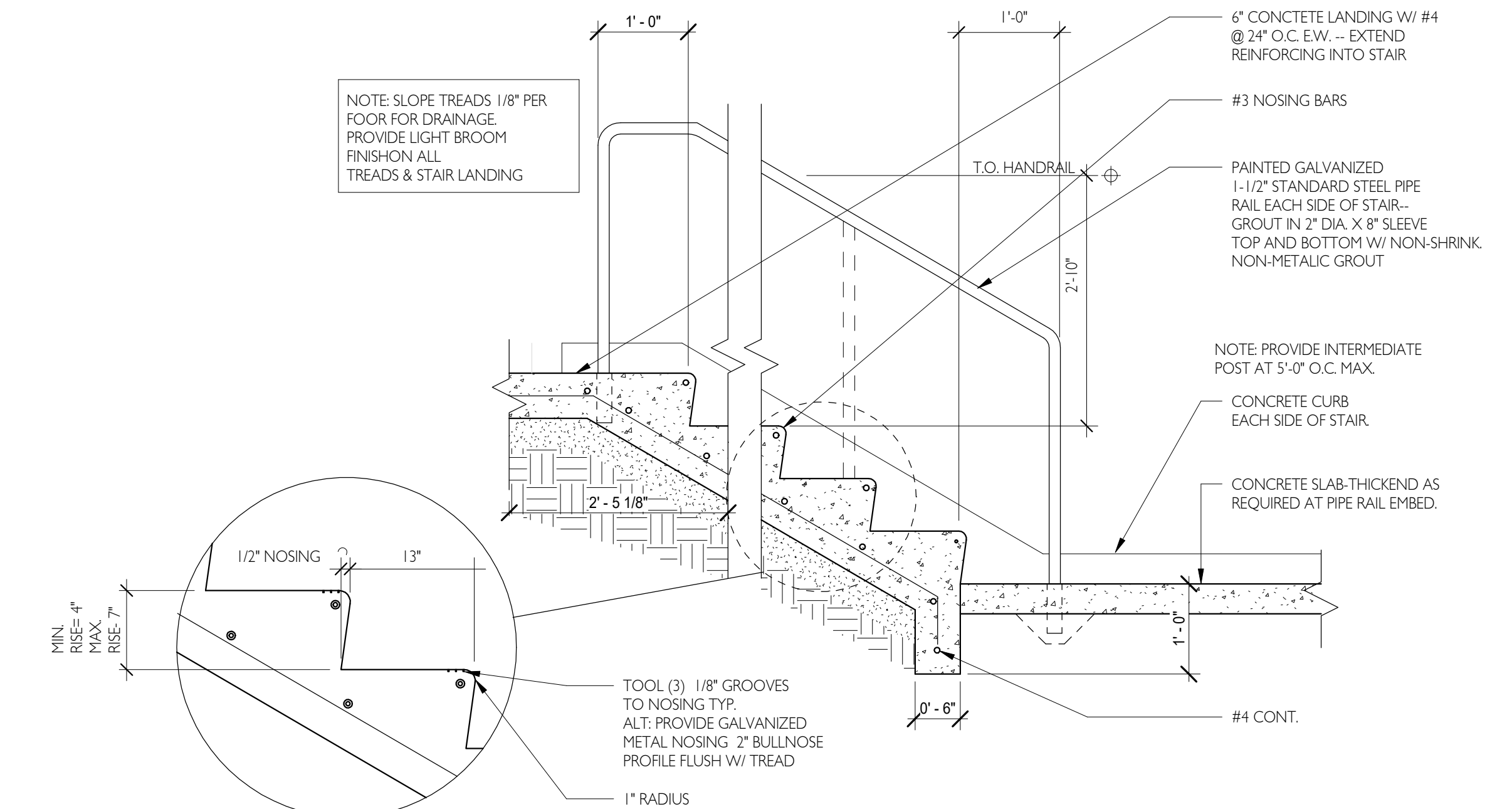
6 A0.2 SINGLE LOADING HANDICAP PARKING
1/4" = 1'-0"



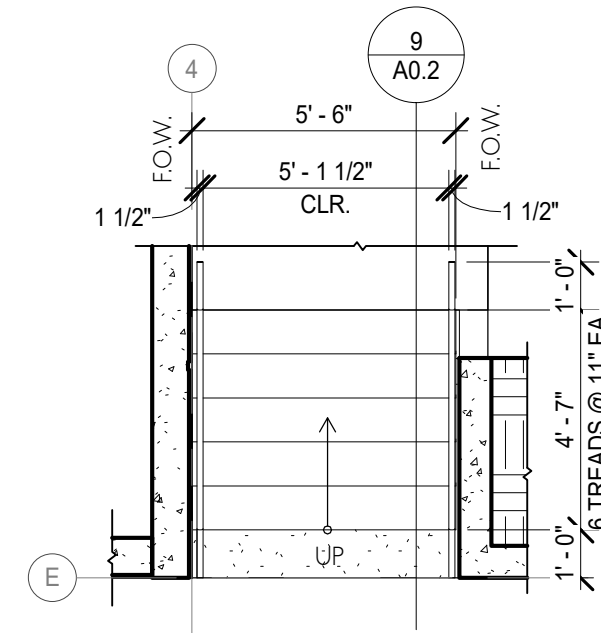
4 A0.2 BICYCLE RACK
3/4" = 1'-0"



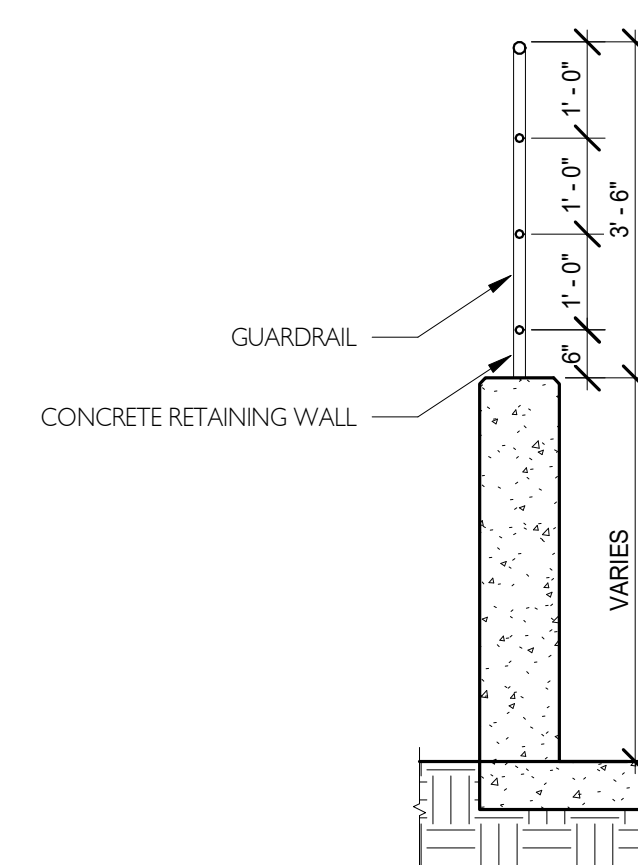
8 A0.2 WALL MOUNTED BIKE RACK
1/2" = 1'-0"



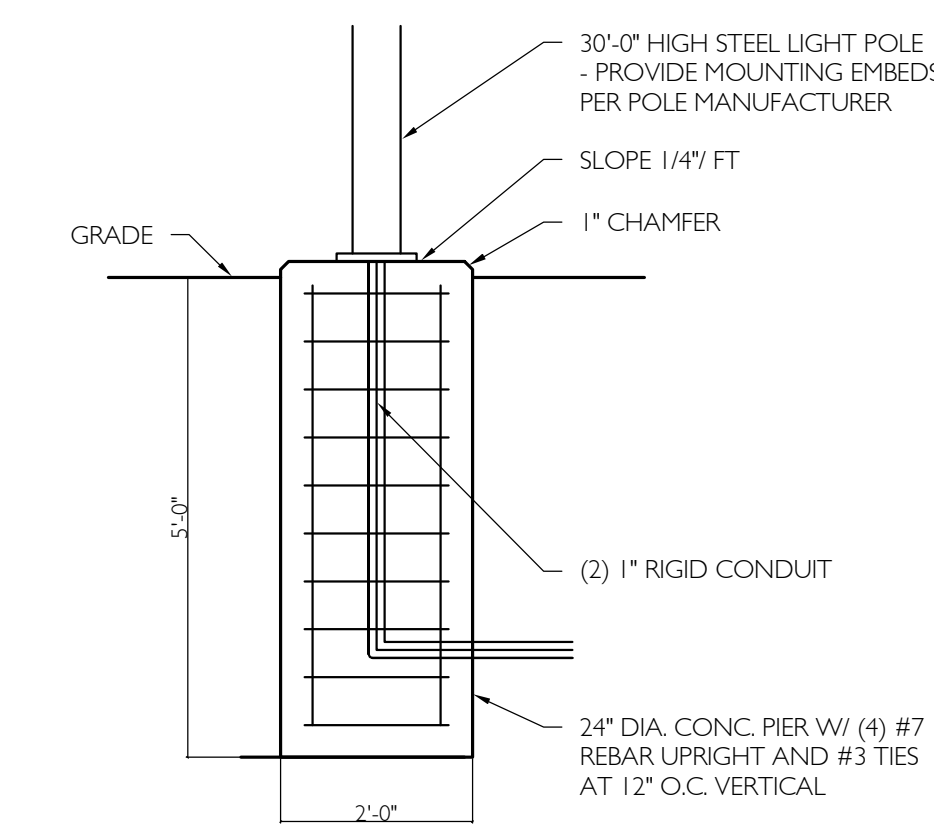
9 A0.2 EXTERIOR CONC. STAIR
3/4" = 1'-0"



10 A0.2 EXTERIOR STAIR PLAN
1/4" = 1'-0"



11 A0.2 GUARDRAIL @ LOADING DOCK
1/2" = 1'-0"



12 A0.2 TYP. LIGHT POLE BASE
1/2" = 1'-0"

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ISSUE DATE
DESIGN REVIEW
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1
2

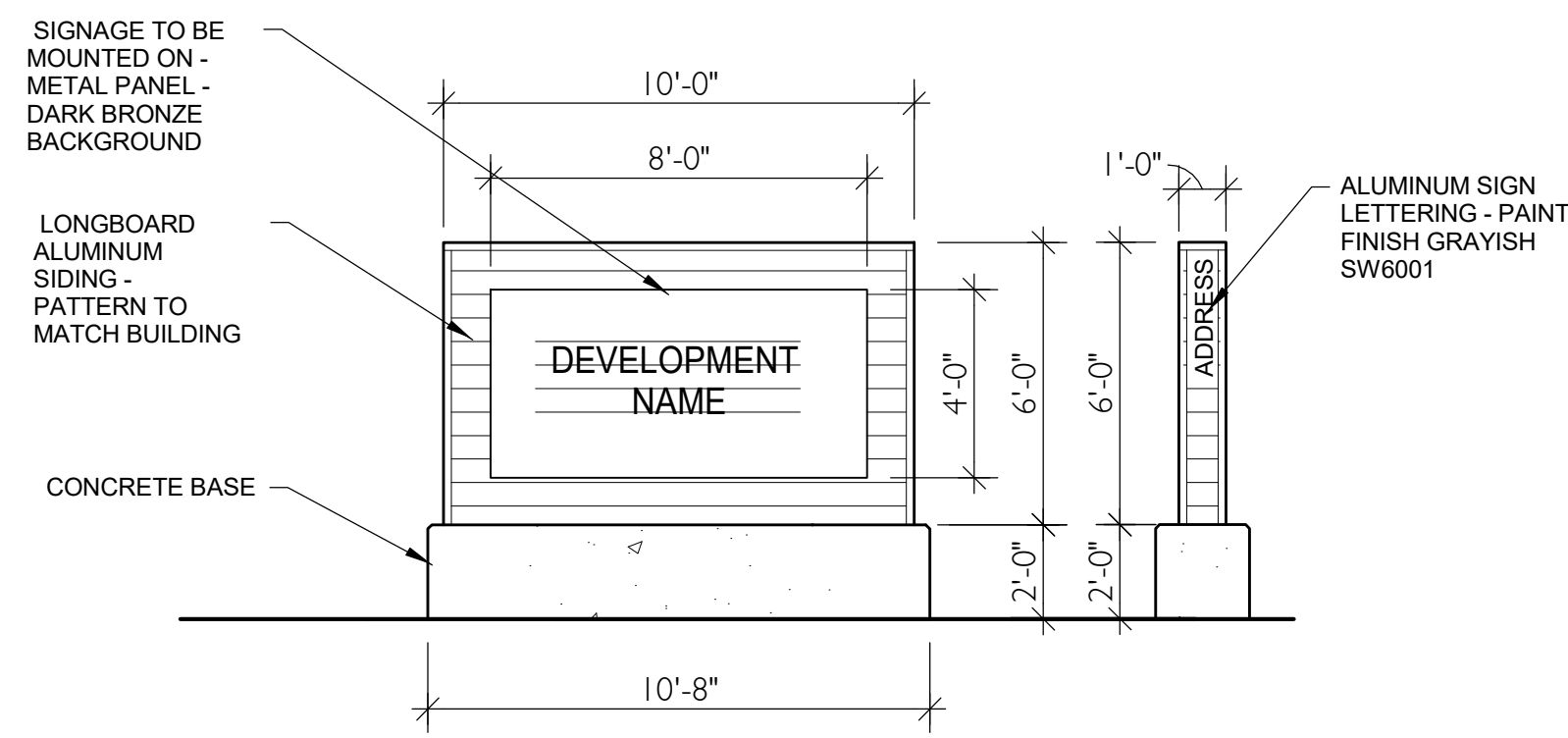
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NEW CONSTRUCTION FOR
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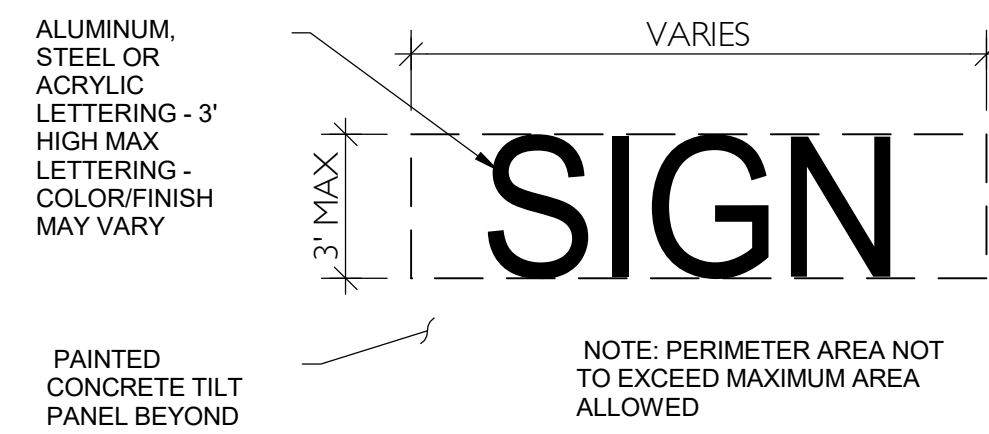
SITE DETAILS
A0.2

180146.01
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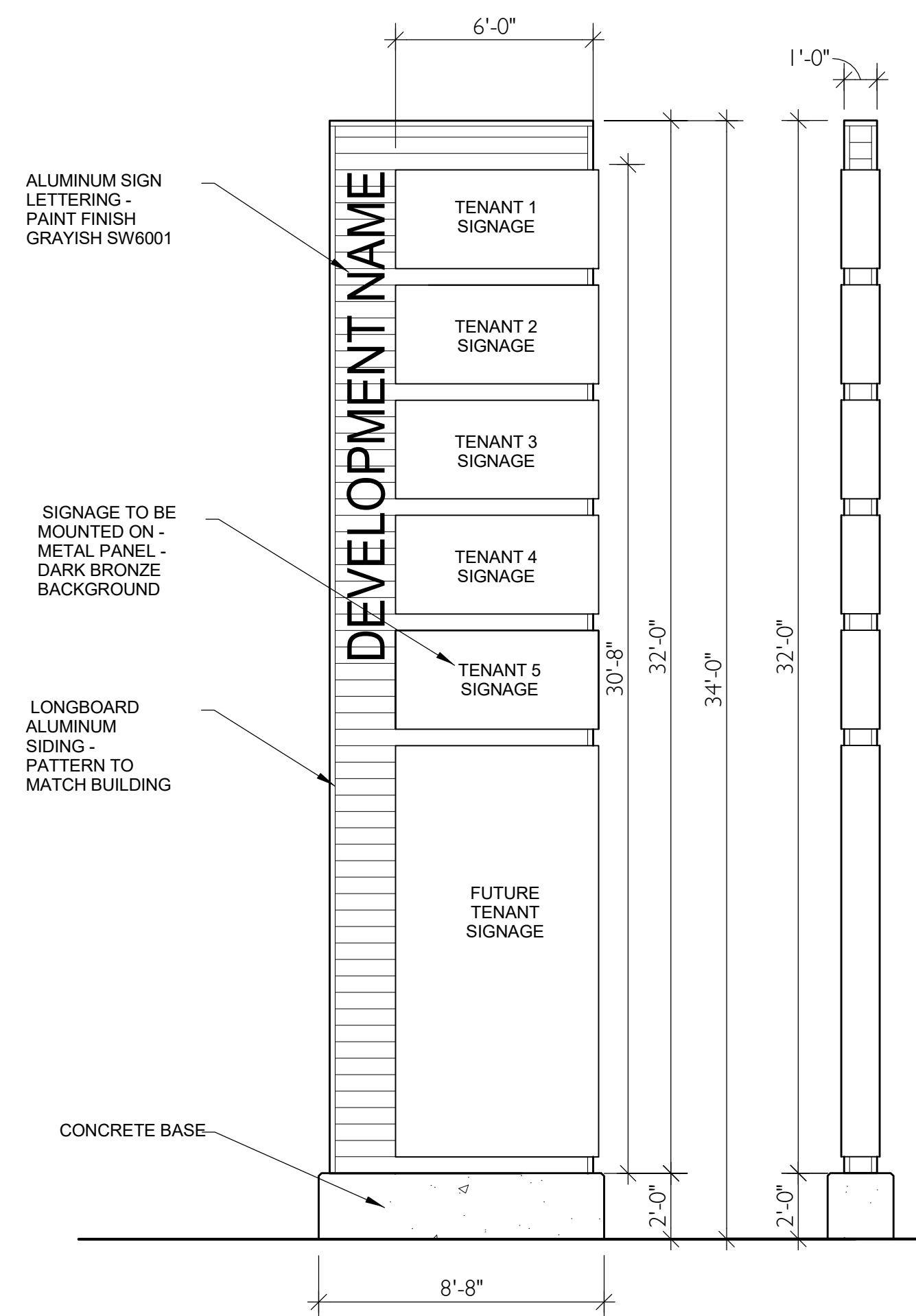
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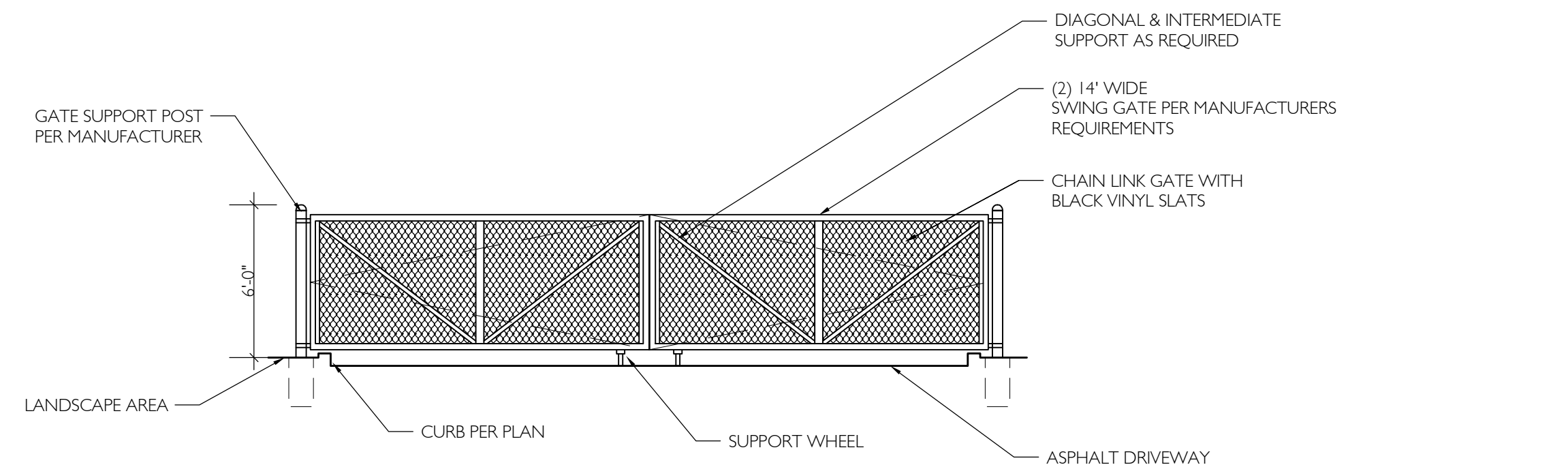
1
A0.3
FREESTANDING SIGN - BOBERG
1/4" = 1'-0"



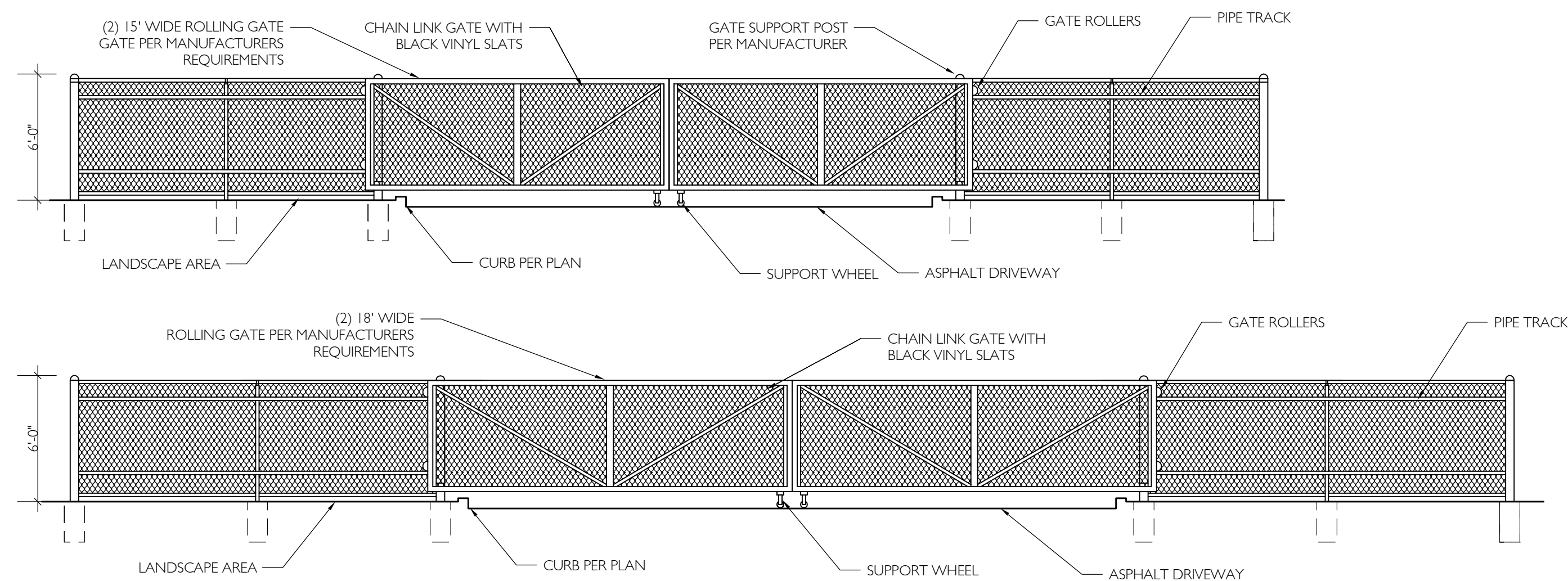
2
A0.3
TYP. BUILDING MOUNTED SIGN
1/4" = 1'-0"



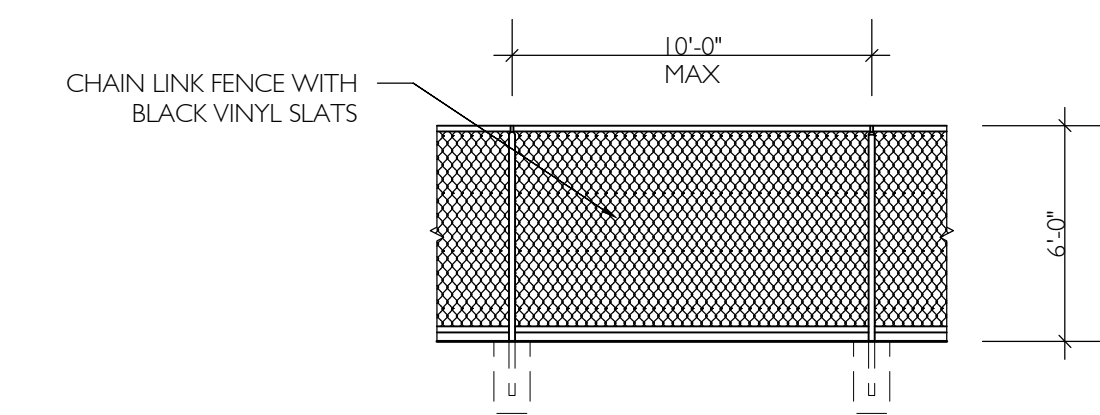
7
A0.3
FREESTANDING SIGN BOONES-FERRY
1/4" = 1'-0"



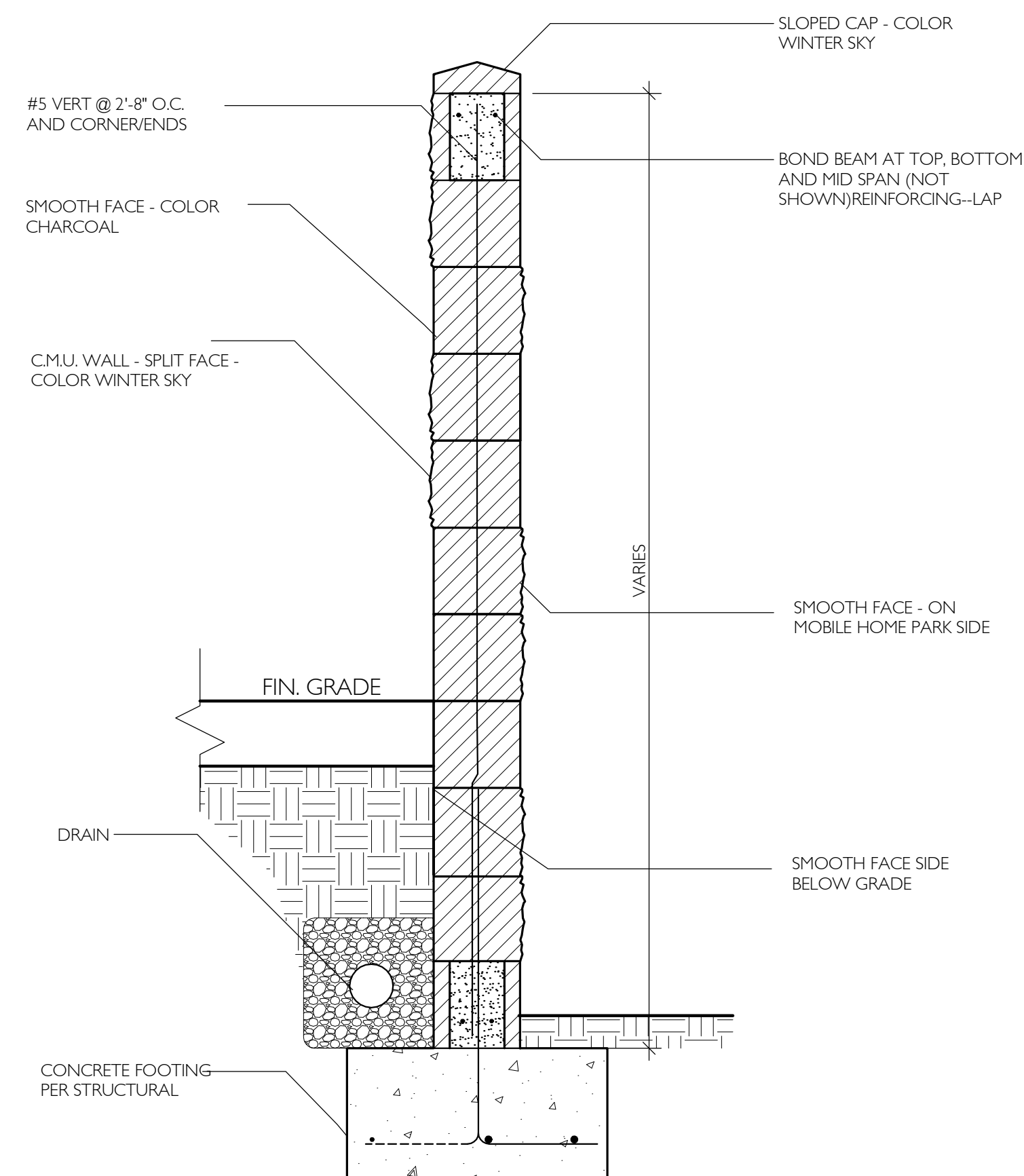
5
A0.3
TYP. SWING GATE ELEVATION
3/16" = 1'-0"



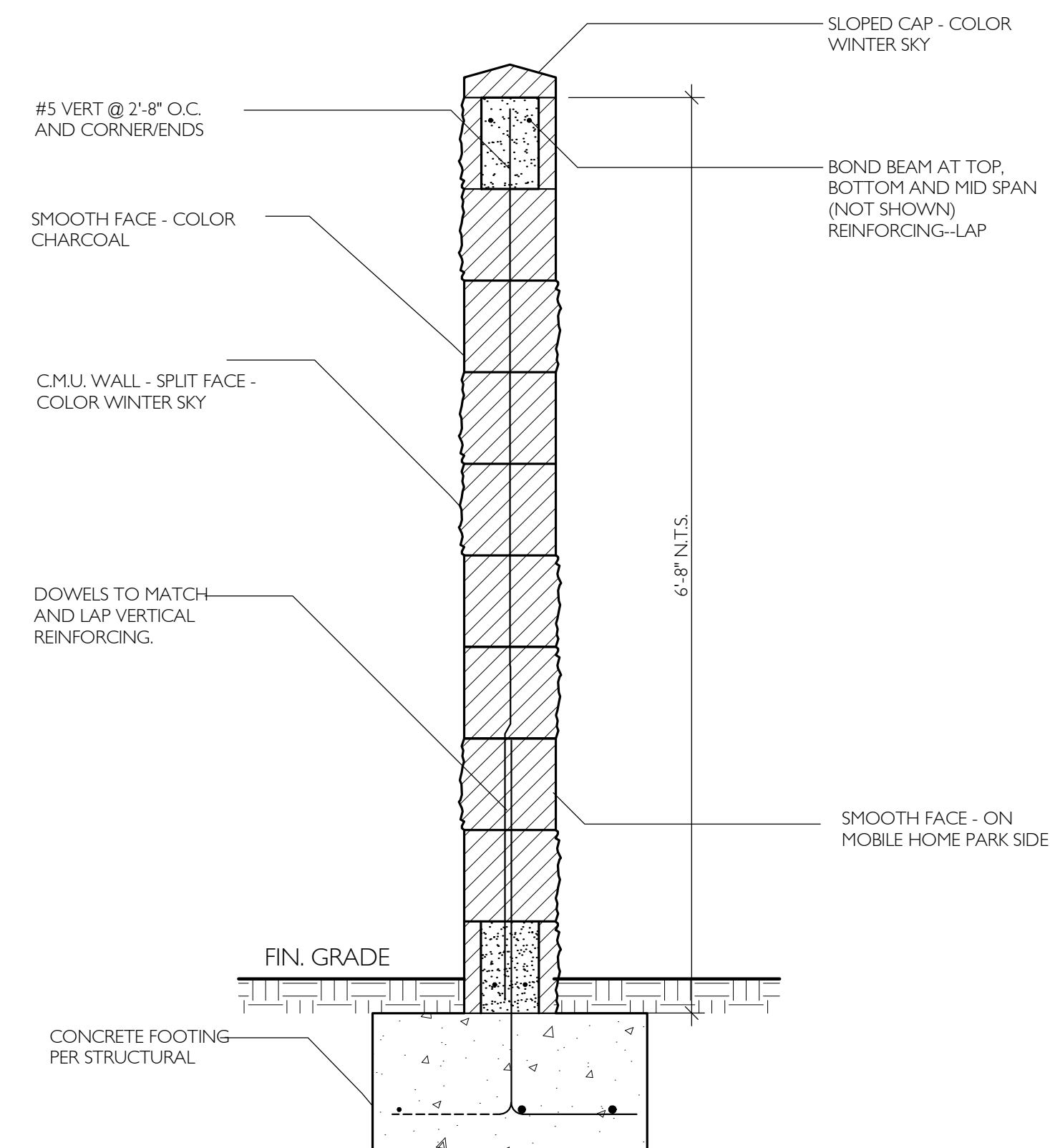
8
A0.3
TYP. ROLLING GATE ELEVATION
3/16" = 1'-0"



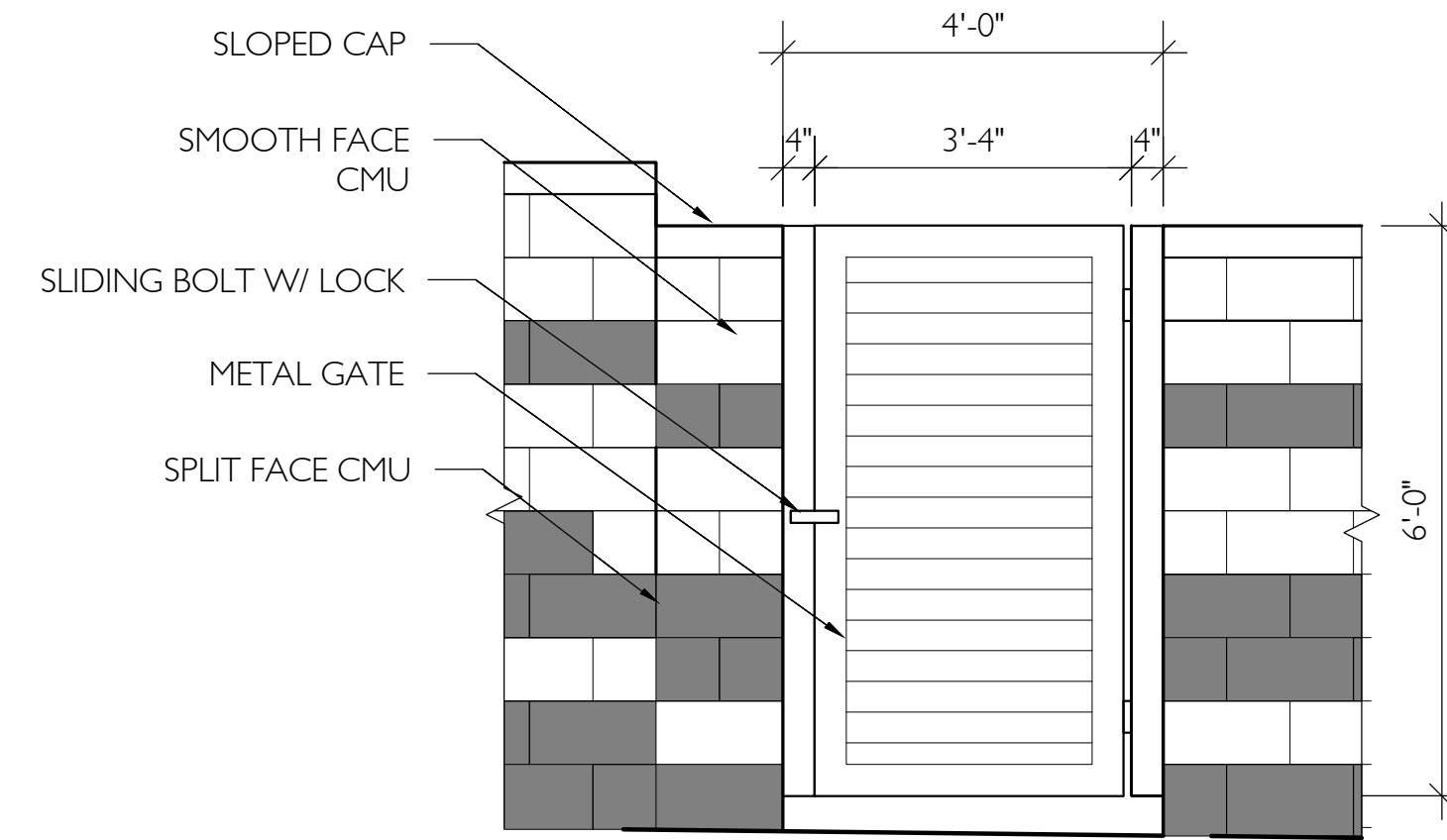
9
A0.3
TYP. CHAIN LINK FENCE ELEVATION
3/16" = 1'-0"



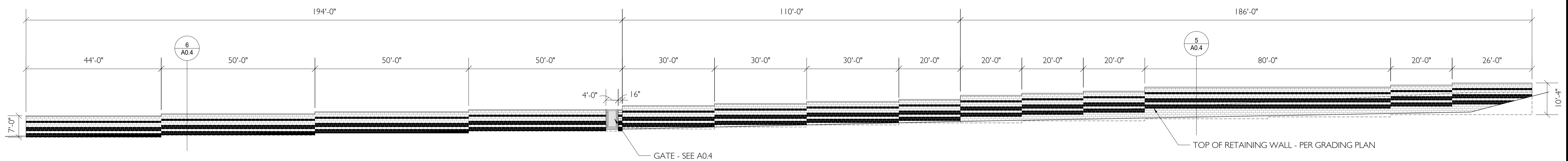
5
A0.4
RETAINING WALL SECTION
1" = 1'-0"



6
A0.4
TYP. HIGH WALL SECTION
1" = 1'-0"

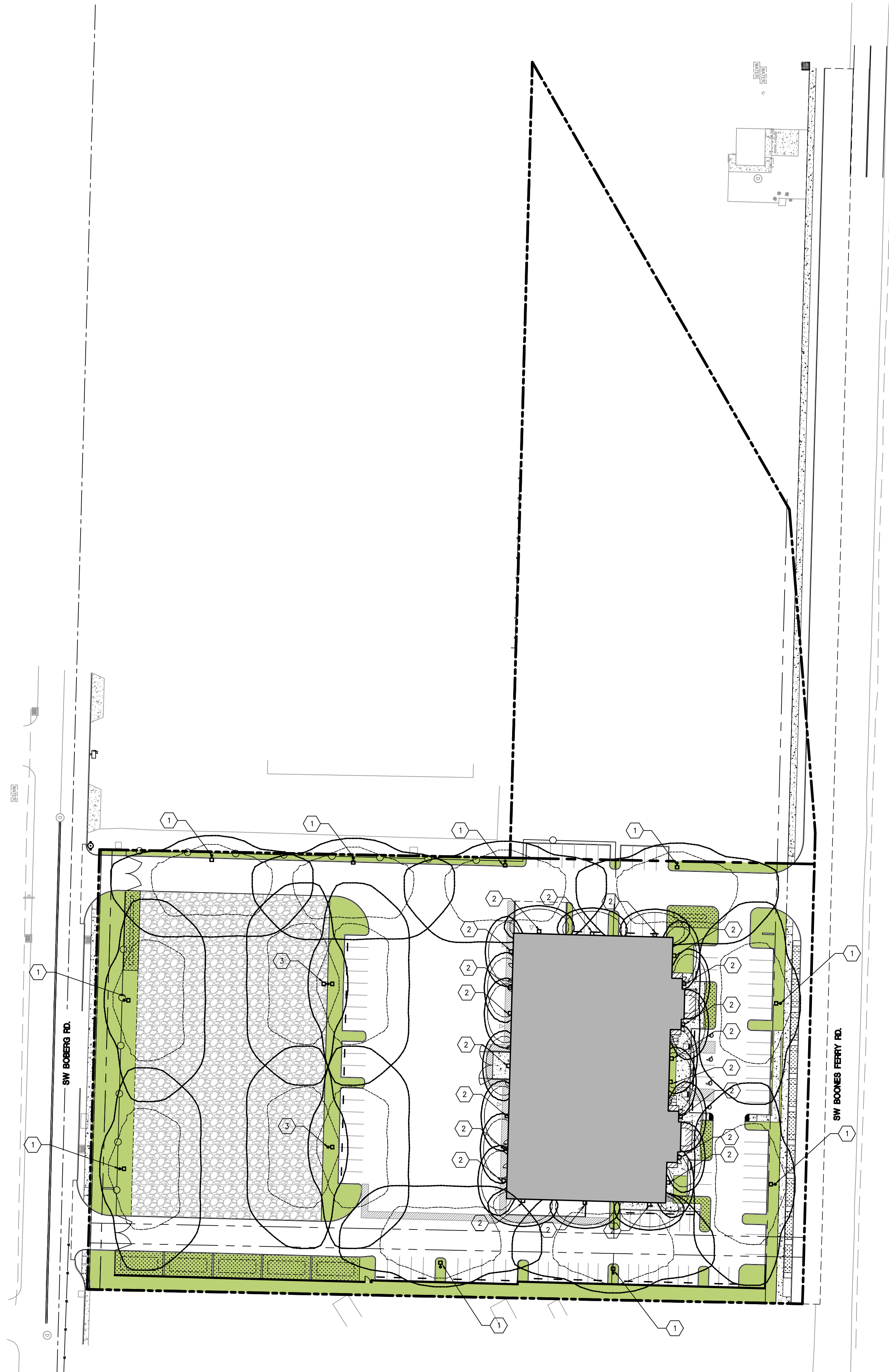


7
A0.4
WALL GATE
1/2" = 1'-0"



9
A0.4
RETAINING WALL
1/16" = 1'-0"

E:\projects\1810146.01 Industrial Focus\Current Focus\A0.4 - Site Lighting Plan.dwg Jun 12, 2019 - 14:29m



1 NORTH
A0.4 **SITE LIGHTING PLAN**
1" = 50'-0"

LEGEND

- POLE MOUNTED LIGHT FIXTURE
- BUILDING MOUNTED LIGHT FIXTURE
- APPROXIMATE 0.5 FC ISOLUM
- APPROXIMATE 1.0 FC ISOLUM

GENERAL NOTES

- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- SITE LIGHTING IS DIAGRAMMATIC. FINAL DESIGN SHALL BE BY ELECTRICAL CONTRACTOR.
- ISOLIMS SHOWN ILLUSTRATE APPROXIMATE .5 FC RING IN PARKING AND ACCESSIBLE AREAS
- LIGHTING STANDARDS SHOWN IN PARKING AREAS SHALL BE ENCASED IN 1'-6" DIAMETER x 3'-0" TALL SOLID CONCRETE BASES
- ALL LIGHTING SHOWN SHALL BE MODIFIED WITH CUTOFF FIXTURES AS REQUIRED TO PREVENT LIGHT FROM SHINNING DIRECTLY OFF DEVELOPED AREA.
- FIXTURES AND POLES SHALL BE DARK BRONZE ANODIZED

KEYNOTES

- 1** POLE MOUNTED LIGHT FIXTURE @ 30'-0"
- LITHONIA LIGHTING - DSX1 SERIES OR APPROVED - TYPE 3 MEDIUM DISTRIBUTION, DARK BRONZE, DARK SKY RATED, W/ CUTOFFS - SQUARE POLE MOUNTED.
- 2** BUILDING MOUNTED LIGHT FIXTURE @ 17'-0" AFF
- LITHONIA LIGHTING - WST LED SERIES OR APPROVED - TYPE 3 MEDIUM DISTRIBUTION, DARK BRONZE
- 3** POLE MOUNTED LIGHT FIXTURE @ 30'-0" - DOUBLE FIXTURE
- LITHONIA LIGHTING - DSX1 SERIES OR APPROVED - TYPE 3 MEDIUM DISTRIBUTION, DARK BRONZE, DARK SKY RATED, W/ CUTOFFS - SQUARE POLE MOUNTED.

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06/12/19

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DESIGN REVIEW RESPONSE

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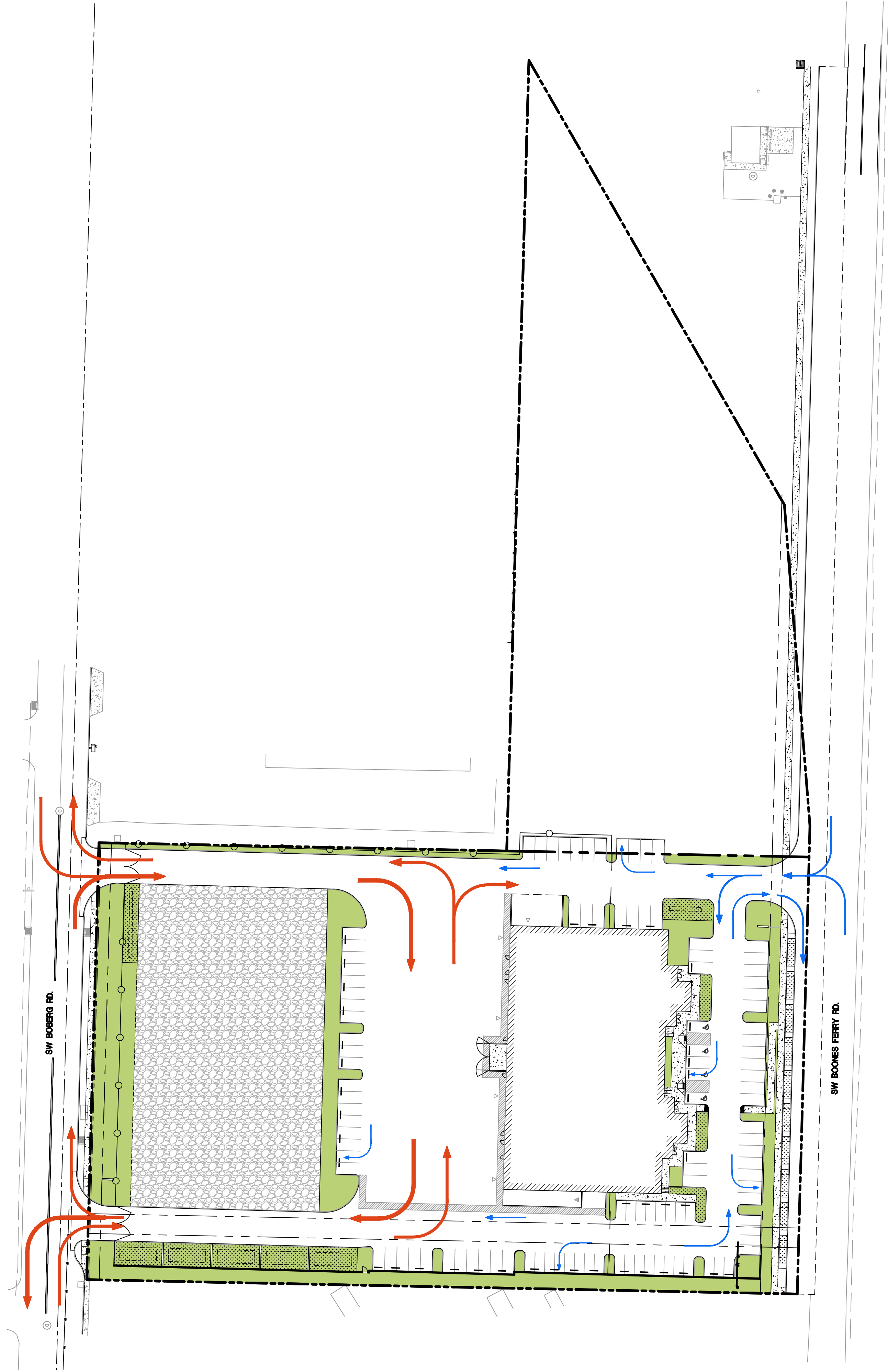
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SITE LIGHTING PLAN

A0.5

180146.01

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NOTE: EXISTING DRIVEWAYS ON THE ADJACENT LOT TO THE SOUTH ARE GREATER THAN 300 FEET WAY FROM PROPOSED DRIVEWAYS.

NORTH
1
A0.6 **SITE PLAN - CIRCULATION**
 1" = 50'-0"

LEGEND

- ACCESSIBLE PARKING STALL
 - COMPACT PARKING STALL
 - VANPOOL PARKING STALL
 - DRIVE IN
 - STANDARD VEHICLE TRAFFIC
 - TRUCK/HEAVY VEHICLE TRAFFIC
- NOTE: LINE WIDTH DENOTES HEAVINESS OF TRAFFIC

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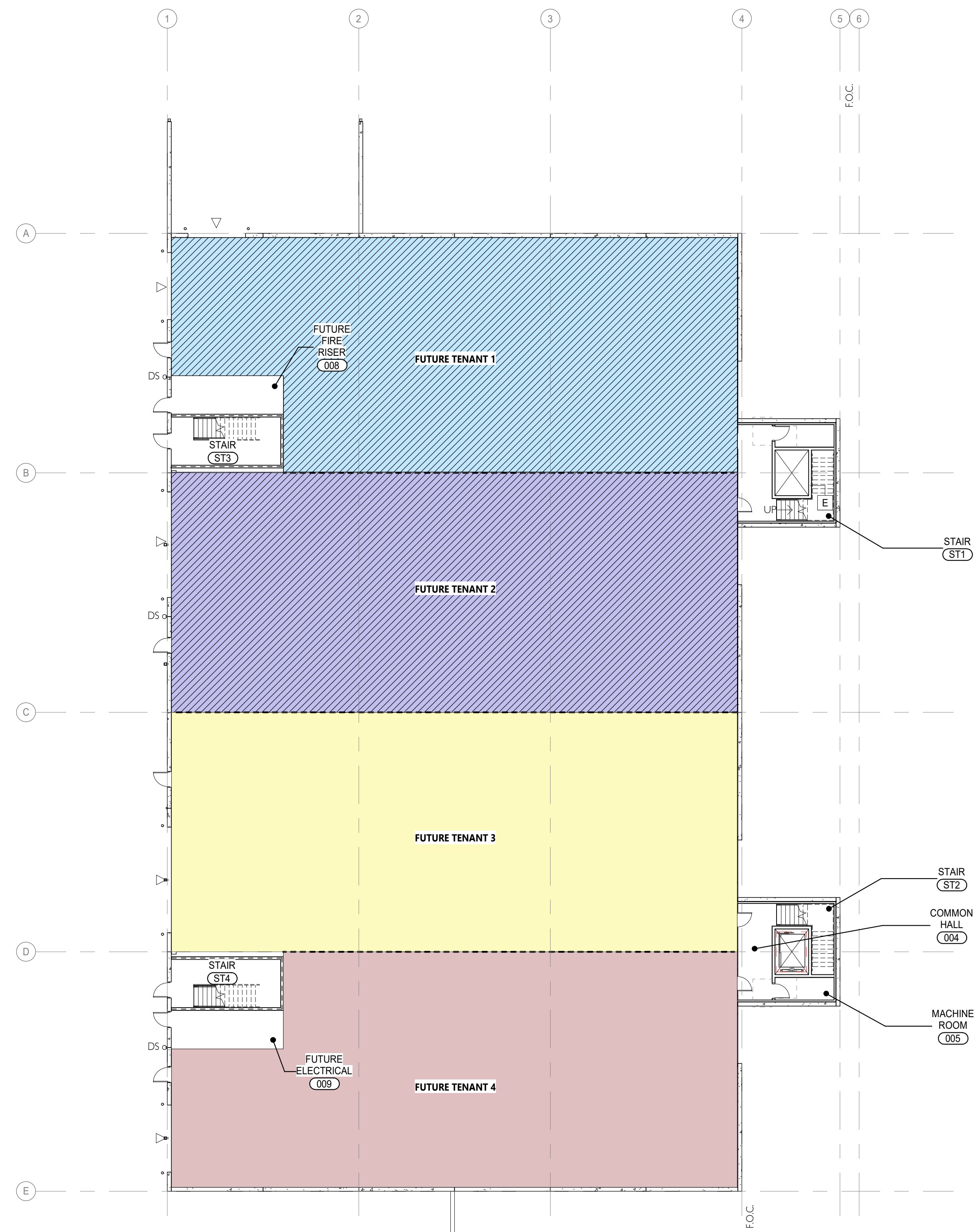
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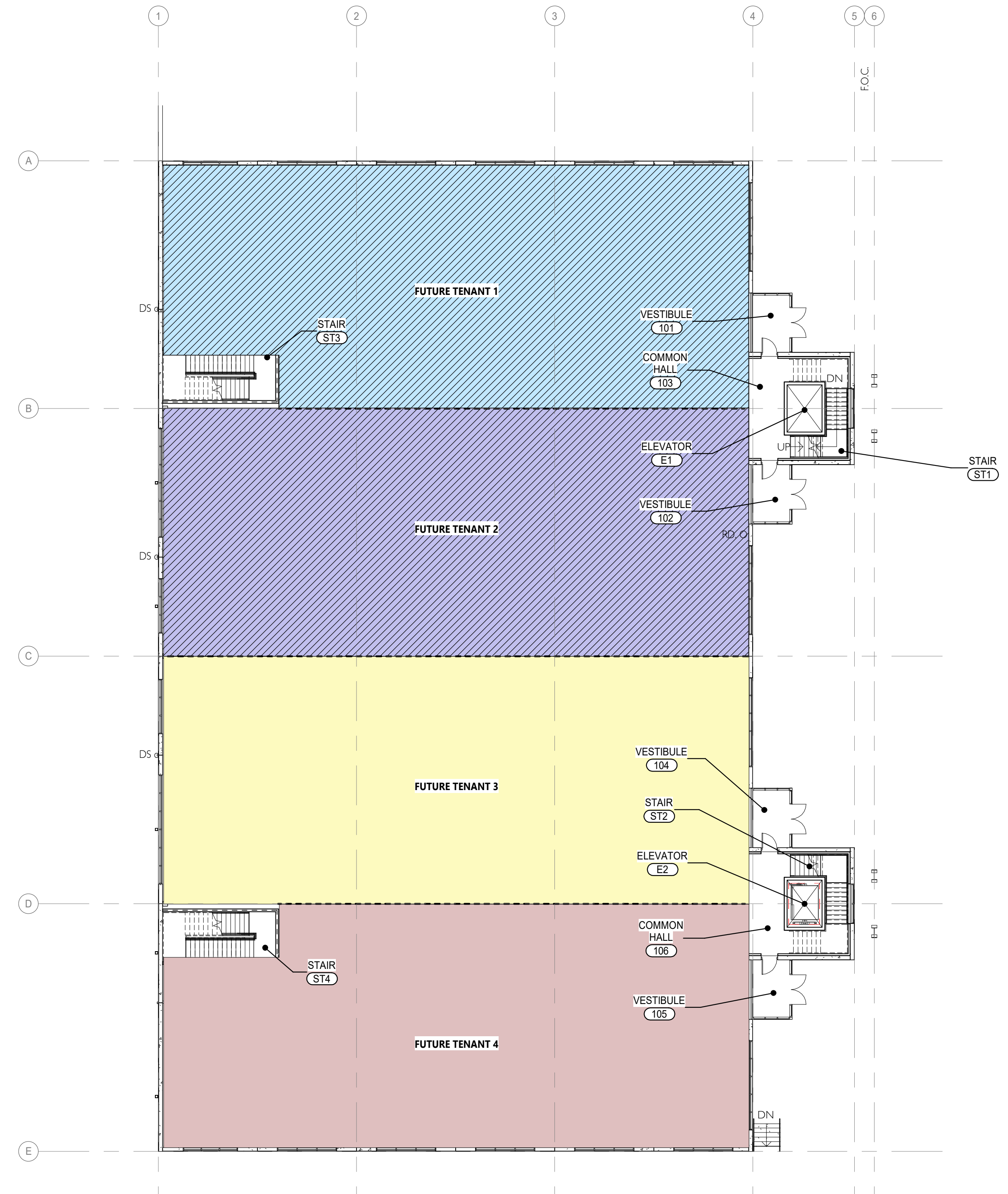
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LOWER LEVEL SPACE PLAN

1/16" = 1'-0"

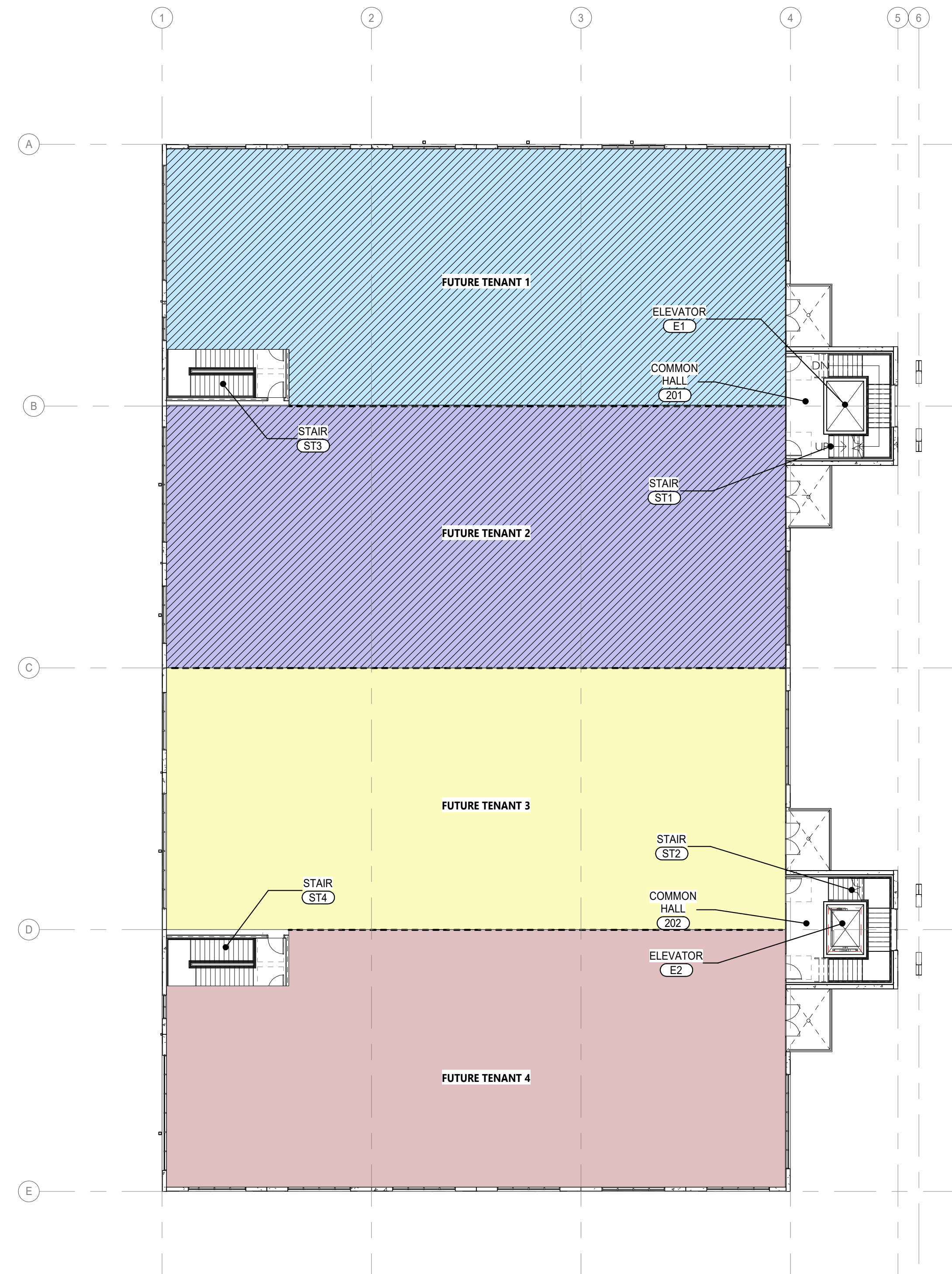
SINGLE TENANT - DP NICOLI



LEVEL 1 SPACE PLAN

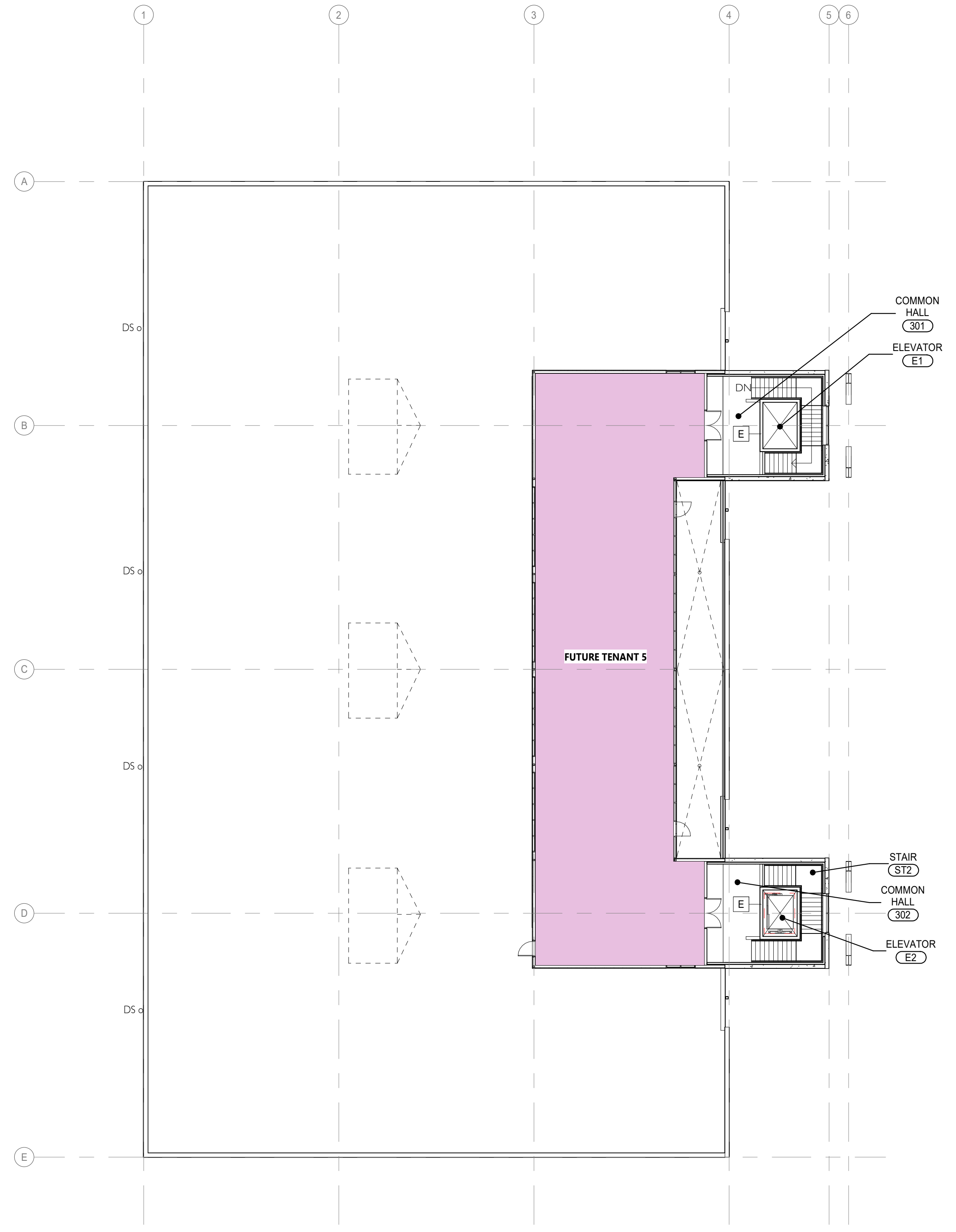
1/16" = 1'-0"

SINGLE TENANT - DP NICOLI



2
A0.X2
LEVEL 2 SPACE PLAN
1/16" = 1'-0"

SINGLE TENANT - DP NICOLI



1
A0.X2
LEVEL 3 SPACE PLAN
1/16" = 1'-0"

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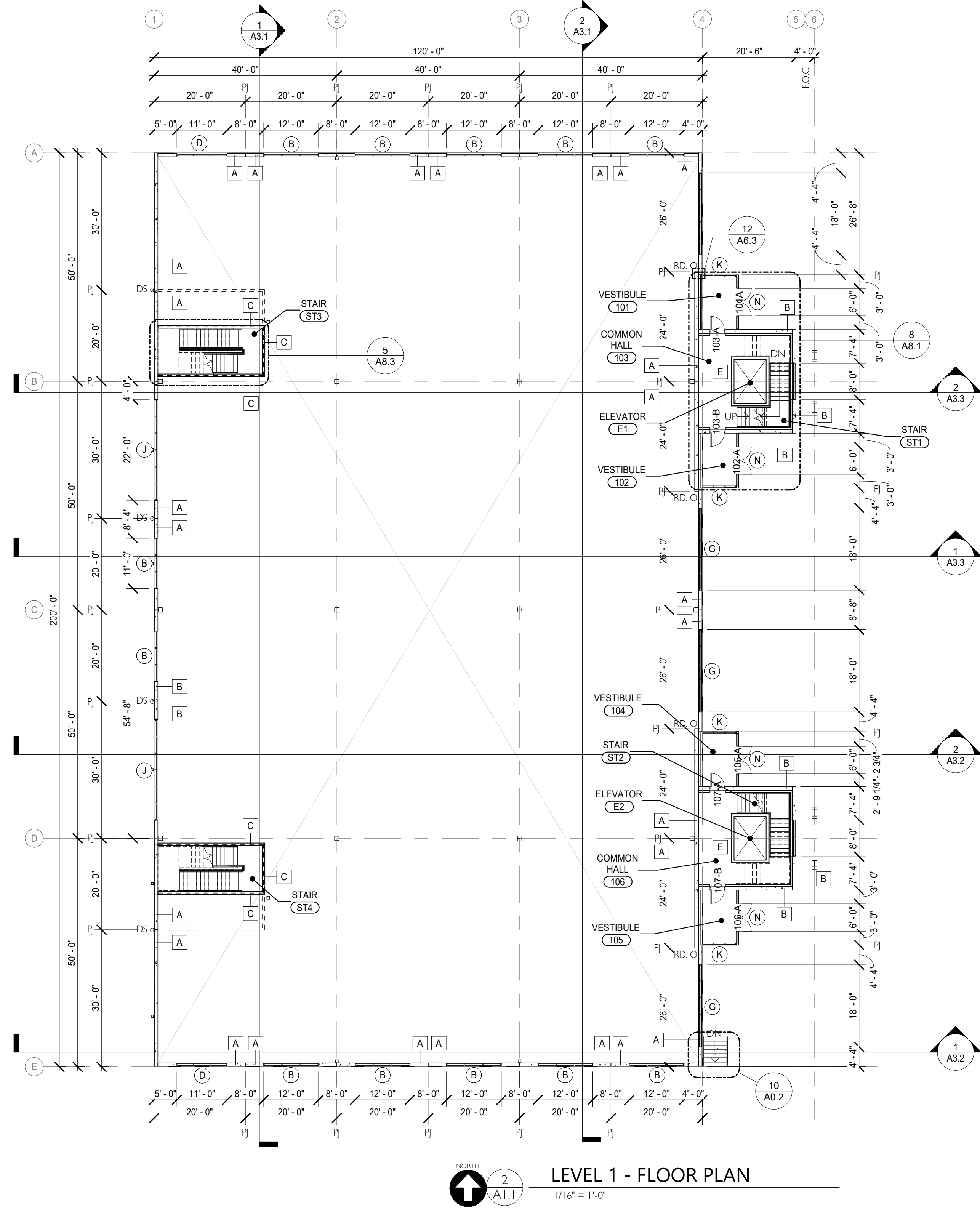
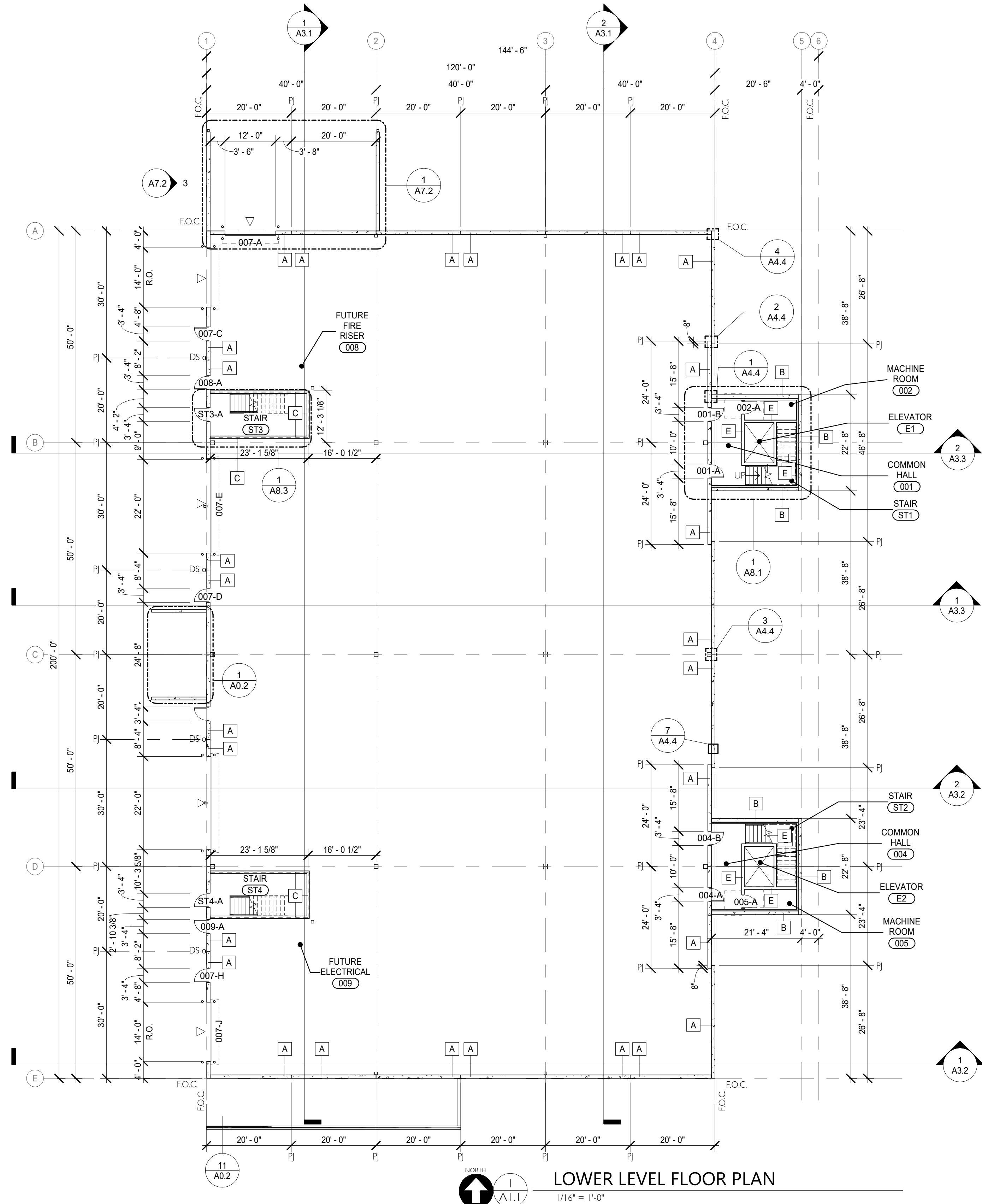
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PROGRAMMED SPACES

A0.X2

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FLOOR PLAN NOTES

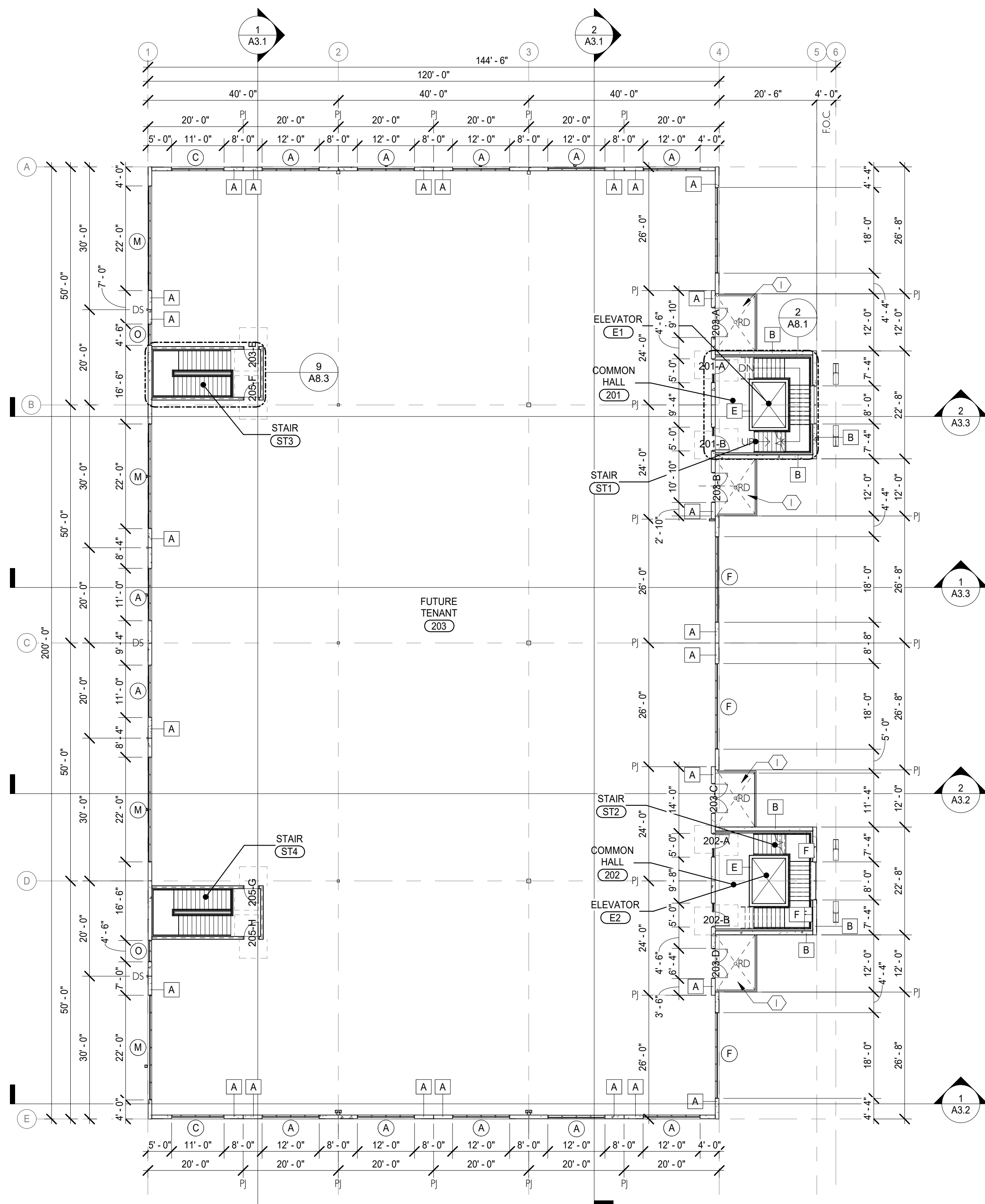
- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY A/E OF ANY DISCREPANCIES.
- APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. ALL CODE REFERENCES IN THE DRAWINGS AND SPECIFICATIONS SHALL MEAN, AND ARE INTENDED TO BE THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCED STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTING AND INSPECTIONS. ALL DOOR HARDWARE SHALL MEET THE REQUIREMENTS OF ANSI A117.1 2009 EDITION AND THE ADA.
- ALL DOORS AND WINDOWS SHALL MEET OR EXCEED THE ENERGY PERFORMANCE REQUIREMENTS INDICATED IN THE DRAWINGS AND SPECS.
- FIRE EXTINGUISHERS SHALL BE LOCATED AS REQUIRED BY SECTION 906 OFC AND APPROVED BY LOCAL FIRE MARSHALL.
- INSTALL A VAPOR BARRIER OF 1 PERM OR LESS AT THE WARM SIDE (IN WINTER) OF ALL EXTERIOR WALLS, AND AT ROOF/CEILING ASSEMBLIES.
- GLASS USED IN DOORS OR GLAZING LOCATED WITHIN A 24" ARC OF THE NEAREST VERTICAL EDGE OF A DOOR IN AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL BE TEMPERED OR OF AN APPROVED SAFETY GLAZING MATERIAL PER SECTION 2406 OSSC.
- LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION 1203 & 1205 OSSC.
- ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS IN SECTION 719 OSSC FOR SMOKE DENSITY AND FLAME SPREAD.
- PROVIDE EXIT ILLUMINATION AND SIGNAGE PER SECTION 1006 & SIGNAGE PER SECTION 1011 OF THE OSSC.
- DIMENSIONS LOCATING INTERIOR WALLS ARE TO CENTER OF WALL UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

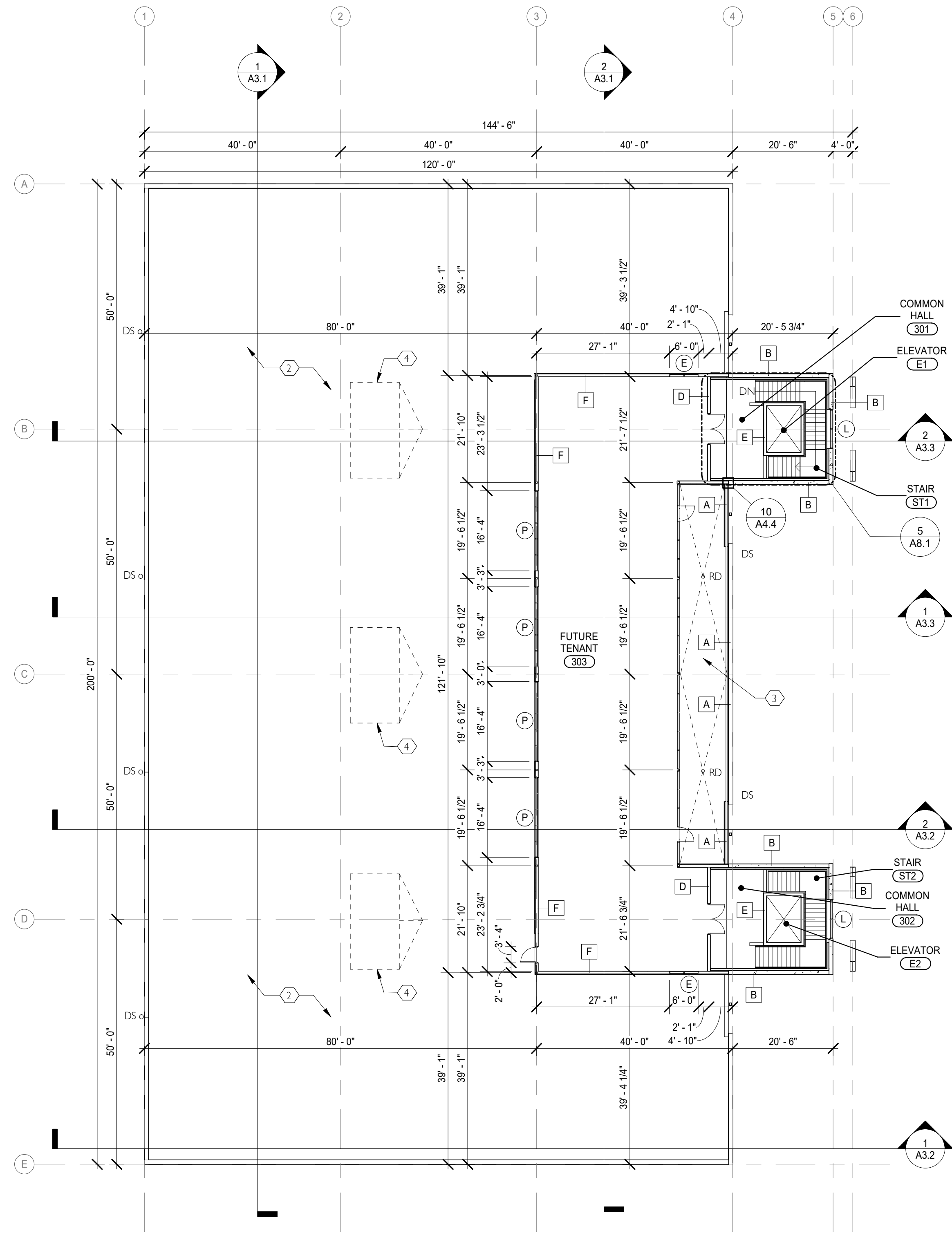
- (1-2) GRID LINE INDICATOR
- TILT WALL
- 1-HR FIRE RATED WALL
- INTERIOR WALL
- GRADE LEVEL OVERHEAD DOOR
- WALL TYPE- SEE A1.0 FOR TYPES
- WINDOW TYPE- SEE A6.1 FOR STOREFRONT TYPES
- 101-A DOOR NUMBER- SEE A5.1 FOR DOOR SCHEDULE AND TYPES
- ROOM NAME

KEYNOTES

- ABBREVIATIONS**
- F.O.C. FACE OF CONCRETE
 - R.O. ROUGH OPENING
 - DS. DOWNSPOUT
 - TYP. TYPICAL
 - PJ PANEL JOINT
 - BOLLARD
 - FD FLOOR DRAIN
 - RD. O ROOF DRAIN



LEVEL 2 FLOOR PLAN
1/16" = 1'-0"



LEVEL 3 FLOOR PLAN
1/16" = 1'-0"

FLOOR PLAN NOTES

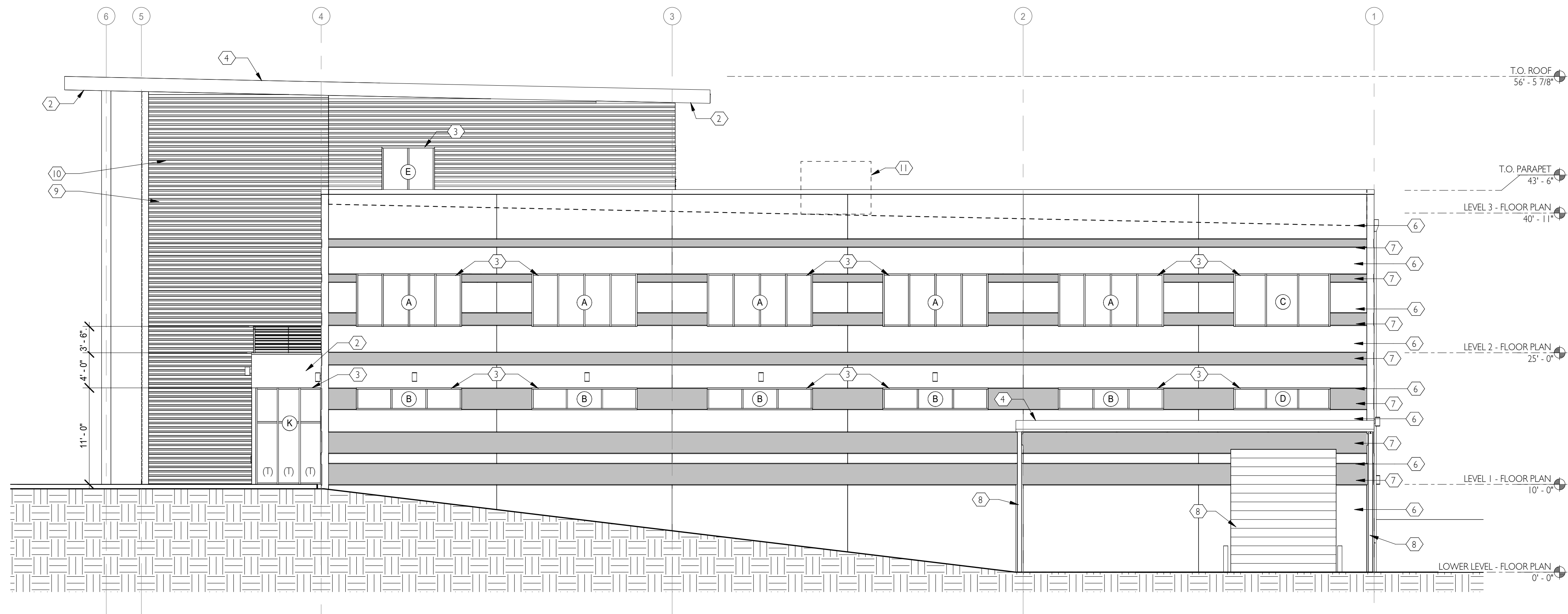
- CONTRACTOR SHALL VERIFY AND CONFIRM EXISTING CONDITIONS SHOWN OR IMPLIED ON DRAWINGS PRIOR TO START OF CONSTRUCTION. NOTIFY A/E OF ANY DISCREPANCIES.
- APPLICABLE CODES: ALL WORK SHALL BE IN CONFORMANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES. ALL CODE REFERENCES IN THE DRAWINGS AND SPECIFICATIONS SHALL MEAN, AND ARE INTENDED TO BE THE LATEST EDITION, AMENDMENT OR REVISION OF SUCH REFERENCED STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
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- FIRE EXTINGUISHERS SHALL BE LOCATED AS REQUIRED BY SECTION 906 OFC AND APPROVED BY LOCAL FIRE MARSHALL.
- INSTALL A VAPOR BARRIER OF 1 PERM OR LESS AT THE WARM SIDE (IN WINTER) OF ALL EXTERIOR WALLS, AND AT ROOF/ CEILING ASSEMBLIES.
- GLASS USED IN DOORS OR GLAZING LOCATED WITHIN A 24" ARC OF THE NEAREST VERTICAL EDGE OF A DOOR IN AREAS SUBJECT TO HUMAN IMPACT OR OTHER HAZARDOUS LOCATIONS SHALL BE TEMPERED OR OF AN APPROVED SAFETY GLAZING MATERIAL PER SECTION 2406 OSSC.
- LIGHT AND VENTILATION NOT INDICATED ON THESE PLANS SHALL BE PROVIDED AS PER SECTION 1203 & 1205 OSSC.
- ALL INSULATION INDICATED ON PLANS SHALL COMPLY WITH OR EXCEED THE REQUIREMENTS IN SECTION 719 OSSC FOR SMOKE DENSITY AND FLAME SPREAD. PROVIDE EXIT ILLUMINATION AND SIGNAGE PER SECTION 1006 & SIGNAGE PER SECTION 1011 OF THE OSSC.
- DIMENSIONS LOCATING INTERIOR WALLS ARE TO CENTER OF WALL UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

- GRID LINE INDICATOR
- TILT WALL
- 1-HR FIRE RATED WALL
- INTERIOR WALL
- GRADE LEVEL OVERHEAD DOOR
- WALL TYPE-- SEE A1.0 FOR TYPES
- WINDOW TYPE-- SEE A6.1 FOR STOREFRONT TYPES
- ROOM NAME

KEYNOTES

- | | | |
|---|-----------------------------|-------------------------|
| 1 | BALCONY | <u>ABBREVIATIONS</u> |
| 2 | ROOF-- SEE A1.5 | F.O.C. FACE OF CONCRETE |
| 3 | ROOF DECK | R.O. ROUGH OPENING |
| 4 | FUTURE MECHANICAL EQUIPMENT | DS. DOWNSPOUT |
| | | TYP. TYPICAL |
| | | ● BOLLARD |
| | | FD FLOOR DRAIN |
| | | RD. O ROOF DRAIN |



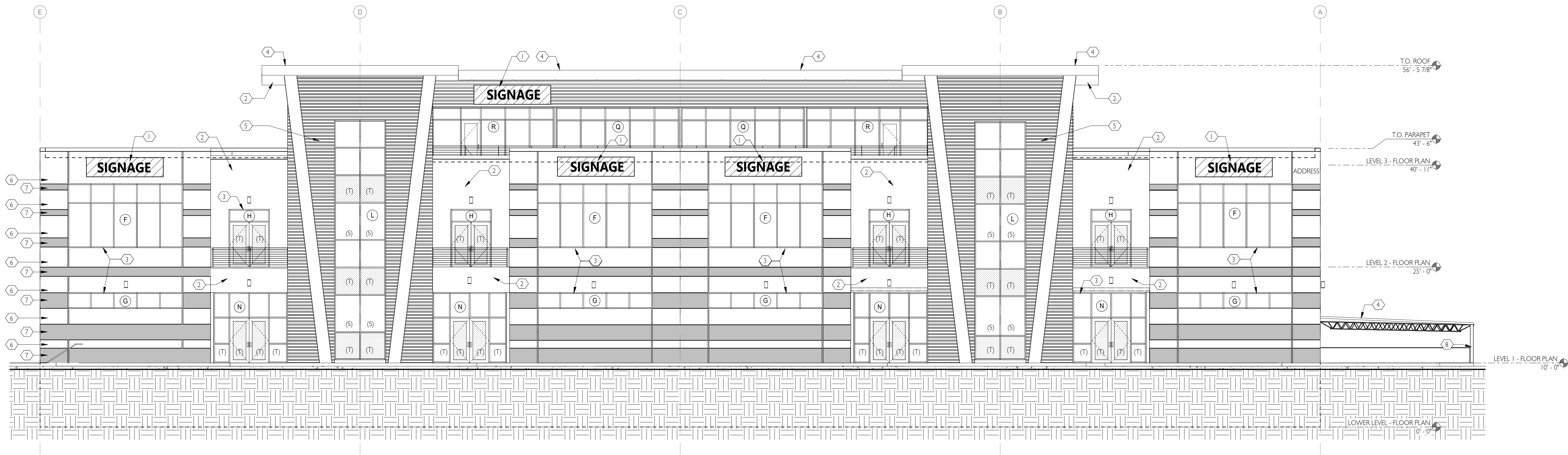
1 BUILDING ELEVATION - NORTH
1/8" = 1'-0"

LEGEND

- (AA) WINDOW TYPE - SEE A6.1 FOR STOREFRONT TYPES
- (T) TEMPERED GLASS
- (S) SPANDREL GLASS

ELEVATION KEYNOTES

- (1) 12'-0"x3'-0" SIGNAGE
- (2) ACCENT PANELING SOFFIT
- (3) ALUMINUM STOREFRONT FRAME FINISH: ANODIZED DARK BRONZE - TYP.
- (4) STANDING SEAM METAL ROOFING
- (5) FORMLINER FLUTED RIB CONC.
- (6) PRIMARY PAINT FINISH: SHERWIN WILLIAMS: GRAYISH SW6001
- (7) SECONDARY PAINT FINISH: SHERWIN WILLIAMS: PEPPERCORN SW7674
- (8) FINISH: ANODIZED DARK BRONZE - TYP.
- (9) BOXED RIB SIDING TO MATCH FLUTED CONC.
- (10) 20'-0"x3'-0" SIGNAGE
- (11) MECHANICAL EQUIPMENT BEYOND



2 BUILDING ELEVATION - EAST
1/8" = 1'-0"

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ELEVATIONS

A2.1

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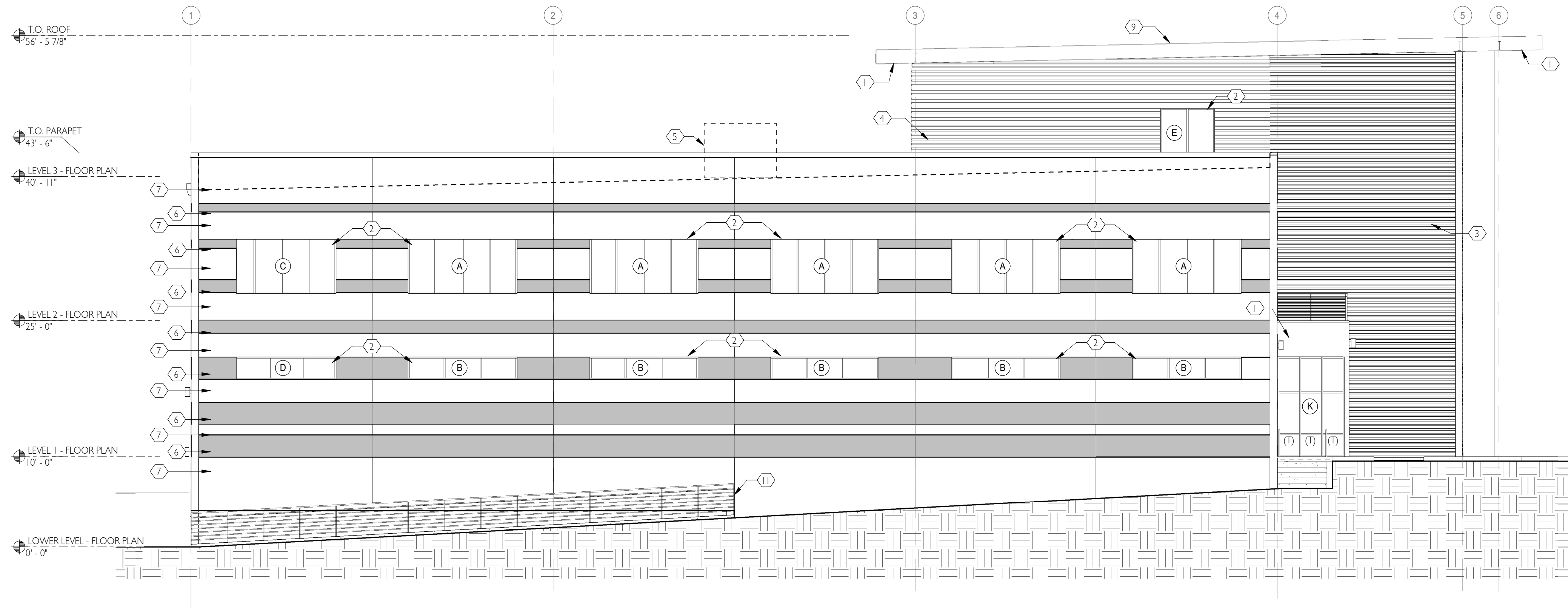
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LEGEND

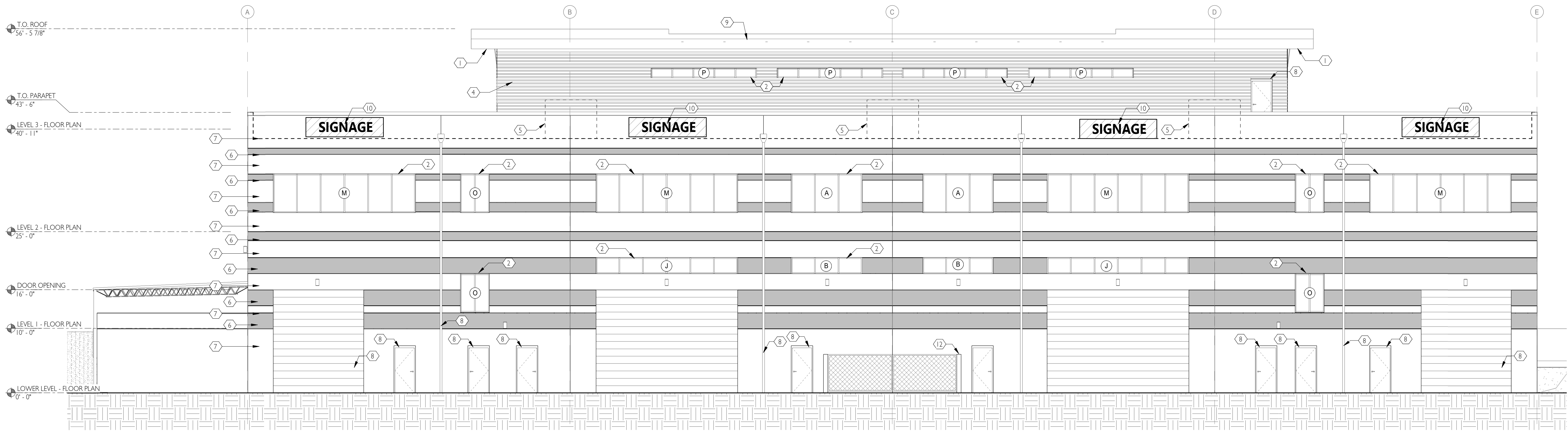
- (AA) WINDOW TYPE-- SEE A6.1 FOR STOREFRONT TYPES
- (T) TEMPERED GLASS
- (S) SPANDREL GLASS

ELEVATION KEYNOTES

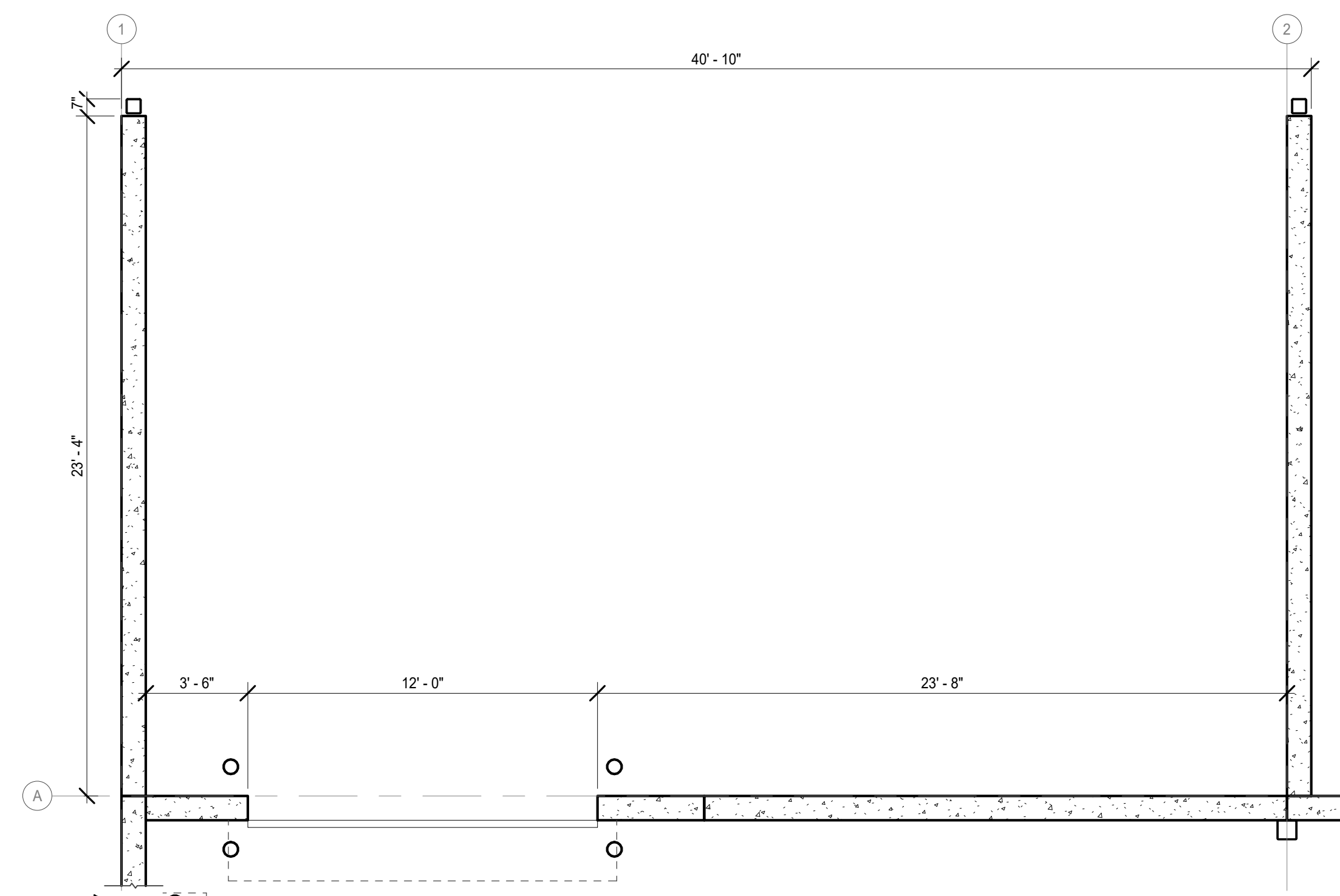
- ① ACCENT PANELING SOFFIT LONGBOARD, LIGHT CHERRY
- ② ALUMINUM STOREFRONT FRAME FINISH: ANODIZED DARK BRONZE - TYP.
- ③ FORMLINER FLUTED RIB CONC.
- ④ BOXED RIB SIDING TO MATCH FLUTED CONC.
- ⑤ MECHANICAL EQUIPMENT BEYOND
- ⑥ SECONDARY PAINT FINISH SHERWIN WILLIAMS: PEPPERCORN SW7674
- ⑦ PRIMARY PAINT FINISH SHERWIN WILLIAMS: GRAYISH SW6001
- ⑧ FINISH: ANODIZED DARK BRONZE - TYP.
- ⑨ STANDING SEAM METAL ROOFING
- ⑩ 12'-0"x3'-0" SIGNAGE
- ⑪ GUARDRAIL AND SAFETY CHAIN @ LOADING DOCK
- ⑫ TRASH ENCLOSURE -- SEE A02



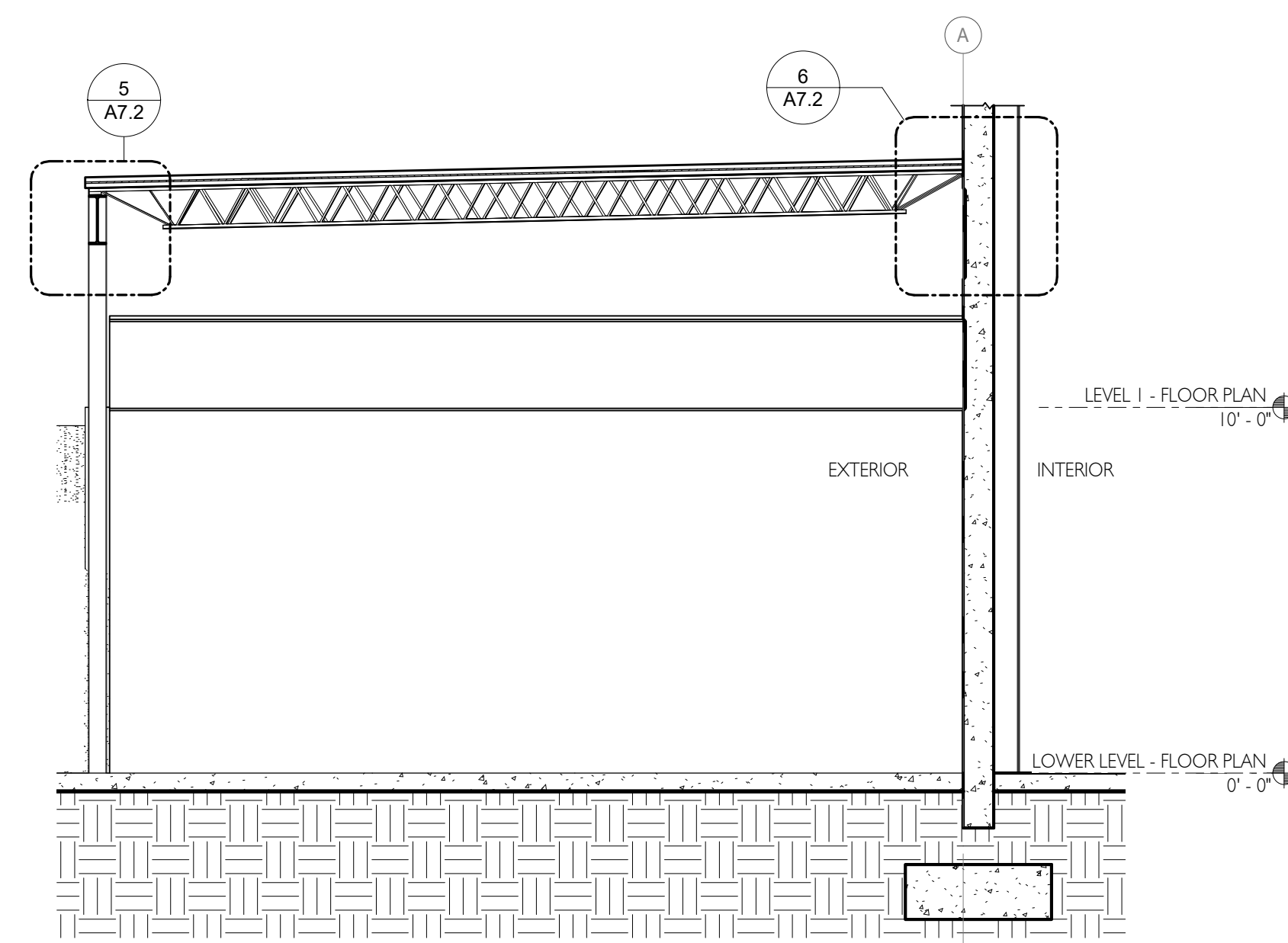
1
A2.2 BUILDING ELEVATION - SOUTH
1/8" = 1'-0"



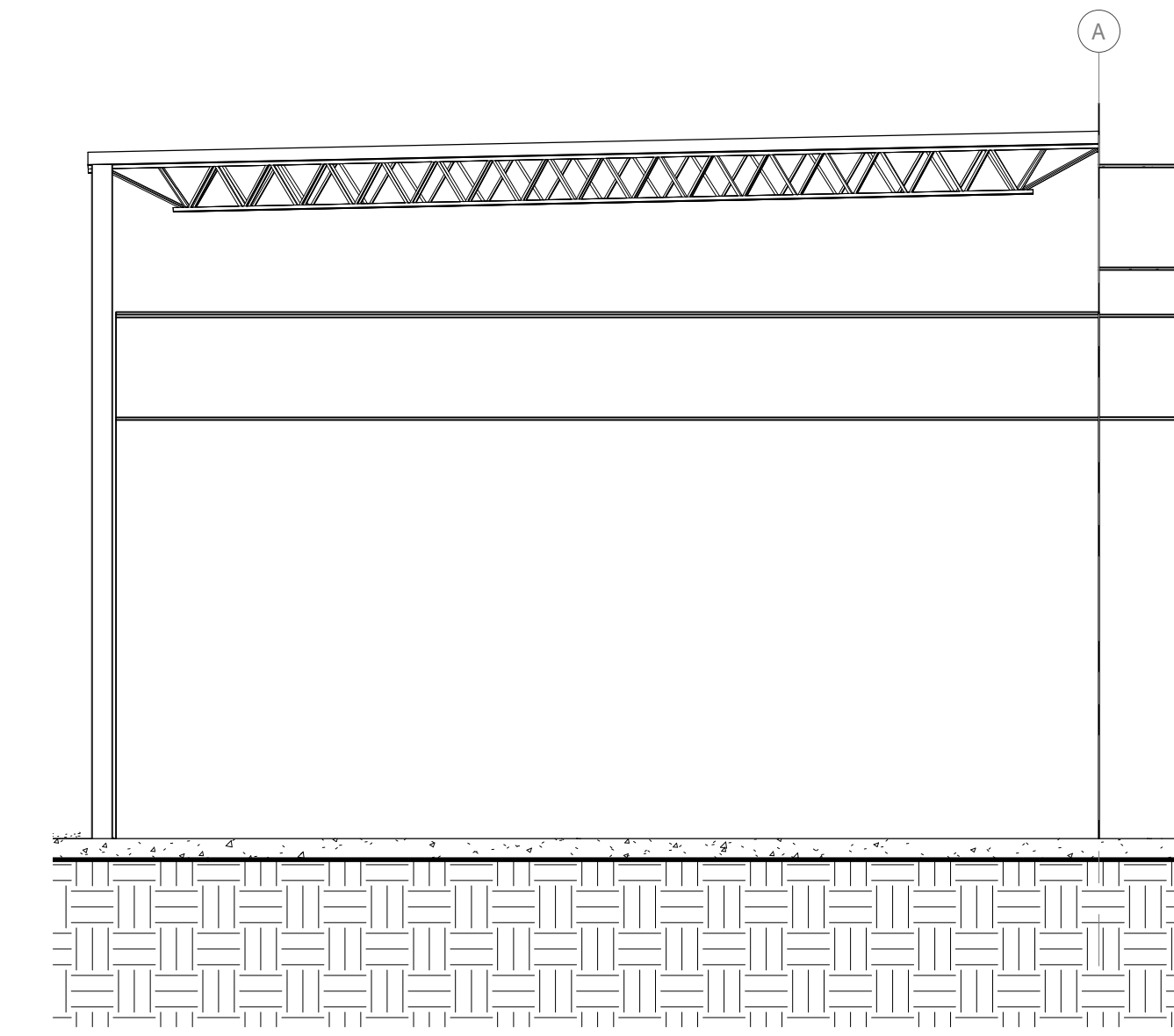
2
A2.2 BUILDING ELEVATION - WEST
1/8" = 1'-0"



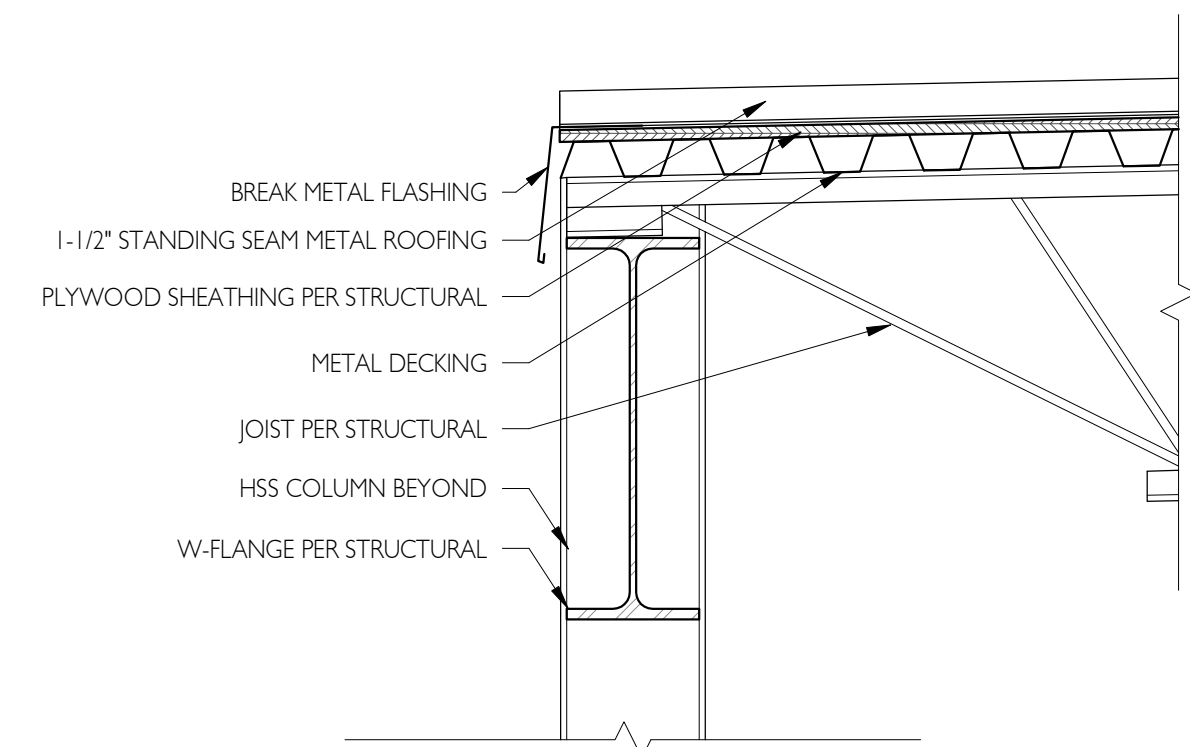
1
A7.2
ENLARGED WASHDOWN BAY PLAN
1/4" = 1'-0"



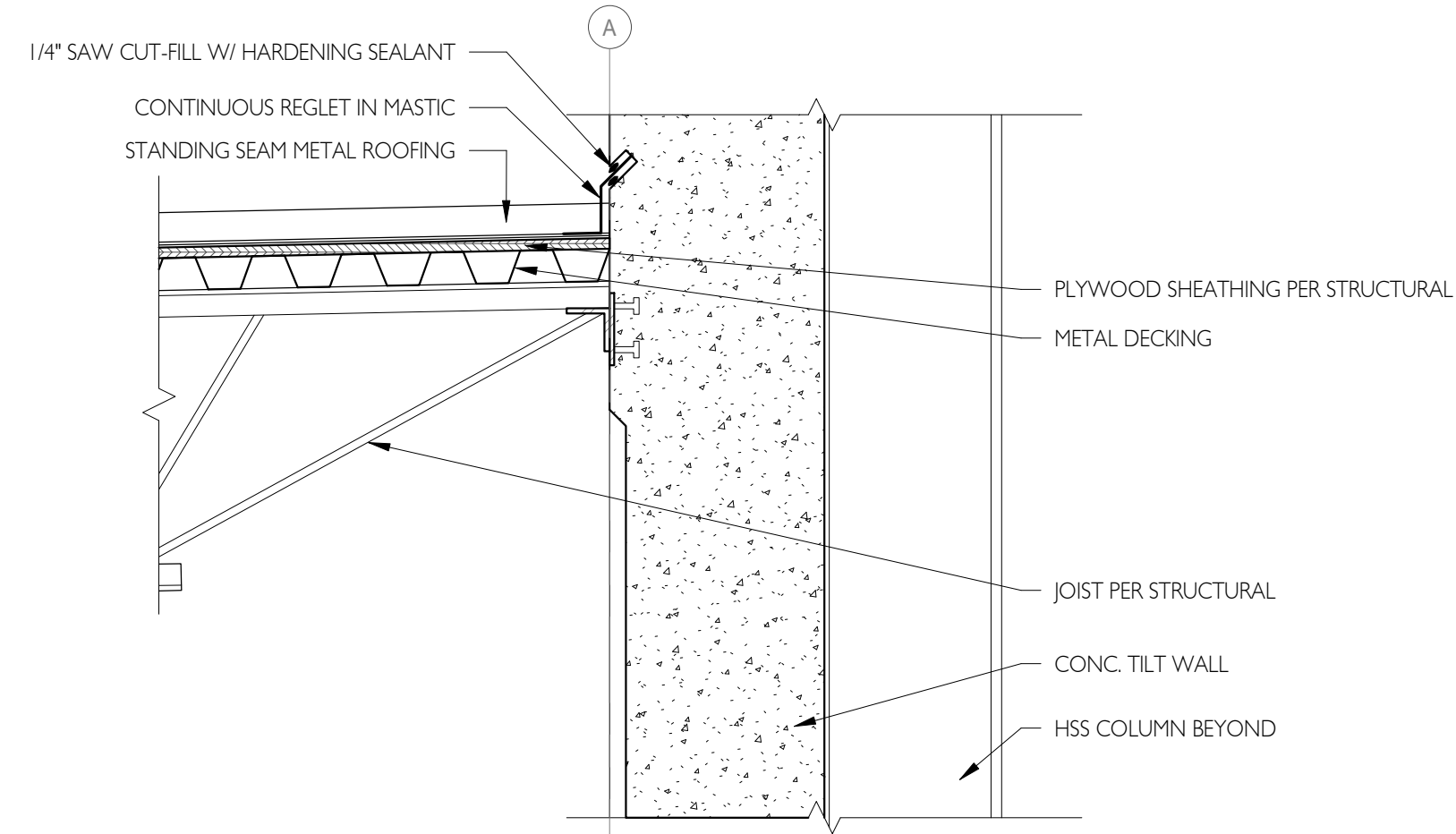
2
A7.2
WASHDOWN BAY INTERIOR ELEVATION
1/4" = 1'-0"



3
A7.2
WASHDOWN BAY ELEVATION
1/4" = 1'-0"



5
A7.2
WASHDOWN ROOF @ COLUMN
1 1/2" = 1'-0"



6
A7.2
WASHDOWN ROOF @ CONC. TILT
1 1/2" = 1'-0"

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EXTERIOR DETAILS &
WASHDOWN BAY

A7.2

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