

**WILSONVILLE CITY HALL
DEVELOPMENT REVIEW BOARD PANEL A**

MONDAY, JULY 13, 2015 - 6:30 P.M.

I. **Call To Order:**

II. **Chairman's Remarks:**

III. **Roll Call:**

Mary Fierros Bower Kristin Akervall
Lenka Keith James Frinell
Ronald Heberlein Council Liaison Julie Fitzgerald

IV. **Citizen's Input:**

V. **City Council Liaison's Report:**

VI. **Consent Agenda:**

A. Approval of minutes of May 11, 2015 DRB Panel A meeting

Documents: [May 11 2015 Minutes.pdf](#)

VII. **Public Hearing:**

A. Resolution No. 306.

Villebois PDP6 Central Row Homes: Polygon WLH, LLC- Applicant for RCS - Villebois Development LLC - Owner. The applicant is requesting approval of a Zone Map Amendment from Public Facility (PF) Zone to Village (V) Zone, Specific Area Plan - Central Refinements, Preliminary Development Plan, Tentative Subdivision Plat, Type C Tree Plan and Final Development Plan for the development of 31 row houses in Phase 6 of SAP-Central. The subject property is located on Tax Lot 3500 of Section 15AC, T3S, R1W, Clackamas County, Oregon. Staff: Michael Wheeler

Case Files: DB15-0011 Villebois SAP Central Refinement
DB15-0012 Preliminary Development Plan (PDP-6C Row Homes)
DB15-0013 Zone Map Amendment
DB15-0014 Tentative Subdivision Plat
DB15-0015 Type C Tree Plan
DB15-0016 PDP-6C Final Development Plan

The DRB action on the Zone Map Amendment is a recommendation to the City Council.

Documents: [PDP 6C SR.Exhibits.pdf](#), [Ex. B1 Applicant Submittal.pdf](#), [Ex. B2 Plan Set.pdf](#)

B. Resolution No. 307.

Villebois PDP-7 Central Row Homes: Polygon WLH, LLC - Applicant. The

applicant is requesting approval of a Zone Map Amendment from Public Facility (PF) Zone to Village (V) Zone, Specific Area Plan - Central refinements, Preliminary Development Plan, Tentative Subdivision Plat, Final Development Plan and Type C Tree Removal and Preservation Plan for the development of row houses in Phase 7 of SAP-Central. The subject property is located on Tax Lot 2700 of Section 15AC, T3S, R1W, Clackamas County, Oregon. Staff: Blaise Edmonds

Case Files: DB15-0029 Villebois SAP Central Preliminary Development Plan
(PDP-7C Row Homes)
DB15-0030 Zone Map Amendment
DB15-0031 Tentative Subdivision Plat
DB15-0033 PDP-7C Final Development Plan
DB15-0034 SAP Refinements
DB15-0035 Type C Tree Plan

The DRB action on the Zone Map Amendment is a recommendation to the City Council.

Documents: [PDP-7C SR.Exhibits.pdf](#), [Ex. B1 Applicant Submittal.pdf](#), [Ex. B2 Plan Set.pdf](#)

VIII. Board Member Communications:

A. Results of the June 22, 2015 DRB Panel B meeting

Documents: [DRB B June 22 2015 Results.pdf](#)

IX. Staff Communications

X. Adjournment

Assistive Listening Devices (ALD) are available for persons with impaired hearing and can be scheduled for this meeting. The City will also endeavor to provide the following services, without cost, if requested at least 48 hours prior to the meeting.

- Qualified sign language interpreters for persons with speech or hearing impairments.
- Qualified bilingual interpreters.
- To obtain such services, please call the Planning Assistant at 503 682-4960

DEVELOPMENT REVIEW BOARD MEETING

MONDAY, JULY 13, 2015

6:30 PM

VI. Consent Agenda:

- A.** Approval of minutes from May 11, 2015 DRB Panel
A meeting

**Wilsonville City Hall
29799 SW Town Center Loop East
Wilsonville, Oregon**

**Development Review Board – Panel A
Minutes–May 11, 2015 6:30 PM**

I. Call to Order

Chair Mary Fierros Bower called the meeting to order at 6:30 p.m.

II. Chair’s Remarks

The Conduct of Hearing and Statement of Public Notice were read into the record.

III. Roll Call

Present for roll call were: Mary Fierros Bower, Lenka Keith, Kristin Akervall, and James Frinell. Ronald Heberlein and City Council Liaison Julie Fitzgerald were absent.

Staff present: Blaise Edmonds, Mike Kohlhoff, Steve Adams, and Daniel Pauly

IV. Citizens’ Input This is an opportunity for visitors to address the Development Review Board on items not on the agenda. There were no comments.

V. City Council Liaison Report

No City Council Liaison Report was given due to Councilor Fitzgerald’s absence.

VI. Consent Agenda:

- A. Approval of minutes of April 13, 2015 DRB Panel A meeting

James Frinell noted Ronald Heberlein was absent from the meeting, but noted as present.

James Frinell moved to approve the April 13, 2015 DRB Panel A meeting minutes, correcting the Roll Call to exclude Ronald Heberlein, who was not present. Lenka Keith seconded the motion, which passed unanimously.

VII. Public Hearing:

- A. **Resolution No. 301. Montague Park: Stacy Connery, AICP, Pacific Community Design, Inc. – Representative for Rudy Kadlub, RCS – Development – Applicant/ Owner.** The applicant is requesting approval of a Preliminary Development Plan, Final Development Plan, Type C Tree Plan and Specific Area Plan (SAP) Refinement for development of a 2.9 acre private neighborhood park with public access. The subject property is located on Tax Lot 3100 of Section 15AC, T3S, R1W, Clackamas County, Oregon. Staff: Daniel Pauly

Case Files:	DB15-0002	Preliminary Development Plan
	DB15-0003	Final Development Plan
	DB15-0004	Type C Tree Plan
	DB15-0005	Specific Area Plan (SAP) Refinement

The hearing regarding case files DB15-0002 through DB15-0005 was continued to this date and time certain at the April 13, 2015 DRB Panel A meeting.

Chair Fierros Bower called the public hearing to order at 6:35 p.m. and read the conduct of hearing format into the record. Chair Fierros Bower, Lenka Keith, and Kristin Akervall declared for the record that they had visited the site. No board member, however, declared a conflict of interest, bias, or conclusion from a site visit. No board member participation was challenged by any member of the audience.

Daniel Pauly, Associate Planner, announced that the criteria applicable to the application were stated on page 2 of the Staff report, which was entered into the record. Copies of the report were made available to the side of the room.

Mr. Pauly noted that the Zone Plan Amendment, separated from this application at the last hearing as Resolution 302, was approved by City Council on first reading and was scheduled for second reading on May 18, 2015. He noted the following exhibits had been added to the record:

- Exhibit B4: Cross-section diagram submitted by the Applicant titled, “Pickle Ball Court Grading Sections”, copies of which were distributed to the Board at the dais.
- Exhibit D3: Email dated April 16, 2015 received from Steve Hansen in favor of pickleball, along with Staff’s response, which was included in the meeting packet

Kristin Akervall understood from last hearing that the distance between either the property boundary or the house and the pickleball court was much smaller than what was represented in Exhibit B4.

Mr. Pauly said he recalled the distance being 60 ft or so; however, no one had the exact location of the other home at that point to measure it. Exhibit B4 represented additional information provided by the Applicant regarding the exact distance from the nearest homes.

Chair Fierros Bower called for the Applicant’s testimony.

Rudy Kadlub, President, Costa Pacific Communities, explained that since the last meeting, the Applicant took another look at the site plan and cross-sections and some adjustments. Referencing Exhibit B4 he noted:

- The pickleball court was sunk in a bit.
- The retaining wall in Section AA would be built with the big natural boulders that exist on the site.
- There was a berm shown in Section BB. The floor of the pickleball court was depressed 3 ft below the street and additional landscaping and screening had been added on the berm between the court and the closest home, which he believed was 84 ft from the edge of the court.
- Section AA showed the nearest house being 109 ft from the edge of the other side of the court where there were some large existing trees as well.
- The notion was to determine the distance and mitigate it with additional landscaping and with grading, dropping the court down below the alley.

Erin Holsonback, Otten Landscape Architects, noted there was certainly opportunity to increase the landscaping between the pickleball court and the homes with conifers that would become large over time, and potentially with an evergreen hedge around the back side. The grayed Background Screening shown in both cross sections of Exhibit B4 showed how that increased landscaping would look from the neighboring homes viewing out towards the pickleball court. She believed that would really help, not only visually, but hopefully with the addition of lowering the court, help to mitigate the noise as well.

Chair Fierros Bower asked if any data or studies existed about how recessing the pickleball court so many feet would mitigate the noise sufficiently. She reminded that at the last meeting, the landscape architect said the vegetation would not necessarily mitigate the noise sufficiently.

Ms. Holsonback disagreed, adding from everything she had learned, increased vegetation could help mitigate noise, but it depended on the use. While mitigating noise from a loud construction site might not be possible, she believed it could help with this type of a use. The Applicant would have to search for specific studies.

Mr. Kadlub said he did not know if there were any specific studies about lowering the pickleball court and noise. Scientifically, sound waves, if initiated below a wall, would bounce off that wall and up similar to a freeway being lowered through the center of a city and sound walls being added to a freeway to block noise. The notion was to stop those sound waves and get them to go up and over. Those were two elements the Applicant had used, dropping and adding evergreen landscaping, which was fuller and thicker than deciduous.

Ms. Akervall inquired if Exhibit B4 showed an increased drop of the floor of the pickleball court than what the Board considered last month.

Stacey Connery, Pacific Community Design, answered yes, adding the pickleball court had been dropped the maximum possible to still provide ADA access from Orleans Lp and meet the grade from the berm on the north side of the project.

Lenka Keith said she felt a lot better about the distance between the pickleball court and the building, which was greater than what the Board understood last time, and also about dropping the floor of the court. She asked if lowering the court would still provide adequate drainage.

Ms. Connery replied the Applicant's engineer could design a way to accommodate drainage.

James Frinell said he was still concerned about the sound, but appreciated the Applicant's honest attempt to address the issue. He noted if a problem still exists in the future, perhaps the homeowners association (HOA) could put a curtain around the court, covering the fence, to also provide a buffer if sound became an issue.

Mr. Kadlub added Exhibit B4 showed the basketball hoop had been eliminated, which was another concern in terms of how it would work given the potential conflict with pickleball. It also eliminated one other potential bouncy noise.

Ms. Keith asked if the HOA could ask to have the hours limited if sound became a problem.

Mike Kohlhoff, City Attorney, answered the park was a privately owned with the HOA having control over it, so the HOA could set the times people could play.

Mr. Pauly added the pickleball court was not an amenity required by the Master Plan, which provided the HOA with added flexibility for different actions over time.

Mr. Kadlub stated Applicant's intent would be to limit it initially. As the developer, the Applicant had control of the HOA and would set the initial rules to limit the playing time. There were no lights there, so it would be daylight hours. The Applicant would come up with a reasonable timeframe for play not to start early in the morning or continue past dusk. Applicant's intent was not to wake the neighborhood, but to provide a popular amenity for the residents.

Chair Fierros Bower believed the Applicant had done a really good job addressing concerns from the last meeting. She was glad the Applicant did not decide to completely do away with the pickleball court.

Mr. Pauly confirmed that Staff recommended approval of the applications.

Chair Fierros Bower called for public testimony in favor of, opposed, and neutral to the application.

Bob Dorband, 29085 SW Costa Circle West, Wilsonville, said he lived in one of the townhouses directly adjacent to the proposed park. He distributed a four-page handout to the Board, which included his written statement and two pictures of the site. His handout was entered into the record as Exhibit D4. He read his written statement into the record His additional comments were as follows:

- He was glad some Board members were able to visit the park to see where the proposed court was to be located in relation to nearby town houses. He noted the pictures showed how close the court would actually be to nearby residences.
- He had consulted with an acoustic engineer who reiterated that trees and vegetation do not make any difference as a sound barrier. Highways use concrete walls, not trees and vegetation.
- At the last hearing, the engineer for the developer said the court as designed was going to be sunk 3 ft from Orleans Lp, which was exactly what was shown on Exhibit B4. There was no change. The court was not sunk any further than what had originally been proposed. He was not being nitpicky, but had believed, in good faith, that as the Board's suggested, the Applicant would consider some alternatives to where the pickleball court could be located or what could be done with that space. The Applicant had done nothing different other than eliminating the basketball. Even though the Applicant said this was something different, it was not. He wanted to make sure that the Board was aware of that fact. No alternative had been proposed. Exhibit B4 was basically the same exact plan as had been proposed before. The Applicant had not even moved the court out any farther or discussed how that could be done. Almost all the trees in the park were going to be leveled anyway, so as long as the Applicant was going to that length to create a new space, he found it difficult to believe that this was the only location for a pickleball court.
- He had hoped the developer would come here today with some reasonable alternatives, even if it was to sink the court farther down, or maybe push it out a bit farther. He was seriously concerned that there had been no attempt.
- He reiterated that he was not against pickleball. He was very much in favor of any sort of open use of the park, including pickleball. He just believed the pickleball court needed to be pushed a bit farther away from the existing residences.

Chair Fierros Bower called for the Applicant's rebuttal.

Ms. Connery explained that the plans submitted with application materials and that the Board reviewed at the last hearing did not reflect the pickleball court being sunken 3 ft. The engineer had intentions of having that reflected, but it was not reflected in those plans. When the engineer drew these sections, he realized that was not correctly shown. She apologized if she had given the wrong impression. She confirmed the pickleball court being sunken 3 ft was discussed at the last hearing, but it was not reflected on the plan.

Chair Fierros Bower asked if the Applicant wanted to comment on the public testimony that vegetation and evergreen might not help with noise mitigation.

Ms. Holsonback stated that although she was not a scientist, she disagreed. She believed that evergreen landscaping did help to some degree, though it would not cancel noise out completely. She also believed there was a psychology behind not being able to see the court due to it being blocked with trees and shrubs. There was a difference between being able to see people playing pickleball and hearing the noise versus not being able to see them and still hearing the noise. She believed packing a bunch of plants in there would help; she did not have a study to back that up, but she was taught during her education that landscaping would help with noise buffering.

Ms. Connery believed how deep plants were planted and staggered could make a difference.

Ms. Holsonback reminded the pickleball court would be sunk down 3 ft and there would be a berm of rock and dirt, not vegetation, but solid material, as well as a retaining wall. She was not familiar with pickleball and had never seen people play, so she did not know how loud was, but she believed the combination of sinking the court and having a berm and vegetation would not only help with the audible noise, but visually, there was an opportunity to add plant material to help screen it sufficiently.

Chair Fierros Bower asked the proposed height of the retaining wall shown in Exhibit B4.

Ms. Connery believed the retaining wall was 3 ft.

Ms. Holsonback did not believe it was more than 4 ft.

Ms. Keith said that in order for the vegetation to block the noise, it would have to be dense on the bottom as well as on top with more shrubs, and the vegetation would have to be staggered so there were no spaces in between.

Ms. Holsonback believed there was more opportunity to possibly remove some of the lawn on the north end and put an evergreen hedge around two sides that could potentially grow 8-ft tall, as well as add intermediate level shrubs and increase the amount of trees.

Ms. Akervall noted the first picture in Exhibit D4 provided by Mr. Dorband and asked where the large trees shown beyond the person in the picture would be on Exhibit B4.

Mr. Dorband believed the tree on the left of the picture would be the tree to the lower right end of the pickleball court on the A axis shown on Exhibit B4.

Mr. Pauly noted the deciduous tree and two evergreens on the other side of the pickleball court.

Ms. Akervall said the pickleball court appeared to be in between and then extending out from those two tree areas.

Mr. Dorband added that where he was standing in the first picture of Exhibit D4 was the corner that would be closest to the houses. Even though the pickleball court would be sunken 3 ft from Orleans Loop, which was a higher grade because the whole site kind of sloped down toward the other townhouses on Costa Circle, the bottom of the court would be roughly equivalent to the ground level of the alleyway on Costa Circle, if not even higher because it did slope downward. Visiting the site, one would know you had to climb up to get to where the court would be. Sound follows line of sight. If the court was not higher in relation to the surroundings, it would not make any difference in terms of the sound mitigation.

Ms. Akervall asked how far other sport courts in Villebois were from current houses.

Mr. Pauly responded the basketball court in Palermo Park was probably the most noise-generating court and it was really sunk down because it doubled as a stormwater facility. It was probably 20 or 30 ft from the edge of the park, and then a full 30-ft right-of-way before reaching the front of the homes, so the distance was at least 70 ft or more. The other pickleball court was in the middle of the park, and there was an oak grove and the street between that court and the nearest home, probably 100-ft plus.

- The volleyball court and horseshoes were in the center of Picadilly Park and the right of way on either side, so there was a good distance between the volleyball court and horseshoes to the nearest homes.

He supposed the difference in noise mitigation over the 20 or 30 feet was probably not a lot. He could not say how much less the noise would be or whether it would be substantially different, if the pickleball court was 20 or 30 ft farther.

Ms. Akervall noted the other pickleball court had a lot of trees in the green space on the edge, but nothing existed in between the volleyball court and the homes.

Mr. Pauly added there was very little ground vegetation that would create any blockage.

Ms. Akervall said she wanted to get a point of reference for other amenities already in use within the neighborhood.

Chair Fierros Bower asked if there had been any complaints at the other park.

Mr. Pauly replied the City had received no noise complaints about sports courts at Villebois since the very beginning when the basketball court was put in Palermo Park years ago.

Mr. Kohlhoff added that a number of homeowners protested about the basketball court going in to City Council. Council determined that in the overall interest of the community, it was an appropriate location and the court would be sunken. The problems that were indicated had not come to the level of any major continuing complaint at all.

Mr. Pauly said that because of its dual function as a stormwater facility, the basketball court was sunken probably 5- ft or more.

Everett Lap, 11192 SW Barber St, Wilsonville, said he decided to provide testimony about this issue when the question came up about other sport courts in the Villebois neighborhood. The first park that was put in Villebois was Palermo Park, which actually had a dual-purpose facility, the basketball court.

- He had been in Villebois since 2006, and when that basketball court was proposed, a sufficient number of people were very disturbed over the fact that they would have to listen to basketballs being bounced or dribbled all night long. However, the noise had not been the issue at all. Once the basketball court was put in, some time limits were established for its use. He believed the only thing between that court and a resident was a street, either Palermo St or Costa Circle, and maybe 20 or 30 ft of the park itself.
- He liked the comment Mr. Kohlhoff made. He believed any kind of sport activity, albeit, it might have to be controlled as far as time of use, would be beneficial for the overall benefit of the community.

Chair Fierros Bower confirmed there was no rebuttal from the Applicant.

Thomas J. Widden, Director, NW USA Pickleball Association, stated that NW USA Pickle Ball chose Wilsonville to be the headquarters of the non-profit corporation, which he believed was on Meadows Lp. Anne Smith, who was well-known to the Parks and Recreation folks, was the secretary, registrar, and treasurer. She spearheaded the drive to get the pickleball courts installed, which included a conversion of the basketball court in the Memorial Park and then recently, the resurfacing and striping of the tennis courts.

- In a very short period of time, Wilsonville has become a regional center for pickleball play, and that was a great story because pickleball was primarily played by senior citizens who are active, and why not? Senior citizens were the largest growing demographic group in the United States. Senior citizens have all the time, and, frankly, all the money, too. Many people could not play tennis as they get into their 60s. Who wants to chase all those balls around? No one could load their pockets with tennis

balls and still move, but ten pickleballs could fit in your pockets and would not quite weigh a pound. When a ball gets by you, grab another one and keep on playing. That was part of the popularity of pickleball.

- Two pickleball courts fit in the space of one tennis court. Pickle ball is always played as doubles and was always highly organized. It was done at a specific time when people show up to play round robin, little tournaments amongst themselves. Games were short – 15 minutes long; play to 11 points, and then everyone changes up and plays with other people.
- Pickleball was real social. Last Saturday, 47 people attended the association's skill drills clinic and potluck. The previous week, 36 people came out to Wilsonville Memorial Park to socialize. There was not another activity that described a social action with active seniors like pickleball, and that has been the clue to success in developments all over the United States. Whole new retirement communities were now being built all around pickleball. Why not? It was less expensive and old, crummy tennis facilities were being converted into new pickleball ventures.
 - Tomorrow, the association was meeting with Oregon City's Parks and Recreation staff to convert the Hillendale disused parks into eight pickleball courts. This morning, they had a meeting at the Summerfield Retirement Center and would be converting their tennis facilities into four pickleball courts. The center had ten active members left in its tennis club, and in eight months, there were 61 paid members in the Summerfield Pickleball Club, and that story goes on and on and on; Tualatin Community Park.
 - The association started pickleball in the Sherwood YMCA and now had 60 players there; mostly seniors who come to play at 9:00 am when the places were just basically sitting empty.
 - A great way to answer the question about what was being done for seniors to involve them in park communities was pickleball.
- As far as this bogus issue of noise, pickleballs were quieter than basketballs, tennis balls, and about three-and-a-half times more quiet than the clank of horseshoes. Yet, all these things fit into the use of community resources.
- One big development happened right here in Tualatin. The Jugs Pitching Machine Company developed a quiet ball, made out of PET plastic, the same stuff used for water lines in houses now. These balls were used universally throughout the sports community to throw balls outdoors for Little League and other major sports, like the NFL, but there was a need for little kids to learn to play during the winter before the grass fields opened up in the spring. Hard balls could not be thrown with the pitching machines inside a gymnasium, so the company came up with a little whiffle ball. They were very quiet. The kids hit them with plastic bats all nice and quiet and they did not damage the inside of the gymnasiums.
 - Well, all of a sudden, the pickleball guys said, "Hey, we have been looking for an unbreakable ball and that is quiet." Within about six months now, the Jugs Little League Pitching Machine ball has become the absolute standard in pickleball. They were substantially quieter and highly visible being a kind of a limey green.
- A second thing that has come along was now all pickleball paddles were becoming real lightweight and soft to absorb line drives. A big part of pickleball is dinking the ball, deflecting a line drive softly just over the net. All of a sudden, the game has become substantially quieter.
 - Studies have been done over and over again. In Arizona, disgruntled tennis players who were unhappy their ranks were being decimated by pickleball conversions raised this bogus issue about noise and pickleball, like it was some new rifle shot noise. But in reality, it was much quieter than any other sport. It was quieter than tennis.
- Another bonus that comes with pickleball was that doubles badminton used the exact same dimensions as pickleball. For example, he lived at the Bryant Park Association in Lake Oswego, which had a disused tennis court covered with pine needles. They got it all cleaned up, resurfaced it, and now, they had a tennis court that also hosted two pickleball courts, as well as two badminton courts using little brackets on the pickleball nets. The interior lines of a single tennis court were

within a foot and a half of the dimensions for volleyball. They were now playing volleyball, badminton, pickleball, tennis, as well as a corner basketball court on the same original tennis court.

- He was trying to say that this boogeyman of noise from pickleball just did not exist. He encouraged people to go down to Memorial Park where they play pickleball every day on two dedicated courts that the Association developed with the help of the Wilsonville Parks and Recreation Department. Pickleballs were a whiffle ball. How much noise could a whiffle ball make?
- He rested his case, but believed fear of the unknown sometimes drove people into caution. The reason why pickleball had exploded as it had was it had an answer for every question.

Mr. Frinell asked if Mr. Widden would like to live within 109 ft of a court.

Mr. Widden replied he live 51 ft from the court at his house at the end of Pioneer Ct in Lake Oswego in the Bryant Park Association. His house was the closest house to that court and it was just not an issue. Now, one could hear them playing tennis down there. The problem, at least for the tennis people, was there were no tennis players left on his street. If tennis people were really good or active, they join Stafford Hills Athletic and pay the \$150 a month, or the Mountain Park Tennis Club or Portland Tennis Center, so they could play with other highly-skilled, competitive players. What was left was the occasional garage-sale tennis racket wielding dinkers where mom was trying to teach their whining nine-year-old how to play tennis, because it was not being done in schools. There were no more tennis clubs or teams in grade school or high school. Colleges have abandoned tennis as a sport. He lived next to two pickleball courts and just did not hear them. It was less noise than a ping pong ball.

Chair Fierros Bower asked if Mr. Widden's courts were vegetated or just open.

Mr. Widden responded his courts were open. There were some shore pine type trees that they hated because they shed needles on the courts. A bunch of trees should not be put around a tennis, basketball, or pickleball court because they shed leaves and needles, which require a bunch of maintenance. You want to talk about a major offender for noise: leaf blowers. Landscapers come in at 5:30 am, and leaf blowers register over 100 dB. He believed everyone had heard leaf blowers churning away.

Chair Fierros Bower confirmed there was no rebuttal from the Applicant and closed the public hearing at 7:26 pm.

Lenka Keith moved to approve Resolution No. 301. **James Frinell** seconded the motion.

Ms. Akervall commented that so much of the Board's focus was on the pickleball corner of the park, but she also wanted to remind everyone about the rest of the park that was presented last month. She believed a lot of great things were presented in the other parts of the park that had not been discussed.

Chair Fierros Bower verified with Staff that the rest of the park remained as was presented in the last meeting. The only amenity that had been removed was the basketball hoop.

Ms. Keith noted basketball could be quite noisy and sometimes, neighbors have a hoop where kids play basketball all afternoon and into the evening hours; sometimes even after dark when people have lights on the street. She believed reducing to only pickleball and doing away with the basketball should help.

Chair Fierros Bower asked if Ms. Akervall had concerns regarding the balance of the park's design.

Ms. Akervall answered no; she believed it would be a lovely park.

The motion passed unanimously.

Chair Fierros Bower read the rules of appeal into the record.

Mr. Kohlhoff clarified the new exhibits were included as part of the record after being announced in the beginning.

- B. Resolution No. 304. Villebois Neighborhood Park Swim Center: Stacy Connery, AICP, Pacific Community Design, Inc. - Representative for Fred Gast, Polygon NW Company - Applicant.** The applicant is requesting approval of a SAP Amendment with Master Plan Refinement, a Preliminary Development Plan Amendment and Revised Final Development Plan for a modification to Neighborhood Park 5 (NP-5) for the addition of a community building and outdoor swimming pool and associated improvements. Properties involved are Tax Lot 1446, Section 15AB and Tax Lot 180, Section 15, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, Oregon.
Staff: Daniel Pauly

Case Files: DB15-0017 Specific Area Plan (SAP) Amendment with Master Plan Refinement
 DB15-0018 Preliminary Development Plan Amendment
 DB15-0019 Revised Final Development Plan

Chair Fierros Bower called the public hearing to order at 7:30 pm and read the conduct of hearing format into the record. Chair Fierros Bower, Lenka Keith, and Kristin Akervall declared for the record that they had visited the site. No board member, however, declared a conflict of interest, bias, or conclusion from a site visit. No board member participation was challenged by any member of the audience.

Daniel Pauly, Associate Planner, announced that the criteria applicable to the application were stated on page 2 of the Staff report, which was entered into the record. Copies of the report were made available to the side of the room.

Mr. Pauly presented the Staff report via PowerPoint, noting the projects' locations and surrounding features, and describing the proposed applications with these key additional comments:

- He briefly reviewed the Villebois Planning Process and how refinements were made to the Villebois Master Plan.
- The SAP-East Amendment with Master Plan Refinement would allow the Applicant to add additional amenities. Refinements were allowed as long as they did not remove the types and character of parks. There was also language in the Master Plan that specifically talked about having flexibility over time. For example, when the Master Plan was adopted, there were no indications regarding pickleball, but the Master Plan provided the flexibility for that to be added over time.
 - In this case, given the history and carrying capacity of the prior facility, the desire for additional residents to have access to a swimming pool was not anticipated as things had played out, so Polygon was requesting to add the swimming pool and community building to the park while still keeping all the Master Plan amenities. The Master Plan amenities affected most by adjusting things around were the community garden being relocated as well as a reduction in the size of the lawn play.
 - One test was the availability of these amenities in the SAP. There was plenty of lawn play available throughout Villebois, especially in SAP-East. At the PDP level, a number of additional green park areas were added, so there was sufficient lawn play.
 - The community garden was interesting because both the Master Plan and previous PDP approval gave the dimensions, but did not really get into the detail of how the community garden would

function. Both the PDP design approved in 2012 and the proposed design showed the park being right over a high pressure petroleum pipeline (Slide 7), so the size and number of plots shown in the Master Plan for the community garden might not be possible considering other site conditions. Having it on the other side of the park as proposed made more sense.

- He described the differences between the plan approved in 2012 and the proposed plan, noting that the apple orchard was essentially an extension of the community garden in a form that could exist over the petroleum pipeline.
- Preliminary Development Plan (PDP) Amendment. The PDP addressed a lot of functional questions with regard to utilities, roads capacity, parking, etc.
 - The traffic report revealed no major concerns, as there was enough capacity to manage any additional trips, which were all assumed to internal to Villebois. A good number of the surrounding neighbors would walk or bike to the park and very few, if any, people would be driving from outside the neighborhood. The park was just designed to serve the Villebois community. Bike parking would be provided.
 - There was a little inconsistency about parking between the traffic memo and Staff report. The parking proposed for the swim center was actually based on the table in Section 4.155 of the Development Code. However, a different table in the Villebois code would actually require fewer parking stalls. Nonetheless, there was sufficient on-street parking to meet the parking requirements. Although a hot summer day might result in higher parking demands on the adjoining streets, no on street parking was required for the homes as the minimum parking requirement for the homes was met entirely by the garages. Even if a side of the street was used by the homes, there was still sufficient parking to meet the expected demand, or per code, of the swim center. A marked ADA spot on the street would also serve the swim center.
 - There were no concerns about setbacks, lot coverage, etc. for the swim center building as all those requirements were met.
- Revised Final Development Plan. The two major features or site conditions that really drove a lot of the park's design was the slope and the petroleum pipeline. The site sloped from Berlin Ave down to Stockholm Dr, so it was lower towards Boeckman Rd. He described various features of the park as follows:
 - The architecture of the swim center building met the Architectural Pattern Book being similar to all the single family homes by following an American modern design. He displayed the four elevations of the building, noting the front would face Villebois Drive with the rear facing the swimming pool. The architecture was important as the swim center would be along a main corridor coming into Villebois from Boeckman and Tooze Rd.
 - The swimming pool was surrounded by an approximately 6,700 sq ft deck, which was a good amount larger than the deck at the other Villebois pool, providing plenty of room for deck furniture and relaxing outside the water.
 - A retaining wall was required along Stockholm Dr to make the swim center area flat.
 - A condition of approval still applicable from the previous approval required the retaining wall to be decorative stone or brick construction or veneer, likely similar to the retaining wall recently installed just up the road above the wetland.
 - The fence around the pool would be a fence type shown in the Pattern Book, which was a nice-looking fence used elsewhere in Villebois.
 - Bike racks, a bench, and drinking fountain would be located in front of the community building.
 - The community garden area included raised beds, some of which were adjacent to the concrete path and could be accessed by wheelchair. The raised beds could also be used by people who have a hard time getting down to the lower beds, providing access for individuals with disabilities.
 - The plots in the main portion of the garden were 10 ft by 10 ft, a fairly standard size for community gardens. Because of the slope, the garden would actually be terraced with timber walls from the pool area to the lawn play area. He clarified the trees pictured in Slide 24

- indicated the apple trees along one side of the garden. There would be steps, but the Applicant was providing a ramp next to the steps to allow a wheelbarrow to be used.
- The reconfigured multipurpose court included tether ball, horseshoes, shuffle board, a picnic table, drinking fountain, and benches, as well as four square and hopscotch.

Lenka Keith asked about the logistics of the community garden. She asked if there would be any kind of receptacles for yard debris for people cleaning up and if there would be irrigation. Would there be any rules on the use of pesticides and such or was that up to the homeowners association (HOA)?

Mr. Pauly replied a lot of that would be the responsibility of the HOA. He understood that hose bibbs would be provided. The previous Final Development Plan did not get into any of those details, only that there would be a community garden. Nothing was included in any of the submitted materials about who would be able to sign up, whether pesticides were allowed, etc. The Applicant could provide a lot more information on those topics.

Kristin Akervall said in the diagram, it looked like the apple trees were very close to the pipeline. She questioned if that was safe, because roots go a lot deeper than shovels.

Mr. Pauly replied part of that concern was administrative, because the easement holder permitted digging, but wanted one of their employees there to watch any digging. The City had dug sewer lines through this area. If supervised by the pipeline company, digging to plant the trees should be fine. The easement holder would not be comfortable with people digging with shovels without supervision.

Ms. Akervall clarified she was concerned about roots impacting the pipeline as the trees grew.

Steve Adams, Development Engineering Manager, explained the pipeline had been there since the 1930s and was a welded steel pipe, so there was no joint for a root to intrude. The pipeline was tested on a routine basis by Kinder Morgan and supplied auto fuel from refineries in Washington to the Eugene area. It was strictly a transmission line. Kinder Morgan protected the pipeline intently. One could not dig or cross the pipeline without having a Kinder Morgan employee present the entire time an operator was digging. In talking to Chris Neamtzu and Kerry Rappold about tree issues throughout Villebois, the majority of trees, especially apple trees, had 80 to 90 percent of their roots in the top 18 in of soil; very few roots go down. Trees like white oaks were really the only trees with roots that really go deep to suck the water out of the ground. His understood the City was not concerned by such trees in similar situations.

Mr. Pauly agreed the trees would not go that deep. The big issue was the requirement that someone had to be there if a shovel was in the ground, and the Applicant was not going to pay a Kinder Morgan employee to guard the community garden all summer.

Ms. Akervall liked the idea of having an orchard, adding it made sense next to the community garden. She questioned if the apple trees would shade some of the plots. In the diagram, it looked like at least four of the 29 plots would be shaded.

Mr. Pauly responded that apple trees tend to be topped and pruned a lot, so they would not necessarily grow to be tall, like an oak for example. It was not a situation atypical of a garden near a lot of trees. Those plots would not be as sunny as others, but should still function. He deferred to the Applicant for additional comment. He confirmed the location of the wheelbarrow ramp on the map.

Chair Fierros Bower confirmed the swimming pool was primarily for use by Villebois residents.

Mr. Pauly added that swimming pool would be a private homeowners' pool similar to other homeowners' pools throughout Villebois and in other Wilsonville communities. The pool would be owned by the HOA.

Chair Fierros Bower called for the Applicant's testimony.

Jim Lange, Pacific Community Design, 12564 SW Main Street, Tigard, OR, stated he had been fortunate enough to be involved with Villebois since the Concept Plan. To see how the project goals had been followed and how the project's details had evolved over time had been very rewarding in his career.

- Polygon was very excited and continued to want to be involved in this project. Their sales were going well and they were really happy with how the community was turning out. Polygon had received some feedback that another swim center would be a really good thing, and so while this was not a requirement of the Master Plan, the Applicant did believe it would enhance the community.
- At one point, no swim center was included when the Concept Plan, Master Plan, and Specific Area Plan were approved for all the areas in Villebois. One was proposed in the south side, but it had a hard time coming to fruition, which had a lot to do with the economy. Polygon was very happy to step in and help bring that first one to reality on the ground, and the residents have really enjoyed it. With this application, the Applicant was asking to add a second swim center.
- Some overriding goals of this project were especially noted in the Master Plan, which included connectivity, sustainability and diversity. This particular park was a little microcosm of that considering all the uses going on there. A group could be gardening while a different group played shuffle board or tether ball, and hopefully, everyone would be participating in all the things that could be done in the swim center. The park was a wonderful little microcosm of how a community could come together and provide a whole bunch of different things in close proximity to each other.
- He noted that the community building would have restrooms, a community room with a kitchen, and some offices. Some comments were received about having picnic tables or something outside, which was why a kitchen facility was in the building. There was no intent to keep people from eating while swimming. It was being encouraged by the inclusion of a kitchen. The deck around the pool would have furniture, such as recliners to lay out and eat on.
- He believed the only question he did not hear an answer to regarded whether the apple trees would shade the plots. The apple trees were shown with a pretty broad canopy but they get pruned. The trees get loaded with fruit, and if allowed to grow out, the branches break and cause all kinds of problems. Because the trees tend to be pruned back, the Applicant did not see that as a problem at all.

Chair Fierros Bower asked how the renting of the community garden plots would work.

Mr. Lange replied that the answer the very first day would be different two years in and again in five years. Community gardens evolve. The HOA would own it, and Polygon had a very strong relationship with its HOA. They had a full time HOA liaison, and even in low times, they kept that position open. Polygon stay engaged with their HOAs to try to provide them the benefit of their experience on other projects to help them manage themselves. The HOA would set up some rules, but it would evolve over time.

Ms. Akervall asked where the water would be located.

Mr. Lange replied that was not shown on the drawing, but there would be water. The building itself would be metered. Hose bibbs would be on the outside of that building for maintenance and there would be extensions, he imagined, out into the garden itself. There would not be a spigot for every plot. Part of the evolution of the garden would address wheelbarrows, for example, and whether everyone would need their own.

Ms. Keith asked what garden users would do with the debris if they were trimming or cleaning up.

Mr. Lange replied that would also evolve over time. Some people want to cart it all off and some want to mulch it and compost it.

Ms. Keith said she was excited to see so many different uses, but she urged Applicant to talk about yard debris and the use of pesticides, because different people have different ideas about how things should be done, and they might not always be compatible or in agreement. Rules should also be set for maintenance, because people sometimes have very lofty ideas about all the things they want to grow and then it just completely gets out of hand and looks messy for the whole community.

Mr. Lange agreed, adding that was why community gardens evolve. One person's vision might be a rose garden, and another's was a piece of natural prairie. The HOA would have to stay engaged and find that right balance for the group using it.

Ms. Keith asked if there would be a lifeguard by the pool.

Mr. Lange did not believe there would be a lifeguard, but that might be something the HOA would want to add. He did not believe there was a lifeguard at the other swim center.

Chair Fierros Bower said that she previously lived in Charbonneau and each neighborhood pocket had swimming pools; typically, there were no lifeguards on duty. Children were supposed to be supervised by an adult.

Chair Fierros Bower called for public testimony in favor of, opposed, and neutral to the application.

Leslie Modell, 11342 SW Barber Street, Wilsonville, assumed the community building was in fact a private recreation facility that would function similarly to the current one on Palermo Dr at the bottom of Piccadilly Park, which was a totally closed facility. It required key access to the members allocated by the HOA. Therefore, none of that facility was open to the public. It was open only to the private members, and it appeared that this community building would probably follow that same pattern.

- Now, you do have a community garden.
- He asked if any of the community center facility would be open to the public, not the swimming pool perhaps, but were there public bathrooms. In the earlier discussion about the Montague Park, the bathrooms facilities were removed apparently for good reasons, and that issue was now settled. At the time, however, there was testimony to the fact that there would be bathroom facilities available at both the Piazza Park when completed, and NP-5, the site under discussion. He asked if that bathroom facility was a public part of the community center.

Mr. Pauly clarified that RP-5 was Regional Park 5, and NP-5, which was this park, Neighborhood Park 5. The restrooms were in Regional Park 5, which would be coming up in the next few months.

Chair Fierros Bower asked if the restrooms were close by.

Mr. Pauly explained the restrooms were not necessarily close to this park, but in that next park up from Edelweiss Park on the north side of Berlin Avenue, a little west of the subject site.

Chair Fierros Bower confirmed there was no rebuttal from the Applicant and closed the public hearing at 8:09 pm.

Lenka Keith moved to approve Resolution No. 304. James Frinell seconded the motion, which passed unanimously.

Chair Fierros Bower read the rules of appeal into the record.

VIII. Board Member Communications

A. Results of the April 27, 2015 DRB Panel B meeting

IX. Staff Communications

There were none.

X. Adjournment

The meeting adjourned at 8:12 p.m.

Respectfully submitted,

Paula Pinyerd, ABC Transcription Services, Inc. for
Shelley White, Planning Administrative Assistant

DEVELOPMENT REVIEW BOARD MEETING

MONDAY, JULY 13, 2015

6:30 PM

VII. Public Hearing:

- A. Resolution No. 306. Villebois PDP6 Central Row Homes: Polygon WLH, LLC– Applicant for RCS-Villebois Development LLC – Owner.** The applicant is requesting approval of a Zone Map Amendment from Public Facility (PF) Zone to Village (V) Zone, Specific Area Plan – Central Refinements, Preliminary Development Plan, Tentative Subdivision Plat, Type ‘C’ Tree Plan and Final Development Plan for the development of 31 row houses in Phase 6 of SAP-Central. The subject property is located on Tax Lot 3500 of Section 15AC, T3S, R1W, Clackamas County, Oregon. Staff: Michael Wheeler

Case Files: DB15-0011 Villebois SAP Central Refinement
DB15-0012 Preliminary Development Plan (PDP-6C Row Homes)
DB15-0013 Zone Map Amendment
DB15-0014 Tentative Subdivision Plat
DB15-0015 Type ‘C’ Tree Plan
DB15-0016 PDP-6C Final Development Plan

The DRB action on the Zone Map Amendment is a recommendation to the City Council.

**DEVELOPMENT REVIEW BOARD
RESOLUTION NO. 306**

A RESOLUTION ADOPTING FINDINGS RECOMMENDING APPROVAL TO CITY COUNCIL OF A ZONE MAP AMENDMENT FROM PUBLIC FACILITIES (PF) ZONE TO VILLAGE (V) ZONE, AND ADOPTING FINDINGS AND CONDITIONS APPROVING SPECIFIC AREA PLAN – CENTRAL REFINEMENTS, PRELIMINARY DEVELOPMENT PLAN, TENTATIVE SUBDIVISION PLAT, TYPE ‘C’ TREE PLAN AND FINAL DEVELOPMENT PLAN FOR THE DEVELOPMENT OF 31 ROW HOUSES IN PHASE 6 OF SAP-CENTRAL. THE SUBJECT SITE IS LOCATED ON TAX LOT 3500 OF SECTION 15AC, T3S, R1W, CLACKAMAS COUNTY, OREGON. POLYGON WLH, LLC – APPLICANT, FOR RCS - VILLEBOIS DEVELOPMENT, LLC, OWNER.

WHEREAS, an application, together with planning exhibits for the above-captioned development, has been submitted in accordance with the procedures set forth in Section 4.008 of the Wilsonville Code, and

WHEREAS, the Planning Staff has prepared staff report on the above-captioned subject dated July 6, 2015, and

WHEREAS, said planning exhibits and staff report were duly considered by the Development Review Board Panel A at a scheduled meeting conducted on July 13, 2015, at which time exhibits, together with findings and public testimony were entered into the public record, and

WHEREAS, the Development Review Board considered the subject and the recommendations contained in the staff report, and

WHEREAS, interested parties, if any, have had an opportunity to be heard on the subject,

NOW, THEREFORE, BE IT RESOLVED that the Development Review Board of the City of Wilsonville does hereby adopt the staff report dated July 6, 2015, attached hereto as Exhibit A1, with findings and recommendations contained therein, and authorizes the Planning Director to issue permits consistent with said recommendations for:

DB15-0011 through DB15-0016: Specific Area Plan Refinements, Preliminary Development Plan, Zone Map Amendment, Tentative Subdivision Plat, Type ‘C’ Tree Plan, and Final Development Plan for the construction of 31 row house units, and associated improvements.

ADOPTED by the Development Review Board of the City of Wilsonville at a regular meeting thereof this 13th day of July, 2015, and filed with the Planning Administrative Assistant on _____. This resolution is final on the 15th calendar day after the postmarked date of the written notice of decision per *WC Sec 4.022(.09)* unless appealed per *WC Sec 4.022(.02)* or called up for review by the council in accordance with *WC Sec 4.022(.03)*.

Mary Fierros Bower; Chair, Panel A
Wilsonville Development Review Board

Attest:

Shelley White, Planning Administrative Assistant

Exhibit A1

STAFF REPORT
WILSONVILLE PLANNING DIVISION
Development Review Board Panel A
Quasi-judicial Hearing
PDP-6C, 31 Row House Units

Public Date: July 13, 2015

Date of Report: July 6, 2015

Applicant: Polygon WLH LLC

Property Owner: RCS - Villebois Development, LLC

Applicant's Representative: Pacific Community Design, Inc.

Request: Pacific Community Design, Inc., representative for Polygon WLH LLC, Applicant, and RCS - Villebois Development, LLC, Owner, proposes the development of 31 row house units within seven (7) buildings.

Request A: DB15-0011 Villebois SAP Central Refinement

Request B: DB15-0012 Preliminary Development Plan (PDP-6C Row Houses)

Request C: DB15-0013 Zone Map Amendment

Request D: DB15-0014 Tentative Subdivision Plat

Request E: DB15-0015 Type 'C' Tree Plan

Request F: DB15-0016 PDP 6C Final Development Plan

Staff Reviewers: Michael R. Wheeler, Associate Planner; Steve Adams, Development Engineering Manager and Kerry Rappold, Natural Resources Program Manager.

Applicant's Introductory Project Narrative (Pages 1 through 9, Section IA of Exhibit B1):

The Preliminary Development Plan (PDP) approval process is equivalent to the City's Stage II Final Plan.

The Final Development Plan (FDP) approval process is equivalent to the City's Site Design Review. The front elevations of the proposed row house buildings including materials and architectural details have been designed by a licensed architect. Colors and masonry are appropriate for the given architecture. Landscaping meets the Community Elements Book criteria. The applicant makes reference to "row homes" and "row houses" throughout the application submittal notebook (Exhibit B1). Staff chooses to use the term "row house" in this staff report.

The Refinements approval process is equivalent to the City's Waivers for planned developments. The applicant is seeking refinements for change of uses, and components of the Rainwater Management Plan.

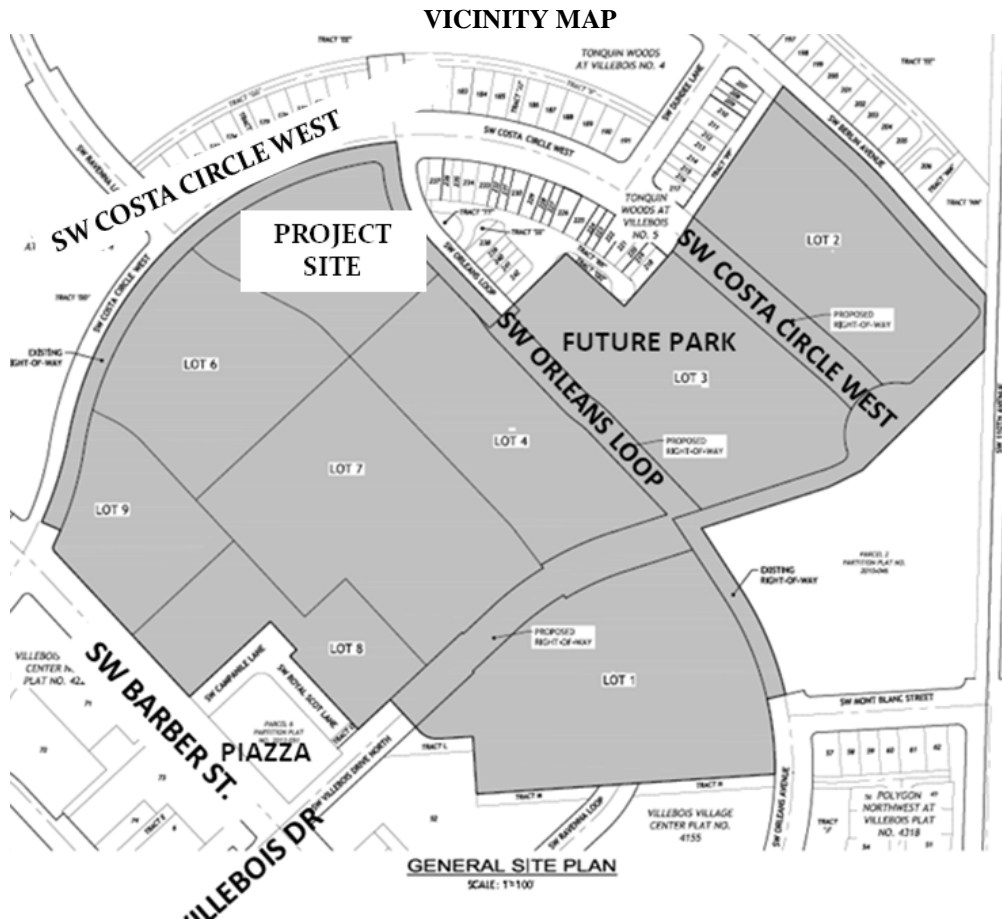
Comprehensive Plan Designation: Residential-Village (R-V)

Zone Map Designation: Public Facilities (PF) proposed re-zoning to Village (V)

Size: 1.52 gross acres.

Recommended Actions: Approve Requests A through C and D through F, together with proposed conditions of approval, beginning on page 5. Recommend approval of Request C, the requested Zone Map Amendment, to City Council.

Legal Description: Lot No. 83 of Villebois Village Center No. 3 subdivision. The project site is more specifically described at Tax Lot 3500 in Section 15AC, T3S, R1W, Clackamas County, Oregon.



SUMMARY:

Request A - SAP Refinements (Uses and Rainwater):

As demonstrated in findings A1 through A11, the proposed SAP Refinements to the unit types and number, and reduction in the number of Rainwater Management Plan components meet all applicable requirements in Section 4.125(.18)(J)(2), subject to compliance with proposed conditions of approval.

Request B – Preliminary Development Plan (PDP-6 Central):

The proposed Preliminary Development Plan of Specific Area Plan Central (PDP 6 Central) is comprised of 1.52 gross acres. The applicant proposes 31 row house units within seven buildings, as follows: 0.15 acres of green space; 0.31 acres of public streets; 1.06 acres in lots and alleys, associated infrastructure improvements.

Traffic Impact: The proposed project meets the City criteria in Subsection 4.140.09(J)(2) – Traffic.

Public Utilities: The proposed project, together with Engineering Division conditions of approval referenced herein, meets the City’s public works standards for public utilities for streets, water, sanitary sewer and storm drainage.

As demonstrated in findings B1 through B43, the proposed Preliminary Development Plan meets all applicable requirements in Section 4.125(.18)(J)(2), and of Specific Area Plan – Central.

Request C – Zone Map Amendment:

The proposal is to change the Public Facility (PF) zone to the Village (V) zone. The proposed residential use is permitted under Wilsonville Code Section 4.125(.02). The proposed Zone Map Amendment would enable the development permitting process.

As demonstrated in findings C1 through C12, the proposed Zone Map Amendment meets all applicable requirements in Section 4.197, but is contingent upon City Council approval of the recommended approval.

Request D - Tentative Subdivision Plat:

The applicant is proposing the subdivision of the properties into 31 residential lots for attached row houses in seven (7) buildings, along with alleys, open space, and street rights-of-way. The name of the proposed subdivision is “PDP-6C Villebois Row Homes”.

As demonstrated in findings D1 through D43, staff recommends that the proposed Tentative Subdivision Plat be approved, as it meets the criteria in Sections 4.200 through 4.264, and 4.300 through 4.320.

Request E – Type ‘C’ Tree Plan:

As demonstrated in findings E1 through E7, the proposed Type ‘C’ Tree Plan should be approved, subject to compliance with proposed conditions of approval.

Request F – Final Development Plan (FDP):

The row house buildings and landscaping are subject to Village Center Architectural Standards (VCAS). As demonstrated in findings F1 through F104, the proposed Final Development Plan should be approved, subject to compliance with proposed conditions of approval.

Applicable Review Criteria:

<i>Planning and Land Development Ordinance:</i>	
Section 4.008	Application Procedures-In General
Section 4.009	Who May Initiate Application
Section 4.010	How to Apply
Section 4.011	How Applications are Processed
Section 4.014	Burden of Proof
Section 4.031	Authority of the Development Review Board
Subsection 4.035 (.04)	Site Development Permit Application
Subsection 4.035 (.05)	Complete Submittal Requirement
Section 4.113	Residential Development in Any Zone
Section 4.125	V-Village Zone
Section 4.154	Bicycle, Pedestrian, and Transit Facilities
Section 4.155	Parking, Loading, and Bicycle Parking
Section 4.167	Access, Ingress, and Egress
Section 4.175	Public Safety and Crime Prevention
Section 4.176	Landscaping
Section 4.177	Street Improvement Standards
Section 4.179	Multi-Unit Residential and Non-Residential Buildings.
Section 4.197	Zone Map Amendment
Section 4.199	Exterior Lighting
Sections 4.200 through 4.220	Land Divisions
Section 4.121	Site Design Review
Sections 4.236 through 4.270	Land Division Standards
Sections 4.300 through 4.320	Underground Utilities
Sections 4.600 through 4.640.20 as applicable	Tree Preservation and Protection
<i>Other City Planning Documents:</i>	
Villebois Village Master Plan	
Village Center Architectural Standards (VCAS)	
SAP Central Approval Documents	
Comprehensive Plan	

PROPOSED CONDITIONS OF APPROVAL FOR DB15-0011 – DB15-0016:

Based on the applicant’s findings, findings of fact, analysis and conclusionary findings, staff recommends that the Development Review Board approve the applications with the following conditions of approval:.

PD = Planning Division conditions BD = Building Division Conditions PF = Engineering Conditions. NR = Natural Resources Conditions TR = SMART/Transit Conditions FD = Tualatin Valley Fire and Rescue Conditions PW = Public Works
--

REQUEST A: SAP-CENTRAL REFINEMENTS (DB15-0011)

PDA 1. Approval of the two (2) requested refinements (i.e., uses and Rainwater Management Plan) is contingent upon City Council approval of the Zone Map Amendment from Public Facility (PF) to Village (V).

REQUEST B: PRELIMINARY DEVELOPMENT PLAN (DB15-0012)

PDB 1. Approval of the Preliminary Development Plan is contingent upon City Council approval of the Zone Map Amendment from Public Facility (PF) to Village (V).
PDB 2. Street lighting types and spacing shall be as shown in the Community Elements Book. See Finding B15.
PDB 3. All park and open space improvements approved by the Development Review Board, including associated improvements, shall be completed prior the issuance of the building permit for the 16 th row house unit in PDP 6 Central. If weather or other special circumstances prohibit completion, bonding for the improvements will be permitted. See Finding B38 on page 33 of this report.
PDB 4. The Applicant/ to Owner shall waive the right of remonstrance against any local improvement district that may be formed to provide public improvements to serve the subject site. Before the start of construction, a waiver of right to remonstrance shall be submitted to the City Attorney.

Note: The following Conditions of Approval are provided by the Engineering, Natural Resources, or Building Divisions of the City’s Community Development Department or Tualatin Valley Fire and Rescue, all of which have authority over development approval. A number of these conditions of approval are not related to land use regulations under the authority of the Development Review Board or Planning Director. Only those conditions of approval related to criteria in Chapter 4 of Wilsonville Code and the Comprehensive Plan, including but not limited to those related to traffic level of service, site vision clearance, recording of plats, and concurrency, are subject to the Land Use review and appeal process defined in Wilsonville Code and Oregon Revised Statutes and Administrative Rules. Other conditions of approval are based on City Code chapters other than Chapter 4, state law, federal law, or other agency rules and regulations. Questions or requests about the applicability, appeal, exemption or non-compliance related to these other conditions of

approval should be directed to the City Department, Division, or non-City agency with authority over the relevant portion of the development approval.

Engineering Division Conditions:																					
Standard Comments:																					
PFB 1.	All construction or improvements to public works facilities shall be in conformance to the City of Wilsonville Public Works Standards - 2014.																				
PFB 2.	Applicant shall submit insurance requirements to the City of Wilsonville in the following amounts: <table border="0" style="width: 100%; margin-left: 40px;"> <thead> <tr> <th style="text-align: left;"><i>Coverage (Aggregate, accept where noted)</i></th> <th style="text-align: right;"><i>Limit</i></th> </tr> </thead> <tbody> <tr> <td>Commercial General Liability</td> <td></td> </tr> <tr> <td style="padding-left: 20px;">General Aggregate (per project)</td> <td style="text-align: right;">\$ 3,000,000</td> </tr> <tr> <td style="padding-left: 20px;">General Aggregate (per occurrence)</td> <td style="text-align: right;">\$ 2,000,000</td> </tr> <tr> <td style="padding-left: 20px;">Fire Damage (any one fire)</td> <td style="text-align: right;">\$ 50,000</td> </tr> <tr> <td style="padding-left: 20px;">Medical Expense (any one person)</td> <td style="text-align: right;">\$ 10,000</td> </tr> <tr> <td>Business Automobile Liability Insurance</td> <td></td> </tr> <tr> <td style="padding-left: 20px;">Each Occurrence</td> <td style="text-align: right;">\$ 1,000,000</td> </tr> <tr> <td style="padding-left: 20px;">Aggregate</td> <td style="text-align: right;">\$ 2,000,000</td> </tr> <tr> <td>Workers Compensation Insurance</td> <td style="text-align: right;">\$ 500,000</td> </tr> </tbody> </table>	<i>Coverage (Aggregate, accept where noted)</i>	<i>Limit</i>	Commercial General Liability		General Aggregate (per project)	\$ 3,000,000	General Aggregate (per occurrence)	\$ 2,000,000	Fire Damage (any one fire)	\$ 50,000	Medical Expense (any one person)	\$ 10,000	Business Automobile Liability Insurance		Each Occurrence	\$ 1,000,000	Aggregate	\$ 2,000,000	Workers Compensation Insurance	\$ 500,000
<i>Coverage (Aggregate, accept where noted)</i>	<i>Limit</i>																				
Commercial General Liability																					
General Aggregate (per project)	\$ 3,000,000																				
General Aggregate (per occurrence)	\$ 2,000,000																				
Fire Damage (any one fire)	\$ 50,000																				
Medical Expense (any one person)	\$ 10,000																				
Business Automobile Liability Insurance																					
Each Occurrence	\$ 1,000,000																				
Aggregate	\$ 2,000,000																				
Workers Compensation Insurance	\$ 500,000																				
PFB 3.	No construction of, or connection to, any existing or proposed public utility/improvements will be permitted until all plans are approved by Staff, all fees have been paid, all necessary permits, right-of-way and easements have been obtained and Staff is notified a minimum of 24 hours in advance.																				
PFB 4.	All public utility/improvement plans submitted for review shall be based upon a 22"x 34" format and shall be prepared in accordance with the City of Wilsonville Public Work's Standards.																				
PFB 5.	Plans submitted for review shall meet the following general criteria: <ol style="list-style-type: none"> a. Utility improvements that shall be maintained by the public and are not contained within a public right-of-way shall be provided a maintenance access acceptable to the City. The public utility improvements shall be centered in a minimum 15-ft. wide public easement for single utilities and a minimum 20-ft wide public easement for two parallel utilities and shall be conveyed to the City on its dedication forms. b. Design of any public utility improvements shall be approved at the time of the issuance of a Public Works Permit. Private utility improvements are subject to review and approval by the City Building Department. c. In the plan set for the PW Permit, existing utilities and features, and proposed new private utilities shall be shown in a lighter, grey print. Proposed public improvements shall be shown in bolder, black print. d. All elevations on design plans and record drawings shall be based on NAVD 88 Datum. e. All proposed on and off-site public/private utility improvements shall comply with the State of Oregon and the City of Wilsonville requirements and any other applicable codes. f. Design plans shall identify locations for street lighting, gas service, power lines, 																				

telephone poles, cable television, mailboxes and any other public or private utility within the general construction area.

- g. As per City of Wilsonville Ordinance No. 615, all new gas, telephone, cable, fiber-optic and electric improvements etc. shall be installed underground. Existing overhead utilities shall be undergrounded wherever reasonably possible.
- h. Any final site landscaping and signing shall not impede any proposed or existing driveway or interior maneuvering sight distance.
- i. Erosion Control Plan that conforms to City of Wilsonville Ordinance No. 482.
- j. Existing/proposed right-of-way, easements and adjacent driveways shall be identified.
- k. All engineering plans shall be printed to PDF, combined to a single file, stamped and digitally signed by a Professional Engineer registered in the State of Oregon.
- l. All plans submitted for review shall be in sets of a digitally signed PDF and three printed sets.

PFB 6. Submit plans in the following general format and order for all public works construction to be maintained by the City:

- a. Cover sheet
- b. City of Wilsonville construction note sheet
- c. General construction note sheet
- d. Existing conditions plan.
- e. Erosion control and tree protection plan.
- f. Site plan. Include property line boundaries, water quality pond boundaries, sidewalk improvements, right-of-way (existing/proposed), easements (existing/proposed), and sidewalk and road connections to adjoining properties.
- g. Grading plan, with 1-foot contours.
- h. Composite utility plan; identify storm, sanitary, and water lines; identify storm and sanitary manholes.
- i. Detailed plans; show plan view and either profile view or provide i.e.'s at all utility crossings; include laterals in profile view or provide table with i.e.'s at crossings; vertical scale 1"= 5', horizontal scale 1"= 20' or 1"= 30'.
- j. Street plans.
- k. Storm sewer/drainage plans; number all lines, manholes, catch basins, and cleanouts for easier reference
- l. Water and sanitary sewer plans; plan; number all lines, manholes, and cleanouts for easier reference.
- m. Detailed plan for storm water detention facility (both plan and profile views), including water quality orifice diameter and manhole rim elevations. Provide detail of inlet structure and energy dissipation device. Provide details of drain inlets, structures, and piping for outfall structure. Note that although storm water detention facilities are typically privately maintained they will be inspected by engineering, and the plans must be part of the Public Works Permit set.
- n. Detailed plan for water quality facility (both plan and profile views). Note that although storm water quality facilities are typically privately maintained they will be inspected by Natural Resources, and the plans must be part of the Public Works Permit set.
- o. Composite franchise utility plan.
- p. City of Wilsonville detail drawings.
- q. Illumination plan.

	<p>r. Striping and signage plan.</p> <p>s. Landscape plan.</p>
PFB 7.	Design engineer shall coordinate with the City in numbering the sanitary and stormwater sewer systems to reflect the City's numbering system. Video testing and sanitary manhole testing will refer to City's numbering system.
PFB 8.	The applicant shall install, operate and maintain adequate erosion control measures in conformance with the standards adopted by the City of Wilsonville Ordinance No. 482 during the construction of any public/private utility and building improvements until such time as approved permanent vegetative materials have been installed.
PFB 9.	Applicant shall work with City's Natural Resources office before disturbing any soil on the respective site. If 5 or more acres of the site will be disturbed applicant shall obtain a 1200-C permit from the Oregon Department of Environmental Quality. If 1 to less than 5 acres of the site will be disturbed a 1200-CN permit from the City of Wilsonville is required.
PFB 10.	A storm water analysis prepared by a Professional Engineer registered in the State of Oregon shall be submitted for review and approval by the City.
PFB 11.	The applicant shall be in conformance with all water quality requirements for the proposed development per the Public Works Standards. If a mechanical water quality system is used, prior to City acceptance of the project the applicant shall provide a letter from the system manufacturer stating that the system was installed per specifications and is functioning as designed.
PFB 12.	Storm water quality facilities shall have approved landscape planted and/or some other erosion control method installed and approved by the City of Wilsonville prior to streets and/or alleys being paved.
PFB 13.	The applicant shall contact the Oregon Water Resources Department and inform them of any existing wells located on the subject site. Any existing well shall be limited to irrigation purposes only. Proper separation, in conformance with applicable State standards, shall be maintained between irrigation systems, public water systems, and public sanitary systems. Should the project abandon any existing wells, they shall be properly abandoned in conformance with State standards.
PFB 14.	All survey monuments on the subject site, or that may be subject to disturbance within the construction area, or the construction of any off-site improvements shall be adequately referenced and protected prior to commencement of any construction activity. If the survey monuments are disturbed, moved, relocated or destroyed as a result of any construction, the project shall, at its cost, retain the services of a registered professional land surveyor in the State of Oregon to restore the monument to its original condition and file the necessary surveys as required by Oregon State law. A copy of any recorded survey shall be submitted to Staff.
PFB 15.	Sidewalks, crosswalks and pedestrian linkages in the public right-of-way shall be in compliance with the requirements of the U.S. Access Board.
PFB 16.	No surcharging of sanitary or storm water manholes is allowed.
PFB 17.	The project shall connect to an existing manhole or install a manhole at each

	connection point to the public storm system and sanitary sewer system.
PFB 18.	A City approved energy dissipation device shall be installed at all proposed storm system outfalls. Storm outfall facilities shall be designed and constructed in conformance with the Public Works Standards.
PFB 19.	The applicant shall provide a ‘stamped’ engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways.
PFB 20.	All required pavement markings, in conformance with the Transportation Systems Plan and the Bike and Pedestrian Master Plan, shall be completed in conjunction with any conditioned street improvements.
PFB 21.	Street and traffic signs shall have a hi-intensity prismatic finish meeting ASTM 4956 Spec Type 4 standards.
PFB 22.	The applicant shall provide adequate sight distance at all project driveways by driveway placement or vegetation control. Specific designs to be submitted and approved by the City Engineer. Coordinate and align proposed driveways with driveways on the opposite side of the proposed project site.
PFB 23.	Access requirements, including sight distance, shall conform to the City's Transportation Systems Plan (TSP) or as approved by the City Engineer. Landscaping plantings shall be low enough to provide adequate sight distance at all street intersections and alley/street intersections.
PFB 24.	Applicant shall design interior streets and alleys to meet specifications of Tualatin Valley Fire & Rescue and Allied Waste Management (United Disposal) for access and use of their vehicles.
PFB 25.	The applicant shall provide the City with a Stormwater Maintenance and Access Easement (on City approved forms) for City inspection of those portions of the storm system to be privately maintained. Stormwater or rainwater LID facilities may be located within the public right-of-way upon approval of the City Engineer. Applicant shall maintain all LID storm water components and private conventional storm water facilities; maintenance shall transfer to the respective homeowners association when it is formed.
PFB 26.	The applicant shall “loop” proposed waterlines by connecting to the existing City waterlines where applicable.
PFB 27.	All water lines that are to be temporary dead-end lines due to the phasing of construction shall have a valved tee with fire-hydrant assembly installed at the end of the line.
PFB 28.	Applicant shall provide a minimum 6-foot Public Utility Easement on lot frontages to all public right-of-ways. An 8-foot PUE shall be provided along Collectors. A 10-ft PUE shall be provided along Minor and Major Arterials.
PFB 29.	For any new public easements created with the project the Applicant shall be required to produce the specific survey exhibits establishing the easement and shall provide the City with the appropriate Easement document (on City approved forms).

PFB 30.	<p>Mylar Record Drawings:</p> <p>At the completion of the installation of any required public improvements, and before a 'punch list' inspection is scheduled, the Engineer shall perform a record survey. Said survey shall be the basis for the preparation of 'record drawings' which will serve as the physical record of those changes made to the plans and/or specifications, originally approved by Staff, that occurred during construction. Using the record survey as a guide, the appropriate changes will be made to the construction plans and/or specifications and a complete revised 'set' shall be submitted. The 'set' shall consist of drawings on 3 mil. Mylar and an electronic copy in AutoCAD, current version, and a digitally signed PDF.</p>				
Specific Comments:					
PFB 31.	<p>At the request of Staff, DKS Associates completed a Transportation Study, dated May 7, 2015. The project is hereby limited to no more than the following impacts.</p> <table border="0" data-bbox="380 751 1101 888"> <tr> <td>Estimated New PM Peak Hour Trips</td> <td>16</td> </tr> <tr> <td>Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area</td> <td>4</td> </tr> </table>	Estimated New PM Peak Hour Trips	16	Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area	4
Estimated New PM Peak Hour Trips	16				
Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area	4				
PFB 32.	<p>Consistent with other development within Villebois Village, the applicant shall be required to complete design and construction for full street improvements through the far curb and gutter, and far corner radii of intersections, for the extension of Paris Avenue southwest of the proposed development and the new Collina Lane southeast of the development. Design and improvements shall include street lighting on both sides of the streets.</p>				
PFB 33.	<p>Development of the land southwest of Paris Avenue and southeast of Collina Lane is unknown at this time. Therefore this segment of Paris Avenue and Collina Lane will be allowed to be designed for a 5" section of asphalt; both segments shall be paved with a single 3" base lift; 2" top lift to be completed by adjacent development when it occurs. Streets shall be designed in conformance to the applicable street type as shown in the Villebois Village Master Plan.</p>				
PFB 34.	<p>Applicant shall install the top lift of asphaltic concrete on the section of Costa Circle West (2" top lift through the intersection with Paris Avenue) and on Orleans Avenue (1 ½" top lift through the intersection with Collina Lane) adjacent to the site.</p>				
PFB 35.	<p>Alleyways shall connect to the public right-of-way at as near 90° as possible, per the 2014 Public Works Standards.</p>				
PFB 36.	<p>The applicant shall provide a 'stamped' engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways. Secondly, the street lighting style shall be in conformance to the current edition of the Villebois SAP Central Community Elements Book Lighting Master Plan.</p>				
PFB 37.	<p>Per the Villebois Village SAP Central Master Signage and Wayfinding plan all regulatory traffic signage in Villebois Central shall be finished black on the back</p>				

	sides.
PFB 38.	All of the proposed development lies within the Coffee Creek basin. Per City Ordinance 608 storm water detention is not required for this project due to its direct connection to the Coffee Creek wetlands.
PFB 39.	Applicant shall install a looped water system by connecting to the existing water lines in Costa Circle West and Orleans Avenue.
PFB 40.	<p>The Villebois Sanitary Sewer (SS) Master Plan has the 14 proposed units facing Costa Circle West serviced by the north SS trunk line. The other 17 proposed units are part of the south SS trunk line service area. Preliminary material submitted by the applicant shows all 31 proposed units being serviced by the north SS trunk line.</p> <p>Applicant shall connect the 17-unit portion of the development to the existing SS line at the north end of Campanile Lane, or provide revised SS master plan calculations showing that the change will not create a capacity issue for the north SS trunk line. Alternately, applicant shall divert an equivalent area elsewhere in Villebois from the north SS trunk line to the south SS trunk.</p>
PFB 41.	Applicant shall provide sufficient mail box units for the proposed phasing plan; applicant shall construct mail kiosk at locations coordinated with City staff and the Wilsonville U.S. Postmaster.
PFB 42.	All construction traffic shall access the site via Grahams Ferry Road to Barber Street to Costa Circle or via Tooze Road to Villebois Drive N. No construction traffic will be allowed on Brown Road or Barber Street east of Costa Circle West, or on other residential roads.
PFB 43.	SAP Central PDP 6 consists of 31 lots. All construction work in association with the Public Works Permit and Project Corrections List shall be completed prior to the City Building Division issuing a certificate of occupancy, or a building permit for the housing unit(s) in excess of 50% of total (16 th lot).

PFB 44. The initial approval of SAP Central consisted of 9 single family units, 500 townhome/condo units, and 501 apartment units for a total of 1,010 residential units, along with 20,000 sq. ft. of commercial space. Based on assumed trip generation rates, these land uses were estimated to generate 616 p.m. peak hour trips.

Previous changes to housing types in SAP Central created a land use that included 49 single family units, 459 townhome/condo units, and 501 apartment units for a total of 1,009 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 659 p.m. peak hour trips. This is 43 p.m. peak hour trips above what was initially approved for SAP Central.

The currently proposed land use includes 74 single family units, 392 townhome/condo units, and 533 apartment units for a total of 999 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 670 p.m. peak hour trips. This is 11 P.M. peak hour trips above what was previously expected and 54 p.m. peak hour trips above what was initially approved for SAP Central.

Many of the changes from townhome/condo units to single family units occur with this proposed development. The applicant may be required to pay Street SDC fees for these additional 11 PM Peak Hour Trips, unless applicant can show evidence of other arrangements with the City having been made.

<u>Natural Resources Conditions:</u>	
Rainwater Management:	
NR 1.	All rainwater management components and associated infrastructure located in public areas shall be designed to the Public Works Standards.
NR 2.	All rainwater management components in private areas shall comply with the plumbing code.
NR 3.	Pursuant to the City of Wilsonville Public Works Standards, access shall be provided to all areas of the proposed rainwater management components. At a minimum, at least one access shall be provided for maintenance and inspection.
NR 4.	Plantings in rainwater management components located in public areas shall comply with the Public Works Standards.
NR 5.	Plantings in rainwater management components located in private areas shall comply with the Plant List in the Rainwater Management Program or Community Elements Plan.
NR 6.	The rainwater management components shall comply with the requirements of the Oregon DEQ UIC (Underground Injection Control) Program.
Other:	
NR 7.	The applicant shall comply with all applicable state and federal requirements for the proposed construction activities and proposed facilities (e.g., DEQ NPDES #1200-CN permit).

REQUEST C: ZONE MAP AMENDMENT (DB15-0013)

On the basis of findings C1 through C12, this action approves the Zone Map Amendment from Public Facilities (PF) to Village (V), and forwards this recommendation to the City Council with no proposed conditions of approval.

REQUEST D: TENTATIVE SUBDIVISION PLAT (DB15-0014)

PDD 1. Approval of the Tentative Subdivision Plat is contingent upon City Council approval of the Zone Map Amendment from Public Facility (PF) to Village (V).

PDD 2. The Applicant/Owner shall assure that construction and site development shall be carried out in substantial conformance with the Tentative Subdivision Plat as approved by the Development Review Board, as amended by these conditions, except as may be subsequently altered by Board approval, or with minor revisions approved by the Planning Director under a Class I administrative review process.

PDD 3. Alleyways shall remain in private ownership and be maintained by the Homeowner's Association established by the subdivision's Conditions, Covenants, and Restrictions (CC&Rs). The CC&Rs shall be reviewed and approved by the City Attorney prior to recordation.

PDD 4. The Applicant/Owner shall submit subdivision bylaws, covenants, and agreements to the City Attorney prior to recordation.

PDD 5. Prior to approval of the Final Subdivision Re-Plat, the Applicant/Owner shall:

- a. Assure that the parcels shall not be sold or conveyed until such time as the final plat is recorded with Clackamas County.
- b. Submit an application for Final Plat review and approval on the Planning Division Site Development Application and Permit form. In this case, the County Surveyor may require up to three (3) separate final plats to record which would require up to three (3) Final Plat applications to the Planning Division. The Applicants/Owner shall also provide materials for review by the City's Planning Division in accordance with Section 4.220 of City's Development Code. Prepare the Final Plat in substantial accord with the Tentative Partition Plat as approved by the Development Review Board, and as amended by these conditions, except as may be subsequently altered by Board approval, or by minor revisions approved by the Planning Director.
- c. Submit final construction plans, to be reviewed and approved by the Planning Director, the Engineering Division, the Tualatin Valley Fire and Rescue District, Natural Resources Manager, and the City Building Official, prior to the project's construction.
- d. Submit final drawings and construction plans for the water quality/detention facilities and their outfalls for review and approval of the City Engineer, the Natural Resources Manager and the Environmental Services Division.
- e. Supply the City with a performance bond, or other security acceptable to the Community Development Director, for any capital improvement required by

<p>the project.</p> <p>f. Illustrate existing and proposed easements, on the Final Plat.</p> <p>g. Dedicate all rights-of-way and easements necessary to construct all private and public improvements required for the project.</p> <p>h. Provide the City with a recordable instrument guaranteeing the City the right to enter the site and plant, remove, or maintain approved street trees that are located on private property.</p> <p>i. The Final Subdivision Plat shall indicate dimensions of all lots, lot area, minimum lot size, easements, proposed lot and block numbers, and any other information that may be required as a result of the hearing process.</p>

<u>Engineering Division Conditions:</u>	
PFD 1.	Paper copies of all proposed subdivision/partition plats shall be provided to the City for review. Once the subdivision/partition plat is approved, applicant shall have the documents recorded at the appropriate County office. Once recording is completed by the County, the applicant shall be required to provide the City with a 3 mil Mylar copy of the recorded subdivision/partition plat.
PFD 2.	All newly created easements shown on a subdivision or partition plat shall also be accompanied by the City’s appropriate Easement document (on City approved forms) with accompanying survey exhibits that shall be recorded immediately after the subdivision or partition plat.
PFD 3.	Consistent with other development within Villebois Village the applicant shall dedicate full right-of-way full street improvements through the far curb and gutter for the extension of Paris Avenue southwest of the proposed development and the new Collina Lane southeast of the development.

<u>Building Division Conditions:</u>	
None proposed.	

REQUEST E – TYPE ‘C’ TREE PLAN (DB15-0015)

PDE 1.	This approval is for tree removal for trees listed in the Tree Report in Section VB of Exhibit B1 (notebook) and the Tree Removal Plan compliance report in Section VA. Trees shall be replaced at a rate of one (1) tree for each tree removed.
PDE 2.	Replacement trees shall be state Department of Agriculture Nursery Grade No. 1 or better. The permit grantee or the grantee’s successors-in-interest shall cause the replacement trees to be staked, fertilized and mulched, and shall guarantee the trees for two (2) years after the planting date. A “guaranteed” tree that dies or becomes diseased during the two (2) years after planting shall be replaced.
PDE 3.	All trees to be planted shall consist of nursery stock that meets requirements of the

	American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade. Tree shall be approximately two inch (2”) caliper.
PDE 4.	Solvents, building material, construction equipment, soil, or irrigated landscaping, shall not be placed within the drip line of any preserved tree, unless a plan for such construction activity has been approved by the Planning Director or Development Review Board based upon the recommendations of an arborist.
PDE 5.	<p>Before and during development, land clearing, filling or any land alteration the Applicant/Owner shall erect and maintain suitable tree protective barriers which shall include the following:</p> <ul style="list-style-type: none"> • 6’ high fence set at tree drip lines. • Fence materials shall consist of 2 inch mesh chain links secured to a minimum of 1 ½ inch diameter steel or aluminum line posts. • Posts shall be set to a depth of no less than 2 feet in native soil. • Protective barriers shall remain in place until the City authorizes their removal or issues a final certificate of occupancy, whichever occurs first. • Tree protection fences shall be maintained in a full upright position.
PDE 6.	Fence posts placement within drip lines and root zones of preserved trees shall be hand dug and supervised by the project arborist. If roots are encountered alternative fence post placement is required as determined by the project arborist.
PDE 7.	Utilities, including franchise utilities, public utilities, and private utilities and service lines shall be directionally bored as necessary to avoid the root zone of preserved trees. All work within the root zone of preserved trees shall be supervised by and follow the recommendation of the project arborist.

REQUEST F – FINAL DEVELOPMENT PLAN (DB15-0015)

<p>PDF 1. Approval of the Final Development Plan is contingent upon City Council approval of the Zone Map Amendment from Public Facility (PF) to Village (V).</p>
<p>PDF 2. Construction, site development, and landscaping shall be carried out in substantial accord with the plans, drawings, sketches, and other documents approved by the Board, unless altered with Board approval. Minor amendments to the project that are to be conducted by Planning Staff may be processed by the Planning Director through a Class I Administrative Review process.</p>
<p>PDF 3. All roof mounted and ground mounted HVAC equipment shall be inconspicuous and designed to be screened from off-site view. This includes, to the greatest extent possible, private utilities such as natural gas and electricity. The City reserves the right to require further screening of the equipment and utilities if they should be visible from off-site after occupancy is granted. See Finding F42.</p>
<p>PDF 4. All landscaping required and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. “Security” is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City will be returned to the applicant.</p>
<p>PDF 5. All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered as allowed by Wilsonville’s Development Code.</p>
<p>PDF 6. The following requirements for planting of shrubs and ground cover shall be met:</p> <ul style="list-style-type: none">• All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10” to 12” spread.• Shrubs shall reach their designed size for screening within three (3) years of planting.• Ground cover shall be equal to or better than the following depending on the type of plant materials used: gallon containers spaced at 4 feet on center minimum, 4” pot spaced 2 feet on center minimum, 2-1/4” pots spaced at 18 inch on center minimum.• No bare root planting shall be permitted.• Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting.• Appropriate native plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.

PDF 7. Plant materials shall be installed to current industry standards and be properly staked to ensure survival. Plants that die shall be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City.
PDF 8. Prior to issuance of a Building Permit the Applicant/Owner shall submit an irrigation plan to the Building Division. The irrigation plan must be consistent with the requirements of Section 4.176(.07)(C).
PDF 9. All landscaping and fencing on corner lots meet the vision clearance standards of Section 4.177. Clear vision areas must be maintained consistent with Public Works Standards. See Finding D12.

MASTER EXHIBITS LIST:

A. Staff's Written and Graphic Materials:

- A1. Staff Report, including:
 - Findings of Fact
 - Proposed Conditions of Approval
 - Conclusionary Findings
- A2. PowerPoint Presentation

B. Applicant's Written and Graphic Materials:

B1. Notebook entitled Preliminary Development Plan, Tentative Plat, Zone Change, Tree Removal Plan & Final Development Plan, which includes Development Permit Application, preliminary title report, introductory narrative, reduced plans, fee calculation, mailing list, Supporting Compliance Reports in Sections I through VI, utility and drainage reports, traffic analysis, tree report, building elevations and floor plans.

B2. PLAN DRAWINGS (Reduced size and full size):

Plan Sheet No.	Description	Date
Notebook Section IIB:		
1	COVER SHEET	
2	EXISTING CONDITIONS	
3	SITE/LAND USE PLAN	
4	PRELIMINARY PLAT	
5	GRADING & EROSION CONTROL PLAN	
6	COMPOSITE UTILITY PLAN	
7	CIRCULATION PLAN & STREET SECTIONS	
8	TREE PRESERVATION PLAN	
9	SAP CENTRAL PHASING PLAN UPDATE	
L1	STREET TREE PLAN	
Notebook Section IIC:		
SS	Sanitary Sewer United Disposal	
A	Developed Drainage Map	
Figure A.	RAINWATER MANAGEMENT PLAN – SAP Central; dated 2/24/2006	
A2	RAINWATER MANAGEMENT PLAN – PDP-6C; dated 5/6/2015	
Notebook Section IIIB:		
4	Preliminary Plat	
Notebook Section IVB:		
	PROPOSED ZONE MAP AMENDMENT	
Notebook Section VC:		
8	Tree Preservation Plan	

Plan Sheet No.	Description	Date
Notebook Section VIB:		
1	Cover Sheet	
2	Building Site Plan	
L1	Planting Plan	
L2	Planting Details & Notes	
Notebook Section VIC:		
T1	Front Elevation – English Revival 4-Plex	
T2	Color Legend and Side Elevation – English Revival 4-Plex	
T3	Rear Elevation – English Revival 4-Plex	
T4	Floor Plans – English Revival 4-Plex	
T5	Front Elevation – French Revival 4-Plex	
T6	Side Elevation and Color Legend – French Revival 4-Plex	
T7	Rear Elevation – French Revival 4-Plex	
T8	Floor Plans – French Revival 4-Plex	
T9	Front Elevation – English Revival 5-Plex	
T10	Rear Elevation – English Revival 5-Plex	
T11	Floor Plans – English Revival 5-Plex	
T12	Front Elevation – French Revival 5-Plex	
T13	Rear Elevation – French Revival 5-Plex	
T14	Floor Plans – French Revival 5-Plex	

C. Development Review Team Correspondence:

- C1. E-mail and Memo from Steve Adams, Development Engineering Manager, dated 6/24/2015
- C2. E-mail from Steve Adams, Development Engineering Manager; dated 6/25/2015
- C3. Memo from Kerry Rappold, Natural Resources Program Manager; dated 6/19/2015
- C4. Memo from Don Walters, Plans Examiner; Building Division; dated 6/2/2015.
- C5. E-mail and attachment from Public Works Department; dated 6/18/2015.

D. Staff Materials:

- D1. Vicinity Map
- D2. Tax Map
- D3. Tax Map (enlarged portion)

E. General Correspondence:

- E1. Letters (Neither For Nor Against): None submitted
- E2. Letters (In Favor): None submitted
- E3. Letters (Opposed): None submitted

GENERAL INFORMATION

Section 4.008 Application Procedures-In General: This section lists general application procedures applicable to a number of types of land use applications and also lists unique features of Wilsonville's development review process.

The application is being processed in accordance with the applicable general procedures of this section. These criteria are met.

Section 4.009 Who May Initiate Application: Except for a Specific Area Plan (SAP), applications involving specific sites may be filed only by the owner of the subject property, by a unit of government that is in the process of acquiring the property, or by an agent who has been authorized by the owner, in writing, to apply.

Signed application forms have been submitted for the subject property owner, RCS - Villebois Development, LLC. This criterion is satisfied.

Subsection 4.010 (.02) Pre-Application Conference:

A pre-application conference was held on March 19, 2015, in accordance with this subsection. These criteria are satisfied.

Subsection 4.011 (.02) B. Lien Payment before Application Approval: City Council Resolution No. 796 precludes the approval of any development application without the prior payment of all applicable City liens for the subject property. Applicants shall be encouraged to contact the City Finance Department to verify that there are no outstanding liens. If the Planning Director is advised of outstanding liens while an application is under consideration, the Director shall advise the applicant that payments must be made current or the existence of liens will necessitate denial of the application.

No applicable liens exist for the subject property. The application can thus move forward. This criterion is satisfied.

Subsection 4.035(.04)(A) General Site Development Permit Submission Requirements: An application for a Site Development Permit shall consist of the materials specified as follows, plus any other materials required by this Code." Listed: 1. through 6. j.

The applicant has provided all of the applicable general submission requirements contained in this subsection. These criteria are satisfied.

Section 4.110 Zoning-Generally: The use of any building or premises or the construction of any development shall be in conformity with the regulations set forth in this Code for each Zoning District in which it is located, except as provided in Sections 4.189 through 4.192. The general development regulations listed in Sections 4.154 through 4.199 shall apply to all zones unless the text indicates otherwise.

This proposed development is in conformity with the Village (V) zoning district, Section 4.125, and the general development regulations listed in Sections 4.154 through 4.199 have been applied in accordance with this Section. These criteria are satisfied.

FINDINGS OF FACT

1. The statutory 120-day time limit applies to this application. The application was received on March 25, 2015. On April 24, 2015, staff conducted a completeness review within the statutorily allowed 30-day review period. The applicant submitted additional material on several dates, ending with May 8, 2015. The application was deemed complete on May 21, 2015. The City must render a final decision for the request, including any appeals, by September 18, 2015.

2. Prior SAP-Central land use actions include:
Villebois Village Ordinances, and Resolutions

Legislative:

02PC06	Villebois Village Concept Plan
02PC07A	Villebois Comprehensive Plan Text
02PC07C	Villebois Comprehensive Plan Map
02PC07B	Villebois Village Master Plan
02PC08	Village Zone Text
04PC02	Adopted Villebois Village Master Plan
LP-2005-02-00006	Revised Villebois Village Master Plan
LP-2005-12-00012	Revised Villebois Village Master Plan (Parks and Recreation)

Quasi Judicial:

DB06-0005:

- Specific Area Plan (SAP) – Central.
- Village Center Architectural Standards.
- SAP-Central Architectural Pattern Book.
- Master Signage and Wayfinding Plan.
- Community Elements Book Rainwater Management Program and Plan

DB06-0012: Tentative Subdivision Plat (Large Lot¹)

LP09-0003: Zone text amendment to allow for detached row houses.

DB09-0037 & 0038: Modification to the Village Center Architectural Standards (VCAS) to change/add provisions for detached row houses.

3. The applicant has complied with Sections 4.013-4.031 of the Wilsonville Code, said sections pertaining to review procedures and submittal requirements. The required public notices have been sent and all proper notification procedures have been satisfied.

¹ Lot No. 83 of Villebois Village Center No. 3 subdivision

CONCLUSIONARY FINDINGS

The Applicant's compliance findings to the applicable land development criteria and Comprehensive Plan goals, policies and implementation measures are found in Exhibit B1 and are hereby incorporated into this staff report as findings for approval.

REQUEST A: REFINEMENTS

The applicant's findings on pages 19 through 24 of Section IIA of their notebook, Exhibit B1, respond to the majority of the applicable criteria regarding refinements to use. The applicant's findings in Section IIC of their notebook, Exhibit B1, respond to the majority of the applicable criteria regarding refinements to the Rainwater Management Plan.

Refinements Generally

Subsection 4.125 (.18)(J)(1) Refinement Process

“In the process of reviewing a PDP for consistency with the approved Specific Area Plan, the DRB may approve refinements, but not amendments, to the SAP. Refinements to the SAP may be approved by the Development Review Board, upon the applicant's detailed graphic demonstration of compliance with the criteria set forth in Section (.18)(J)(2), below.”

- A1. The applicant is requesting two (2) refinements, as listed below. The applicant has provided narrative and plan sheets showing sufficient information to demonstrate compliance with the applicable criteria. As can be seen in the findings below, the criteria set forth in Subsection 4.125(.18)(J)(2) are satisfied for each requested refinement.

Refinement Request: Location and Mix of Land Uses

Subsection 4.125 (.18) J. 1. a. iv. SAP Refinements: Location and Mix of Land Uses

Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the Preliminary Development Plan. For purposes of this subsection, “land uses” or “uses” are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.

- A2. The changes to the location and mix of land uses are illustrated in the following table. Overall, as shown in the findings below, the changes do not significantly alter the distribution or availability of uses in PDP-6C. These criteria are satisfied.

Description of Block (bounded by:)	SAP Plan	Proposed PDP-6C Plan
SW Costa Circle West	8 – 12 Row Houses	14 Row Houses
SW Paris Avenue	24 – 36 Village Apartments	5 Row Houses
SW Orleans Avenue	As Above	0 Row Houses
SW Collina Lane	As Above	8 Row Houses
Alley	As Above	4 Row Houses (fronting Orleans)
Totals	8 – 12 Row Houses, plus 24 - 36 Village Apartments = 32 – 48 dwelling units	31 Row Houses

Subsection 4.125 (.18) J. 1. b. i. Defining “Significant” for SAP Refinements: Quantifiable

As used herein, “significant” means: More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above.”

A3. For the purpose of this refinement the quantifiable requirement is the number of lots/units under an aggregated land use category on the SAP level. The first land use category includes village apartments, row houses and small detached uses. The second land use category includes medium detached, standard detached, and large and estate single-family uses. The table below shows the proposed changes affect the SAP Central Land Use Mix. Proposed is a 0.89 percent decrease in the smaller and attached land use category. Both of these are well within the ten percent allowance. These criteria are satisfied.

	SAP Central Unit Count within VVMP	Proposed SAP Central Unit Count	% Change
Medium/Standard/Large/Estate	0	0	0
Small Detached/Row Homes/Village Apts.	1,008	999	-0.89
TOTAL	1,008	999	-0.89

Subsection 4.125 (.18) J. 1. b. ii. Defining “Significant” for SAP Refinements: Qualitative

“As used herein, ‘significant’ means: That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.”

A4. This subsection does not provide clear definition of what an important qualitative feature might be. Absent details in this subsection, staff interprets the primary qualitative factors to consider being the three guiding design principles of the Villebois Village Master Plan: Connectivity, Diversity, and Sustainability. The three guiding design principles are further defined by the goals, policies, and implementation measures of the Master Plan. By virtue of better or equally implementing the goals, policies, and implementation measures of the Villebois Village Master Plan, as described in Finding A5, below, the

proposed refinements do not negatively affect qualitative features for location and mix of land uses. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. a. SAP Refinement Review Criteria: Better or Equally Implementing Villebois Village Master Plan

The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

The following are the relevant goals and policies from the Villebois Village Master Plan followed by discussion of how the refinements better or equally meet them:

Land Use Policy 1: The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.

Land Use Policy 2: Future development applications within the Villebois Village area shall provide land uses and other major components of the Plan such as roadways and parks and open space in general compliance with their configuration as illustrated on Figure 1 – Land Use Plan or as refined by Specific Area Plans.

Residential Neighborhood Housing Goal: The Villebois Village shall provide neighborhoods consisting of a mix of homes for sale, apartments for rent, row homes, and single-family homes on a variety of lot sizes, as well as providing housing for individuals with special needs. The Villebois Village shall provide housing choices for people of a wide range of economic levels and stages of life through diversity in product type.

Residential Neighborhood Housing Policy 1: Each of the Villebois Village’s neighborhoods shall include a wide variety of housing options and shall provide home ownership options ranging from affordable housing to estate lots.

Residential Neighborhood Housing Policy 5: The Villebois Village shall provide a mix of housing types within each neighborhood and on each street to the greatest extent practicable.

Residential Neighborhood Housing Policy 10: Natural features shall be incorporated into the design of each neighborhood to maximize their aesthetic character while minimizing impacts to said natural features.

- A5.** The proposed refinements will better integrate green spaces throughout PDP-6C and expand the range of housing options in the subject area. As the proposed refinements will not compromise the project’s ability to comply with all other Goals, Policies and Implementation Measures of the Villebois Village Master Plan, they will equally meet all other Goals, Policies and Implementation Measures of the Villebois Village Master Plan. See the applicant’s more detailed response on pages 19 - 24 of the compliance report in Section IIA of the applicant’s notebook, Exhibit B1. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. b. SAP Refinement Review Criteria: Impact on Natural and Scenic Resources

The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area.

- A6.** The proposed refinements add 0.15 acres of green space, having a positive impact on the natural and scenic resources and amenities in the development. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. c. SAP Refinement Review Criteria: Effect on Subsequent PDPs and SAPs

The refinement will not preclude an adjoining or subsequent PDP or SAP areas from development consistent with the approved SAP or the Master Plan.

- A7.** The proposed refinements will not preclude any other SAPs or PDPs from developing consistent with the approved SAP or the Master Plan. These criteria are satisfied.

Refinement Request: Rainwater Management Plan Modification

Subsection 4.125 (.18) J. 1. a. iii. SAP Refinements: Storm Water Facilities

Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.

- A8.** The proposed refinement reduces the number of storm water facilities, but continues to comply with the requirements of the Rainwater Management Plan approved for SAP Central. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. a. SAP Refinement Review Criteria: Better or Equally Implementing Villebois Village Master Plan

The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

- A9.** The change in the number of storm water facilities results in treatment of at the level approved for SAP Central. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. b. SAP Refinement Review Criteria: Impact on Natural and Scenic Resources

The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area.

- A10.** The proposed reduction in the number of storm water facilities does not create an impact that can be seen being detrimental to any of the resources mentioned in this subsection. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. c. SAP Refinement Review Criteria: Effect on Subsequent PDPs and SAPs

The refinement will not preclude an adjoining or subsequent PDP or SAP areas from development consistent with the approved SAP or the Master Plan.

- A11.** The proposed reduction in the number of storm water facilities does not affect any adjoining PDPs or SAPs.

REQUEST B: SAP-CENTRAL, PRELIMINARY DEVELOPMENT PLAN 6C
--

Village Zone

Subsection 4.125 (.02) Permitted Uses in Village Zone. This subsection lists the uses typically permitted in the Village Zone, including single-family detached dwellings, row houses, and non-commercial parks, playgrounds, and recreational facilities.

- B1.** Proposed are 31 row houses in seven (7) buildings. Request A of this application includes two (2) SAP refinements, which were reviewed above. This criterion is satisfied.

Subsection 4.125 (.05) Development Standards Applying to All Development in the Village Zone

“All development in this zone shall be subject to the V Zone and the applicable provisions of the Wilsonville Planning and Land Development Ordinance. If there is a conflict, then the standards of this section shall apply. The following standards shall apply to all development in the V zone:”

Subsection 4.125 (.05) A. Block, Alley, Pedestrian, and Bicycle Standards This subsection lists the block, alley, pedestrian, and bicycle standards applicable in the Village Zone.

- B2.** The proposed Preliminary Development Plan drawings, Plan Sheets 1 through 8 and L1 show existing blocks, alleys, pedestrian, and bicycle paths consistent with this subsection and SAP Central. These criteria are satisfied.

Subsection 4.125 (.05) B. Access

- B3.** All the proposed lots shown in the proposed Tentative Subdivision Plat in Request D have access to an alley and each will take vehicular access from the alley to a garage. This criterion is satisfied.

- B4.** Table V-1, Development Standards: These criteria will be reviewed at the time row house building plans are submitted for building permits.

Subsection 4.125 (.07) Table V-2 Off-Street Parking, Loading & Bicycle Parking

- B5.** One (1) parking space is provided for each row house unit, meeting the minimum of one (1) space per dwelling. This criterion is satisfied.

Subsection 4.125 (.08) Parks & Open Space This subsection prescribes the open space requirement for development in the Village Zone.

B6. Figure 5, Parks & Open Space Plan of the Villebois Village Master Plan, states that there are a total of 159.73 acres within Villebois, which is approximately 33% of Villebois. These criteria are satisfied.

Subsection 4.125 (.09) Street Alignment and Access Improvements

Subsection 4.125 (.09) A. 1. a. Street Alignment and Access Improvements Conformity with Master Plan, etc. “All street alignment and access improvements shall conform to the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan . . .”

B7. Proposed, existing streets and access improvements conform to SAP Central which has been found to be in compliance with the Villebois Village Master Plan. This criterion is satisfied.

Subsection 4.125 (.09) A. 1. a. i. Street Improvement: Conformity with Public Works Standards and Continuation of Streets. “All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.”

B8. The proposed street improvements within this PDP must comply with the applicable Public Works Standards and make the connections to adjoining properties and phases as shown in the Villebois Village Master Plan. These criteria are satisfied.

Subsection 4.125 (.09) A. 1. a. ii. Streets Developed According to Master Plan. “All streets shall be developed according to the Master Plan.”

B9. All the streets proposed within this PDP that are adjacent to the subject property will have curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways, which are consistent with the cross sections shown in the Master Plan. This criterion is satisfied.

Subsection 4.125 (.09) A. 6. Access Drives. Access drives are required to be 16 feet for two-way traffic. Otherwise, pursuant to subsection (.09) A. above, the provisions of 4.177 applies for access drives as no other provisions are noted.

B10. Proposed are alleys to be paved at least 16-feet in width within a 20-foot tract. In accordance with Section 4.177, all access drives will be hard surface capable of carrying a 23-ton load. Easements for fire access are dedicated as required by Tualatin Valley Fire & Rescue (TVF&R). All access drives will be built to provide a clear travel lane free from any obstructions. These criteria are satisfied.

Subsection 4.125 (.11) Landscaping, Screening and Buffering. : “Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:

- Streets in the Village Zone shall be developed with street trees as described in the Community Elements Book.”

B11. Plan Sheets L1 and L2 of Section VIC of Exhibit B1 are the proposed Landscape Plans for the project. Landscaping is reviewed in detail in Request F of this staff report.

Subsection 4.125 (.13) Design Principles Applying to the Village Zone

B12. The Village Center Architectural Standards (VCAS) and Community Elements Book ensure site designs meets the fundamental design concepts and support the objectives of the Villebois Village Master Plan. An FDP application for the proposed architecture and landscape plans are reviewed in detail in Request F of this staff report.

Subsection 4.125 (.14) A. 2. g. Landscape Plans

B13. See Finding B11, above.

Subsection 4.125 (.14) A. 2. f. Protection of Significant Trees

B14. Fifteen trees measuring 6-inches and larger in diameter would be removed to accommodate row house buildings of the proposed development. Two (2) trees (i.e., Atlas Cedar and Tulip tree) are proposed to be retained. See Plan Sheet 8 of Section VC of Exhibit B1. The Arborist Report is found in Section VB of Exhibit B1. A Type ‘C’ Tree plan is reviewed in detail in Request E of this staff report.

Subsection 4.125 (.14) A. 3. Lighting and Site Furnishings.

B15. Landscape plans show furnishings consistent with the Community Elements Book. A condition of approval ensures the final street lighting installation is consistent with the Community Elements Book. This criterion is satisfied or will be required to do so by Condition of Approval PDB 2.

Subsection 4.125 (.18) G. Preliminary Development Plan Approval Process

Subsection 4.125 (.18) G. 1. a. Preliminary Development Plan: Submission Timing. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall be filed with the City Planning Division for the entire SAP, or when submission of the SAP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.”

B16. This application responds to the approved sequencing of PDP-6C per the revised SAP Central Phasing Plan (DB15-0001 et seq). This criterion is satisfied.

Subsection 4.125 (.18) G. 1. b. Preliminary Development Plan: Owners’ Consent. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall be made by the owner of all affected property or the owner’s authorized agent;”

B17. This application was submitted by RCS - Villebois Development, LLC. The PDP application has been signed by the property owners. This criterion is satisfied.

Subsection 4.125 (.18) G. 1. c. Preliminary Development Plan Permit Process: Proper Form & Fees: “An application for approval of a Preliminary Development Plan for a development in an approved

SAP shall be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution;”

B18. The applicant has used the prescribed form and paid the required application fees. These criteria are satisfied.

Subsection 4.125 (.18) G. 1. d. Preliminary Development Plan Permit Process: Professional Coordinator. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall set forth the professional coordinator and professional design team for the project;”

B19. A professional design team is working on the project with Stacy Connery AICP from Pacific Community Design as the professional coordinator. This criterion is satisfied.

Subsection 4.125 (.18) G. 1. e. Preliminary Development Plan Permit Process: Mixed Uses. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall state whether the development will include mixed land uses, and if so, what uses and in what proportions and locations.”

B20. The proposed PDP includes only residential uses with supporting landscape amenities and utilities. This criterion is satisfied.

Subsection 4.125 (.18) G. 1. f. Preliminary Development Plan Permit Process: Land Division. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall include a preliminary land division (concurrently) per Section 4.400, as applicable.”

B21. A Tentative Subdivision Plat has been submitted concurrently with this request. See Request C. This criterion is satisfied.

Subsection 4.125 (.18) G. 2. a. – c. Preliminary Development Plan Permit Process: Information Required

B22. All of the listed information has been provided. See Exhibit B1. These criteria are satisfied.

Subsection 4.125 (.18) G. 2. d. Preliminary Development Plan Permit Process: Land Area Tabulation. “A tabulation of the land area to be devoted to various uses, and a calculation of the average residential density per net acre.”

B23. Following is a tabulation of land area devoted to the various uses and a calculation of net residential density:

<u>Description</u>	<u>Approx. Gross Acreage</u>
PDP-6C, Parks and Open Space	0.15 Acres
PDP-6C, Public Streets	0.31 Acres
PDP-6C, Lots and Alleys	1.06 Acres
Total	1.52 Acres

Net Residential Density: 31 lots / 1.21 Acres = 25.6 units per net acre.

These criteria are satisfied.

Subsection 4.125 (.18) G. 2. e. Preliminary Development Plan Permit Process: Streets, Alleys, and Trees. “The location, dimensions and names, as appropriate, of existing and platted streets and alleys on and within 50 feet of the perimeter of the PDP, together with the location of existing and planned easements, sidewalks, bike routes and bikeways, trails, and the location of other important features such as section lines, section corners, and City boundary lines. The plan shall also identify all trees 6 inches and greater d.b.h. on the project site only.”

B24. The information on the proposed alleys and streets are provided on Plan Sheet 7 of Section IIB of Exhibit B1. Easements, sidewalks, bike routes and bikeways, trails, and other relevant features are shown. Proposed street trees are shown on Plan Sheet L1 of Section IIB. These criteria are satisfied.

Subsection 4.125 (.18) G. 2. f. Preliminary Development Plan Permit Process: Building Drawings. “Conceptual drawings, illustrations and building elevations for each of the listed housing products and typical non-residential and mixed-use buildings to be constructed within the Preliminary Development Plan boundary, as identified in the approved SAP, and where required, the approved Village Center Design.”

B25. The proposed PDP includes 31 row houses in seven (7) buildings. Building elevations have been provided, which are found in Section VIC of the applicant’s submitted notebook, Exhibit B1. The proposed row house building elevations are reviewed in the Final Development Plan, Request F of this staff report.

Subsection 4.125 (.18) G. 2. g. Preliminary Development Plan Permit Process: Utility Plan. “A composite utility plan illustrating existing and proposed water, sanitary sewer, and storm drainage facilities necessary to serve the SAP.”

B26. A composite utility plan has been provided. See applicant’s Plan Sheet 6. This criterion is satisfied.

Subsection 4.125 (.18) G. 2. j. Preliminary Development Plan Permit Process: Traffic Report. “At the applicant’s expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the SAP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with build-out of the entire SAP, and it shall meet Subsection 4.140(.09)(J)(2).”

B27. The DKS Traffic Analysis Report has been reviewed and approved by the City Development Engineering Manager, finding that the proposed road network, the maximum projected average daily trips and the maximum parking demand associated with build-out of this PDP meets the above criterion and Subsection 4.140(.09)(J)(2).

Subsection 4.125 (.18) H. PDP Application Submittal Requirements

Subsection 4.125 (.18) H. 1. PDP Application Submittal Requirements: General

B28. The proposed PDP with the proposed refinements in Request A includes all of the requested information. These criteria are satisfied.

Subsection 4.125 (.18) H. 2. PDP Application Submittal Requirements: Traffic Report

B29. See Finding B27, above. This criterion is satisfied.

Subsection 4.125 (.18) H. 3. PDP Application Submittal Requirements: Level of Detail. “The Preliminary Development Plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the phase of development. However, approval of a Final Development Plan is a separate and more detailed review of proposed design features, subject to the standards of Section 4.125(.18)(L) through (P), and Section 4.400 through Section 4.450.”

B30. The required level of detail has been shown, similar to other PDPs approved throughout Villebois. This criterion is satisfied.

Subsection 4.125 (.18) H. 4. PDP Application Submittal Requirements: Copies of Legal Documents. “Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner’s association, shall also be submitted.”

B31. The required legal documents for review have been provided. See Section IIIC in the applicant’s notebook, Exhibit B1. This criterion is satisfied.

Subsection 4.125 (.18) I. PDP Approval Procedures.

“An application for PDP approval shall be reviewed using the following procedures:

- Notice of a public hearing before the Development Review Board regarding a proposed PDP shall be made in accordance with the procedures contained in Section 4.012.
- A public hearing shall be held on each such application as provided in Section 4.013.
- After such hearing, the Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.”

B32. This request is being reviewed according to this subsection. These criteria are satisfied.

Subsection 4.125 (.18) K. PDP Approval Criteria

Subsection 4.125 (.18) K. 1. a. PDP Approval Criteria: Consistent with Standards of Section 4.125

B33. As shown elsewhere in this request, the proposed Preliminary Development Plan is consistent with the standards of Section 4.125. These criteria are satisfied.

Subsection 4.125 (.18) K. 1. b. PDP Approval Criteria: Complies with the Planning and Land Development Ordinance. “Complies with the applicable standards of the Planning and Land Development Ordinance, including Section 4.140(.09)(J)(1)-(3).”

B34. Findings are provided, showing compliance with applicable standards of the Planning and Land Development Ordinance. Specifically, findings have been submitted addressing Subsections 4.140(.09) J. 1 through 3. This criterion is satisfied.

Subsection 4.125 (.18) K. 1. c. PDP Approval Criteria: Consistent with Approved SAP. “Is consistent with the approved Specific Area Plan in which it is located.”

B35. The requested PDP is consistent with SAP Central, as requested to be refined. This criterion is satisfied.

Subsection 4.125 (.18) K. 1. d. PDP Approval Criteria: Consistent with Approved Pattern Book. “Is consistent with the approved Pattern Book and, where required, the approved Village Center Architectural Standards.”

B36. Seven (7) buildings are proposed with this Preliminary Development Plan. Review of the architecture of the proposed row houses is performed in the Final Development Plan application, Request F of this report, and will document compliance with the Village Center Architectural Standards (VCAS). The proposed lots are sized to accommodate proposed row house buildings in a manner consistent with the VCAS.

Subsection 4.125 (.18) K. 2. PDP Approval Criteria: Reasonable Phasing Schedule. : “If the PDP is to be phased, that the phasing schedule is reasonable and does not exceed two years between commencement of development of the first, and completion of the last phase, unless otherwise authorized by the Development Review Board.”

B37. The proposed PDP will be completed in one phase. This criterion is satisfied.

Subsection 4.125 (.18) K. 3. PDP Approval Criteria: Parks Concurrency. “Parks within each PDP or PDP Phase shall be constructed prior to occupancy of 50% of the dwelling units in the PDP or PDP phase, unless weather or other special circumstances prohibit completion, in which case bonding for such improvements shall be permitted.”

B38. In the Central SAP, parks shall be constructed within each PDP, or that pro rata portion of the estimated cost of Central SAP parks not within the PDP, calculated on a dwelling unit basis, shall be bonded or otherwise secured to the satisfaction of the City. While there are no parks proposed within the proposed development, Condition of Approval PDB 3 will ensure the required the parks within SAP Central are completed prior to occupancy of 50% of the housing units of this phase (PDP-6C), or bonding will be provided if special circumstances prevent completion. Specifically, park improvements within SAP Central must be completed prior to the granting of the building permit for the 16th dwelling unit.

Subsection 4.125 (.18) K. 5. PDP Approval Criteria: DRB Conditions. “The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.”

B39. No additional conditions of approval are recommended. This criterion is satisfied.

Subsection 4.140 (.09) J. Planned Development Permit Review Criteria

“A planned development permit may be granted by the Development Review Board only if it is found that the development conforms to all the following criteria, as well as to the Planned Development Regulations in Section 4.140:”

Subsection 4.140 (.09) J. 1. Consistency with Comprehensive Plan and Other Plans, Ordinances. “The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.”

B40. The applicant’s findings demonstrate the location, design, size, and uses proposed with the proposed PDP are both separately and as a whole consistent with SAP Central as proposed to be amended and thus the Villebois Village Master Plan, the City’s Comprehensive Plan designation of Residential – Village for the area, and any other applicable ordinance of which staff is aware. These criteria are satisfied.

Subsection 4.140 (.09) J. 2. Meeting Traffic Level of Service D. “That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City’s adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.”

B41. See Finding B27, above. These criteria are satisfied.

Subsection 4.140 (.09) J. 3. Concurrency for Other Facilities and Services. “That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.”

B42. As shown on the Composite Utility Plan, Plan Sheet 6, existing or immediately planned facilities and services are sufficient to serve the planned row house development. These criteria are satisfied.

Section 4.178 Sidewalk and Pathway Standards.

- **Sidewalks.** All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.
- **Bicycle facilities** shall be provided using a bicycle lane as the preferred facility design. The other facility designs listed will only be used if the bike lane standard cannot be constructed due to physical or financial constraints. The alternative standards are listed in order of preference.
- **Bike lane.** This design includes 12-foot minimum travel lanes for autos and paved shoulders, 5-6 feet wide for bikes that are striped and marked as bicycle lanes. This shall be the basic standard applied to bike lanes on all arterial and collector streets in the City, with the exception of minor residential collectors with less than 1,500 (existing or anticipated) vehicle trips per day.”

B43. The proposed PDP matches the SAP Central approval, in this regard. These criteria are satisfied.

REQUEST C
ZONE MAP AMENDMENT

This request is for approval of a Zone Map Amendment from the Public Facility zone to the Village (V) zone for 1.52 acres involving Lot No. 83 of Villebois Village Center No. 3 subdivision. Because the service levels vary throughout the City, the zoning process allows for a case-by-case analysis of the availability of public facilities and services and to determine specific conditions related to needed public facilities improvements. All land development proposals are reviewed for conformity with the Comprehensive Plan and specific standards set forth in the zoning ordinance.

As set forth in Subsection 4.197(.02) of the Wilsonville Code, in recommending approval or denial of a proposed zone map amendment, the Board must at a minimum, adopt findings addressing Criteria A-G, below.

Criterion ‘A’

“That the application before the Commission or Board was submitted in accordance with the procedures set forth in Section 4.008 or, in the case of a Planned Development, Section 4.140.”

C1. The applicant has provided findings in Exhibit B1 addressing the Zone Map Amendment criteria, which are included in this staff report as findings for approval. Approval of the proposed Zoning Map Amendment is contingent on approval by the City Council by a City Ordinance.

Criterion ‘B’

“That the proposed amendment is consistent with the Comprehensive Plan map designation and substantially complies with the applicable goals, policies and objectives, set forth in the Comprehensive Plan text.”

Proposed Comprehensive Plan Designation: Village

C2. The subject site is currently zoned Public Facility (PF). The applicant proposes to change the Public facility (PF) Zone to the Village (V) zone on 1.52 acres, including the adjacent public streets. On the basis of Section 4.125 the applicant is seeking the appropriate V zone based on the ‘Village’ Comprehensive Plan Map designation.

C3. The proposed Comprehensive Plan Map designation is ‘Village’. The gross site area is 1.52 acres. The proposed Preliminary Development Plan is reviewed in Request B of this staff report.

C4. The applicant’s zone change proposal would enable the development of the proposed row houses, which are located in the center of Villebois Village. The applicant’s response findings in Exhibit B1 speak to providing residential development in the City, meeting these measures.

Area of Special Concern

C5. The subject property is not located in an area of special concern by the Comprehensive Plan.

Criterion ‘D’ – Public Facilities: “That the existing primary public facilities, i.e., roads and sidewalks, water, sewer and storm sewer are available and are of adequate size to serve the proposed development; or, that adequate facilities can be provided in conjunction with project development. The Planning Commission and Development Review Board shall utilize any and all means to insure that all primary facilities are available and are adequately sized.”

C6. The Development Engineering Manager recommended Public Facility (PF) conditions which impose further performance upon the Preliminary Development Plan application, and requires the applicant to provide adequate water and storm sewer infrastructure to serve the subject property. As currently configured, the subject property with the proposed PF conditions of approval will satisfy all design requirements regarding needed infrastructure improvements.

Criterion ‘E’ – Significant Resource Overlay Zone: “That the proposed development does not have a significant adverse effect upon Significant Resource Overlay Zone areas, an identified natural hazard, or an identified geologic hazard. When Significant Resource Overlay Zone areas or natural hazard, and/or geologic hazard are located on or abut the proposed development, the Planning Commission or Development Review Board shall use appropriate measures to mitigate and significantly reduce conflicts between the development and identified hazard or Significant Resource Overlay Zone.”

C7. The subject property is not designated as being within the Significant Resource Overlay Zone (SROZ).

Criterion ‘F’ “That the applicant is committed to a development schedule demonstrating that development of the property is reasonably expected to commence within two (2) years of the initial approval of the zone change.”

C8. The applicant’s submittal documents indicate the intent to develop the subject property soon after final approvals are obtained from the City within years 2015 – 2016, meeting code.

Criterion ‘G’ “That the proposed development and use(s) can be developed in compliance with the applicable development standards or appropriate conditions are attached that insure that the project development substantially conforms to the applicable development standards.”

C9. The applicant’s proposal, together with the Preliminary Development Plan conditions of approval will bring it into compliance with all applicable development standards.

Subsection 4.197(.03) provides that “If affirmative findings cannot be made for all applicable criteria listed above the Planning Commission or Development Review Board shall recommend that the proposed text or map amendment, as the case may be, be denied.”

C10. The applicant has made affirmative findings in Exhibit B1 to Subsection 4.197(.02)(A)-(G), meeting Subsection 4.197(.03).

Subsection 4.197(.04) stipulates that the “City Council action approving a change in zoning shall be in the form of a Zoning Order.”

C11. Staff recommends approval of the proposed Zone Map Amendment with no conditions of approval being proposed. A City Council Zoning Order and Ordinance regarding the proposed Zone Map Amendment is required subsequent to contingent approval of the requested companion applications.

Subsection 4.197(.05) provides “In cases where a property owner or other applicant has requested a change in zoning and the City Council has approved the change subject to conditions, the owner or applicant shall sign a statement accepting, and agreeing to complete the conditions of approval before the zoning shall be changed.”

C12. Staff recommends adoption of these findings to the Development Review Board in review of the application to modify the Zone Map designation from PF to V. Upon recommendation of approval by the Board, these will be forwarded to the City Council for final action.

REQUEST D: TENTATIVE SUBDIVISION PLAT

The applicant’s findings in Section III of their notebook, Exhibit B1, respond to the majority of the applicable criteria.

Subsection 4.125 (.02) Permitted Uses in the Village Zone. This subsection lists the permitted uses in the Village Zone.

D1. The proposed Tentative Subdivision Plat is for uses including row houses which are permitted in the Village Zone. These criteria are satisfied.

**Subsection 4.125 (.05) Development Standards Applying to All Development in Village Zone
Subsection 4.125 (.05) A. Block, Alley, Pedestrian, and Bicycle Standards. This subsection lists the block, alley, pedestrian, and bicycle standards applicable in the Village Zone.**

D2. The proposed Tentative Subdivision Plat shows blocks, alleys, pedestrian, and bicycle paths consistent with this subsection and the proposed PDP. These criteria are satisfied.

Subsection 4.125 (.05) B. Access Standards “All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.”

D3. The proposed row houses are designed with garage access at alleys so there is no need for a reservation strip on the street side of lots.

Table V-1: Development Standards in the Village Zone. This table shows the development standards, including setback for different uses in the Village Zone.

D4. The proposed lots facilitate row house construction that meets relevant standards of the Table V1. These criteria are satisfied.

Subsection 4.125 (.07) Off-Street Parking, Loading and Bicycle Parking. “Except as required by Subsections (A) through (D), below, the requirements of Section 4.155 shall apply within the Village zone.”

D5. Nothing concerning the proposed Tentative Subdivision Plat would prevent the required parking from being built. These criteria are satisfied.

Subsection 4.125 (.08) Open Space Requirements. This subsection establishes the open space requirements for the Village Zone.

D6. The proposed Tentative Subdivision Plat shows the open space consistent with the requirements of the Village Zone. Consistent with the requirements of Section 4.125(.08)(C), a proposed condition of approval requires the City Attorney to review and approve pertinent bylaws, covenants, or agreements prior to recordation. These criteria are satisfied or will be satisfied by Condition of Approval PDD 4.

Subsection 4.125 (.09) A. 1. Street and Improvement Standards: General Provisions. “Except as noted below, the provisions of Section 4.177 shall apply within the Village zone:

Review Criteria:

- **General Provisions:**
- **All street alignment and access improvements shall conform to Figures 7, 8, 9A, and 9B of the Villebois Village Master Plan, or as refined in an approved Specific Area Plan, Preliminary Development Plan, or Final Development Plan, and the following standards:**
- **All street improvements shall conform to the Public Works Standards and the Transportation Systems Plan, and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.**
- **All streets shall be developed according to the Master Plan.”**

D7. The proposed Tentative Subdivision Plat shows street alignments, improvements, and access improvements consistent with the approved SAP Central, with the Master Plan and Transportation Systems Plan. These criteria are satisfied.

Subsection 4.125 (.09) A. 2. Street and Improvement Standards: Intersection of Streets

Review Criteria:

“Intersections of streets:

- **Angles: Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.**
- **Intersections: If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of a thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety 90 degrees shall require approval by the City Engineer after consultation with the Fire District.**
- **Offsets: Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:**
 - **1000 ft. for major arterials**
 - **600 ft. for minor arterials**
 - **100 ft. for major collector**
 - **50 ft. for minor collector**
- **Curb Extensions:**
 - **Curb extensions at intersections shall be shown on the Specific Area Plans required in Subsection 4.125(.18)(C) through (F), below, and shall: Not obstruct bicycle lanes on collector streets.**
 - **Provide a minimum 20 foot wide clear distance between curb extensions at all local residential street intersections, meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.”**
-

D8. The proposed Tentative Subdivision Plat shows street intersections consistent with these standards. These criteria are satisfied.

Subsection 4.125 (.09) A. 4. Street and Improvement Standards: Centerline Radius Street Curves.

Review Criteria:

“The minimum centerline radius street curves shall be as follows:

- **Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by the City Engineer.**
- **Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.**
- **Local streets: 75 feet”**

D9. The proposed Tentative Subdivision Plat shows streets meeting these standards. These criteria are satisfied.

Subsections 4.125 (.09) A. 5. and 4.177 (.01) C. Street and Improvement Standards: Rights-of-way

Review Criteria:

- **“Prior to issuance of a Certificate of Occupancy Building permits or as a part of the recordation of a final plat, the City shall require dedication of rights-of-way in accordance with the Street System Master Transportation Systems Plan. All dedications shall be recorded with the County Assessor's Office.**
- **The City shall also require a waiver of remonstrance against formation of a local improvement district, and all non-remonstrances shall be recorded in the County Recorder’s Office as well as the City's Lien Docket, prior to issuance of a Certificate of Occupancy Building Permit or as a part of the recordation of a final plat.**
- **In order to allow for potential future widening, a special setback requirement shall be maintained adjacent to all arterial streets. The minimum setback shall be 55 feet from the centerline or 25 feet from the right-of-way designated on the Master Plan, whichever is greater.”**

D10. Public rights-of-ways are already dedicated to the city meeting the above criteria.

Subsections 4.125 (.09) A. 6.and 4.177 (.01) E. Street and Improvement Standards: Access Drives

Review Criteria:

- **Access drives are required to be 16 feet for two-way traffic.**
- **An access drive to any proposed development shall be designed to provide a clear travel lane free from any obstructions.**
- **Access drive travel lanes shall be constructed with a hard surface capable of carrying a 23-ton load.**
- **Secondary or emergency access lanes may be improved to a minimum 12 feet with an all-weather surface as approved by the Fire District. All fire lanes shall be dedicated easements.**
- **Minimum access requirements shall be adjusted commensurate with the intended function of the site based on vehicle types and traffic generation.**
- **Where access drives connect to the public right-of-way, construction within the right-of-way shall be in conformance to the Public Works Standards.**

D11. The proposed Tentative Subdivision Plat shows alleys of sufficient 16 foot width to meet the width standards. Easements for fire access will be dedicated as required. These criteria are satisfied.

Subsections 4.125 (.09) A. 7. and 4.177 (.01) F. Street and Improvement Standards: Clear Vision Areas. “A clear vision area which meets the Public Works Standards shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. However, the following items shall be exempt from meeting this requirement:” Listed 1. a.-f.

D12. The proposed Tentative Subdivision Plat shows streets meeting these standards. These criteria are satisfied.

Subsections 4.125 (.09) A. 8.and 4.177 (.01) G. Street and Improvement Standards: Vertical Clearance. “a minimum clearance of 12 feet above the pavement surface shall be maintained over all streets and access drives.”

D13. Nothing is shown on the proposed Tentative Subdivision Plat that would preclude the required clearance from being provided. This criterion is satisfied.

Subsections 4.125 (.09) A. 9.and 4.177 (.01) H. Street and Improvement Standards: Interim Improvement Standards.

Review Criteria: “It is anticipated that all existing streets, except those in new subdivisions, will require complete reconstruction to support urban level traffic volumes. However, in most cases, existing and short-term projected traffic volumes do not warrant improvements to full Master Plan standards. Therefore, unless otherwise specified by the Planning Commission, the following interim standards shall apply.

- **Arterials - 24 foot paved, with standard sub-base.** Asphalt overlays are generally considered unacceptable, but may be considered as an interim improvement based on the recommendations of the City Engineer, regarding adequate structural quality to support an overlay.
- **Half-streets are generally considered unacceptable.** However, where the Development Review Board finds it essential to allow for reasonable development, a half-street may be approved. Whenever a half-street improvement is approved, it shall conform to the requirements in the Public Works Standards:
- **When considered appropriate in conjunction with other anticipated or scheduled street improvements, the City Engineer may approve street improvements with a single asphalt lift.** However, adequate provision must be made for interim storm drainage, pavement transitions at seams and the scheduling of the second lift through the Capital Improvements Plan.

D14. The area covered by the proposed Tentative Subdivision Plat does not include any interim improvements addressed by this subsection. These criteria are satisfied.

Subsection 4.202 (.01) through (.03) Plats Reviewed by Planning Director or DRB

Review Criteria: “Pursuant to ORS Chapter 92, plans and plats must be approved by the Planning Director or Development Review Board (Board), as specified in Sections 4.030 and 4.031, before a plat for any land division may be filed in the county recording office for any

land within the boundaries of the City, except that the Planning Director shall have authority to approve a final plat that is found to be substantially consistent with the tentative plat approved by the Board.

The Development Review Board and Planning Director shall be given all the powers and duties with respect to procedures and action on tentative and final plans, plats and maps of land divisions specified in Oregon Revised Statutes and by this Code.

Approval by the Development Review Board or Planning Director of divisions of land within the boundaries of the City, other than statutory subdivisions, is hereby required by virtue of the authority granted to the City in ORS 92.”

D15. The proposed Tentative Subdivision Plat is being reviewed by the Development Review Board according to this subsection. The final plat will be reviewed by the Planning Division under the authority of the Planning Director to ensure compliance with the DRB review of the tentative subdivision plat. These criteria are satisfied.

Subsection 4.202 (.04) A. Lots must be Legally Created for Issuing Development Permit. “No person shall sell any lot or parcel in any condominium, subdivision, or land partition until a final condominium, subdivision or partition plat has been approved by the Planning Director as set forth in this Code and properly recorded with the appropriate county.”

D16. It is understood that no lots will be sold until the final plat has been approved by the Planning Director and recorded. This criterion is satisfied.

Subsection 4.202 (.04) B. Prohibition of Creating Undersized Lots. “It shall be a violation of this Code to divide a tract of land into a parcel smaller than the lot size required in the Zoning Sections of this Code unless specifically approved by the Development Review Board or City Council. No conveyance of any portion of a lot, for other than a public use, shall leave a structure on the remainder of the lot with less than the minimum lot size, width, depth, frontage, yard or setback requirements, unless specifically authorized through the Variance procedures of Section 4.196 or the waiver provisions of the Planned Development procedures of Section 4.118.”

D17. No lots will be divided into a size smaller than allowed by the proposed Village “V” zoning designation. This criterion is satisfied.

Subsection 4.210 (.01) Pre-Application Conference. “Prior to submission of a tentative condominium, partition, or subdivision plat, a person proposing to divide land in the City shall contact the Planning Department to arrange a pre-application conference as set forth in Section 4.010.”

D18. A pre-application conference was held in March 19, 2015 in accordance with this subsection. This criterion is satisfied.

Subsection 4.210 (.01) A. Preparation of Tentative Plat. “The applicant shall cause to be prepared a tentative plat, together with improvement plans and other supplementary material as specified in this Section. The Tentative Plat shall be prepared by an Oregon licensed professional land surveyor or engineer. An affidavit of the services of such surveyor or engineer shall be furnished as part of the submittal.”

D19. Plan Sheet 4 of Section IIB of Exhibit B1 is the proposed Tentative Subdivision Plat, prepared in accordance with this subsection. This criterion is satisfied.

Subsection 4.210 (.01) B. Tentative Plat Submission. “The design and layout of this plan plat shall meet the guidelines and requirements set forth in this Code. The Tentative Plat shall be submitted to the Planning Department with the following information:”

D20. The proposed Tentative Subdivision Plat has been submitted with the required information. These criteria are satisfied.

Subsection 4.210 (.01) D. Land Division Phases to Be Shown. “Where the applicant intends to develop the land in phases, the schedule of such phasing shall be presented for review at the time of the tentative plat. In acting on an application for tentative plat approval, the Planning Director or Development Review Board may set time limits for the completion of the phasing schedule which, if not met, shall result in an expiration of the tentative plat approval.”

D21. The land is intended to be developed in a single phase. These criteria are satisfied.

Subsection 4.210 (.01) E. Remainder Tracts. “Remainder tracts to be shown as lots or parcels. Tentative plats shall clearly show all affected property as part of the application for land division. All remainder tracts, regardless of size, shall be shown and counted among the parcels or lots of the division.”

D22. The affected property has been incorporated into the proposed Tentative Subdivision Plat. These criteria are satisfied.

Subsection 4.236 (.01) Conformity to the Master Plan or Map. “Land divisions shall conform to and be in harmony with the Transportation Master Plan (Transportation Systems Plan), the Bicycle and Pedestrian Master Plan, the Parks and Recreation Master Plan, the Official Plan or Map and especially to the Master Street Plan.”

D23. The proposed Tentative Subdivision Plat is consistent with applicable plans including the Transportation Systems Plan and Villebois Village Master Plan. These criteria are satisfied.

Subsection 4.236 (.02) Relation to Adjoining Street System

Review Criteria:

- A land division shall provide for the continuation of the principal streets existing in the adjoining area, or of their proper projection when adjoining property is not developed, and shall be of a width not less than the minimum requirements for streets set forth in these regulations. Where, in the opinion of the Planning Director or Development Review Board, topographic conditions make such continuation or conformity impractical, an exception may be made. In cases where the Board or Planning Commission has adopted a plan or plat of a neighborhood or area of which the proposed land division is a part, the subdivision shall conform to such adopted neighborhood or area plan.
- Where the plat submitted covers only a part of the applicant's tract, a sketch of the prospective future street system of the un-submitted part shall be furnished and the

street system of the part submitted shall be considered in the light of adjustments and connections with the street system of the part not submitted.

- At any time when an applicant proposes a land division and the Comprehensive Plan would allow for the proposed lots to be further divided, the city may require an arrangement of lots and streets such as to permit a later re-subdivision in conformity to the street plans and other requirements specified in these regulations.

D24. The proposed Tentative Subdivision Plat shows streets meeting these standards. These criteria are satisfied.

Subsection 4.236 (.03) Streets: Conformity to Standards Elsewhere in the Code. “All streets shall conform to the standards set forth in Section 4.177 and the block size requirements of the zone.”

D25. The proposed Tentative Subdivision Plat shows streets consistent with the proposed PDP under Request B, which meets Section 4.177 and the block requirements of the zone. These criteria are satisfied.

Subsection 4.236 (.04) Creation of Easements. “The Planning Director or Development Review Board may approve an easement to be established without full compliance with these regulations, provided such an easement is the only reasonable method by which a portion of a lot large enough to allow partitioning into two (2) parcels may be provided with vehicular access and adequate utilities. If the proposed lot is large enough to divide into more than two (2) parcels, a street dedication may be required.”

D26. No specific easements are requested pursuant to this subsection. These criteria are satisfied.

Subsection 4.236 (.05) Topography. “The layout of streets shall give suitable recognition to surrounding topographical conditions in accordance with the purpose of these regulations.”

D27. The proposed Tentative Subdivision Plat shows street alignments recognizing topographic conditions. This criterion is satisfied.

Subsection 4.236 (.06) Reserve Strips. “The Planning Director or Development Review Board may require the applicant to create a reserve strip controlling the access to a street. Said strip is to be placed under the jurisdiction of the City Council, when the Director or Board determine that a strip is necessary:”

D28. No reserve strips are being required for the reasons listed in this subsection. These criteria are satisfied.

Subsection 4.236 (.07) Future Expansion of Street. “When necessary to give access to, or permit a satisfactory future division of, adjoining land, streets shall be extended to the boundary of the land division and the resulting dead-end street may be approved without a turn-around. Reserve strips and street plums shall be required to preserve the objective of street extension.”

D29. SW Costa Circle West and SW Orleans Avenue were built with two previous phases of Villebois (PDP-2N and PDP-4C). SW Paris Avenue and SW Collina Lane will be extended as a part of this proposal. These criteria are satisfied.

Subsection 4.236 (.08) Additional Right-of-Way for Existing Streets. “Whenever existing streets adjacent to or within a tract are of inadequate width, additional right-of-way shall conform to the designated width in this Code or in the Transportation Systems Plan.”

D30. All necessary rights-of-ways abutting to the north and east were previously dedicated. The Engineering Division is requiring that additional right-of-way be dedicated and constructed along the west and south sides of the site. See Condition of Approval PFB 32. These criteria are satisfied.

Subsection 4.236 (.09) Street Names. “No street names will be used which will duplicate or be confused with the names of existing streets, except for extensions of existing streets. Street names and numbers shall conform to the established name system in the City, and shall be subject to the approval of the City Engineer.”

D31. Street names have been established. These criteria are satisfied.

Subsection 4.237 (.01) Blocks

Review Criteria:

- **The length, width, and shape of blocks shall be designed with due regard to providing adequate building sites for the use contemplated, consideration of needs for convenient access, circulation, control, and safety of pedestrian, bicycle, and motor vehicle traffic, and recognition of limitations and opportunities of topography.**
- **Sizes: Blocks shall not exceed the sizes and lengths specified for the zone in which they are located unless topographical conditions or other physical constraints necessitate larger blocks. Larger blocks shall only be approved where specific findings are made justifying the size, shape, and configuration.**

D32. The proposed Tentative Subdivision Plat shows blocks consistent with those in the approved “Large Lot Subdivision”, Villebois Village Center No. 3 subdivision (DB13-0043). These criteria are satisfied.

Subsection 4.237 (.02) Easements

Review Criteria:

- **Utility lines. Easements for sanitary or storm sewers, drainage, water mains, electrical lines or other public utilities shall be dedicated wherever necessary. Easements shall be provided consistent with the City's Public Works Standards, as specified by the City Engineer or Planning Director. All of the public utility lines within and adjacent to the site shall be installed within the public right-of-way or easement; with underground services extending to the private parcel constructed in conformance to the City's Public Works Standards. All franchise utilities shall be installed within a public utility easement. All utilities shall have appropriate easements for construction and maintenance purposes.**
- **Water courses. Where a land division is traversed by a water course, drainage way, channel or stream, there shall be provided a storm water easement or drainage right-of-way conforming substantially with the lines of the water course, and such further width as will be adequate for the purposes of conveying storm water and allowing for**

maintenance of the facility or channel. Streets or parkways parallel to water courses may be required.

D33. Proposed PF Condition of Approvals ensures all easements dealing with utilities are on the final plat. These criteria are satisfied or will be satisfied by Conditions of Approval.

Subsection 4.237 (.03) Mid-block Pedestrian and Bicycle Pathways

Review Criteria: “An improved public pathway shall be required to transverse the block near its middle if that block exceeds the length standards of the zone in which it is located.

- **Pathways shall be required to connect to cul-de-sacs or to pass through unusually shaped blocks.**
- **Pathways required by this subsection shall have a minimum width of ten (10) feet unless they are found to be unnecessary for bicycle traffic, in which case they are to have a minimum width of six (6) feet.**

D34. Pathways are not proposed within the project. These criteria are satisfied.

Subsection 4.237 (.04) Tree Planting & Tree Access Easements. “Tree planting plans for a land division must be submitted to the Planning Director and receive the approval of the Director or Development Review Board before the planting is begun. Easements or other documents shall be provided, guaranteeing the City the right to enter the site and plant, remove, or maintain approved street trees that are located on private property.”

D35. Street trees are proposed public right-of-ways. See Request E of this staff report for a detailed analysis of the proposed street tree program.

Subsection 4.237 (.05) Lot Size and Shape. “The lot size, width, shape and orientation shall be appropriate for the location of the land division and for the type of development and use contemplated. Lots shall meet the requirements of the zone where they are located.”

D36. Proposed lot sizes, widths, shapes and orientations are appropriate for the proposed row house development and are in conformance with the Village Zone requirements. These criteria are satisfied.

Subsection 4.237 (.06) Access. “The division of land shall be such that each lot shall have a minimum frontage on a street or private drive, as specified in the standards of the relative zoning districts. This minimum frontage requirement shall apply with the following exceptions:” Listed A. and B.

D37. Each lot has the minimum frontage on a street or greenbelt. These criteria are satisfied.

Subsection 4.237 (.07) Through Lots. “Through lots shall be avoided except where essential to provide separation of residential development from major traffic arteries or adjacent non-residential activity or to overcome specific disadvantages of topography and orientation.”

D38. No through lots are proposed. These criteria are satisfied.

Subsection 4.237 (.08) Lot Side Lines. “The side lines of lots, as far as practicable for the purpose of the proposed development, shall run at right angles to the street or tract with a private drive upon which the lots face.”

D39. Proposed side lot lines are at right angles with the front lot line. These criteria are satisfied.

Subsection 4.237 (.09) Large Lot Land Divisions. “In dividing tracts which at some future time are likely to be re-divided, the location of lot lines and other details of the layout shall be such that re-division may readily take place without violating the requirements of these regulations and without interfering with the orderly development of streets. Restriction of buildings within future street locations shall be made a matter of record if the Development Review Board considers it necessary.”

D40. No future divisions of the lots included in the tentative subdivision plat are proposed or likely. These criteria are satisfied.

Subsection 4.237 (.10) and (.11) Building Line and Built-to Line

Review Criteria: The Planning Director or Development Review Board may establish special:

- **Building setbacks to allow for the future re-division or other development of the property or for other reasons specified in the findings supporting the decision. If special building setback lines are established for the land division, they shall be shown on the final plat.**
- **Build-to lines for the development, as specified in the findings and conditions of approval for the decision. If special build-to lines are established for the land division, they shall be shown on the final plat.**

D41. No building lines or built-to lines are proposed or recommended. These criteria are satisfied.

Subsection 4.237 (.12) Land for Public Purposes. “The Planning Director or Development Review Board may require property to be reserved for public acquisition, or irrevocably offered for dedication, for a specified period of time.”

D42. No property reservation is recommended as described in this subsection. This criterion is satisfied.

Subsection 4.237 (.13) Corner Lots. “Lots on street intersections shall have a corner radius of not less than ten (10) feet.”

D43. All proposed corner lots meet the minimum corner radius of ten (10) feet. This criterion is satisfied.

REQUEST E TYPE 'C' TREE PLAN

Subsection 4.610.40 (.02) and Subsection 4.610.30 (.02) Submittal Requirements

E1. The Arborist Report was prepared by Morgan Holen, dated March 21, 2015. As indicated in the table below the applicant has submitted the required documentation under Subsection 4.610.40 (02). The requirements of these subsections are thus satisfied.

E2. Removal Evaluation Table:

Requirement	Submitted	Waiver Granted		Condition of Approval	Not Applicable	Additional findings/notes
		Info Already Available to City	Info Not Necessary for Review			
Statement why removal is necessary	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Description of trees (common name, d.b.h.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Name of person removing (if known)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Time of removal (if known)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Map showing location of tree(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Arborist's Report (health and condition, species, common name, d.b.h.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Tree protection information	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Replacement tree description (species, size, number, cost)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

This application has been reviewed according the standards and processes referenced in this subsection. This provision is satisfied.

Section 4.620.00 Tree Relocation, Mitigation, or Replacement
Subsection 4.620.00 (.01) Tree Replacement Required within One Year

E3. This subsection requires a Type ‘C’ Tree Removal Permit grantee to replace or relocate each removed tree having six inches (6”) or greater d.b.h. within one year of removal. Fifteen regulated trees are proposed for removal; two (2) trees are proposed to be retained. See Plan Sheet 8 of Section VC the submitted notebook, Exhibit B1.

Subsection 4.620.00 (.02) Basis for Determining Replacement

E4. This subsection requires that removed trees be replaced on a basis of one (1) tree replanted for each tree removed. It also requires all replacement trees measure two inches (2”) caliper. One (1) tree is being replaced for each tree removed, all of which will be two inch (2”) caliper. The provisions of this subsection will be satisfied through PDE 1.

Subsection 4.620.00 (.03) A. Replacement Tree Requirements-Comparable Characteristics

E5. This subsection identifies the requirements for replacement trees including: having characteristics similar to removed trees; being appropriately chosen for the site from an approved tree species list provided by the City, and being of state Department of Agriculture Nursery Grade No. 1 or better. The applicant proposes mitigating with trees that will be more appropriate for the site.

Subsections 4.620.00 (.03) B. and C. Replacement Tree Requirements-Tree Care and Guarantee

E6. These subsections require replacement trees be staked, fertilized and mulched, and be guaranteed by the permit grantee or the grantee’s successors-in-interest for two (2) years after the planting date. A “guaranteed” tree that dies or becomes diseased during the two (2) year period is required to be replaced. A condition of approval ensures the requirements of these subsections are met.

Subsection 4.620.00 (.3) D. Replacement Tree Requirements- Encouragement of Diversity of Species

E7. This subsection encourages a diversity of tree species to be planted. A variety of trees are being removed and a variety is being planted, maintaining substantially similar diversity of species on the property. See Condition of Approval PDE 2.

Subsection 4.620.00 (.04) Additional Requirements for Replacement Trees

E8. This subsection requires replacement trees consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade. Condition of Approval PDF 6 ensures the requirements of these subsections are met.

Subsection 4.620.00 (.05) Replacement Tree Location - Review Required

E7. The trees that are proposed to be removed will be replaced by the trees illustrated in the applicant's landscape plan (Plan Sheet L1 of Section VIB of Exhibit B1).

REQUEST F: FINAL DEVELOPMENT PLAN (FDP) CONCLUSIONARY FINDINGS

Section 4.125 V – Village Zone

(.02) Permitted Uses. Examples of principle uses that are typically permitted:

D. Row Houses

F1. All the proposed row house buildings are subject to Village Center Architectural Standards (VCAS). The row house buildings proposed along SW Costa Circle West, SW Paris Avenue, SW Orleans Avenue, and SW Collina Lane.

B. Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

F2. Vehicular access to the proposed units is provided via public street and private alleys.

D. Fencing:

F3. Regarding the above criterion, the applicant is not proposing fencing for the row house buildings. Furthermore, the Land Development Ordinance of the Wilsonville Code does not regulate locations and screening of trash, yard debris and recyclables containers for single family residences. Republic Services provides containers for collection of trash, yard debris and recyclables.

F. Fire Protection:

1. All structures shall include a rated fire suppression system (i.e., sprinklers), as approved by the Fire Marshal.

F4. The proposed row houses in this FDP application (Request F) will have fire suppression sprinklers installed as approved by the Fire Marshall, thereby meeting this criterion. The Building Division will assure compliance with this provision through review of submitted plans at the time of application for Building Permits.

Table V-1: Development Standards

F5. The following is an analysis of the appropriate setbacks for row houses in the Village Center:

- a. Front (5 – foot minimum). Porches, stairs, stoops, decks, canopies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public way. The submitted plans indicate that the row house buildings will be setback 5 feet to the porch and/or front building plane.
- b. Side: No setback required. Proposed is 0 feet typical.
- c. Rear: No setback required. Proposal varies at alleys.

B. Minimum and Maximum Off-Street Parking Requirements:

- 1. **Table V-2, Off-Street Parking Requirements, below, shall be used to determine the minimum and maximum parking standards for noted land uses. The minimum number of required parking spaces shown in Table V-2 shall be determined by rounding to the nearest whole parking space. For example, a use containing 500 square feet, in an area where the standard is one space for each 400 square feet of floor area, is required to provide one off-street parking space. If the same use contained more than 600 square feet, a second parking space would be required.**

Table V-2: Off Street Parking Requirements				
	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short-term (Spaces)	Bicycle Long-term (Spaces)
Permitted or Conditional Use				
Permitted Uses				
Single-Family Detached Dwellings	1.0/DU	NR	NR	NR
Single-Family Accessory Dwelling Units	1.0/DU	NR	NR	NR
Duplex	1.0/DU	NR	NR	NR
Row Houses	1.0/DU	NR	NR	NR

- 2. **Minimum parking requirements may be met by dedicated off-site parking, including surfaced parking areas and parking structures.**
- 3. **Except for detached single-family dwellings and duplexes, on-street parking spaces, directly adjoining and on the same side of the street as the subject property, may be counted towards meeting the minimum off-street parking requirements.**
- 4. **Minimum parking requirements may be reduced under the following conditions:**
 - a. **When complimentary, shared parking availability can be demonstrated, or;**
 - b. **Bicycle parking may substitute for up to 25% of required Mixed-Use or Multi-Family Residential parking. For every five non-required bicycle parking spaces that meet the short or long-term bicycle parking standards, the motor vehicle parking requirement for compact spaces may be reduced by one space.**

F6. As indicated in the excerpt of Table V-2 above (emphasis added) the requirement for a row house is 1.0 space/dwelling unit. Proposed are thirty one (31) row houses. Based upon the requirement of 1.0 space/dwelling unit, the applicant is required to provide

minimum thirty one (31) parking spaces. In this case, each row house will have one-car garage. The proposed garage parking meets the requirements of Table V-2.

F7. Open Space Requirement: See the applicant’s findings on page 6 of Section IIA of Exhibit B1 of the submittal notebook. Staff finds that this project meets the SAP approval and provides adequate open space.

(.09) Street and Access Improvement Standards

F8. Streets, sidewalks and access improvement standards are proposed as a part of the Preliminary Development Plan, Specific Area Plan – Central. Driveway intersections meet the clear vision requirements of Section 4.177.

(.11) Landscaping, Screening and Buffering

A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:

1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

F9. See page 28 for a discussion about street trees.

(.13) Design Principles Applying to the Village Zone

A. The following design principles reflect the fundamental concepts, and support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities of the built environment within the Village zone.

F10. One of the three guiding design principles stated in the Villebois Village Master Plan is diversity. This diversity includes diversity of architectural style. The proposed row house buildings are French and English styles. The row houses have been designed by a licensed architect and were reviewed for consistency by the City consultant architect, Mr. Steve Coyle.

The proposed PDP and FDP comply with the form and function supported by the standards of this subsection. Staff finds that the proposed FDP does not affect the project’s ability to comply with the design principles, but rather seeks to enhance it by providing architectural diversity and variety in its built form. This criterion is met.

(.14) Design Standards Applying to the Village Zone

A. The following Design Standards implement the Design Principles found in Section 4.125(.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. General Provisions:

- a. **Flag lots are not permitted.**
- F11.** The proposal does not include flag lots. This criterion is met.
- b. **The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.**
- F12.** This criterion is not applicable to row houses with no accessory dwelling units.
- c. **Village Center lots may have multiple front lot lines.**
- F13.** No lots in the FDP areas have multiple front lot lines. This criterion is therefore not applicable.
- d. **For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.**
- F14.** The proposed row house buildings are sited to their allowed setback lines and are in conformance with this standard.
- e. **Neighborhood Centers shall only be located within a Neighborhood Commons.**
 - f. **Commercial Recreation facilities shall be compatible with surrounding residential uses.**
 - g. **Convenience Stores within the Village zone shall not exceed 4,999 sq. ft., and shall provide pedestrian access.**
 - h. **Specialty Grocery Stores within the Village zone shall not be more 19,999 square feet in size.**
 - i. **A Grocery Store shall not be more than 40,000 square feet in size.**
- F15.** Mixed-use buildings are not part of this Final Development Plan review. These criteria are therefore not applicable.
- 2. **Building and site design shall include:**
 - a. **Proportions and massing of architectural elements consistent with those established in an approved Architectural Pattern Book or Village Center Architectural Standards.**
 - b. **Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Architectural Pattern Book, Community Elements Book or approved Village Center Architectural Standards.**
- F16.** A detailed discussion regarding the Community Elements Book and Village Center Architectural Standards can be found throughout this section of the staff report.
- c. **Protective overhangs or recesses at windows and doors.**
 - d. **Raised stoops, terraces or porches at single-family dwellings.**
 - e. **Exposed gutters, scuppers, and downspouts, or approved equivalent.**

F17. The proposed row house buildings must include protective overhangs, and recesses at windows and doors and exposed gutters and downspouts. The row house units each have a raised stoop at the front entrance. This criterion is met.

f. The protection of existing significant trees as identified in an approved Community Elements Book.

F18. See the detailed review in Request E of this staff report relative to the proposed Type 'C' Tree Plan. This criterion is met.

g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

F19. The applicant has provided Planting Plans in compliance with Sections 4.125(.07) and (.11) [See Plan Sheets L1 and L2 of Section VB of Exhibit B1].

h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.

i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.

F20. Although the mix of styles have not yet been identified by the applicant, the proposed row house buildings along SW Costa Circle West and SW Collina Lane are allowed to provide building façades identical or similar in proportion and configuration, which would comply with this requirement.

j. A porch shall have no more than three walls.

F21. Porches are proposed to be in compliance with this requirement.

k. A garage shall provide enclosure for the storage of no more than three motor vehicles, as described in the definition of Parking Space.

F22. Each garage will provide space for one motor vehicle. This criterion is met.

3. Lighting and site furnishings shall be in compliance with the approved Architectural Pattern Book, Community Elements Book, or approved Village Center Architectural Standards.

F23. See Finding B15, beginning on page 29 of this report.

4. Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein. Design creativity is encouraged. The LEED Building Certification Program of the U.S. Green Building Council may be used as a guide in this regard.

F24. The row house building systems of the FDP comply with the materials, applications, and configurations as required in Tables V-3 and V-4. This criterion is met.

(.15) Village Center Design Principles

A. In addition to the design principles found in Section 4.125(.13), above, the following principles reflect the fundamental concepts, support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities within the Village Center:

1. The buildings, streets and open spaces of the Village Center are intended to relate in such a way as to create an identifiable and related series of public and private spaces.

F25. Staff finds that through coordinated planting plans the applicant has provided formal design that creates private open space. (Plan Sheets L1 and L2 of Section VB of Exhibit B1). This criterion is met.

(.16) Village Center Design Standards

A. In addition to the design standards found in Section 4.125(.14), above, the following Design Standards are applicable to the Village Center, exclusive of single-family detached dwellings and row houses.

F26. The proposal is for attached row houses. This criterion is not applicable.

(.18) Village Zone Development Permit Process. Except as noted below, the provision of Sections 4.140(.02) through (.06) shall apply to development in the Village zone.

B. Unique Features and Processes of the Village (V) Zone: To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural, landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:

2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Sections 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a Zone Change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists. Final Development Plan (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.

F27. The applicant is seeking Preliminary and Final Development Plan approvals for the proposed row house buildings. Pursuant to Section 4.125 (.20) the proposed FDP is being processed subject to the same procedural requirements.

L. Final Development Plan Approval Procedures (Equivalent to Site Design Review):

- 1. Unless an extension has been granted by the Development Review Board as enabled by Section 4.023, an application for FDP approval on lands within the Central SAP or multi-family dwellings outside of the Central SAP shall be filed within two (2) years after the approval of a PDP. All applications for approval of a FDP shall:**
 - a. Be filed with the City Planning Division for the entire FDP, or when submission of the PDP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.**
 - b. Be made by the owner of all affected property or the owner's authorized agent.**
 - c. Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution.**
 - d. Set forth the professional coordinator and professional design team for the project. [Section 4.125(.18)(L) amended by Ord. No. 587, 5/16/05]**

F28. The subject property is located in Phase 6 area of SAP Central. The applicant has provided an application submitted by the property owner's authorized agent. Included in this application package is the required application form and FDP application fees. Also included in the submittal package are the names and contact information of the professional coordinator and design team for the proposed project. This provision is therefore satisfied.

M. FDP Application Submittal Requirements:

- 1. An application for approval of a FDP shall be subject to the provisions of Section 4.034.**

F29. Section 4.034(.08) requires that applications for development approvals within the Village zone be reviewed in accordance with the standards and procedures of Section 4.125.

N. FDP Approval Procedures

- 1. An application for approval of a FDP shall be subject to the provisions of Section 4.125.**

F30. A detailed discussion of Section 4.125 can be found throughout this staff report.

O. FDP Refinements to an Approved Preliminary Development Plan

- 1. In the process of reviewing a FDP for consistency with the underlying Preliminary Development Plan, the DRB may approve refinements, but not amendments, to the PDP. Refinements to the PDP may be approved by the Development Review Board, upon the applicant's detailed graphic demonstration of compliance with the criteria set forth in Section 4.125(.18)(O)(2), below.**
 - a. Refinements to the PDP are defined as:**

- i. Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.
 - ii. Changes to the nature or location of park type, trails, or open space that do not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the PDP.
 - iii. Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.
 - iv. Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the affected PDP. For purposes of this subsection, “land uses” or “uses” are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.
[Section 4.125(.18)(O)(1)(a)(iv) amended by Ord. No. 587, 5/16/05.]
 - v. Changes that are significant under the above definitions, but necessary to protect an important community resource or substantially improve the functioning of collector or minor arterial roadways.
- b. As used herein, “significant” means:
 - i. More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(O)(1)(a), above, or,
 - ii. That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(F)(1)(a), above.

F31. For purposes of this subsection, “land use” is defined in the aggregate as specialty condos, mixed use condos, urban apartments, condos village apartments, neighborhood apartments and row houses. The applicant does propose to refine the land use housing category in Request A, in order to develop 31 row house units within seven (7) buildings. Except for the SAP refinements discussed in Request A, the nature or location of utilities is not changed with the FDP.

P. FDP Approval Criteria

- 1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

F32. A detailed discussion regarding Section 4.421 can be found beginning on page 74 of this staff report.

- 2. An application for an FDP shall demonstrate that the proposal conforms to the applicable Architectural Pattern Book, Community Elements Book, Village Center Architectural Standards and any conditions of a previously approved PDP. [Section 4.125(.18)(P)(2) amended by Ord. No. 595, 9/19/05.]

F33. Findings for conformance regarding the Community Elements Book begin on page 28, and the check list *Village Center Architectural Standards* can be found beginning on page 63 of this staff report.

Village Center Architectural Standards – All Row House Buildings Within This Project

F34. A detailed discussion of the *Village Center Architectural Standards* can be found can be found beginning on page 63 of this staff report.

Rainwater Management Program

F35. The proposed PDP requires a system of rainwater swales and components throughout the project. Rainwater swales and facilities are approved stormwater/rainwater components in the approved Specific Area Plan – Central Rainwater Management Program. A refinement to the Rainwater Management Plan is proposed as a part of this application. The applicant has provided two (2) swales and four (4) facilities. This criterion is met.

F36. Pursuant to Section 4.125(.18)(B)(2), a FDP application is the equivalent of Site Design Review. Staff finds that the applicant has submitted the required documents (See Exhibit B1). This provision is therefore satisfied.

F37. Section 4.420(.01) Jurisdiction and Powers of the Board. Section 4.420(.01) exempts row houses in the Village zone from Site Design Review in Sections 4.400 – 4.450 WC.

Sections 4.154 – 4.199, General Development Regulations

Section 4.155. General Regulations - Parking, Loading and Bicycle Parking.

F38. Section 4.155 provides requirements for parking lots and loading areas. There are no off-street parking lots or loading areas associated with the proposed development. Provisions specific to the design of parking lots and loading areas are therefore not applicable.

F39. In addition to requirements for parking lot and loading area design, Section 4.155 provides parking requirements specific to use, however, within the Village zone Section 4.125(.07), specifically Table V-2, shall be used to determine the minimum and maximum parking standards for noted land uses. The required parking for row houses is 1.0/dwelling unit. The applicant is proposing to build 31 attached row houses in seven (7) buildings. Based upon the requirement of 1.0/dwelling unit, the applicant is required to provide 31 parking spaces. The applicant has submitted plans to demonstrate that each row home includes a one-car garage, which provides one off-street parking spaces per dwelling. With no expressed maximum number of spaces for detached row houses, the proposed parking meets the requirements of Table V-2.

Section 4.176. Landscaping, Screening, and Buffering.

(.02) Landscaping and Screening Standards.

A. Subsections “C” through “I,” below, state the different landscaping and screening standards to be applied throughout the City. The locations where the landscaping

and screening are required and the depth of the landscaping and screening is stated in various places in the Code.

- B. All landscaping and screening required by this Code must comply with all of the provisions of this Section, unless specifically waived or granted a Variance as otherwise provided in the Code. The landscaping standards are minimum requirements; higher standards can be substituted as long as fence and vegetation-height limitations are met. Where the standards set a minimum based on square footage or linear footage, they shall be interpreted as applying to each complete or partial increment of area or length (e.g., a landscaped area of between 800 and 1600 square feet shall have two trees if the standard calls for one tree per 800 square feet.

C. General Landscaping Standard.

1. Intent. The General Landscaping Standard is a landscape treatment for areas that are generally open. It is intended to be applied in situations where distance is used as the principal means of separating uses or developments and landscaping is required to enhance the intervening space. Landscaping may include a mixture of ground cover, evergreen and deciduous shrubs, and coniferous and deciduous trees.
2. Required materials. Shrubs and trees, other than street trees, may be grouped. Ground cover plants must fully cover the remainder of the landscaped area (see Figure 21: General Landscaping). The General Landscaping Standard has two different requirements for trees and shrubs:
 - a. Where the landscaped area is less than 30 feet deep, one tree is required for every 30 linear feet.
 - b. Where the landscaped area is 30 feet deep or greater, one tree is required for every 800 square feet and two high shrubs or three low shrubs are required for every 400 square feet.

F40. As demonstrated in the submitted plans (See Section IIB of Exhibit B1), the proposed row house units will have zero (0) feet side yard building lines, meeting code. Landscaping is proposed in common areas within the project.

(.03) Landscape Area. Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.

F41. The applicant has provided graphic representation that more than 15% of the common open space property will be landscaped. Approximately 0.15 acres is proposed as open space, or 9.8% of PDP-6C. In addition, the Parks Master Plan for Villebois states that there are 57.87 acres of parks and 101.46 acres of open space for a total 159.33 acres within Villebois, approximately 33%, exceeding the 15% landscaping requirement. This criterion is satisfied.

(.04) Buffering and Screening. Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.

B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.

F42. Additional buffering and screening is not required. Private yards are not proposed for additional screening. This criterion is therefore not applicable.

C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.

D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.

E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.

F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.

F43. All exterior, roof, and ground mounted equipment will be screened from ground level off-site views. No outdoor storage areas exist in the subject areas, nor do any loading areas, docks, truck parking or fences over six (6) feet in height. Staff finds this criterion to be met.

(.06) Plant Materials.

A. Shrubs and Ground Cover.

F44. The applicant has provided graphic representation showing proposed trees, shrubs and ground covers (See , Plan Sheets L1 and L2 of Section VIB of Exhibit B1). All shrubs must be well branched and typical of their type as described in current AAN standards. All shrubs will be equal to or better than two-gallon size with a 10- to 12-inch spread and all ground cover will be at least one-gallon containers and spaced appropriately.

B. Trees.

F45. As shown on Plan Sheet L1, proposed tree species has been selected from the Villebois Plant List in the Community Elements Book. All proposed street trees must meet the minimum 2” caliper code requirement for primary trees. Any small deciduous ornamental or flowering trees must meet the minimum 1¾” caliper code requirement for secondary or accent trees.

C. Where a proposed development includes buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area, the Development Review Board may require larger or more mature plant materials:

1. At maturity, proposed trees shall be at least one-half the height of the building to which they are closest, and building walls longer than 50 feet shall require tree groups located no more than fifty (50) feet on center, to break up the length and height of the façade.
2. Either fully branched deciduous or evergreen trees may be specified depending upon the desired results. Where solar access is to be preserved, only solar-friendly deciduous trees are to be used. Where year-round sight obscuring is the highest priority, evergreen trees are to be used.
3. The following standards are to be applied:
 - a. Deciduous trees:
 - i. Minimum height of ten (10) feet; and
 - ii. Minimum trunk diameter (caliper) of 2 inches (measured at four and one-half [4 1/2] feet above grade).
 - b. Evergreen trees: Minimum height of twelve (12) feet.

F46. The structures are proposed to be approximately 32 feet tall. The largest proposed row house buildings would be approximately 10,800 sq. ft. in total floor area, far below 50,000 sq. ft. These requirements are not applicable, as a result.

D. Street Trees.

F47. See Finding F45, above.

(.08) Landscaping on Corner Lots.

All landscaping on corner lots shall meet the vision clearance standards of Section 4.177. If high screening would ordinarily be required by this Code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

F48. Condition of approval PDF 9 requires that all landscaping on corner lots meet the vision clearance standards of Section 4.177.

Section 4.177. Street Improvement Standards.

(.01) Except as specifically approved by the Development Review Board, all street and access improvements shall conform to the Transportation Systems Plan and the Public Works Standards, together with the following standards:

E. Access drives and travel lanes.

1. An access drive to any proposed development shall be designed to provide a clear travel lane free from any obstructions.
2. Access drive travel lanes shall be constructed with a hard surface capable of carrying a 23-ton load.
3. Secondary or emergency access lanes may be improved to a minimum 12 feet with an all-weather surface as approved by the Fire District. All fire lanes shall be dedicated easements.
4. Minimum access requirements shall be adjusted commensurate with the intended function of the site based on vehicle types and traffic generation.
5. Where access drives connect to the public right-of-way, construction within the right-of-way shall be in conformance to the Public Works Standards.

F49. SW Costa Circle West and SW Orleans Avenue were built during previous phases of SAP North and SAP Central. SW Paris Avenue, and SW Collina Lane, fronting the subject lots for three row house buildings, must each be built to public street standards. Garages will have vehicle access from private alleys (Tract KKK), according to Preliminary Plat, Plan Sheet 4. The alleys are 20 feet wide, with 16-foot-wide travel lanes to accommodate two-way traffic. These criteria are met.

F. Corner or clear vision area.

- 1. A clear vision area which meets the Public Works Standards shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. However, the following items shall be exempt from meeting this requirement:**
 - a. Light and utility poles with a diameter less than 12 inches.**
 - b. Trees less than 6" d.b.h., approved as a part of the Stage II Site Design, or administrative review.**
 - c. Except as allowed by b., above, an existing tree, trimmed to the trunk, 10 feet above the curb.**
 - d. Official warning or street sign.**
 - e. Natural contours where the natural elevations are such that there can be no cross-visibility at the intersection and necessary excavation would result in an unreasonable hardship on the property owner or deteriorate the quality of the site.**

F50. Condition of Approval PDF 9 will require that corner or clear vision areas are maintained consistent with this provision and the Public Works Standards.

Section 4.178. Sidewalk and Pathway Standards.

(.01) Sidewalks. All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.

F51. Sidewalks must be concrete and at least 5 feet wide. See Condition of Approval PFB 5.

(.03) Bicycle and pedestrian paths shall be located to provide a reasonably direct connection between likely destinations. A reasonably direct connection is a route which minimizes out-of-direction travel considering terrain, physical barriers, and safety. The objective of this standard is to achieve the equivalent of a 1/4 mile grid of routes.

F52. The proposal does not seek to amend the bicycle and pedestrian network. This criterion is therefore not applicable.

(.04) Pathway Clearance.

- A. Vertical and horizontal clearance for bicycle and pedestrian paths is specified in the Public Works Standards. The clearance above equestrian trails shall be a minimum of ten feet.**

F53. As shown in the submitted plans, all potential obstructions are at least one foot from the edge of the pathway surfaces, and vertical clearance will be maintained. This criterion is met.

Village Center Standards Applying to All Buildings

A: Standards Applying to All Buildings

1.1 Building Types

The Building Type, as per Table V-1: Development Standards (Village Zone) sets the building height and setback requirements. Additionally, the character of each Address is derived, in part, from assumptions about the types of products that will be developed. Therefore, this document establishes the appropriate Building Type(s) for each Address. For example, the Architectural Standards for The Courtyard Address assumes that a Row House building type is most appropriate to the intended character of the space. Whether the dwelling units are apartments, condominiums, or fee-simple is beyond the scope of this document.

All buildings outside the Address overlays shall meet the development standards of the Village Zone per the proposed Building Type. Row houses outside of an Address overlay may be detached or attached and are subject to ‘Row Houses – Village Center’ in Table V-1: Development Standards (Village Zone).

F54. The separation of the proposed row house buildings allows for breaks in roof forms which further articulate the vertical proportion of the facades. This criterion is met.

1.2 Building Height and Roof Form

Intent: Strengthen the perception of streets and open spaces as public rooms by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1. Maximum Building Height shall be as required by Table V-1: Development Standards (Village Zone).**

F55. The maximum building height for row house buildings in the Village Center, as required by Table V-1, is 45 feet. The maximum building height as measured from finished grade to midpoint of highest pitched roof of the proposed three-story, row house buildings is approximately 34 feet. This proposed height does not exceed the allowed maximum; therefore, this criterion is met.

- 2. See Address for other height limitations, such as number of stories or Average Façade Height.**

F56. The proposed row houses are not located within any of the Addresses found within SAP Central. This criterion is not applicable to the request.

3. Building Height measurement is defined in Section 4.001 Definitions (Village Zone).

F57. The maximum building height was measured from finished grade to midpoint of highest pitched roof per the definition of building or structure height. This is consistent with Section 4.001; therefore, this criterion is met.

4. Rooftop equipment shall be screened from view of taller buildings, whether existing or future, to the extent feasible.

F58. No rooftop equipment is proposed on the subject row house buildings. This criterion is therefore not applicable.

5. At least two roof gardens within SAP Central shall be provided where appropriate to desired roof from (i.e. flat roofs)

F59. The subject property is within SAP-Central. The proposal is for row houses with pitched roofs. Roof gardens are not appropriate for the proposed row house buildings.

Optional:

- **Buildings are encouraged to approach the maximum allowable height or number of stories.**
- **Building design should minimize the impact of shading of public and private outdoor areas from mid-morning and mid-afternoon hours.**

F60. Proposed row house buildings are three (3) stories high, meeting code.

1.3 Horizontal Façade Articulation

Intent: Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1. Horizontal articulation: Horizontal facades shall be articulated into smaller units. Appropriate methods of horizontal façade articulation include two or more of the following elements: change of facade materials, change of color, facade planes that are vertical in proportion, bays and recesses, breaks in roof elevation, or other methods as approved. (See individual Address for allowed and encouraged methods of horizontal articulation.)**

F61. Row houses are typically vertical in nature. Horizontal articulation is achieved by creating 15 to 24' wide facade planes that are vertical in proportion. The brick veneer exteriors reinforces the vertical proportion of the facades. Staff also finds that the use front door stoops, wide window and door trim further define the façade. This criterion is met.

2. **Building facades should incorporate design features such as offsets, projections, reveals, and/or similar elements to preclude large expanses of uninterrupted building surfaces.**

F62. The proposed row house buildings are in groups of four to five attached row house units, which serve to prevent large expanses of building surfaces. The use front door stoops, wide window and door trim further define each façade. This criterion is met.

Optional:

- **Articulation should extend to the roof. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.**

F63. The proposed row house buildings allow for breaks in the roof form, which further articulate the vertical proportion of the façades. This criterion is met.

1.1 Vertical Façade Articulation for All Mixed Use Buildings

F64. The PDP proposal is for 31 row house units. This criterion is not applicable to the proposal.

3.1 Exterior Building Materials and Color

Intent: **Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.**

Required Standards:

1. **When multiple materials are used on a façade, visually heavier and more massive materials shall occur at the building base, with lighter materials above the base. A second story, for example, shall not appear heavier or demonstrate greater mass than the portion of the building supporting it. Generally, masonry products and concrete are considered “heavier” than other façade materials.**

F65. The applicant is proposing combinations of brick or stone veneer, lap or stucco siding and wood trim. This criterion is met.

2. **Bright, intense colors shall be reserved for accent trim. However, a color palette that includes more intense color may be considered upon review of a fully colored depiction of the building.**

F66. Most of the building façades will have brick or stone veneer, lap or stucco siding and wood trim. The proposed color palettes are limited to window and door trim in dark, earthen colors. This criterion is met.

3. **Bright colors shall not be used for commercial purposes to draw attention to a building.**

F67. The proposal is for residential use in the form of 31 row houses in seven (7) buildings. This criterion is not applicable.

4. Concrete block shall be split-faced, ground-faced, or scored where facing a street or public way. Concrete block is discouraged around the plaza.

F68. The proposal does not include the use of concrete block; therefore, this criterion is not applicable.

5. Exteriors shall be constructed of durable and maintainable materials that have texture, pattern, or lend themselves to quality detailing.

F69. The applicant is proposing brick or stone veneer, lap or stucco siding and wood trim. These materials have proven to be durable and maintainable materials that have texture, pattern and can be utilized in varying patterns to provide quality detailing. This criterion is met.

Optional:

- **Exterior materials should have an integral color, patterning, and/or texture.**
- **Sustainable building materials and practices are strongly encouraged. Programs such as the Portland General Electric Earth Advantage and the LEED Building Certification Program of the U.S. Green Building Council may be used as guides in this regard.**

F70. At building permit review, the applicant will coordinate with the Building Division about sustainable construction techniques.

3.2 Architectural Character

Intent: Encourage creative expression through diversity of architectural character. Ensure consistency and accuracy of architectural styles.

Required Standards:

1. Each building shall have a definitive, consistent Architectural character (see glossary). All primary facades of a building (those facades that face a public street) shall be designed with building components and detail features consistent with the architectural character of the building.

F71. The front elevations of the proposed row house buildings including materials and architectural details, have been designed by a licensed architect. Colors are appropriate for the two respective architectural styles. Landscaping meets the Community Elements Book.

F72. “Architectural Character” is the combination of qualities that distinguish one design from another. Architectural character is intentionally open-ended to allow for contemporary interpretations of historic character. A row house in and of itself is a row of identical, or nearly identical, houses, situated side by side. Staff finds that through the use of similar materials and massing the proposed architecture meets this criterion.

2. **Mixing of various Architectural Styles (see glossary) on the same building dilutes the character and is therefore not allowed. If a historic architectural style is selected, then all detail and trim features must be consistent with the architectural style.**
- F73. “Architectural Style” is the combination of distinct features particular to a person, school, or era of architecture. The two (2) proposed Architectural Styles for the project are met by the applicant.
3. **Secondary facades attached to a primary façade (such as a side wall not facing a public street) shall wrap around the building by incorporating building material features to the primary façade for a minimum of 25 percent of the overall wall length measured from the primary façade.**
- F74. The side elevations of the row houses incorporate siding and detailing similar to the front elevation. Staff finds that the applicant has satisfactorily continued the use of stucco, and brick or stone veneer on each proposed side elevation. This criterion is met.
4. **All visible sides of buildings should display a similar level of quality and visual interest. The majority of a building’s architectural features and treatments should not be restricted to a single façade.**
- F75. As stated previously, the sides of the seven (7) row house buildings will face streets, requiring stucco siding, brick or rock veneer, and wood trim. In addition to the building materials, the applicant will continue detailed trim and window patterns on all elevations facing public view sheds. This criterion is met.
5. **Accessory buildings should be designed and integrated with the primary building. Exterior facades of an accessory building should employ architectural, site, and landscaping design elements that are integrated with and common to those used on the primary structure.**
- F76. Accessory buildings are not proposed as a part of this application. This criterion is therefore not applicable.
6. **Applicants are encouraged to consult an architect or architectural historian regarding appropriate elements of architectural style.**
- F77. The Elevations and Floor Plans (Section VIC of Exhibit B1) lists the name of architectural designer. This criterion is met.
7. **In areas not within an address, building elevations of block complexes shall not repeat an elevation found on an adjacent block.**
- F78. The site of the proposed row houses is not within an affected address. Therefore, this criterion is not applicable.

3.3 Ground Level Building Components

Intent: Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Section 4.125 Table V-1 Row Houses Required Standards:

1. **Building setbacks and frontage widths shall be as required by Table V-1: Development Standards unless specifically noted otherwise by an Address requirement. Detached row houses shall not be separated at front façade by more than 10 feet, except as necessary to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, open space requirements, or as otherwise approved by the Development Review Board.**
- F79.** The proposed side yard between the row house units is 0 feet, meeting the Village Zone code requirements.
2. **Retail shall be oriented toward the adjacent street or public way and have direct access from sidewalks through storefront entries. Secondary entry from the parking lot side is allowed, however the street side shall have the primary entrance.**
- F80.** The proposal is for 31 row house units. No retail use is proposed.
3. **Mixed use buildings: residential entries, where opening to streets and public ways, shall be differentiated from adjacent retail entries and provide secure access through elevator lobbies, stairwells, and/or corridors.**
- F81.** The proposal is for 31 row house units. Mixed use is not proposed.
4. **All entries, whether retail or residential, shall have a weatherproof roof covering, appropriate to the size and importance of the entry but at least 4 feet deep and 4 feet wide.**
- D82.** The proposal includes provisions for covered stoops on all row house units at least four feet deep and four feet wide. This criterion is met.
- Building lighting, when provided, shall be indirect or shielded.**
- F83.** All exterior building lighting will include shielded fixtures, where required.
- F84.** The proposed architecture for the row house buildings in groups serves to reduce large expanses of building surfaces. Entry stoops and door pilaster projections serve to further break down the scale of the row house buildings. This criterion is met.
5. **Parking structures shall be screened from streets using at least two of the following methods:**
 - a) **Residential or commercial uses, where appropriate;**

- b) **Decorative grillwork (plain vertical or horizontal bars are not acceptable);**
- c) **Decorative artwork, such as metal panels, murals, or mosaics; and/or**
- d) **Vegetation, such as trees, shrubs, ground cover and/or vines, adjacent to the wall surface.**

F85. The proposal does not include a request for parking structures; therefore, this criterion is not applicable.

- 6. For mixed-use buildings, within the plaza address every storefront window shall have a canopy or awning.**

F86. The proposal is for 31 row house units. Mixed use is not proposed. This criterion is not applicable.

- 7. Reflective, heavily tinted, or other sight-obscuring glass is strongly discouraged in commercial spaces and on windows larger than four square feet.**

F87. The proposal is for 31 row house units. Reflective, tinted or sight-obscuring glass is not proposed.

- 9. Landscaping or other form of screening shall be provided when parking occurs between buildings and the street.**

F88. The proposal does not include parking between the buildings and street. The submitted drawings indicate that all garages will be alley-loaded. This criterion is therefore not applicable.

Optional:

- **Create indoor/outdoor relationships by opening interior spaces onto walkways and plazas and bring the “outdoors” into the building by opening interior spaces to air and light. Overhead garage doors, telescoping window walls, and low window sill heights are good strategies for creating indoor/outdoor relationships.**
- **The primary function of canopies and awnings is weather protection. Signage requirements are found in the Signage and Wayfinding Plan.**

F89. While these provisions are optional, all of the proposed row house buildings include front stoops off the front living spaces with window and doors to bring the outdoors in to the living spaces. In addition to providing entry stoops the applicant is proposing low window sill heights to further enhance the indoor/outdoor relationships. No canopies, awnings or signage is proposed. This criterion is met.

4.1 Façade Components

Intent: **Maintain a lively and active street face. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.**

Required Standards:

1. **Windows and doors shall be recessed 3 inches (i.e., into the façade) to provide shadowing. Windows and doors recessed less than 3 inches are allowed, provided they also incorporate at least one of the following:**
 - a. **Shutters, appearing operable and sized for the window opening;**
 - b. **Railing, where required at operable doors and windows (i.e. French balcony); and/or**
 - c. **Visible and substantial trim. Trim is considered visible and substantial when it is of a contrasting material, color, or it creates shadowing. Stucco trim on a stucco façade is not acceptable.**
- F90.** The applicant has provided drawings to support that all windows and doors incorporate visible and substantial trim of a uniform color. Should the windows and doors be recessed less than 3 inches, this provision can still be met through the incorporation of substantial trim.
2. **Balconies shall extend no more than 36 inches beyond the furthest adjacent building face. Balconies are encouraged to extend into the building façade to achieve greater depth than 36 inches.**
- F91.** The proposal does not include plans for balconies on primary or secondary elevations, in compliance with the requirement.
3. **Shutters, where provided, shall be sized to appear operable at window or door openings.**
- F92.** Shutters are proposed on several elevations, in compliance with the requirement.
4. **Except in the Plaza Address, balconies shall be at least 5 feet deep. Porches shall have a minimum four foot covered depth and provide a usable area a minimum of six feet by six feet.**
- F93.** The proposal includes plans for porches. The applicant has provided graphic representation that the row houses include covered stoops in compliance with the requirement for porches. Balconies are not proposed on primary or secondary elevations, in compliance with this requirement.

Optional:

- **Individual residential windows should be square or vertical in proportion. An assembly of windows, however, may have an overall horizontal proportion.**
- **Material changes should occur at a horizontal line or at an inside corner of two vertical planes.**
- **Every residential unit is encouraged to have some type of outdoor living space: balcony, deck, terrace, stoop, etc.**
- **Expression of the rainwater path (conveyance or rainwater from the building roof to the ground) should be expressed at street-facing facades. Expression of the rainwater path includes the use of scuppers and exposed gutters and downspouts. Some of the Village Center streets feature surface rainwater drainage; where applicable, buildings shall have downspouts connected to the drainage system.**

- Building fronts are encouraged to take on uneven angles as they accommodate the shape of the street.
- Encourage wide opening windows. Install small window panes where the style of the architecture dictates.
- The use of high window sill is discouraged.
- The use of finishing touches and ornament is encouraged on buildings.

F94. The applicant is proposing several optional items. All windows are either square or vertical in proportion. All row house units have front stoops off main front living spaces. Balconies are not proposed on primary or secondary elevations. These criteria are met.

5.1 Fencing

Intent: Ensure that fencing is compatible with the building design and consistent throughout the Village Center.

F95. Fencing is not proposed as a part of this project.

Village Center Architectural Standards – Compliance Checklist, Standards Applying to All Buildings:

Standard	Compliant	Notes
A1.2 Building Height & Roof Form		
Required Standards		
0.1 Max. building height according to Table V-1	<input checked="" type="checkbox"/>	Row house buildings at 3 stories or approx. 32 feet high are below 45’ maximum height meeting Table V-1.
0.2 Other height limitations	<input checked="" type="checkbox"/>	Row house buildings are below 45’ maximum height meeting Table V-1.
0.3 Check building height measurement method – V Zone 4.001.	<input checked="" type="checkbox"/>	Row house buildings are measured correctly.
0.4 Rooftop equipment screening	<input checked="" type="checkbox"/>	No rooftop equipment proposed.
0.5 Roof gardens	<input checked="" type="checkbox"/>	No rooftop garden areas are proposed.
Optional		
0.6 Maximum allowable height encouraged	<input checked="" type="checkbox"/>	The row house buildings are not designed to exceed the allowable height.
0.7 Minimize shading of outdoor areas	<input checked="" type="checkbox"/>	Except on end walls, there is no private open space between the row house units as they are attached with 0 foot setbacks.
A1.3 Horizontal Façade Articulation		
Required Standards		
0.1 Horizontal Facades articulated into smaller units	<input checked="" type="checkbox"/>	Row houses uses change of materials, change of brick or stone veneer, vertical façade planes, stoops, recesses, and breaks in roof elevations to articulate the horizontal façade.

0.2 Incorporate offsets, projections, reveals, and/or similar elements	<input checked="" type="checkbox"/>	Offsets, covered stoops, and other elements are used to prevent a large expanse of uninterrupted building surfaces.
Optional		
0.3 Articulation extended to the roof	<input checked="" type="checkbox"/>	The articulation of the row house buildings does extend to the roof.
A2.1 Vertical Façade Articulation for All Mixed Use Buildings	N/A	Not applicable. The row houses are not mixed use buildings.
A3.1 Exterior Building Materials & Color		
Required Standards		
0.1 Heavier and more massive materials at the building base	<input checked="" type="checkbox"/>	Brick or stone veneer are considered a heavier material, is applied at the base of the row houses.
0.2 Bright, intense colors reserved for accent trim	<input checked="" type="checkbox"/>	Bright, intense colors are not proposed.
0.3 Bright colors not used for commercial purposes	N/A	Commercial purposes are not proposed.
0.4 Acceptable concrete block at a public way	<input checked="" type="checkbox"/>	Concrete block is not proposed.
0.5 Exteriors constructed of durable and maintainable materials	<input checked="" type="checkbox"/>	Brick or stone veneers, stucco and lap siding are all durable materials with texture.
Optional		
0.1 Exterior materials with integral color, patterning, and/or texture	<input checked="" type="checkbox"/>	The exterior materials have integral color, patterning, or texture.
0.2 Sustainable building materials and practices are strongly encouraged	<input checked="" type="checkbox"/>	The proposed brick or stone veneers and stucco or lap siding materials could be considered sustainable to different extents.
3.2 Architectural Character		
Required		
0.1 Definitive, consistent architectural character	<input checked="" type="checkbox"/>	The row house buildings have two defined and consistent architectural styles.
0.2 Detail and trim features consistent with the architectural style	<input checked="" type="checkbox"/>	The row house buildings are consistently in the French or English styles.
0.3 Secondary façade design includes min. 25% of wall length of primary façade details and materials	<input checked="" type="checkbox"/>	All facades full integrate the respective, designed architectural styles.
0.4 All visible sides of buildings display a similar level of quality and visual interest	<input checked="" type="checkbox"/>	All visible sides of the row houses maintain a consistent and similar level of quality and visual interest.
0.5 Accessory buildings designed and integrated into primary building	<input checked="" type="checkbox"/>	No accessory buildings are proposed.
0.6 Architect consultation regarding architectural style	<input checked="" type="checkbox"/>	The row house buildings have been professionally designed by a licensed architect.

0.7 Building elevations not repeated on adjacent blocks.	<input checked="" type="checkbox"/>	The row house buildings will not repeat other elevations on adjacent blocks.
A3.3 Ground Level Building Components		
Required Standards		
0.1 Building setbacks and horizontal widths per Table V-1. Detached row house max. 10' separation at front.	<input checked="" type="checkbox"/>	Standards of Table V-1 are met for setback and frontage widths.
0.2 Retail orientated toward street or public way	N/A	Not proposed.
0.3 Mixed use buildings: residential entries differentiated from adjacent retail entries	N/A	Not proposed.
0.4 Weatherproof roof covering at entries	<input checked="" type="checkbox"/>	Appropriately sized covered stoops are provided.
0.5 Indirect or shielded building lighting	<input checked="" type="checkbox"/>	Lighting will be indirect or shielded.
0.6 Parking structures screened from street.	<input checked="" type="checkbox"/>	Garages are proposed at alleys which are partially visible to public view.
0.7 Storefront windows with a canopy or awning	N/A	Not applicable.
0.8 Discourage use of sight obscuring glass	<input checked="" type="checkbox"/>	Proposed glass is not sight obscuring.
0.9 Landscaping or screening of parking between buildings and the street	N/A	Not proposed.
Optional		
0.10 Create indoor/outdoor relationships	<input checked="" type="checkbox"/>	Doors and windows bring light and air and the outdoors into the individual living spaces.
0.11 Canopies and Awnings for weather protection	N/A	Not proposed.
A4.1 Façade Components		
Required		
0.1 Windows and doors recessed 3 inches	<input checked="" type="checkbox"/>	Windows and doors include substantial and visible trim.
0.2 Balconies 36" max. projection	N/A	Balconies are not proposed on primary or secondary elevations.
0.3 Shutters sized for operable appearance	<input checked="" type="checkbox"/>	Shutters are proposed on French Revival units, meeting this requirement..
0.4 Balconies and porches at least 5 feet deep. Porches min. 4 feet deep. Covered depth and min. useable area 6' x 6'	N/A	Balconies are not proposed on primary or secondary elevations. Illustrated railings on some units are decorative, only. Porches meet these requirements.
Optional		
0.4 (<i>Note: Duplicate numbers in published VCAS</i>) Windows square or vertical in proportion.	<input checked="" type="checkbox"/>	All visible individual windows are square or vertical in proportion.

0.5 Materials changes at a horizontal line or inside corner of two vertical planes.	<input checked="" type="checkbox"/>	Materials change at horizontal lines or corners.
0.6 Residential units with outdoor living space.	<input checked="" type="checkbox"/>	Balconies are proposed on rear elevations.
0.7 Expression of rainwater path	N/A	Not proposed.
0.8 Building fronts taking on uneven angles to accommodate street	<input checked="" type="checkbox"/>	Streets are straight along frontage; no angles needed.
0.9 Encourage wide opening windows	<input checked="" type="checkbox"/>	The applicant has indicated details of window opening.
a. Discourage use of high window sills	<input checked="" type="checkbox"/>	High window sills are not proposed.
b. Finishing touches and ornament	<input checked="" type="checkbox"/>	The applicant is providing some level of finishing touch and ornamentation.
A5.1 Fencing		
Required Standards		
0.1 See applicable sections of the Village Zone	<input checked="" type="checkbox"/>	

F96. All of the applicable requirements of the VCAS are satisfied by the applicant's proposal.

Community Elements Book:

Applicable Requirement	Compliant	Notes
Street Lighting	<input checked="" type="checkbox"/>	See Conditions PDB 2 and PFB 36.
Curb Extensions	<input checked="" type="checkbox"/>	None proposed.
Street Trees	<input checked="" type="checkbox"/>	Street trees to be the preferred variety for each street as listed on page of the approved SAP Central Community Elements Book.
Landscape Elements - Site Furnishings	<input checked="" type="checkbox"/>	Listed site furnishings required are shown on Plan Sheets L1 and L2.
Tree Protection	<input checked="" type="checkbox"/>	See Request E for the Type 'C' Tree Plan
Plant List	<input checked="" type="checkbox"/>	All plant materials listed on Planting Plans. No prohibited plants are proposed

F97. All of the applicable requirements of the Community Elements Book are satisfied by the applicant's proposal.

Section 4.421. Criteria and Application of Design Standards.

- (.01) **The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural**

styles is not included in these standards. (Even in the Boones Ferry Overlay Zone, a range of architectural styles will be encouraged.)

A. Preservation of Landscape.

F98. Staff finds that the subject site for the proposed row houses is part of the approved Central Specific Area Plan (SAP). The project site has fairly level terrain. Numerous trees in poor to good condition will be removed.

B. Relation of Proposed Buildings to Environment.

F99. The project site is not within a Significant Resource Overlay Zone or next to any other natural feature. This criterion is not applicable.

C. Drives, Parking and Circulation.

F100. Driveways and circulation are proposed and designed to serve the site adequately.

D. Surface Water Drainage.

F101. At permit review, the City will require that the applicant provide storm water calculations to ensure the downstream capacity of the public storm drainage system, and to not adversely affect neighboring properties.

E. Utility Service.

F102. All utilities will be extended to the project site, meeting code. Engineering review of construction documents will ensure compliance with this provision.

F. Advertising Features.

F103. New signs would need to comply with the approved Villebois Center Wayfinding Plan.

G. Special Features.

F104. There will be no special features associated with the proposed buildings.

Wheeler, Mike

From: Adams, Steve
Sent: Wednesday, June 24, 2015 2:34 PM
To: Wheeler, Mike
Cc: Edmonds, Blaise
Subject: Villebois SAP Central PDP 6, Lot 83 (DB15-0012)
Attachments: Villebois SAP Central PDP 6, Lot 83 (DB15-0012).doc

Follow Up Flag: Follow up
Flag Status: Flagged

Mike,

Please see attached conditions.

Thanks, Steve

Steve R. Adams, P.E.

Development Engineering Manager
City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070

ph: 503-682-4960

email: adams@ci.wilsonville.or.us

PUBLIC RECORDS LAW DISCLOSURE: Messages to and from this e-mail address is a public record of the City of Wilsonville and may be subject to public disclosure. This e-mail is subject to the State Retention Schedule.



City of Wilsonville
EXHIBIT C1 DB15-0011 et seq

**EXHIBIT A
PLANNING DIVISION
STAFF REPORT**

VILLEBOIS SAP CENTRAL PDP 6

**DEVELOPMENT REVIEW BOARD PANEL '___'
QUASI JUDICIAL HEARING**

Public Hearing Date:

Date of Report:

Application Numbers:

**Request A: DB15-0012 Preliminary Development Plan
Request B: DB15-0014 Tentative Subdivision Plat**

Property

Owners/Applicants:

PD = Planning Division conditions

BD – Building Division Conditions

PF = Engineering Conditions.

NR = Natural Resources Conditions

TR = SMART/Transit Conditions

FD = Tualatin Valley Fire and Rescue Conditions

Standard Comments:

PFA 1. All construction or improvements to public works facilities shall be in conformance to the City of Wilsonville Public Works Standards - 2014.

PFA 2. Applicant shall submit insurance requirements to the City of Wilsonville in the following amounts:

<i>Coverage (Aggregate, accept where noted)</i>	<i>Limit</i>
Commercial General Liability	
General Aggregate (per project)	\$ 3,000,000
General Aggregate (per occurrence)	\$ 2,000,000
Fire Damage (any one fire)	\$ 50,000
Medical Expense (any one person)	\$ 10,000
Business Automobile Liability Insurance	
Each Occurrence	\$ 1,000,000
Aggregate	\$ 2,000,000
Workers Compensation Insurance	\$ 500,000

PFA 3. No construction of, or connection to, any existing or proposed public utility/improvements will be permitted until all plans are approved by Staff, all fees have been paid, all necessary permits, right-of-way and easements have been obtained and Staff is notified a minimum of 24 hours in advance.

PFA 4. All public utility/improvement plans submitted for review shall be based upon a 22"x 34" format and shall be prepared in accordance with the City of Wilsonville Public Work's Standards.

PFA 5. Plans submitted for review shall meet the following general criteria:

- a. Utility improvements that shall be maintained by the public and are not contained within a public right-of-way shall be provided a maintenance access acceptable to the City. The public utility improvements shall be centered in a minimum 15-ft. wide public easement for single utilities and a minimum 20-ft wide public easement for two parallel utilities and shall be conveyed to the City on its dedication forms.
- b. Design of any public utility improvements shall be approved at the time of the issuance of a Public Works Permit. Private utility improvements are subject to review and approval by the City Building Department.
- c. In the plan set for the PW Permit, existing utilities and features, and proposed new private utilities shall be shown in a lighter, grey print. Proposed public improvements shall be shown in bolder, black print.
- d. All elevations on design plans and record drawings shall be based on NAVD 88 Datum.
- e. All proposed on and off-site public/private utility improvements shall comply with the State of Oregon and the City of Wilsonville requirements and any other applicable codes.
- f. Design plans shall identify locations for street lighting, gas service, power lines, telephone poles, cable television, mailboxes and any other public or private utility within the general construction area.

- g. As per City of Wilsonville Ordinance No. 615, all new gas, telephone, cable, fiber-optic and electric improvements etc. shall be installed underground. Existing overhead utilities shall be undergrounded wherever reasonably possible.
- h. Any final site landscaping and signing shall not impede any proposed or existing driveway or interior maneuvering sight distance.
- i. Erosion Control Plan that conforms to City of Wilsonville Ordinance No. 482.
- j. Existing/proposed right-of-way, easements and adjacent driveways shall be identified.
- k. All engineering plans shall be printed to PDF, combined to a single file, stamped and digitally signed by a Professional Engineer registered in the State of Oregon.
- l. All plans submitted for review shall be in sets of a digitally signed PDF and three printed sets.

PFA 6. Submit plans in the following general format and order for all public works construction to be maintained by the City:

- a. Cover sheet
- b. City of Wilsonville construction note sheet
- c. General construction note sheet
- d. Existing conditions plan.
- e. Erosion control and tree protection plan.
- f. Site plan. Include property line boundaries, water quality pond boundaries, sidewalk improvements, right-of-way (existing/proposed), easements (existing/proposed), and sidewalk and road connections to adjoining properties.
- g. Grading plan, with 1-foot contours.
- h. Composite utility plan; identify storm, sanitary, and water lines; identify storm and sanitary manholes.
- i. Detailed plans; show plan view and either profile view or provide i.e.'s at all utility crossings; include laterals in profile view or provide table with i.e.'s at crossings; vertical scale 1"= 5', horizontal scale 1"= 20' or 1"= 30'.
- j. Street plans.
- k. Storm sewer/drainage plans; number all lines, manholes, catch basins, and cleanouts for easier reference
- l. Water and sanitary sewer plans; plan; number all lines, manholes, and cleanouts for easier reference.
- m. Detailed plan for storm water detention facility (both plan and profile views), including water quality orifice diameter and manhole rim elevations. Provide detail of inlet structure and energy dissipation device. Provide details of drain inlets, structures, and piping for outfall structure. Note that although storm water detention facilities are typically privately maintained they will be inspected by engineering, and the plans must be part of the Public Works Permit set.
- n. Detailed plan for water quality facility (both plan and profile views). Note that although storm water quality facilities are typically privately maintained they will be inspected by Natural Resources, and the plans must be part of the Public Works Permit set.
- o. Composite franchise utility plan.
- p. City of Wilsonville detail drawings.
- q. Illumination plan.
- r. Striping and signage plan.
- s. Landscape plan.

PFA 7. Design engineer shall coordinate with the City in numbering the sanitary and stormwater sewer systems to reflect the City's numbering system. Video testing and sanitary manhole testing will refer to City's numbering system.

PFA 8. The applicant shall install, operate and maintain adequate erosion control measures in conformance with the standards adopted by the City of Wilsonville Ordinance No. 482 during the construction of any public/private utility and building improvements until such time as approved permanent vegetative materials have been installed.

PFA 9. Applicant shall work with City's Natural Resources office before disturbing

	any soil on the respective site. If 5 or more acres of the site will be disturbed applicant shall obtain a 1200-C permit from the Oregon Department of Environmental Quality. If 1 to less than 5 acres of the site will be disturbed a 1200-CN permit from the City of Wilsonville is required.
PFA 10.	A storm water analysis prepared by a Professional Engineer registered in the State of Oregon shall be submitted for review and approval by the City.
PFA 11.	The applicant shall be in conformance with all water quality requirements for the proposed development per the Public Works Standards. If a mechanical water quality system is used, prior to City acceptance of the project the applicant shall provide a letter from the system manufacturer stating that the system was installed per specifications and is functioning as designed.
PFA 12.	Storm water quality facilities shall have approved landscape planted and/or some other erosion control method installed and approved by the City of Wilsonville prior to streets and/or alleys being paved.
PFA 13.	The applicant shall contact the Oregon Water Resources Department and inform them of any existing wells located on the subject site. Any existing well shall be limited to irrigation purposes only. Proper separation, in conformance with applicable State standards, shall be maintained between irrigation systems, public water systems, and public sanitary systems. Should the project abandon any existing wells, they shall be properly abandoned in conformance with State standards.
PFA 14.	All survey monuments on the subject site, or that may be subject to disturbance within the construction area, or the construction of any off-site improvements shall be adequately referenced and protected prior to commencement of any construction activity. If the survey monuments are disturbed, moved, relocated or destroyed as a result of any construction, the project shall, at its cost, retain the services of a registered professional land surveyor in the State of Oregon to restore the monument to its original condition and file the necessary surveys as required by Oregon State law. A copy of any recorded survey shall be submitted to Staff.
PFA 15.	Sidewalks, crosswalks and pedestrian linkages in the public right-of-way shall be in compliance with the requirements of the U.S. Access Board.
PFA 16.	No surcharging of sanitary or storm water manholes is allowed.
PFA 17.	The project shall connect to an existing manhole or install a manhole at each connection point to the public storm system and sanitary sewer system.
PFA 18.	A City approved energy dissipation device shall be installed at all proposed storm system outfalls. Storm outfall facilities shall be designed and constructed in conformance with the Public Works Standards.
PFA 19.	The applicant shall provide a 'stamped' engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways.
PFA 20.	All required pavement markings, in conformance with the Transportation

	Systems Plan and the Bike and Pedestrian Master Plan, shall be completed in conjunction with any conditioned street improvements.
PFA 21.	Street and traffic signs shall have a hi-intensity prismatic finish meeting ASTM 4956 Spec Type 4 standards.
PFA 22.	The applicant shall provide adequate sight distance at all project driveways by driveway placement or vegetation control. Specific designs to be submitted and approved by the City Engineer. Coordinate and align proposed driveways with driveways on the opposite side of the proposed project site.
PFA 23.	Access requirements, including sight distance, shall conform to the City's Transportation Systems Plan (TSP) or as approved by the City Engineer. Landscaping plantings shall be low enough to provide adequate sight distance at all street intersections and alley/street intersections.
PFA 24.	Applicant shall design interior streets and alleys to meet specifications of Tualatin Valley Fire & Rescue and Allied Waste Management (United Disposal) for access and use of their vehicles.
PFA 25.	The applicant shall provide the City with a Stormwater Maintenance and Access Easement (on City approved forms) for City inspection of those portions of the storm system to be privately maintained. Stormwater or rainwater LID facilities may be located within the public right-of-way upon approval of the City Engineer. Applicant shall maintain all LID storm water components and private conventional storm water facilities; maintenance shall transfer to the respective homeowners association when it is formed.
PFA 26.	The applicant shall "loop" proposed waterlines by connecting to the existing City waterlines where applicable.
PFA 27.	All water lines that are to be temporary dead-end lines due to the phasing of construction shall have a valved tee with fire-hydrant assembly installed at the end of the line.
PFA 28.	Applicant shall provide a minimum 6-foot Public Utility Easement on lot frontages to all public right-of-ways. An 8-foot PUE shall be provided along Collectors. A 10-ft PUE shall be provided along Minor and Major Arterials.
PFA 29.	For any new public easements created with the project the Applicant shall be required to produce the specific survey exhibits establishing the easement and shall provide the City with the appropriate Easement document (on City approved forms).
PFA 30.	<p>Mylar Record Drawings:</p> <p>At the completion of the installation of any required public improvements, and before a 'punch list' inspection is scheduled, the Engineer shall perform a record survey. Said survey shall be the basis for the preparation of 'record drawings' which will serve as the physical record of those changes made to the plans and/or specifications, originally approved by Staff, that occurred during construction. Using the record survey as a guide, the appropriate changes will be made to the construction plans and/or specifications and a complete revised 'set' shall be submitted. The 'set' shall consist of drawings</p>

on 3 mil. Mylar and an electronic copy in AutoCAD, current version, and a digitally signed PDF.

Specific Comments:

PFA 31. At the request of Staff, DKS Associates completed a Transportation Study, dated May 7, 2015. The project is hereby limited to no more than the following impacts.

Estimated New PM Peak Hour Trips	16
Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area	4

PFA 32. Consistent with other development within Villebois Village, the applicant shall be required to complete design and construction for full street improvements through the far curb and gutter, and far corner radii of intersections, for the extension of Paris Avenue southwest of the proposed development and the new Collina Lane southeast of the development. Design and improvements shall include street lighting on both sides of the streets.

PFA 33. Development of the land southwest of Paris Avenue and southeast of Collina Lane is unknown at this time. Therefore this segment of Paris Avenue and Collina Lane will be allowed to be designed for a 5" section of asphalt; both segments shall be paved with a single 3" base lift; 2" top lift to be completed by adjacent development when it occurs. Streets shall be designed in conformance to the applicable street type as shown in the Villebois Village Master Plan.

PFA 34. Applicant shall install the top lift of asphaltic concrete on the section of Costa Circle West (2" top lift through the intersection with Paris Avenue) and on Orleans Avenue (1 1/2" top lift through the intersection with Collina Lane) adjacent to the site.

PFA 35. Alleyways shall connect to the public right-of-way at as near 90° as possible, per the 2014 Public Works Standards.

PFA 36. The applicant shall provide a 'stamped' engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways. Secondly, the street lighting style shall be in conformance to the current edition of the Villebois SAP Central Community Elements Book Lighting Master Plan.

PFA 37. Per the Villebois Village SAP Central Master Signage and Wayfinding plan all regulatory traffic signage in Villebois Central shall be finished black on the back sides.

PFA 38. All of the proposed development lies within the Coffee Creek basin. Per City Ordinance 608 storm water detention is not required for this project due to its direct connection to the Coffee Creek wetlands.

PFA 39.	Applicant shall install a looped water system by connecting to the existing water lines in Costa Circle West and Orleans Avenue.
PFA 40.	<p>The Villebois Sanitary Sewer (SS) Master Plan has the 14 proposed units facing Costa Circle West serviced by the north SS trunk line. The other 17 proposed units are part of the south SS trunk line service area. Preliminary material submitted by the applicant shows all 31 proposed units being serviced by the north SS trunk line.</p> <p>Applicant shall connect the 17-unit portion of the development to the existing SS line at the north end of Campanile Lane, or provide revised SS master plan calculations showing that the change will not create a capacity issue for the north SS trunk line. Alternately, applicant shall divert an equivalent area elsewhere in Villebois from the north SS trunk line to the south SS trunk.</p>
PFA 41.	Applicant shall provide sufficient mail box units for the proposed phasing plan; applicant shall construct mail kiosk at locations coordinated with City staff and the Wilsonville U.S. Postmaster.
PFA 42.	All construction traffic shall access the site via Grahams Ferry Road to Barber Street to Costa Circle or via Tooze Road to Villebois Drive N. No construction traffic will be allowed on Brown Road or Barber Street east of Costa Circle West, or on other residential roads.
PFA 43.	SAP Central PDP 6 consists of 31 lots. All construction work in association with the Public Works Permit and Project Corrections List shall be completed prior to the City Building Division issuing a certificate of occupancy, or a building permit for the housing unit(s) in excess of 50% of total (16 th lot).

Engineering Division Conditions:

PFB 1.	Paper copies of all proposed subdivision/partition plats shall be provided to the City for review. Once the subdivision/partition plat is approved, applicant shall have the documents recorded at the appropriate County office. Once recording is completed by the County, the applicant shall be required to provide the City with a 3 mil Mylar copy of the recorded subdivision/partition plat.
PFB 2.	All newly created easements shown on a subdivision or partition plat shall also be accompanied by the City's appropriate Easement document (on City approved forms) with accompanying survey exhibits that shall be recorded immediately after the subdivision or partition plat.
PFB 3.	Consistent with other development within Villebois Village the applicant shall dedicate full right-of-way full street improvements through the far curb and gutter for the extension of Paris Avenue southwest of the proposed development and the new Collina Lane southeast of the development.

Wheeler, Mike

From: Adams, Steve
Sent: Thursday, June 25, 2015 12:18 PM
To: Wheeler, Mike; Edmonds, Blaise
Cc: Edmonds, Blaise
Subject: VB Central 6

Follow Up Flag: Follow up
Flag Status: Flagged

Mike,
Please add this as a condition to VB Central 6:

The initial approval of SAP Central consisted of 9 single family units, 500 townhome/condo units, and 501 apartment units for a total of 1,010 residential units, along with 20,000 sq. ft. of commercial space. Based on assumed trip generation rates, these land uses were estimated to generate 616 p.m. peak hour trips.

Previous changes to housing types in SAP Central created a land use that included 49 single family units, 459 townhome/condo units, and 501 apartment units for a total of 1,009 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 659 p.m. peak hour trips. This is 43 p.m. peak hour trips above what was initially approved for SAP Central.

The currently proposed land use includes 74 single family units, 392 townhome/condo units, and 533 apartment units for a total of 999 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 670 p.m. peak hour trips. This is 11 P.M. peak hour trips above what was previously expected and 54 p.m. peak hour trips above what was initially approved for SAP Central.

Many of the changes from townhome/condo units to single family units occur with this proposed development. The applicant may be required to pay Street SDC fees for these additional 11 PM Peak Hour Trips, unless applicant can show evidence of other arrangements with the City having been made.

Thanks, Steve

Steve R. Adams, P.E.

Development Engineering Manager
City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070

ph: 503-682-4960
email: adams@ci.wilsonville.or.us

PUBLIC RECORDS LAW DISCLOSURE: Messages to and from this e-mail address is a public record of the City of Wilsonville and may be subject to public disclosure. This e-mail is subject to the State Retention Schedule.



City of Wilsonville
EXHIBIT C2 DB15-0011 et seq

Wheeler, Mike

From: Rappold, Kerry
Sent: Friday, June 19, 2015 11:59 AM
To: Wheeler, Mike
Subject: PDP 6C
Attachments: Conditions of Approval (DB15-0012 & 16 - Villebois SAP Central, PDP 6C).doc

Follow Up Flag: Follow up
Flag Status: Flagged

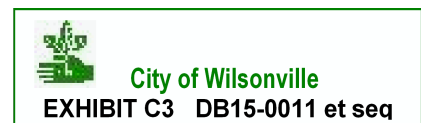
Mike,

Attached are my conditions of approval.

Thanks.

Kerry Rappold
Natural Resources Program Manager
City of Wilsonville
503-570-1570
503-682-7025 (fax)
rappold@ci.wilsonville.or.us

DISCLOSURE NOTICE: Messages to and from this E-mail address may be subject to the Oregon Public Records Law.



COMMUNITY DEVELOPMENT MEMORANDUM

To: Michael Wheeler, Associate Planner

From: Kerry Rappold, Natural Resources Program Manager

Date: June 19, 2015

RE: Villebois Village SAP Central, PDP 6C (DB15-0012 and 0016)

This memorandum includes staff conditions of approval. The conditions are based on the Preliminary and Final Development Plans for PDP 6C. The conditions of approval apply to the applicant's submittal of construction plans (i.e., engineering drawings).

Rainwater Management

- NR1. All rainwater management components and associated infrastructure located in public areas shall be designed to the Public Works Standards.
- NR2. All rainwater management components in private areas shall comply with the plumbing code.
- NR3. Pursuant to the City of Wilsonville Public Works Standards, access shall be provided to all areas of the proposed rainwater management components. At a minimum, at least one access shall be provided for maintenance and inspection.
- NR4. Plantings in rainwater management components located in public areas shall comply with the Public Works Standards.
- NR5. Plantings in rainwater management components located in private areas shall comply with the Plant List in the Rainwater Management Program or Community Elements Plan.
- NR6. The rainwater management components shall comply with the requirements of the Oregon DEQ UIC (Underground Injection Control) Program.

Other

- NR6. The applicant shall comply with all applicable state and federal requirements for the proposed construction activities and proposed facilities (e.g., DEQ NPDES #1200-CN permit).

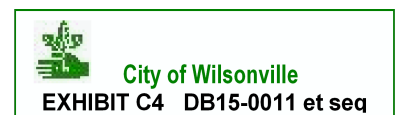
Wheeler, Mike

From: Walters, Don
Sent: Tuesday, June 02, 2015 8:27 AM
To: Wheeler, Mike
Subject: DB15-0011 -0016 VILLEBOIS PDP-6C
Attachments: DB15-0011 -0016 VILEBOIS PDP 6C DRT.doc

Mike, see attached.

Don

DISCLOSURE NOTICE: Messages to and from this e-mail address may be subject to the Oregon Public Records Law.



Development Review Template

DATE: 6/2/15

TO: MIKE WHEELER, ASSOCIATE PLANNER

FROM: DON WALTERS

SUBJECT: DEVELOPMENT REVIEW # DB15-0011 through DB15-0016

WORK DESCRIPTION: VILLEBOIS PDP CC

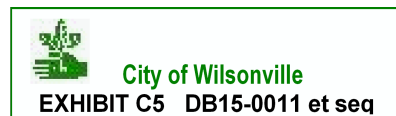
NO COMMENTS

Wheeler, Mike

From: Parent, Gail
Sent: Thursday, June 18, 2015 4:26 PM
To: Wheeler, Mike
Subject: Vb SAP Central 6 - 31 SF Row Homes Wheeler 061815
Attachments: Vb SAP Central 6 - 31 SF Row Homes Wheeler 061815.docx

Follow Up Flag: Follow up
Flag Status: Completed

Jason's comments



Public Works Plan Review Comment Form

Plans for Review: Vb SAP Central 6 - 31 SF Row Homes

Return All Comments To: Mike Wheeler

Due Date: June 18, 2015

Name	Page No.	Comments	Engineering's Response
Randy Watson		No Comments	
Matt Baker			
Blankenship/Reeder			
Arnie Gray		No Comments	
Ralph Thorp			
Jason Labrie		<ol style="list-style-type: none"> 1. All water services shall have their own taps from the main. See 501.2.07 "Separate, individual water services and meters are required for domestic and irrigation water service..." 2. Water lines intersecting at Paris and Collina need to be constructed in a cross/4-way valve cluster with the other two ends blind flanged for future development. 3. Sanitary sewer laterals are completely missing from the plans. Combined or "community" sewer laterals shall not be permitted. 	



3 1 W 15AC
 WILSONVILLE
 S.W. 1/4 N.E. 1/4 SEC. 15 T. 3S. R. 1W. W.M.
 CLACKAMAS COUNTY
 1" = 100'

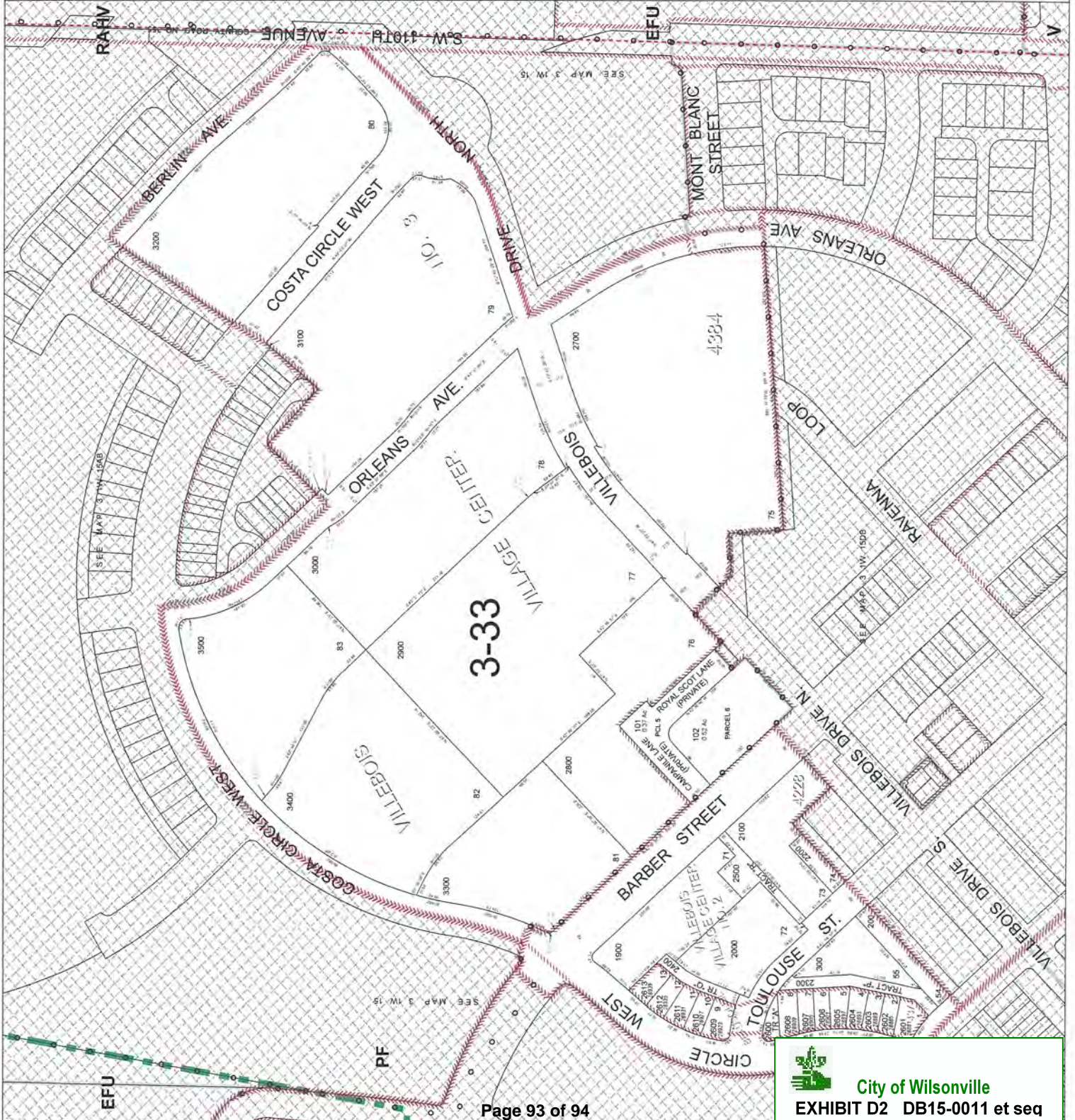
Cancelled Taxlots
 200
 400
 600
 800
 1000
 1200
 1400
 1600
 1800
 2000

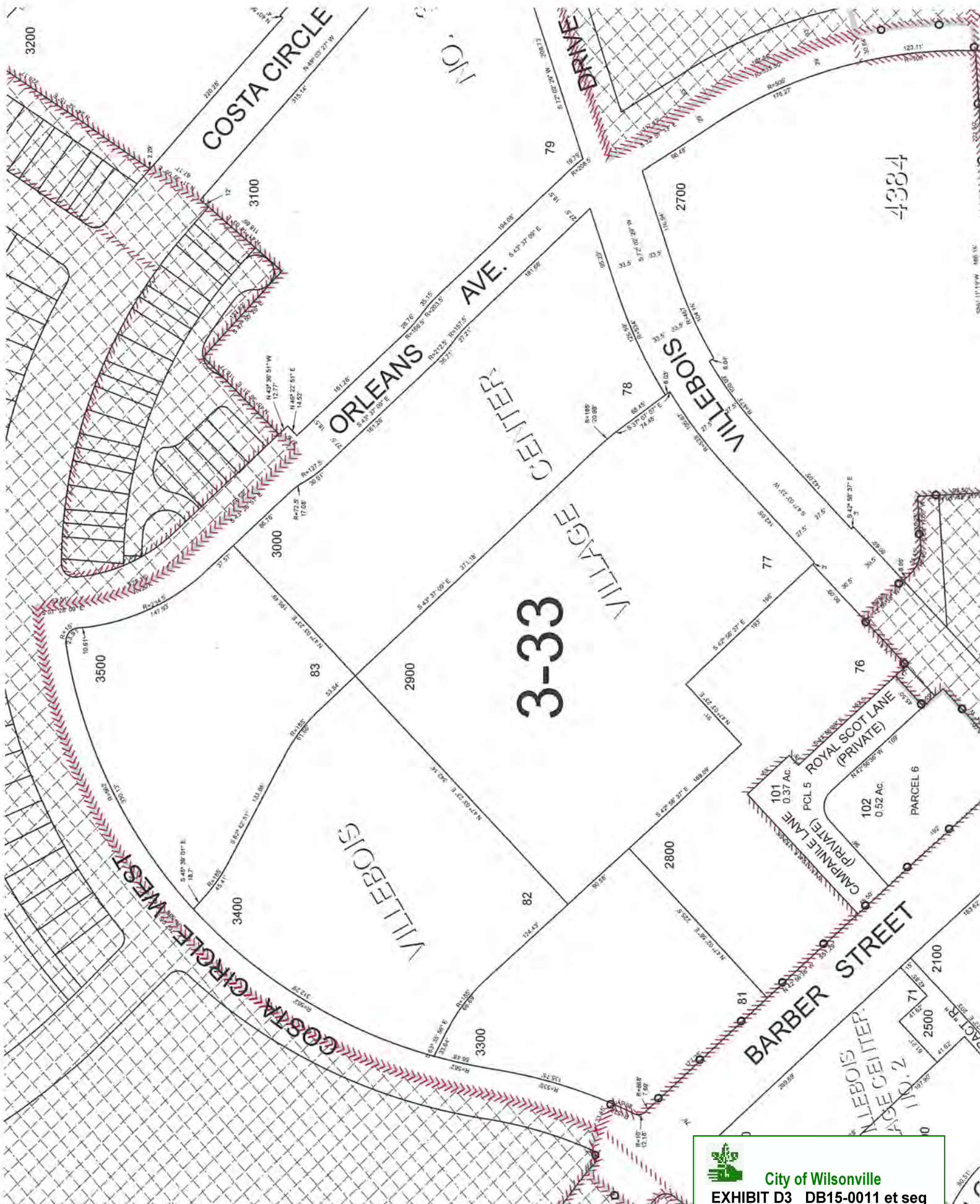
- Parcel Boundary
- Private Road ROW
- Historical Boundary
- Railroad Centreline
- Tax Code Lines
- Map Index
- Water Lines
- Land Use Zoning
- Plats
- Water
- Corner
- Section Corner
- 1/16th Line
- Geot Lot Line
- DLC Line
- Meander Line
- PLSS Section Line
- Historic Corridor 40'
- Historic Corridor 20'

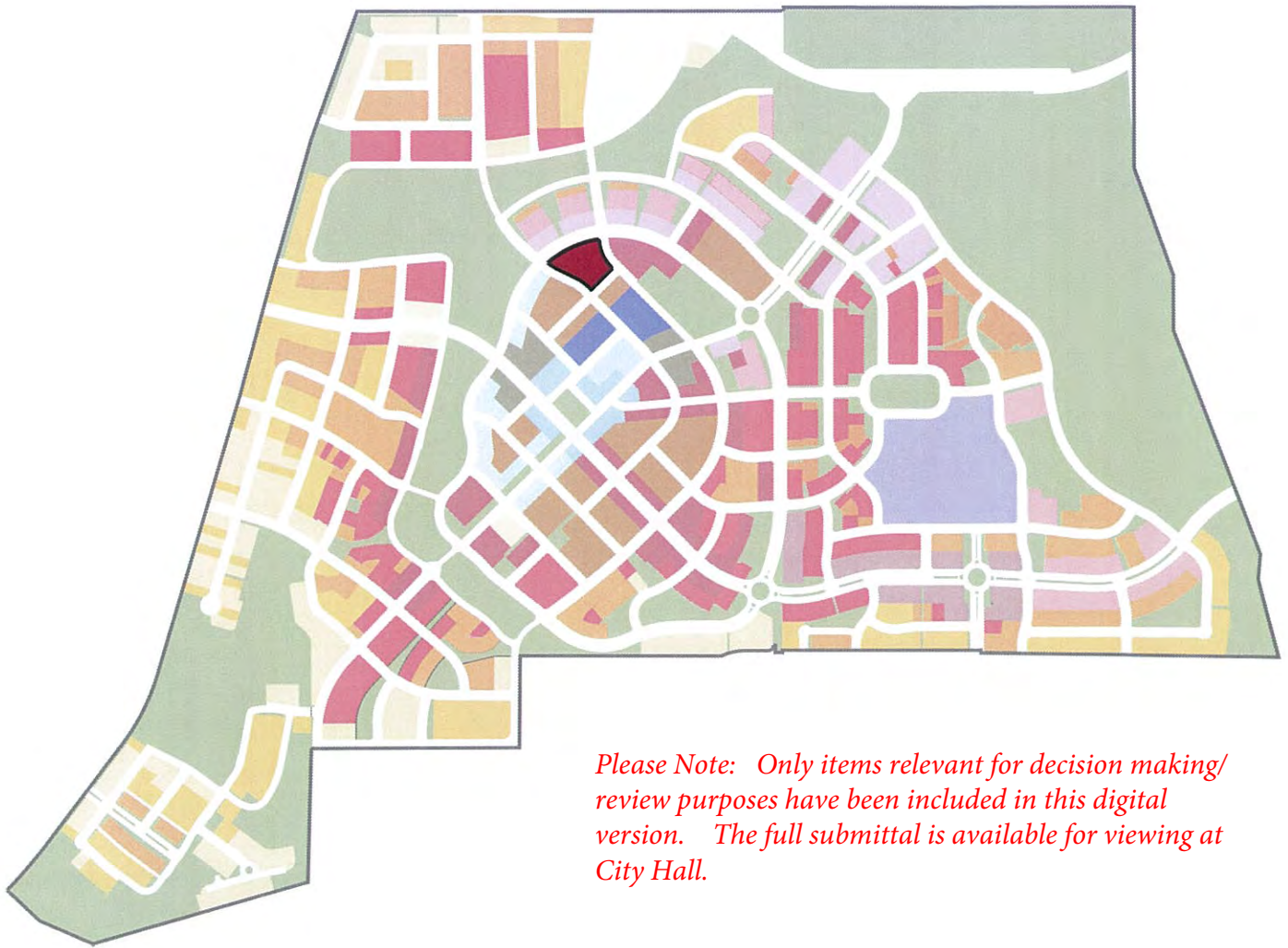


THIS MAP IS FOR ASSESSMENT
 PURPOSES ONLY

3 1 W 15AC
 WILSONVILLE





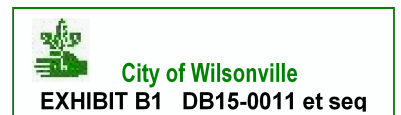


Please Note: Only items relevant for decision making/ review purposes have been included in this digital version. The full submittal is available for viewing at City Hall.

Row Homes – PDP 6C
**Preliminary Development Plan,
Tentative Plat, Zone Change, Tree Removal
Plan & Final Development Plan**

The City of Wilsonville, Oregon March 24, 2015

POLYGON  NORTHWEST COMPANY



**TABLE OF CONTENTS
FOR
PDP 6 - CENTRAL**

SECTION I)	GENERAL INFORMATION
	IA) INTRODUCTORY NARRATIVE
	IB) FORM/OWNERSHIP DOCUMENTATION
	IC) FEE CALCULATION/COPY OF CHECK
	ID) MAILING LIST
	IE) UPDATED SAP CENTRAL PHASING & UNIT COUNTS
SECTION II)	PRELIMINARY DEVELOPMENT PLAN (INCLUDES PHASING AMENDMENT & REFINEMENTS)
	IIA) SUPPORTING COMPLIANCE REPORT
	IIB) REDUCED DRAWINGS
	IIC) UTILITY AND DRAINAGE REPORTS
	IID) TRAFFIC ANALYSIS
	IIE) TREE REPORT
SECTION III)	TENTATIVE PLAT
	IIIA) SUPPORTING COMPLIANCE REPORT
	IIIB) TENTATIVE PLAT
	IIIC) DRAFT CC&R'S
	IIID) COPY OF CERTIFICATION OF ASSESSMENTS & LIENS
	IIIE) SUBDIVISION NAME APPROVAL
SECTION IV)	ZONE CHANGE
	IVA) SUPPORTING COMPLIANCE REPORT
	IVB) ZONE CHANGE MAP
	IVC) LEGAL DESCRIPTION & SKETCH
SECTION V)	TREE REMOVAL PLAN
	VA) SUPPORTING COMPLIANCE REPORT
	VB) TREE REPORT
	VC) TREE PRESERVATION PLAN
SECTION VI)	FINAL DEVELOPMENT PLAN
	VIA) SUPPORTING COMPLIANCE REPORT
	VIB) REDUCED DRAWINGS
	VIC) ELEVATIONS & FLOOR PLANS

Section I

General Information

IA) Introductory Narrative

**INTRODUCTORY NARRATIVE
PHASE 6 - CENTRAL**

**INCLUDING:
PRELIMINARY DEVELOPMENT PLAN (REFINEMENTS & SAP PHASING AMENDMENT),
TENTATIVE PLAT, ZONE CHANGE, TREE REMOVAL PLAN, & FINAL DEVELOPMENT PLAN**

SECTION IA

TABLE OF CONTENTS

I. GENERAL INFORMATION.....	2
II. REQUEST	3
III. PLANNING CONTEXT	3
VILLEBOIS VILLAGE MASTER PLAN & SAP CENTRAL	3
IV. PROPOSAL DESCRIPTION.....	3
LAND USES	4
PARKS & OPEN SPACE	4
UTILITIES	4
CIRCULATION	5
PHASING	5
V. AMENDMENTS TO SAP CENTRAL	5
SAP PHASING AMENDMENT	5
VI. REFINEMENTS TO SAP CENTRAL	5
CIRCULATION	5
LAND USES	5
PARKS & OPEN SPACE	9
UTILITIES	9
VI. PROPOSAL SUMMARY & CONCLUSION.....	9

I. GENERAL INFORMATION

Applicant/Property Owner:

Polygon WLH, LLC
109 E. 13th Street
Vancouver, WA 98660
Tel: (360) 695-7700
Fax: (425) 455-0462
Contact: Fred Gast

Design Team:

Primary Contact:

Stacy Connery
Pacific Community Design, Inc.
Tel: (503) 941-9484
Fax: (503) 941-9485
Email: stacy@pacific-community.com

Process Planner/Civil
Engineer/Surveyor/
Landscape Architect:

Pacific Community Design, Inc.
12564 SW Main Street
Tigard, OR 97223
Tel: (503) 941-9484
Fax: (503) 941-9485
Contact: **Stacy Connery, AICP**
Jessie King, PE
Travis Jansen, PLS/PE
Kerry Lankford, RLA

Arborist:

Morgan Holan
Morgan Holan & Associates, LLC
3 Monroe Parkway, Suite P 220
Lake Oswego, OR 97035
Tel: (971) 409-9354

Site and Proposal Information:

Site: 3S 1W 15ac, Tax Lot 3500

Size: 1.52 gross acres

Comprehensive Plan
Designation: City - Residential - Village (R-V)

Specific Area Plan: SAP - Central

Proposal: Preliminary Development Plan
(includes refinements & SAP Phasing Amendment)

Tentative Plat
Zone Change to Village (V)
Tree Removal Plan
Final Development Plan

Unit Count: 31 Row Home units
Net Residential Density: 20 units/net acre
Project Name: Villebois PDP 6 - Central
"Tonquin Woods at Villebois No. 8"

II. REQUEST

This application requests approval of the following five (5) applications for the Phase 6 area of SAP Central.

- Preliminary Development Plan (PDP 6C), including refinements & SAP Phasing Amendment - Section II of Notebook
- Tentative Plat Approval (PDP 6C) - Section III of Notebook
- Zone Change to Village (V) for PDP 6C area - Section IV of Notebook
- Tree Preservation/Removal Plan for PDP 6C area - Section V of Notebook
- Final Development Plan for PDP 6C area - Section VI of Notebook

III. PLANNING CONTEXT

VILLEBOIS VILLAGE MASTER PLAN & SAP CENTRAL

The proposed PDP 6C area is located within the central portion of the *Villebois Village Master Plan* as illustrated on the Notebook Cover. The *Master Plan* and SAP Central show Row House and Apartment Land Use Types for the subject area. The *Master Plan* and SAP Central do not show any parks and open space areas or pathways on the subject property. The PDP 6C area is inside the Village Center and is therefore subject to the *Village Center Architectural Standards*.

IV. PROPOSAL DESCRIPTION

Phase 6 of Specific Area Plan Central (also known as PDP 6C) includes approximately 1.52 gross acres. PDP 6C is the block located southwest of the Costa Circle West and Orleans Avenue intersection. PDP 6C proposes 31 single family attached Row House units, 0.15 acres of linear greens, and associated infrastructure improvements.

LAND USES

PDP 6C proposes 31 attached Row House units. The proposed number and type of units is compatible with adjacent land uses. The table in Section IE of this Notebook lists the residential units broken down by development phase for all of SAP Central. PDP 6C is submitted with the concurrent FDP for architecture (see Section VI of the Notebook). PDP 1C, PDP 2C and PDP 4C are approved and built (homes are in process of being built). PDP 3C is the site of the Villebois Piazza, which is approved and built. PDP 5C is the site of Montague Park, which is currently in the review process.

PARKS & OPEN SPACE

The Master Plan and SAP Central do not show any parks within the subject area. PDP 6C proposes the addition of 0.15 acres of linear greens. A concurrent Final Development Plan (FDP) for the linear green parks is included with this submittal.

UTILITIES

Sanitary Sewer

The sanitary sewer system for Phase 6 Central is shown on the Composite Utility Plan in Section IIB of this Notebook. The Sanitary Sewer Master Plan shows this site draining to both the Tooze Main and the Barber Main via a gravity system portion of the site. The proposed sanitary sewer will be a gravity system that will redirect the entire site to the Tooze main. This main will then discharge to the Kinsman main via the connection installed in 2006. Sanitary sewer service can adequately be provided to this area in compliance with the Villebois Village Master Plan and the City's Wastewater Collection System Master Plan, as demonstrated in the Utility Analysis Memorandum prepared by Jessie King, PE (see Exhibit IIC).

Water

The proposed water system for Phase 6 Central is shown on the Composite Utility Plan in Section IIB of this Notebook. The proposed public water system will be an 8" system with some 6" lines for fire hydrant connections. The system will be looped throughout the development to maximize flows. Water service can adequately be provided to this area in compliance with the Villebois Village Master Plan and the City's Water System Master Plan.

Stormwater

The proposed site drains to the east to the Coffee Lake Creek drainage basin (CLC Basin). The City's Stormwater Master Plan for Coffee Lake Creek specifies that detention will not be required for the portion of Villebois Village that drains to the CLC Basin. Stormwater runoff will be collected by a series of catch basins leading to an underground piping system previously constructed with the PDP 4C infrastructure. As shown within the attached plans (see Section IIB of this Notebook), the system will ultimately connect with the system in PDP 3E where the runoff will drain to an existing regional water quality facility. A Utility Analysis Memorandum prepared by Jessie King, PE (see Exhibit IIC) demonstrates that the proposed system will provide adequate sizing and treatment.

Rainwater

A Rainwater Management Plan is included with the Supporting Utility Reports in Section IIC of this Notebook. Rainwater management within PDP 6C will be provided through street trees and bio-retention cells located in landscape tracts and planter strips in rights-of-way, as shown within the attached plans (Section IIB of this Notebook).

CIRCULATION

The transportation infrastructure proposed for PDP 6 Central will provide convenient neighborhood circulation and a range of transportation options. The *Circulation Plan* (see Exhibit IIB) illustrates the circulation system within this Preliminary Development Plan area.

PHASING

Construction of PDP 6C will be completed in one phase. PDP 6C is planned to be built later in 2015-2016.

The attached plans (see Section IIB) show ultimate improvements that are consistent with the *Master Plan* and SAP Central. PDP 6C will be accessed through SW Orleans Avenue to the east or proposed SW Paris Avenue to the west. ROW will be dedicated to allow for construction of these streets.

V. REFINEMENTS TO SAP CENTRAL

The following sections of this Narrative describe the proposed refinements to SAP Central that are included in the PDP application. Detailed findings regarding the requested refinements can be found in the PDP Supporting Compliance Report in Section IIA of this Notebook.

CIRCULATION

A comparison of the *Circulation Plan* from the proposed PDP 6C (see Exhibit IIB) and the *Circulation Plan* from SAP Central (Volume II) shows that the proposed circulation system is consistent. No refinements are proposed.

LAND USES

PDP 6C refines the subject area beyond what was described in SAP Central. The total density shown for the subject area in SAP Central is 32-48 units, all of which are grouped into the smaller land use group, and included 8-12 Row House lots and 24-36 Apartment units.

PDP 6C proposes 31 Rowhome units. The proposed refinements result in the addition of linear greens.

The table below shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinement as well as the percent change in each aggregate land use category.

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/ Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	1,008	999	-0.89%
Total	1,008	999	-0.89%

NOTE: The Current Unit Count for SAP Central reflects the final approved unit counts for PDP 1C, PDP 2C, PDP 3C, and PDP 4C (Note: PDP 5C or Montague Park is pending review) as well as recent Modifications to PDP 1C and PDP 2C.

The proposed refinements do not exceed the 10% standard. This proposal results in a total of 2,603 units within Villebois. This is above the density of 2,300 units required to be obtained across Villebois, meeting the refinement criteria.

None of the conditions of approval for SAP Central are specific to the proposed refinements. As the proposed refinements will not compromise the project’s ability to comply with SAP conditions of approval, they will equally meet the conditions of approval of SAP Central.

The proposed refinements will equally or better meet the following Goals, Policies and Implementation Measures of the *Villebois Village Master Plan* than the SAP Central plan.

- **Land Use, General Land Use Plan Goal** - *Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.*

The proposed PDP 6C plan better integrates natural resource elements with land uses and transportation through additional park areas for linear greens. Additionally, the PDP 6C plan preserves the one tree that SAP Central identified for retention and keeps one tree shown as likely to be removed.

- **Land Use, General Land Use Plan Policy 1** - *The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.*

The proposed PDP 6C plan meets this Land Use Plan Policy by contributing to the range of living choices for attached single-family home ownership. This area previously included 8-12 Row House lots and 24-36 Apartment units. Now, 31 Row Houses are proposed. The replacement of Apartment units with Row House units better meets current market demand and city-wide goals of providing for a variety of home ownership options. The site is located within a transitional area at the outer edge of the Village Center and better provides for this transitional nature in terms of density and building massing and height, both of which are intended to increase towards the core of the Village Center (mixed use areas surrounding the Piazza). This proposal maintains the project’s path of exceeding the minimum density of 2,300 units across Villebois.

- **Villebois Village Master Plan, Village Center Policy 1** - *The Village Center shall be a highly pedestrian-oriented place that is the focus of a mix of residential, shopping, service, and civic and mixed-use buildings.*

The proposed PDP 6C plan meets this Land Use Plan Policy by increasing park space and providing street frontages that are highly pedestrian oriented with front yard courtyards on all Row Homes. As described above, PDP 6C contributes to the mix of residential options in the Village Center by providing additional ownership options and serving the transitional nature of its location at the outer edge of the Village Center.

- **Villebois Village Master Plan, Village Center Policy 2** - *The Village Center shall encourage multi-modal transportation system opportunities with good access by vehicular, pedestrian, bicycle and transit traffic.*

The proposed PDP 6C plan encourages multi-modal transportation system opportunities by providing convenient vehicular access through alleys and encouraging pedestrian oriented street frontages by providing for garage access from alleys and front yard courtyards.

- **Villebois Village Master Plan, Village Center Implementation Measure 2** - *Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.*

- *Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.*
- *Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.*
- *General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.*
- *Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.*
- *Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.*
- *Hospitality: hotel, bed and breakfast, conference center.*
- *Light Manufacturing/Research and Development.*
- *Civic/Institutional: meeting hall, library, museum, churches, farmer's market, community center.*
- *Residential: condominiums, apartments, and townhouses*

The proposed PDP 6C plan is consistent with the Village Center Implementation Measure 2 by providing single-family residential attached row houses. This use is included in the above list of intended Village Center uses. As described above, PDP 6C contributes to the mix of residential options in the Village Center by providing additional ownership options and

serving the transitional nature of its location at the outer edge of the Village Center. Additionally, the proposed PDP 6C provides convenient vehicular access through alleys and provides street frontages that are highly pedestrian oriented with front yard courtyards on all Row Homes.

- **Parks and Open Space/Off-Street Trails and Pathways Goal** - *The Parks system within Villebois Village shall create a range of experiences for its residents and visitors through an interconnected network of pathways, parks, trails, open space and other public spaces that protect and enhance the site's natural resources and connect Villebois to the larger regional park/open space system.*

The Villebois Village Master Plan and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP area. Three new linear greens, totaling 0.15 acres in size, are added to this area with the proposed design for PDP 6C. The proposed refinement increases the amount of parks and open space that protect and enhance the site's natural resources (existing trees) and connect Villebois to the larger regional park/open space system.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Policy 1** - *Parks and open space areas shall incorporate existing trees where feasible and large shade trees shall be planted in appropriate locations in parks and open spaces.*

The proposed PDP 6C plan better integrates natural resource elements through additional park areas for linear greens. Additionally, the PDP 6C plan preserves the one tree that SAP Central identified for retention and keeps one tree shown as likely to be removed.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 3**- *Parks and open spaces shall be designed to incorporate native vegetation, landforms and hydrology to the fullest extent possible.*

The proposed PDP 6C plan incorporates native vegetation, landforms and hydrology to the fullest extent possible with the addition of park areas for linear greens and the tree retention discussed above.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 9**- *The design of Villebois shall retain the maximum number of existing trees practicable that are six inches or more DBH in the "Important" and "Good" tree rating categories, which are defined in the Community Elements Books. Trees rated "Moderate" shall be evaluated on an individual basis as regards retention. Native species of trees and trees with historical importance shall be given special consideration for retention.*

The proposed PDP 6C plan integrates natural resource elements through additional park areas for linear greens. As described in the Tree Report attached in Section VB of the Notebook, the site contains 9 trees in poor condition, all of which will be removed. The site contains 7 trees in moderate condition, one of which will be retained. The site contains 1 tree in good condition, which will be retained. The site contains no trees assigned as important condition. The PDP 6C plan preserves the one tree that SAP Central

identified for retention and keeps one tree shown as likely to be removed. Tree preservation is shown on the Tree Preservation Plan in Section VC.

PARKS & OPEN SPACE

A comparison of the proposed plan for PDP 6C and the original SAP Central plan for this area shows an increase in the areas planned for parks. The addition of green spaces provides enhanced pedestrian connectivity and direct access to green space for more of the homes in the PDP area. The proposed plan distributes green space through the PDP area. A detailed description and analysis of the parks and open space refinements can be found in the PDP Supporting Compliance Report in Exhibit IIA of the Notebook.

UTILITIES

A comparison of the *Composite Utility Plan* of the proposed PDP (see Section IIB of this Notebook) with the *Utility Plan* in SAP Central (Volume II) shows the proposed refinements for the rain water treatment facilities.

VI. PROPOSAL SUMMARY & CONCLUSION

This 'Introductory Narrative,' in conjunction with the referenced sections, describes the proposed Preliminary Development Plan, Tentative Plat, Zone Change, Tree Preservation/Removal Plan, and Final Development Plan. The Supporting Compliance Reports located in Sections II through VII, respectively, support these requests for approval of the subject applications and demonstrate compliance with the applicable standards of the Wilsonville Planning and Land Development Ordinance.

IB) Ownership Documentation

CITY OF WILSONVILLE

29799 SW Town Center Loop East
Wilsonville, OR 97070
Phone: 503-682-4960
Fax: 503-682-7025

Web: www.ci.wilsonville.or.us

Pre-Application meeting date:

Planning Division Development Permit Application

Final action on development application or zone change is required within 120 days in accordance with provisions of ORS 227.175

A pre-application conference is normally required prior to submittal of an application. Please visit the City's website for submittal requirements.

Incomplete applications will not be scheduled for public hearing until all of the required materials are submitted.

TO BE COMPLETED BY APPLICANT:

Please PRINT legibly

Applicant:

Polygon WLH LLC (Fred Gast)

Address: 109 E 13th St. Vancouver, WA 98660

Phone: (503) 314-0807

Fax: (360) 693-4442

E-mail: fred.gast@polygonhomes.com

Authorized Representative:

Pacific Community Design (Stacy Connery)

Address: 12564 SW Main St. Tigard, OR 97223

Phone: (503) 941-9484

Fax: (503) 941-9485

E-mail: stacy@pacific-community.com

Property Owner:

RCS - Villebois Development, LLC

Address: 371 Centennial Pkwy. Louisville, CO

Phone: (503) 535-1615

Fax: (503) 466-4202

E-mail:

Property Owner's Signature:

Printed Name: _____ Date: _____

Applicant's Signature (if different from Property Owner):

Printed Name: Fred Gast Date: 3/23/15

Site Location and Description:

Project Address if Available: South Side of Costa Circle West, between Orleans Ave & Ravenna Ave Suite/Unit _____

Project Location: Lot 83 of Villebois Village Center No. 3

Tax Map #(s): 31W15AC Tax Lot #(s): 3500 County: Washington Clackamas

Request: SAP Refinements, PDP 6C, Tentative Plat "Tonquin Woods at Villebois No. 8",
Zone Change, Tree Removal, FDP for 31 Rowhome units.

Project Type: Class I Class II Class III

Residential Commercial Industrial Other (describe below)

Application Type:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Appeal | <input type="checkbox"/> Comp Plan Map Amend | <input type="checkbox"/> Conditional Use |
| <input type="checkbox"/> Final Plat | <input type="checkbox"/> Major Partition | <input type="checkbox"/> Minor Partition | <input type="checkbox"/> Parks Plan Review |
| <input type="checkbox"/> Plan Amendment | <input type="checkbox"/> Planned Development | <input checked="" type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Request to Modify Conditions |
| <input type="checkbox"/> Request for Special Meeting | <input type="checkbox"/> Request for Time Extension | <input type="checkbox"/> Signs | <input type="checkbox"/> Site Design Review |
| SROZ/SRIR Review | <input type="checkbox"/> Staff Interpretation | <input type="checkbox"/> Stage I Master Plan | <input type="checkbox"/> Stage II Final Plan |
| Type C Tree Removal Plan | <input type="checkbox"/> Tree Removal Permit (B or C) | <input type="checkbox"/> Temporary Use | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Villebois SAP | <input checked="" type="checkbox"/> Villebois PDP | <input checked="" type="checkbox"/> Villebois FDP | <input type="checkbox"/> Waiver |
| <input checked="" type="checkbox"/> Zone Map Amendment | <input checked="" type="checkbox"/> Other (SAP Refinements) | | |

CITY OF WILSONVILLE

29799 SW Town Center Loop East

Wilsonville, OR 97070

Phone: 503.682.4960

Fax: 503.682.7025

Web: www.ci.wilsonville.or.us

Pre-Application meeting date:

TO BE COMPLETED BY APPLICANT:

Please PRINT legibly

Planning Division**Development Permit Application**

Final action on development application or zone change is required within 120 days in accordance with provisions of ORS 227.175

A pre-application conference is normally required prior to submittal of an application. Please visit the City's website for submittal requirements.

Incomplete applications will not be scheduled for public hearing until all of the required materials are submitted.

Applicant:

Polygon WLH LLC (Fred Gast)

Address: 109 E 13th St. Vancouver, WA 98660

Phone: (503) 314-0807

Fax: (360) 693-4442

E-mail: fred.gast@polygonhomes.com

Authorized Representative:

Pacific Community Design (Stacy Connery)

Address: 12564 SW Main St. Tigard, OR 97223

Phone: (503) 941-9484

Fax: (503) 941-9485

E-mail: stacy@pacific-community.com

Property Owner:

RCS - Villebois Development, LLC

Address: 371 Centennial Pkwy. Louisville, CO

Phone: (503) 535-1615

Fax: (503) 466-4202

E-mail:

Property Owner's Signature:Printed Name: **BRIAN PAUL** Date: **3-23-15****Applicant's Signature (if different from Property Owner):**

Printed Name: _____ Date: _____

Site Location and Description:

Project Address if Available: South Side of Costa Circle West, between Orleans Ave & Ravenna Ave Suite/Unit _____

Project Location: Lot 83 of Villebois Village Center No. 3

Tax Map #(s): 31W15AC Tax Lot #(s): 3500 County: Washington Clackamas

Request: SAP Refinements, PDP 6C, Tentative Plat "Tonquin Woods at Villebois No. 8",

Zone Change, Tree Removal, FDP for 31 Rowhome units.

Project Type: Class I Class II Class III Residential Commercial Industrial Other (describe below)**Application Type:** Annexation Appeal Comp Plan Map Amend Conditional Use Final Plat Major Partition Minor Partition Parks Plan Review Plan Amendment Planned Development Preliminary Plat Request to Modify Conditions Request for Special Meeting Request for Time Extension Signs Site Design Review SROZ/SRIR Review Staff Interpretation Stage I Master Plan Stage II Final Plan Type C Tree Removal Plan Tree Removal Permit (B or C) Temporary Use Variance Villebois SAP Villebois PDP Villebois FDP Waiver Zone Map Amendment Other (SAP Refinements)

Omitted

IC) Fee Calculation/ Copy of Check

Omitted

ID) Mailing List

**IE) Updated SAP Central
Phasing & Unit Counts**

Villebois (updated 3/18/15)

Land Use Table

LAND USE	SAP NORTH	SAP SOUTH	SAP EAST	SAP CENTRAL	TOTAL
Estate	22	0	0	0	22
Large	43	104	0	0	147
Standard	20	68	49	0	137
Medium	89	127	112	0	328
subtotal	174	299	161	0	634
Small Detached	214	158	226	8	606
Small Attached / Cottage	49	0	147	9	205
Rowhouse	0	103	42	172	317
Nbhd Apartments	10	21	0	0	31
Village Apartments	0	0	0	385	385
Condos	0	0	0	46	46
Urban Apartments	0	0	0	148	148
Mixed Use Condos	0	0	0	104	104
Specialty Condos	0	0	0	127	127
subtotal	273	282	415	999	1,969
TOTAL UNITS	447	581	576	999	2,603

SAP Central (updated 03/17/15)

LAND USE	Existing Count				Proposed***									Total
	SAP CENTRAL	PDP 1C*	PDP 2C**	PDP 4C	PDP 6C	7C	8C	9C	10C	11C	12C	13C	14C	
Estate	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Large	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Standard	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Medium	0	0	0	0	0	0	0	0	0	0	0	0	0	0
subtotal	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Small Detached	8	0	0	8	0	0	0	0	0	0	0	0	0	8
Small Attached/Cottage	9	0	0	9	0	0	0	0	0	0	0	0	0	9
Rowhouse	155	56	13	40	31	(28-46)	0	0	0	0	0	0	0	140 + (28-46)
Village Apartments	411	304	52	0	0	(4-8)	(6-14)	0	0	0	(66-98)	0	0	356 + (76-120)
Condos	46	3	0	0	0	0	0	0	(15-30)	(13-26)	(24-36)	0	0	3 + (52-92)
Urban Apartments	148	0	49+9	0	0	(12-24)	(10-18)	0	0	0	(18-32)	0	0	58 + (40-74)
Mixed Use Condos	104	(8-12)	(24-30)	0	0	0	0	0	0	0	0	0	(24-96)	(56-138)
Specialty Condos	127	0	0	0	0	0	(40-70)	(34-60)	0	0	0	0	0	(74-130)
subtotal	1,008	363+(8-12)	123 + (24-30)	57	31	(40-70)	(54-96)	(40-74)	(15-30)	(13-26)	(42-68)	(66-98)	(24-96)	543+ (358-648)
TOTAL UNITS	1,008													900 - 1,174

(#-#) indicates range approved with either PDP or SAP, but no building or refined unit count yet defined

* PDP 1C Approved & Built; FDP's Approved for The Alexan - 274 Apts (built), 39 RH w/ Polygon 2013 MOD (31 built), 3 Carvalho Condos (built), and 30 Rainwater Garden Apts (built) + 2014 PDP Mod to change 30 condos to 18 RH & 8 RH to 7 RH

**PDP 2C Approved & Built; FDP's Approved for The Charleston - 52 Apts (built), 13 RH w/ Polygon MOD (built), Carvalho Carriage Homes - 6 Apts approved 2014 (0 built) + 2014 PDP Mod to change 39 Condo's (Trafalgar Flats) to 49 Urban Apts + 3 Condo's (Carriage Homes) to 3 Urban Apts

***PDP 3C = Piazza & PDP 5C = Montague Park; no residential density (not included in table)

Proposed Count

LAND USE	SAP CENTRAL
Estate	0
Large	0
Standard	0
Medium	0
subtotal	0
Small Detached	8
Small Attached/Cottage	9
Rowhouse	172
Nbhd Apartments	0
Village Apartments	385
Condos	46
Urban Apartments	148
Mixed Use Condos	104
Specialty Condos	127
subtotal	999
TOTAL UNITS	999

514

Section II

Preliminary Development Plan

IIA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
PRELIMINARY DEVELOPMENT PLAN 6 - CENTRAL**

SECTION IIA

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE.....	2
	SECTION 4.125 VILLAGE (V) ZONE	2
	(.02) PERMITTED USES	2
	(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE	
	2	
	(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING....	5
	(.08) OPEN SPACE	6
	(.09) STREET & ACCESS IMPROVEMENT STANDARDS	6
	(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS.....	9
	(.11) LANDSCAPING, SCREENING AND BUFFERING	10
	(.12) MASTER SIGNAGE AND WAYFINDING	10
	(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE	10
	(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS.....	13
	COMMUNITY ELEMENTS BOOK.....	26
	MASTER SIGNAGE AND WAYFINDING PLAN	27
	RAINWATER PROGRAM	27
	SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE	28
	SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS	28
	SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER	
	RESOURCES.....	30
	SECTION 4.172 FLOOD PLAIN REGULATIONS	33
	SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING	33
	SECTION 4.177 STREET IMPROVEMENT STANDARDS.....	33
	SECTION 4.178 SIDEWALK & PATHWAY STANDARDS	34
	SECTION 4.610.40 TYPE C PERMIT	34
II.	PROPOSAL SUMMARY & CONCLUSION.....	34

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125 VILLAGE (V) ZONE

(.02) PERMITTED USES

Examples of principle uses that are typically permitted:

- D. Row Houses
- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owners association.

Response: This Preliminary Development Plan (PDP) application proposes to create 31 lots for development of row houses, as well as tracts for linear greens. All proposed uses within the subject PDP are permitted pursuant to this section.

(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE

All development in this zone shall be subject to the V Zone and the applicable provisions of the Wilsonville Planning and Land Development Ordinance. If there is a conflict, then the standards of this section shall apply. The following standards shall apply to all development in the V zone:

- A. Block, Alley, Pedestrian and Bicycle Standards:
 - 1. Maximum Block Perimeter: 1,800 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent a block perimeter from meeting this standard.

Response: Blocks within the proposed PDP plan meet the maximum 1,800-foot block perimeter.

- 2. Maximum spacing between streets for local access: 530 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent street extensions from meeting this standard.

Response: Blocks within the proposed PDP plan meet the maximum 530-foot spacing for local street access.

- 3. If the maximum spacing for streets for local access exceeds 530 feet, intervening pedestrian and bicycle access shall be provided, with a maximum spacing of 330 feet from those local streets, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent pedestrian and bicycle facility extensions from meeting this standard.

Response: As described above, blocks within the proposed PDP plan meet the maximum 530-foot spacing for local street access.

- B. **Access:** All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

Response: All of the lots within the proposed PDP that have frontage on a public street and an alley will take vehicular access from an alley to a garage or parking area.

- C. **Trailers, travel trailers, mobile coaches, or any altered variation thereof shall not be used for the purpose of conducting a trade or calling, or for storage of material, unless approved for such purpose as a temporary use.**

Response: No trailers, travel trailers, mobile coaches, or such vehicles will be used for the purpose of conducting a trade or calling or for the storage of material unless approved as a temporary use.

D. **Fences:**

1. **General Provisions:**

- a. Fencing within the Village Zone shall be in compliance with the Master Fencing Program in the adopted Architectural Pattern Book for the appropriate SAP.
- b. When two or more properties with different setbacks abut, the property with the largest front yard setback requirement shall be used to determine the length and height of the shared side yard fence, as required by section 4.125 above.
- c. The development Review Board may, in their discretion, require such fencing as deemed necessary to promote and provide traffic safety, noise mitigation, and nuisance abatement, and the compatibility of different uses permitted on adjacent lots of the same zone and on adjacent lots of different zones.

2. **Residential:**

- a. The maximum height of any fence located in the required front yard of a residential development shall not exceed three (3) feet.
- b. Fences on residential lots shall not include chain link, barbed wire, razor wire, electrically charged wire, or be constructed of sheathing material such as plywood or flake board. Fences in residential areas that protect wetlands, or other sensitive areas, may be chain link.

Response: The SAP Central Master Fencing Plan does not indicate any required community fencing within the subject PDP. The Village Center Architectural Standards (VCAS) indicate that fencing is optional and when provided should be consistent with the architecture. The architectural styles of the proposed row homes are English

Revival and French Revival. The Row Homes will include front yard courtyards in compliance with applicable setbacks for fencing.

E. Recreational Area in Multi-Family Residential and Mixed Use Developments

Response: The proposed PDP includes lots for the development of single family residential homes; therefore this standard does not apply.

F. Fire Protection:

- All structures shall include a rated fire suppression system (i.e., sprinklers), as approved by the Fire Marshal**

Response: All of the homes within the proposed PDP area will include appropriate fire suppression systems. This will be verified with review of future building permit applications.

Table V-1 Development Standards

Table V-1: Development Standards												
Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width ^{10,12} (%)	Max. Bldg. Height ¹⁷ (ft.)	Front Min. (ft.)	Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)	Alley-Loaded Garage (note)	Street-Loaded Garage (note)
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ³	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	90	15	5 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ³	15	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17,18
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17

Notes: NR - No Requirement
 NA - Not Allowed
 1 Lot < 8000sf: NR; Lot > 8000sf: 80% (Max. Lot Coverage)
 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
 5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
 6 For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
 7 The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main facade of the associated dwelling unit.
 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
 10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
 11 Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
 12 See Definitions, 4.125.01, for measurement of Minimum Frontage Width.
 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.
 15 On Estate Lots and Large Lots with frontage 70 ft. or wider, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.
 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
 17 Dwellings on lots without alley access shall be at least 36 feet wide.
 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
 20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

Response: The *Tentative Plat* (see Section IIB in this Notebook) depicts proposed lot sizes and dimensions. All of the lots meet applicable requirements, as addressed below. All of the lots will be developed with single family attached row houses, with no more than ten contiguous units along a street edge. Table V-1 does not indicate a minimum lot size, width or depth for Row Houses in the Village Center. The proposed PDP 6C does not have any lots >8,000 sf, so no maximum lot coverage applies. Row House lots will have a frontage width greater than 80%, except as allowed by footnote

11 of Table V-1. Row Houses will not have building heights greater than 45 ft, and will have front setbacks between 5-10 ft, except as allowed under footnote 4 above. No additional standards from Table V-1 apply.

(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING

Except as required by Subsections (A) through (D), below, the requirements of Section 4.155 shall apply within the village zone.

A. General Provisions:

1. The provision and maintenance of off-street parking spaces is a continuing obligation of the property owner. The standards set forth herein shall be considered by the Development Review Board as minimum criteria.
2. The Board shall have the authority to grant variances or refinements to these standards in keeping with the purposes and objectives set forth in this zone.

Response: The applicant acknowledges that the provision and maintenance of off-street parking is the continuing obligation of the property owner. There are no variances or refinements to the standards of this section proposed with this application.

B. Minimum and Maximum Off-Street Parking Requirements:

1. Table V-2, Off-Street Parking Requirements, below, shall be used to determine the minimum and maximum parking standards for noted land uses. The number of required parking spaces shown in Table V-2 shall be determined by rounding to the nearest whole parking space...

Table V-2: Off-Street Parking Requirements

Category	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short Term	Bicycle Long Term
Single Family Detached Dwelling Units	1.0 / DU	NR	NR	NR
Row Houses	1.0 / DU	NR	NR	NR

Response: Each of the homes will provide a minimum of a one-car garage in compliance with this standard.

C. Minimum Off-Street Loading Requirements:

Response: The proposed PDP includes lots for development of single family homes; therefore no loading areas are required.

D. Bicycle Parking Requirements:

Response: The proposed PDP includes single family row house units. There is no bicycle parking requirement for these unit types, as noted in *Table V-2* above, therefore these standards do not apply.

(.08) OPEN SPACE

Open space shall be provided as follows:

- A. In all residential developments and in mixed-use developments where the majority of the developed square footage is to be in residential use, at least twenty-five percent (25%) of the area shall be open space, excluding street pavement and surface parking. In multi-phased developments, individual phases are not required to meet the 25% standard as long as an approved Specific Area Plan demonstrates that the overall development shall provide a minimum of 25% open space. Required front yard areas shall not be counted towards the required open space area. Required rear yard areas and other landscaped areas that are not within required front or side yards may be counted as part of the required open space.
- B. Open space area required by this Section may, at the discretion of the Development Review Board, be protected by a conservation easement or dedicated to the City, either rights in fee or easement, without altering the density or other development standards of the proposed development. Provided that, if the dedication is for public park purposes, the size and amount of the proposed dedication shall meet the criteria of the City of Wilsonville standards. The square footage of any land, whether dedicated or not, which is used for open space shall be deemed a part of the development site for the purpose of computing density or allowable lot coverage. See SROZ provisions, Section 4.139.10.
- C. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review and approve any pertinent bylaws, covenants, or agreements prior to recordation.

Response: The *Parks Master Plan* for Villebois states that there are 57.87 acres of parks and 101.46 acres of open space for a total of 159.33 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent with the *Master Plan*. PDP 6C includes parks not shown in the *Villebois Village Master Plan* for this area, thereby increasing park areas. This proposal provides more park areas than originally included in this phase.

(.09) STREET & ACCESS IMPROVEMENT STANDARDS

- A. Except as noted below, the provisions of Section 4.177 apply within the Village zone:

1. Generally:

- a) All street alignment and access improvements shall conform to the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan and the following standards:

Response: The street alignments and access improvements within this PDP are consistent with those approved in the *Villebois Village Master Plan* and SAP Central.

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.

Response: All street improvements within this PDP will comply with the applicable Public Works Standards. The street system within this PDP is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Circulation Plan* (see Section IIB of this Notebook).

- ii. All streets shall be developed with curbs, landscape strips, bikeways or pedestrian pathways, according to the Master Plan.

Response: All streets within this PDP will be developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways as depicted on the *Circulation Plan* (Section IIB of this Notebook) and in accordance with the *Master Plan*.

2. Intersections of streets

- a) **Angles:** Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.
- b) **Intersections:** If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety (90) degrees shall require approval by the City Engineer after consultation with the Fire District.

Response: The plan sheets located in Section IIB of this Notebook demonstrate that all proposed streets will intersect at angles consistent with the above standards (see the *Tentative Plat* in Section IIB).

- c) **Offsets:** Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:
 - i. 1000 ft. for major arterials

- ii. 600 ft. for minor arterials
- iii. 100 ft. for major collector
- iv. 50 ft. for minor collector

Response: The plan sheets located in Section IIB of this Notebook demonstrate that opposing intersections on public streets are offset, as appropriate, so that no danger to the traveling public is created (see the *Tentative Plat* in Section IIB).

d) **Curb Extensions:**

- i. Curb extensions at intersections shall be shown on the Specific Area Plans required in subsection 4.125(.18)(C) through (F) below, and shall:
 - Not obstruct bicycle lanes on collector streets.
 - Provide a minimum 20 foot wide clear distance between curb extensions all local residential street intersections shall have, shall meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.

Response: Curb extensions are shown on the *Circulation Plan* (see Section IIB). Curb extensions will not obstruct bicycle lanes on collector streets, as the subject property is not adjacent to collector streets. The attached drawings illustrate that all street intersections will have a minimum 20 foot wide clear distance between curb extensions on all local residential street intersections.

- 3. Street grades shall be a maximum of 6% on arterials and 8% for collector and local streets. Where topographic conditions dictate, grades in excess of 8%, but not more than 12%, may be permitted for short distances, as approved by the City Engineer, where topographic conditions or existing improvements warrant modification of these standards.

Response: The *Grading & Erosion Control Plan* located in Section IIB, demonstrates that proposed streets can comply with this standard.

4. **Centerline Radius Street Curves:**

The minimum centerline radius street curves shall be as follows:

- a) Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by City Engineer.
- b) Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.

c) **Local streets: 75 feet**

Response: The *Tentative Plat* (see Section IIB) demonstrates that all streets will comply with the above standards.

5. **Rights-of-way:**

a) **See (.09) (A), above.**

Response: Proposed rights-of-way are shown on the plan sheets located in Section IIB of this Notebook. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with recordation of a final plat in accordance with Section 4.177.

6. **Access drives.**

a) **See (.09) (A), above.**

b) **16 feet for two-way traffic.**

Response: Access drives (alleys) will be paved at least 16-feet in width within a 20-foot tract, as shown on the *Circulation Plan*. In accordance with Section 4.177, all access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

7. **Clear Vision Areas**

a) **See (.09) (A), above.**

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177.

8. **Vertical clearance:**

a) **See (.09) (A), above.**

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177.

9. **Interim Improvement Standard:**

a) **See (.09) (A), above.**

Response: Interim improvements along SW Paris Avenue and SW Collina Lane will provide for adequate street access until the adjacent properties are developed, as shown on the attached Circulation Plan (see Section IIB).

(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS

A. The provisions of Section 4.178 shall apply within the Village zone.

Response: All sidewalks and pathways within SAP Central will be constructed in accordance with the standards of Section 4.178 and the *Villebois Village Master Plan*. Sidewalks and pathways are shown in the street cross-sections on the *Circulation Plan* (see Section IIB of this notebook).

(.11) LANDSCAPING, SCREENING AND BUFFERING

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:
1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The *Street Tree/Lighting Plan* shows the street trees proposed within this PDP. The trees are in conformance with the Community Elements Book.

(.12) MASTER SIGNAGE AND WAYFINDING

Response: The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central *Signage & Wayfinding Plan*.

(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. Generally:
 - a. Flag lots are not permitted.

Response: No flag lots are proposed (see the *Tentative Plat* in Section IIB of this Notebook).

- b. Dwellings on lots without alley access shall be at least 36 feet wide.

Response: No lots without alley access are proposed in this PDP.

- c. The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.

Response: None of the lots include accessory dwellings; therefore this standard does not apply.

- d. For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.

Response: All lots in this PDP are in the Village Center. For lots facing two or more streets (lots 285, 298, 308 and 315), the two street-facing facades will meet the minimum frontage width requirement.

2. Building and site design shall include:

- a. Proportions and massing of architectural elements consistent with those established in an approved Pattern Book or Village Center Design.
- b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Pattern Book, Community Elements Book or approved Village Center Architectural Standards.

Response: Compliance with the *Village Center Architectural Standards* is demonstrated with the FDP in Section VI of this Notebook. Compliance with the Community Elements Book is demonstrated later in this report.

- c. Protective overhangs or recesses at windows and doors.
- d. Raised stoops, terraces or porches at single-family dwellings.
- e. Exposed gutters, scuppers, and downspouts.

Response: As shown in the architectural drawings in the FDP (see Section VI of this Notebook), the buildings proposed in the FDP will include protective overhangs and recesses at windows and doors and exposed gutters and downspouts. The row homes each include a raised stoop or terrace at the front entrance.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: There are 17 existing trees in this FDP area. As described in the Tree Report attached in Section VB of the Notebook, the site contains 9 trees in poor condition, all of which will be removed. The site contains 7 trees in moderate condition, one of which will be retained. The site contains 1 tree in good condition, which will be retained. The site contains no trees assigned as important condition. The PDP 6C plan preserves the one tree that SAP Central identified for retention and keeps one tree shown as likely to be removed. Tree preservation is shown on the Tree Preservation Plan in Section VC.

- g. A landscape plan in compliance with Section (.11), above.

Response: The FDP plans (see Section VIB) comply with the requirements of Sections 4.125(.07) and (.11).

- h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.

- i. **Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.**

Response: A block complex is defined as “an assemblage of buildings bounded entirely by intersecting streets so as to form a single, comprehensive group.” The adjacent block across Orleans Avenue includes five 4-unit row home buildings along Costa Circle West and one 5-unit row home building on Orleans Avenue. The block complex on Costa Circle West includes, from Orleans Avenue to the east side of the block, French Revival, English Revival, French Revival, English Revival, and French Revival elevations. The block complex on Orleans Avenue includes an English Revival elevation. The proposed row homes will use the French Revival and English Revival elevations, but will vary enough that the block complex is not repeated. The row homes on Costa Circle West include a 4-unit building with an English Revival elevation from Paris Avenue to Orleans Avenue, a 5-unit building with a French Revival elevation, and a 5-unit building with an English Revival elevation. The row homes on Orleans Ave from Costa Circle West to Collina Lane include a side elevation, a linear green with front row home elevations set back from the street, and another side row house elevation.

The proposed Row Homes will complement the Row Homes built on the block across Orleans Avenue from the site and serve to bookend both corners of Orleans Avenue and Costa Circle West as Orleans Avenue transitions from the residential neighborhood to the north and west of the site into the Village Center. Densities increase towards and closer to the core of the Village Center (the mixed use area surrounding the Piazza). Row Homes on the subject block provide for an appropriate transitional density and building massing and height at the outer edge of the Village Center boundary.

- j. **A porch shall have no more than three walls.**

Response: As shown on the architectural drawings in Section VIB of this Notebook, balconies for the proposed Row Homes will not have more than 3 walls.

- k. **A garage shall provide enclosure for the storage of no more than three vehicles.**

Response: As shown on the architectural drawings in Section VIB, each garage will provide storage for no more than three vehicles.

3. **Lighting and site furnishings shall be in compliance with the approved Community Elements Book.**

Response: The FDP application in Section VI of the Notebook shows site furnishings within the parks. The *Street Tree/Lighting Plan* (see Section IIB) shows proposed street trees and lighting for this Preliminary Development Plan. These plans illustrate that lighting and site furnishings will be provided in compliance with the Community Elements Book.

4. **Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein.**

Response: The PDP does not propose any buildings. Subsequent Building Permit applications will review proposed buildings for consistency with the criteria of *Table V-3* and the *Architectural Pattern Book*.

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

B. Unique Features and Processes of the Village (V) Zone. To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural, landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:

2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Section 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a zone change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists.

Final Development (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.

Response: The Applicant is requesting approval of a Preliminary Development Plan (PDP). Compliance with Sections 4.125(.18)(G) through (K) is demonstrated in the following sections of this report. This PDP addresses Phase 6 on the amended SAP Central Phasing Plan, as shown in Exhibit IE of this Notebook. This PDP includes a request to amend the SAP Central Phasing as shown in Exhibit IE.

A request for preliminary approval of a tentative subdivision plat is submitted concurrent with this PDP application (see Section III of this Notebook). A request for a zone change to Village (V) zone is also submitted concurrent with this PDP application (see Section IV of this Notebook). A Final Development Plan is also submitted concurrent with this PDP (see Section VI of this Notebook).

G. Preliminary Development Plan Approval Process:

1. An application for approval of a Preliminary Development Plan for a development in an approved SAP shall:

a) Be filed with the City Planning Division for the entire SAP, or when submission of the SAP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.

Response: This PDP addresses Phase 6 on the amended SAP Central Phasing Plan, as shown in Exhibit IE of this Notebook. This PDP includes a request to amend the SAP Central Phasing as shown in Exhibit IE.

- b) **Be made by the owner of all affected property or the owner's authorized agent; and.**

Response: This application is made by Polygon WLH, LLC, who is also the property owner. The application form can be found in Exhibit IB along with a copy of the vesting deed.

- c) **Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution; and.**

Response: The appropriate application form and fee have been filed with this submittal. A copy of the form and fee are included in Sections IB and IC, respectively.

- d) **Set forth the professional coordinator and professional design team for the project; and.**

Response: The professional coordinator and professional design team are set forth in the Introductory Narrative, located in Section IA of this Notebook.

- e) **State whether the development will include mixed land uses, and if so, what uses and in what proportions and locations.**

Response: This PDP does not include mixed land uses. The proposed land uses are shown on the *Site/Land Use Plan*, in Section IIB of this Notebook.

- f) **Include a preliminary land division (concurrently) per Section 4.400, as applicable.**

Response: This application includes a request for preliminary land division approval. This request for approval of a Tentative Plat can be seen in Section III of this Notebook. This section includes a Supporting Compliance Report, the proposed Tentative Plat, draft CC&R's, a copy of the certification of liens & assessments form, and the subdivision name approval from the County Surveyor's Office.

- g) **Include a concurrent application for a Zone Map Amendment (i.e., Zone Change) for the subject phase.**

Response: This application includes a request for a zone map amendment to zone the subject Preliminary Development Plan area Village (V). This zone change request can be seen in Section IV of this Notebook. This section includes a Supporting Compliance Report, a Zone Change Map, and a legal description & sketch of the proposed zone change area.

2. **The application for Preliminary Development Plan approval shall include conceptual and quantitatively accurate representations of the entire development sufficient to demonstrate conformance with the approved SAP and to**

judge the scope, size and impact of the development on the community and shall be accompanied by the following information:

- a) A boundary survey or a certified boundary description by a surveyor licensed in the State of Oregon.
- b) Topographic information sufficient to determine direction and percentage of slopes, drainage patterns, and in environmentally sensitive areas, (e.g., flood plain, wetlands, forested areas, steep slopes or adjacent to stream banks). Contour lines shall relate to North American Vertical Datum of 1988 and be at minimum intervals as follows:
 - i) One (1) foot contours for slopes of up to five percent (5%);
 - ii) Two (2) foot contours for slopes from six percent (6%) to twelve (12%);
 - iii) Five (5) foot contours for slopes from twelve percent (12%) to twenty percent (20%). These slopes shall be clearly identified, and
 - iv) Ten (10) foot contours for slopes exceeding twenty percent (20%).
- c) The location of areas designated Significant Resource Overlay Zone (SROZ), and associated 25-foot Impact Areas, within the PDP and within 50 feet of the PDP boundary, as required by Section 4.139.

Response: A certified boundary description by a surveyor licensed in the State of Oregon is provided as the legal description and sketch for the zone map amendment (see Section IVC of this Notebook). Topographic information in accordance with Section 4.125(.18)G.2.b. is shown on the *Existing Conditions*, located in Section IIB of this Notebook. The site does not include any designated SROZ areas.

- d) A tabulation of the land area to be devoted to various uses, and a calculation of the average residential density per net acre.

Response: Following is a tabulation of land area devoted to the various uses and a calculation of net residential density:

Gross Acreage	1.52 Acres
Parks	0.15 Acres
Public Streets	0.31Acres
Lots and Alleys	1.06 Acres

Net Residential Density: 31 lots / 1.52 Acres = 20 units per net acre

- e) The location, dimensions and names, as appropriate, of existing and platted streets and alleys on and within 50 feet of the perimeter of the PDP, together with the location of existing and planned easements, sidewalks, bike routes and bikeways, trails, and the location of other important features such as section lines, section corners, and City boundary lines. The plan shall also identify all trees 6 inches and greater d.b.h. on the project site only.

Response: The above information is shown on the *Existing Conditions*, the *Tentative Plat*, and the *Circulation Plan*. The *Tree Preservation Plan* identifies all trees 6 inches and greater diameter at breast height (d.b.h.) on the project site. Tree numbers are identified on the Tree Preservation Plan Sheets which correspond with the Tree Inventory in the Tree Report (see Section VB). The plan sheets mentioned above can be found in Section IIB of this Notebook.

- f) Conceptual drawings, illustrations and building elevations for each of the listed housing products and typical non-residential and mixed-use buildings to be constructed within the Preliminary Development Plan boundary, as identified in the approved SAP, and where required, the approved Village Center Design.

Response: The proposed PDP includes Row House units, which are attached single-family homes. A concurrent application for the FDP for architecture is included in Section VI. The proposed elevations can be found in Exhibit VIC.

- g) A composite utility plan illustrating existing and proposed water, sanitary sewer, and storm drainage facilities necessary to serve the SAP.

Response: Proposed storm drainage facilities, and water and sanitary lines are shown on the *Composite Utility Plan* (see Section IIB in this Notebook).

- h) If it is proposed that the Preliminary Development Plan will be executed in Phases, the sequence thereof shall be provided.

Response: The PDP is proposed to be executed in one phase. The proposed phases of the subject PDP are shown on the *PDP Phasing Plan* (see Section IIB).

- i) A commitment by the applicant to provide a performance bond or other acceptable security for the capital improvements required by the project.

Response: The applicant will provide a performance bond or other acceptable security for the capital improvements required by the project.

- j) At the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This

traffic report shall include an analysis of the impact of the SAP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire SAP, and it shall meet Subsection 4.140(.09)(J)(2).

Response: A copy of the Traffic Impact Analysis is provided in Section IID.

H. PDP Application Submittal Requirements:

1. The Preliminary Development Plan shall conform with the approved Specific Area Plan, and shall include all information required by (.18)(D)(1) and (2), plus the following:
 - a) The location of water, sewerage and drainage facilities;
 - b) Conceptual building and landscape plans and elevations, sufficient to indicate the general character of the development;
 - c) The general type and location of signs;
 - d) Topographic information as set forth in Section 4.035;
 - e) A map indicating the types and locations of all proposed uses; and
 - f) A grading and erosion control plan illustrating existing and proposed contours as prescribed previously in this section.

Response: The proposed PDP generally conforms to the approved SAP Central, with the proposed refinements described in the following sections of this report. As demonstrated above, the PDP application includes all information required by 4.125(.18)(D)(1) and (2), as applicable to a PDP. The *Existing Conditions* shows the existing site features, including topographic features. Proposed lots to be created for development are shown on the *Tentative Plat*). The *Grading and Erosion Control Plan* shows the location of drainage facilities, topographic information, and a grading and erosion control facilities. The *Composite Utility Plan* indicates the proposed location of water and sanitary sewer lines and drainage facilities. The *Site/Land Use Plan* indicates the types and locations of all proposed uses in the Preliminary Development Plan. The plan sheets mentioned above can be found in Section IIB of this Notebook.

Landscape plans for the park areas are located with the FDP application materials in Section VI of the Notebook. No signs are proposed at this time, as the SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

The proposed PDP includes Row House units, which are attached single-family homes. Elevations for the row homes within the PDP are included in Exhibit VIC, along with a concurrent request for FDP approval of the architecture.

2. In addition to this information, and unless waived by the City's Community Development Director as enabled by Section 4.008(.02))B), at the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic

impacts of the proposed development. This traffic report shall include an analysis of the impact of the PDP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire PDP, and it shall meet Subsection 4.140(.09)(J)(2) for the full development of all five SAPs.

Response: A copy of the Traffic Impact Analysis is provided in Section IID.

3. The Preliminary Development Plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the phase of development. However, approval of a Final Development Plan is a separate and more detailed review of proposed design features, subject to the standards of Section 4.125(.18)(L) through (P), and Section 4.400 through Section 4.450.

Response: The plan sheets for the proposed Preliminary Development Plan provide sufficient detail to show the ultimate operation and appearance of the subject phase of development. The FDP application for design of the included park areas within the PDP area is submitted concurrent with this application (see Section VI of this Notebook).

4. Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner's association, shall also be submitted.

Response: Copies of legal documents will be provided as appropriate and required by the Development Review Board.

I. PDP Approval Procedures

1. An application for PDP approval shall be reviewed using the following procedures:
 - a) Notice of a public hearing before the Development Review Board regarding a proposed PDP shall be made in accordance with the procedures contained in Section 4.012.
 - b) A public hearing shall be held on each such application as provided in Section 4.013.
 - c) After such hearing, the Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.

Response: In accordance with the procedures contained in Section 4.012, the City shall provide notice of a public hearing before the Development Review Board on the proposed Preliminary Development Plan. This report, in conjunction with all

submitted information, demonstrates that the proposal conforms to the applicable permit criteria set forth in the City's Code.

J. PDP Refinements to Approved Specific Area Plan

1. In the process of reviewing a PDP for consistency with the approved Specific Area Plan, the Development Review Board may approve refinements, but not amendments, to the SAP. Refinements to the SAP may be approved by the Development Review Board as set forth in Section (.18)(J)(2), below.

a) Refinements to the SAP are defined as:

i. Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.

Response: The PDP design does not propose any refinements to the street network or functional classification of streets.

ii. Changes to the nature or location of parks types, trails or open space that to not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the Preliminary Development Plan.

Response: The *Villebois Village Master Plan* and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP area. Three new linear greens, totaling 0.15 acres in size, are added to this area with the proposed design for PDP 6C. One of these linear greens provides for tree retention. The proposed refinement, with the addition of new linear greens, increases the park space within the PDP. The proposed refinement does not significantly reduce function, usability, connectivity, or overall distribution or availability of parks, trails or open space. The proposed refinement actually increases all of these factors.

iii. Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.

Response: The PDP design proposes refinements to the rainwater treatment facilities. The proposed development will contain bio-retention cells within the planter strips to treat adjacent public street runoff. Two additional bio-retention cells located on the private lots will treat six of the seven row home buildings within the site. Due to limitations caused by the need to retain existing trees, additional treatment facilities (shown in the SAP central plan) were eliminated.

PDP 6C will treat 61% pf the impervious area created on site. With the existing treatment facilities along with the future treatment facilities located on the remaining

portion of SAP Central, SAP Central will treat 72% of the overall impervious area created. Based on this information the current facilities are adequately sized to provide treatment per the Villebois Village Rainwater Management Plan for SAP Central.

- iv. Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the Preliminary Development Plan. For the purposes of this subsection, “land uses” or “uses” are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.
- v. A change in density that does not exceed ten percent, provided such density change has not already been approved as a refinement to the underlying SAP or PDP, and does not result in fewer than 2,300 dwelling units in the Village.

Response: SAP Central was approved in 2006. Since the approval of SAP Central, five separate PDP’s have been approved or submitted for approval and some modifications of original approvals have also occurred. The following analysis reflects the final and current approved unit counts in PDP 1C, PDP 2C, PDP 3C, and PDP 4C (Note: PDP 5C or Montague Park is in review).

For purposes of this analysis, it is important to keep in mind that changes to the mix/location of “land uses” are to be evaluated as described by the code - in the aggregate. The code defines one land use group as condos, apartments, row houses, and small detached uses - which will be referred to as the ‘smaller land use group’ in the following analysis. The recent Planning Director’s Interpretation approved under Case File AR12-0021 found small attached uses to be included in this smaller land use group. Recent approvals of PDP 3E and PDP 4E, as well as modifications in PDP 5S and PDP 1N, have approved Small Cottages as a replacement for the Small Attached and Row House uses. The code defines the second land use group as mediums, standards, large and estate uses - which will be referred to as the ‘larger land use group’ in the following analysis.

The total density shown for the subject area in SAP Central is 32-48 units, all of which are grouped into the smaller land use group, and included 8-12 Row House lots and 24-36 Apartment units.

PDP 6C proposes 31 Row House units. The proposed refinements result in the addition of linear greens within this PDP and the retention of a few existing trees. The table below shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinement as well as the percent change in each aggregate land use category.

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/ Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	1,008	999	-0.89%
Total	1,008	999	-0.89%

NOTE: The Current Unit Count for SAP Central reflects the final approved unit counts for PDP 1C, PDP 2C, PDP 3C, and PDP 4C (Note: PDP 5C or Montague Park is pending review) as well as recent Modifications to PDP 1C and PDP 2C.

The proposed refinements do not exceed the 10% standard. This proposal results in a total of 2,603 units within Villebois. This is above the density of 2,300 units required to be obtained across Villebois, meeting the refinement criteria.

- vi. Changes that are significant under the above definitions, but necessary to protect an important community resource or improve the function of collector or minor arterial roadways.
 - a. As used herein, “significant” means:
 - i. More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above, or,
 - ii. That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.

Response: The PDP does not include changes that are significant under the above definitions. As the above findings demonstrate, the proposed refinements of providing row homes in place of apartments, less density, and more linear greens do not cause a quantifiable change greater than 10%. Additionally, the proposed refinements do not negatively affect an important, qualitative feature of Villebois as demonstrated in the following responses. The proposed refinements will provide a plan for the subject block that better addresses the transitional nature of its location at the outer edge of the Village Center. The proposed refinements contribute to the range of home ownership options within the Village Center and within Villebois. Additionally, the proposed refinements result in a greater amount of greenspace through the addition of linear greens and additional tree preservation.

- 2. Refinements meeting the above definition may be approved by the DRB upon the demonstration and finding that:
 - a) The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

Response: None of the conditions of approval for SAP Central are specific to the proposed refinements. As the proposed refinements will not compromise the project's ability to comply with SAP conditions of approval, they will equally meet the conditions of approval of SAP Central.

The proposed refinements will equally or better meet the following Goals, Policies and Implementation Measures of the *Villebois Village Master Plan* than the SAP Central plan.

- **Land Use, General Land Use Plan Goal** - *Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.*

The proposed PDP 6C plan better integrates natural resource elements with land uses and transportation through additional park areas for linear greens. Additionally, the PDP 6C plan preserves the one tree that SAP Central identified for retention and keeps one tree shown as likely to be removed.

- **Land Use, General Land Use Plan Policy 1** - *The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.*

The proposed PDP 6C plan meets this Land Use Plan Policy by contributing to the range of living choices for attached single-family home ownership. This area previously included 8-12 Row House lots and 24-36 Apartment units. Now, 31 Row Houses are proposed. The replacement of Apartment units with Row House units better meets current market demand and city-wide goals of providing for a variety of home ownership options. The site is located within a transitional area at the outer edge of the Village Center and better provides for this transitional nature in terms of density and building massing and height, both of which are intended to increase towards the core of the Village Center (mixed use areas surrounding the Piazza). This proposal maintains the project's path of exceeding the minimum density of 2,300 units across Villebois.

- **Villebois Village Master Plan, Village Center Policy 1** - *The Village Center shall be a highly pedestrian-oriented place that is the focus of a mix of residential, shopping, service, and civic and mixed-use buildings.*

The proposed PDP 6C plan meets this Land Use Plan Policy by increasing park space and providing street frontages that are highly pedestrian oriented with front yard courtyards on all Row Homes. As described above, PDP 6C contributes to the mix of residential options in the Village Center by providing additional ownership options and serving the transitional nature of its location at the outer edge of the Village Center.

- **Villebois Village Master Plan, Village Center Policy 2** - *The Village Center shall encourage multi-modal transportation system opportunities with good access by vehicular, pedestrian, bicycle and transit traffic.*

The proposed PDP 6C plan encourages multi-modal transportation system opportunities by providing convenient vehicular access through alleys and encouraging pedestrian oriented street frontages by providing for garage access from alleys and front yard courtyards.

- **Villebois Village Master Plan, Village Center Implementation Measure 2** - Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.
 - *Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.*
 - *Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.*
 - *General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.*
 - *Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.*
 - *Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.*
 - *Hospitality: hotel, bed and breakfast, conference center.*
 - *Light Manufacturing/Research and Development.*
 - *Civic/Institutional: meeting hall, library, museum, churches, farmer's market, community center.*
 - *Residential: condominiums, apartments, and townhouses*

The proposed PDP 6C plan is consistent with the Village Center Implementation Measure 2 by providing single-family residential attached row houses. This use is included in the above list of intended Village Center uses. As described above, PDP 6C contributes to the mix of residential options in the Village Center by providing additional ownership options and serving the transitional nature of its location at the outer edge of the Village Center. Additionally, the proposed PDP 6C provides convenient vehicular access through alleys and provides street frontages that are highly pedestrian oriented with front yard courtyards on all Row Homes.

- **Parks and Open Space/Off-Street Trails and Pathways Goal** - The Parks system within Villebois Village shall create a range of experiences for its residents and visitors through an interconnected network of pathways, parks, trails, open space and other public spaces that protect and enhance the site's natural resources and connect Villebois to the larger regional park/open space system.

The Villebois Village Master Plan and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP area. Three new linear greens, totaling 0.15 acres in size, are added to this area with the proposed design for PDP 6C. The proposed refinement increases the amount of parks and open space that protect and enhance the site's natural resources (existing trees) and connect Villebois to the larger regional park/open space system.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Policy 1** - *Parks and open space areas shall incorporate existing trees where feasible and large shade trees shall be planted in appropriate locations in parks and open spaces.*

The proposed PDP 6C plan better integrates natural resource elements through additional park areas for linear greens. Additionally, the PDP 6C plan preserves the one tree that SAP Central identified for retention and keeps one tree shown as likely to be removed.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 3**- *Parks and open spaces shall be designed to incorporate native vegetation, landforms and hydrology to the fullest extent possible.*

The proposed PDP 6C plan incorporates native vegetation, landforms and hydrology to the fullest extent possible with the addition of park areas for linear greens and the tree retention discussed above.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 9**- *The design of Villebois shall retain the maximum number of existing trees practicable that are six inches or more DBH in the “Important” and “Good” tree rating categories, which are defined in the Community Elements Books. Trees rated “Moderate” shall be evaluated on an individual basis as regards retention. Native species of trees and trees with historical importance shall be given special consideration for retention.*

The proposed PDP 6C plan integrates natural resource elements through additional park areas for linear greens. As described in the Tree Report attached in Section VB of the Notebook, the site contains 9 trees in poor condition, all of which will be removed. The site contains 7 trees in moderate condition, one of which will be retained. The site contains 1 tree in good condition, which will be retained. The site contains no trees assigned as important condition. The PDP 6C plan preserves the one tree that SAP Central identified for retention and keeps one tree shown as likely to be removed. Tree preservation is shown on the Tree Preservation Plan in Section VC.

- b) **The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area, and**

Response: As described above, the proposed refinements will better meet the goals, policies and implementation measures of the VVMP and the framework of SAP Central by better meeting the transitional nature of the site’s location at the outer edge of the Village Center, by increasing home ownership options, preserving more trees than initially identified in SAP Central, and adding to the amount of linear greens provided throughout Villebois.

- c) **The refinement will not preclude an adjoining or subsequent PDP or SAP from development consistent with the approved SAP or Master Plan.**

Response: The refinements proposed with PDP 6C do not alter streets or utilities. These refinements in and of themselves have no effect on the development potential of an adjoining or subsequent PDP. Therefore, these refinements will not preclude an

adjoining or subsequent PDP or SAP from developing consistent with the approved SAP or *Master Plan*.

3. Amendments to the SAP, not including SAP amendments for phasing, must follow the same procedures applicable to adoption of the SAP itself. Amendments are defined as changes to elements of the SAP not constituting a refinement.
4. Amendments to the SAP for phasing will be processed as a Class II administrative review proposal.

Response: The Applicant does not propose an amendment of SAP Central to modify the SAP phasing plan. The SAP Central phasing plan is included in Exhibit IE of this Notebook for informational purposes.

K. PDP Approval Criteria

The Development Review Board may approve an application for a PDP only upon finding that the following approval criteria are met:

1. That the proposed PDP:
 - a. Is consistent with the standards identified in this section.

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the standards of the Village zone.

- b. Complies with the applicable standards of the Planning and Land Development Ordinance, including Section 4.140(.09)(J)(1)-(3).

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the applicable standards of the Planning and Land Development Ordinance. A description of how the proposed development complies with Section 4.140(.09)J.1-3 is included in the subsequent pages of this report.

- c. Is consistent with the approved Specific Area Plan in which it is located.

Response: The proposed Preliminary Development Plan is consistent with Specific Area Plan - Central, as demonstrated by the plan sheets located in Section IIB and this report, and as refined and described earlier in this report.

- d. Is consistent with the approved Pattern Book and, where required, the approved Village Center Architectural Standards

Response: The proposed Row Homes are consistent with the Village Center Architectural Standards (VCAS), as demonstrated with the concurrent FDP application in Section VI. Proposed lots are sized to accommodate the proposed Row Homes consistent with *Table V-1*.

COMMUNITY ELEMENTS BOOK

Lighting Master Plan

Response: This PDP application includes plans for street lighting within PDP 6C as illustrated on the *Street Tree/Lighting Plan*. The proposed lighting is consistent with the Community Elements Book.

Curb Extensions

Response: As shown on the *Circulation Plan*, a curb extension is proposed at one intersection in the PDP area. The location of this curb extension is consistent with the Curb Extension Concept Plan Diagram in the Community Elements Book.

Street Tree Master Plan

Response: As shown on the *Street Tree/Lighting Plan*, street trees proposed along the streets in the PDP area are consistent with the respective designated street tree lists.

Site Furnishings

Response: No site furnishings are proposed with this PDP application; however, the concurrent FDP application for the proposed linear greens includes details regarding site furnishings in these areas (see Section VI of this Notebook).

Play Structures

Response: No play structures are proposed with this PDP application; however, the concurrent FDP application for the proposed linear greens includes details regarding these areas (see Section VI of this Notebook).

Tree Protection

Response: The Tree Protection component of the Community Elements Book for SAP - Central (page 15) describes the goal, policies, and implementation measures that were used to promote the protection of existing trees in the design of the PDP area. The *Tree Preservation Plan* shows the trees that are proposed for preservation. A *Tree Protection Plan* has been prepared for this PDP, consistent with Implementation Measures 1 and 2 of the Tree Protection component of the *Community Elements Book*. The *Tree Protection Plans* were based on a Tree Report prepared by Morgan E. Holan, a certified arborist (see Section V of this notebook).

Plant List

Response: The *Community Elements Book* approved with SAP - Central contains a Plant List (pages 16-18) of non-native and native trees, shrubs, and groundcovers, ferns, herbs, vines, perennials, grasses, and bulbs for species to plant throughout Villebois. Within the rights-of-way in this PDP, only street trees and rainwater components are proposed. Additional landscaping details are provided with the FDP application which is submitted concurrent with this PDP (see Section VI of this Notebook).

MASTER SIGNAGE AND WAYFINDING PLAN

Response: No signs are proposed, as the SAP Central *Signage & Wayfinding Plan* does not indicate any identifiers within the subject property.

RAINWATER PROGRAM

Response: A rainwater management plan is included with the supporting utility reports located in Section IIC of this Notebook. Rainwater management within PDP 6C will be provided through street trees and bio-retention cells located in landscape tracts and planter strips in rights-of-way, as shown within the attached plans (Section IIB of this Notebook). The rainwater management plan included in this application is consistent with the rainwater program for SAP Central.

3. If the PDP is to be phased, that the phasing schedule is reasonable and does not exceed two years between commencement of development of the first, and completion of the last phase, unless otherwise authorized by the Development Review Board.

Response: The PDP is proposed to be executed in one phase.

4. Parks within each PDP or PDP phase shall be constructed prior to occupancy of 50% of the dwelling units in the PDP or PDP phase, unless weather or special circumstances prohibit completion, in which case bonding for the improvements shall be permitted.

Response: The parks within PDP 6C will be completed prior to occupancy of 50% of the housing units, as required. Bonding will be provided if special circumstances prohibit completion.

5. In the Central SAP, parks shall be constructed within each PDP as provided above, and that pro-rata portion of the estimated cost of Central SAP parks not within the PDP, calculated on a dwelling unit basis, shall be bonded or otherwise secured to the satisfaction of the city.

Response: The proposed PDP is within SAP Central. The Applicant will provide for that pro-rata portion of the estimated cost of Central SAP parks not within the PDP through bonding or other form of security satisfactory to the City.

6. The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.

Response: This report demonstrates that the proposed Preliminary Development Plan is in conformance with Specific Area Plan - Central, and thus, the *Villebois Village Master Plan* as well as the applicable requirements and standards of the Planning and Land Development Ordinance.

SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE

Response: The PDP 6C application does not include any areas within the SROZ. Therefore, Section 4.139 does not apply.

SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS

(.09) FINAL APPROVAL (STAGE TWO)

J. A planned development permit may be granted by the Development Review Board only if it is found that the development conforms to all the following criteria, as well as to the Planned Development Regulations in Section 4.140:

- 1. The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.**

Response: This Supporting Compliance Report demonstrates that the location, design, size, and uses proposed with the PDP are both separately and as a whole consistent with SAP Central, and thus the *Villebois Village Master Plan*, the City's Comprehensive Plan designation of Residential - Village for the area, and the City's Planning and Land Development Ordinance.

- 2. That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City's adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.**

Response: The location, design, size and uses are such that traffic generated within the PDP at the most heavily used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D. The proposed uses and the circulation system are consistent with the SAP - Central application, which included an Internal Circulation Evaluation including an assessment of intersection performance by DKS Associates. A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

- a. In determining levels of Service D, the City shall hire a traffic engineer at the applicant's expense who shall prepare a written report containing the following**

minimum information for consideration by the Development Review Board:

- i. An estimate of the amount of traffic generated by the proposed development, the likely routes of travel of the estimated generated traffic, and the source(s) of information of the estimate of the traffic generated and the likely routes of travel; (Amended by Ord 561, adopted 12/15/03.)
- ii. What impact the estimate generated traffic will have on existing level of service including traffic generated by (1) the development itself, (2) all existing developments, (3) Stage II developments approved but not yet built, and (4) all developments that have vested traffic generation rights under section 4.140(.10), through the most probable used intersection(s), including state and county intersections, at the time of peak level of traffic. This analysis shall be conducted for each direction of travel if backup from other intersections will interfere with intersection operations. (Amended by Ord 561, adopted 12/15/03.).

Response: The traffic generated by the PDP and its impact on the existing LOS will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

- b. The following are exempt from meeting the Level of Service D criteria standard:
 - i. A planned development or expansion thereof which generates three (3) new p.m. peak hour traffic trips or less;
 - ii. A planned development or expansion thereof which provides an essential governmental service.

Response: This PDP does not request an exemption from meeting the Level of Service D; therefore this criterion does not apply to this project.

- c. Traffic generated by development exempted under this subsection on or after Ordinance No. 463 was enacted shall not be counted in determining levels of service for any future applicant. (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

- d. Exemptions under 'b' of this subsection shall not exempt the development or expansion from payment of system development charges or other applicable regulations. (Added by Ord 561, adopted 12/15/03.)

Response: The subject PDP is not exempt from subsection 'b' and the system development charges will be provided as required.

- e. In no case will development be permitted that creates an aggregate level of traffic at LOS "F". (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP will be consistent with the SAP - Central application. The DKS evaluation for SAP Central showed that the development will not create an aggregate level of traffic at LOS "F". A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

3. That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.

Response: This Supporting Compliance Report, the Utility and Drainage Reports (see Section IIC of this notebook) and the plan sheets (see *Composite Utility Plan* in Section IIB) show that the future residents of PDP-6 Central will be adequately served by the planned facilities and services.

SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES

(.02) General Terrain Preparation

- A. All developments shall be planned designed, constructed and maintained with maximum regard to natural terrain features and topography, especially hillside areas, floodplains, and other significant land forms.
- B. All grading, filling and excavating done in connection with any development shall be in accordance with the Uniform Building Code, all development shall be planned, designed, constructed and maintained so as to:
 1. Limit the extent of disturbance of soils and site by grading, excavation and other land alterations.
 2. Avoid substantial probabilities of: (1) accelerated erosion; (2) pollution, contamination or siltation of lakes, rivers, streams and wetlands; (3) damage to vegetation; (4) injury to wildlife and fish habitats.
 3. Minimize the removal of trees and other native vegetation that stabilize hillsides, retain moisture, reduce erosion, siltation and nutrient runoff, and preserve the natural scenic character.

Response: The plan sheets located in Section IIB demonstrate that the subject Preliminary Development Plan is designed with maximum regard to natural terrain features and topography. The subject PDP does not contain hillside areas or flood plains. The *Grading and Erosion Control Plan* shows proposed grading within the subject area and the *Tree Preservation Plan* shows proposed tree preservation.

All subsequent grading, filling and excavating will be done in accordance with the Uniform Building Code. Disturbance of soils and removal of trees and other native vegetation will be limited to the extent necessary to construct the proposed development. Construction will occur in a manner that avoids substantial probabilities of accelerated erosion; pollution, contamination or siltation of lakes, rivers, streams and wetlands; damage to vegetation; and injury to wildlife and fish habitats.

(.03) Hillside: All developments proposed on slopes greater than 25% shall be limited to the extent that:

Response: The subject Preliminary Development Plan does not include any areas of slopes in excess of 25%. Therefore, this standard does not apply to this application.

(.04) Trees and Wooded Areas.

- A. All developments shall be planned, designed, constructed and maintained so that:
 - 1. Existing vegetation is not disturbed, injured, or removed prior to site development and prior to an approved plan for circulation, parking and structure location.
 - 2. Existing wooded areas, significant clumps/groves of trees and vegetation, and all trees with a diameter at breast height of six inches or greater shall be incorporated into the development plan and protected wherever feasible.
 - 3. Existing trees are preserved within any right-of-way when such trees are suitably located, healthy, and when approved grading allows.
- B. Trees and woodland areas to be retained shall be protected during site preparation and construction according to City Public Works design specifications, by:
 - 1. Avoiding disturbance of the roots by grading and/or compacting activity.
 - 2. Providing for drainage and water and air filtration to the roots of trees which will be covered with impermeable surfaces.
 - 3. Requiring, if necessary, the advisory expertise of a registered arborist/horticulturist both during and after site preparation.
 - 4. Requiring, if necessary, a special maintenance, management program to insure survival of specific woodland areas of specimen trees or individual heritage status trees.

Response: The *Tree Preservation Plan*, located in Section IIB, depicts existing trees within the subject area and identifies trees to be retained and to be removed.

This application includes a request for approval of a Type “C” Tree Removal Plan, which can be found in Section V of this Notebook.

Section V includes the Tree Report prepared by Morgan Holan addressing existing trees and development impacts within the subject area, a tree inventory and tree mitigation details. The information contained in Section V demonstrates that the subject Preliminary Development Plan is designed to incorporate all trees with a diameter at breast height of six inches or greater into the plan where feasible. Trees rated “Important” or “Good” have been retained to the extent feasible within the area addressed by this PDP. Trees that are retained, as identified in the *Tree Preservation Plan*, will be protected during site preparation and construction in accordance with City Public Works design specifications and Section 4.171(.04).

(.05) High Voltage Power line Easements and Rights of Way and Petroleum Pipeline Easements:

- A. Due to the restrictions placed on these lands, no residential structures shall be allowed within high voltage powerline easements and rights of way and petroleum pipeline easements, and any development, particularly residential, adjacent to high voltage powerline easements and rights of way and petroleum pipeline easement shall be carefully reviewed.
- B. Any proposed non-residential development within high voltage powerline easements and rights of way and petroleum pipeline easements shall be coordinated with and approved by the Bonneville Power Administration, Portland General Electric Company or other appropriate utility, depending on the easement or right of way ownership.

Response: This Preliminary Development Plan does not contain any high voltage powerline or petroleum pipeline easements or rights of way.

(.06) Hazards to Safety: Purpose:

- A. To protect lives and property from natural or human-induced geologic or hydrologic hazards and disasters.
- B. To protect lives and property from damage due to soil hazards.
- C. To protect lives and property from forest and brush fires.
- D. To avoid financial loss resulting from development in hazard areas.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety.

(.07) Standards for Earth Movement Hazard Areas:

- A. No development or grading shall be allowed in areas of land movement, slump or earth flow, and mud or debris flow, except under one of the following conditions.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No earth movement hazard areas have been identified within the subject PDP area.

(.08) Standards for Soil Hazard Areas:

- A. Appropriate siting and design safeguards shall insure structural stability and proper drainage of foundation and crawl space areas for development on land with any of the following soil conditions: wet or high water table; high shrink-swell capability; compressible or organic; and shallow depth-to-bedrock.
- B. The principal source of information for determining soil hazards is the State DOGAMI Bulletin 99 and any subsequent bulleting and accompanying maps. Approved site-specific soil studies shall be used to identify the extent and severity of the hazardous conditions on the site, and to update the soil hazards database accordingly.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No soil hazard areas have been identified within the subject area.

(.09) Historic Protection: Purpose:

- A. To preserve structures, sites, objects, and areas within the City of Wilsonville having historic, cultural, or archaeological significance.

Response: A Historic/ Cultural Resource Inventory was previously conducted for the property identified as SAP - Central. The inventory shows that the subject PDP does not include any sites, objects, or areas having historic, cultural, or archaeological significance. Therefore, the standards of this section are not applicable.

SECTION 4.172 FLOOD PLAIN REGULATIONS

Response: The site does not include any areas identified as flood plain.

SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING

Response: Landscaping will be provided in accordance with the standards in Section 4.176. The *Street Tree/Lighting Plan* depicts street trees along rights-of-way within the subject Preliminary Development Plan area. The plan has been developed in conformance with the Community Elements Book and the applicable standards of Section 4.176. Landscaping in the linear green areas will be reviewed with the concurrent FDP application in Section VI of this Notebook.

SECTION 4.177 STREET IMPROVEMENT STANDARDS

Response: The rights-of-way proposed within the subject PDP are shown on the plan sheets in Section IIB. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with the final plat.

The plan sheets located in Section IIB demonstrate that all proposed access drives (alleys) within the PDP area will have a minimum improvement width of 16 feet and

will provide two-way travel. All access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

SECTION 4.178 SIDEWALK & PATHWAY STANDARDS

(.01) **Sidewalks**. All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.

(.02) **Pathways**

A. **Bicycle facilities shall be provided using a bicycle lane as the preferred facility design. The other facility designs listed will only be used if the bike lane standard cannot be constructed due to physical or financial constraints. The alternative standards are listed in order of preference.**

1. **Bike lane. This design includes 12-foot minimum travel lanes for autos and paved shoulders, 5-6 feet wide for bikes, that are striped and marked as bicycle lanes. This shall be the basic standard applied to bike lanes on all arterial and collector streets in the City, with the exception of minor residential collectors with less than 1,500 (existing or anticipated) vehicle trips per day.**

Response: The PDP plan sheets located in Section IIB (see the *Circulation Plan*) depict cross-sections of the proposed sidewalks and pathways in compliance with the above standards and Specific Area Plan - Central.

SECTION 4.610.40 TYPE C PERMIT

A request for approval of the Tree Removal Plan for PDP 6 - Central can be found in Section V of this Notebook.

II. PROPOSAL SUMMARY & CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the Village Zone and other applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Preliminary Development Plan. Therefore, the applicant requests approval of this application. Concurrent applications for a Tentative Plat, Zone Change, Tree Removal Plan, and Final Development Plan are included in this notebook as Sections III, IV, V, and VI, respectively, pursuant to City requirements.

IIB) Reduced Drawings

PHASE 6 CENTRAL VILLEBOIS ROW HOMES PRELIMINARY DEVELOPMENT PLAN

TL 3500, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

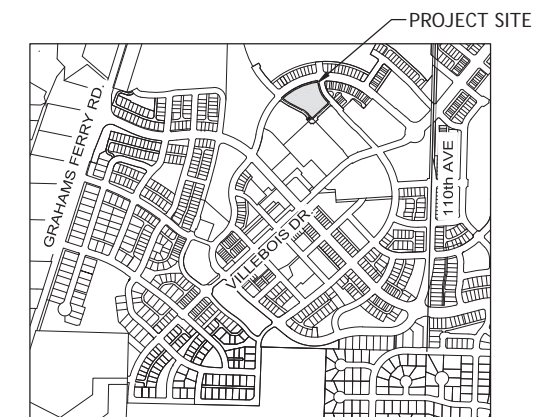
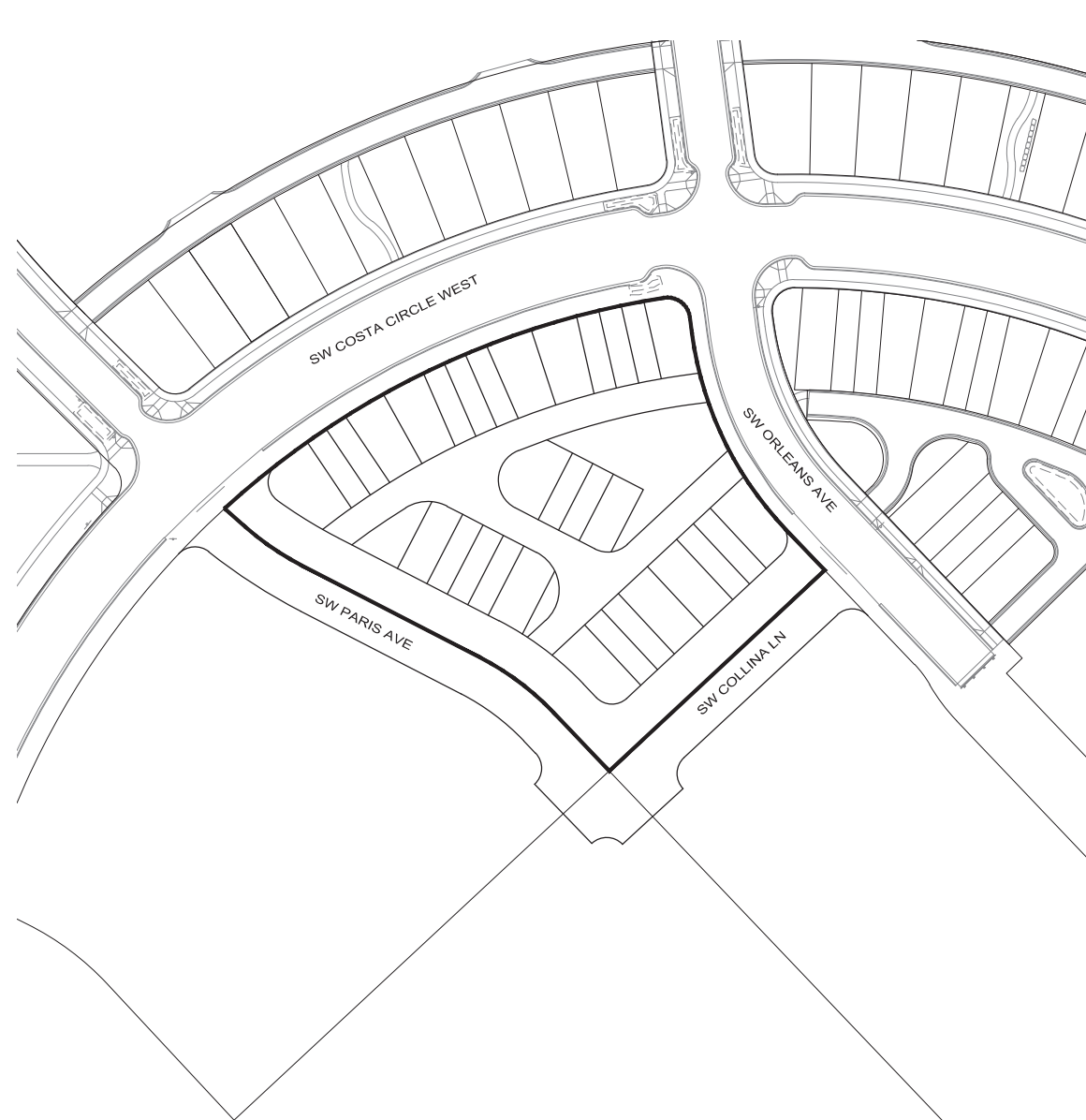
LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

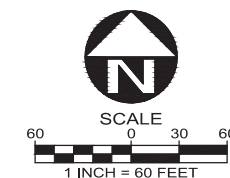
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE / LAND USE PLAN
- 4 PRELIMINARY PLAT
- 5 PRELIMINARY GRADING & EROSION CONTROL PLAN
- 6 COMPOSITE UTILITY PLAN
- 7 CIRCULATION PLAN & STREET SECTIONS
- 8 TREE PRESERVATION PLAN
- 9 SAP CENTRAL PHASING PLAN UPDATE
- L1 STREET TREE PLAN



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

COVER
SHEET

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015





Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

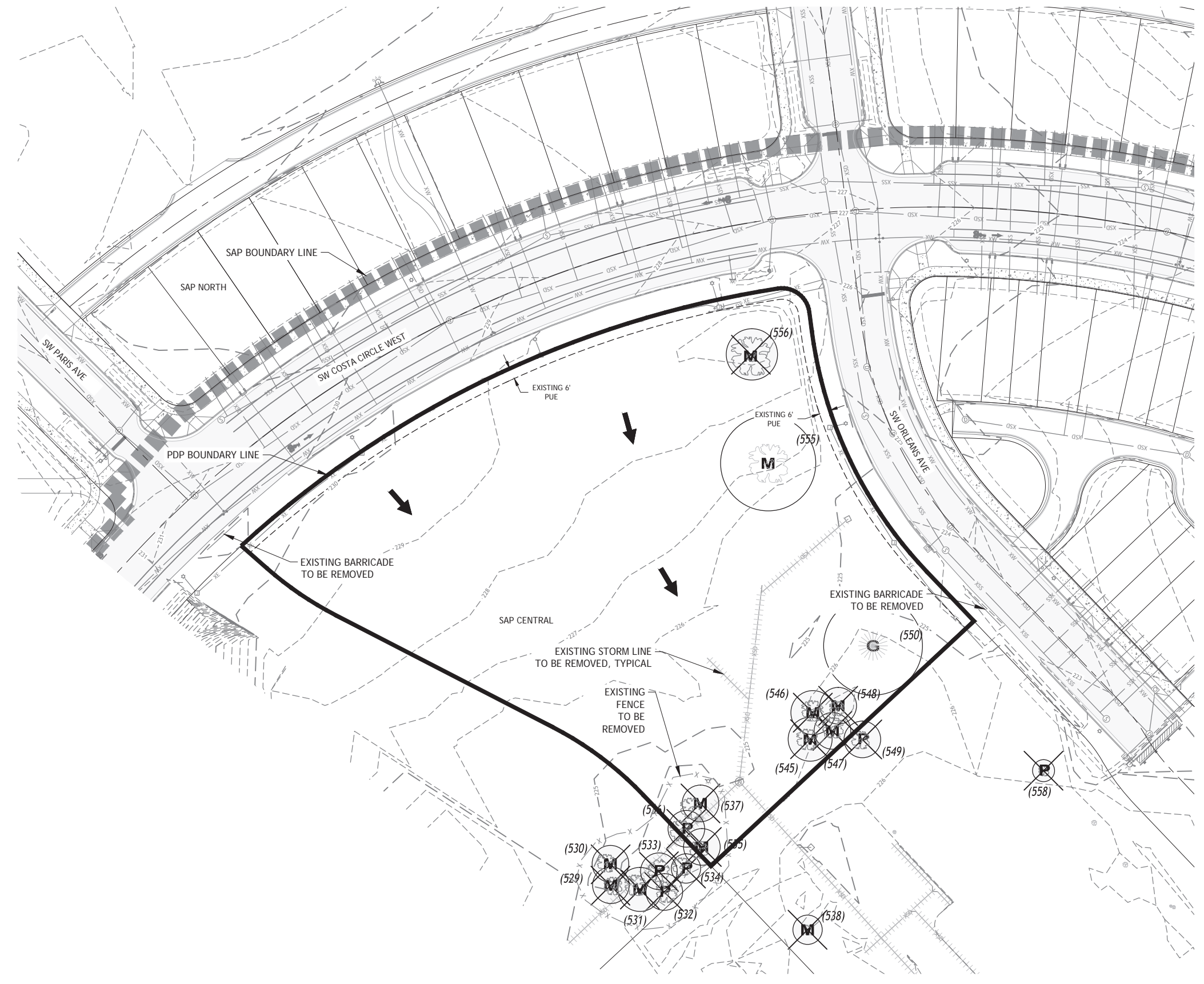
EXISTING
CONDITIONS

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

2

LEGEND

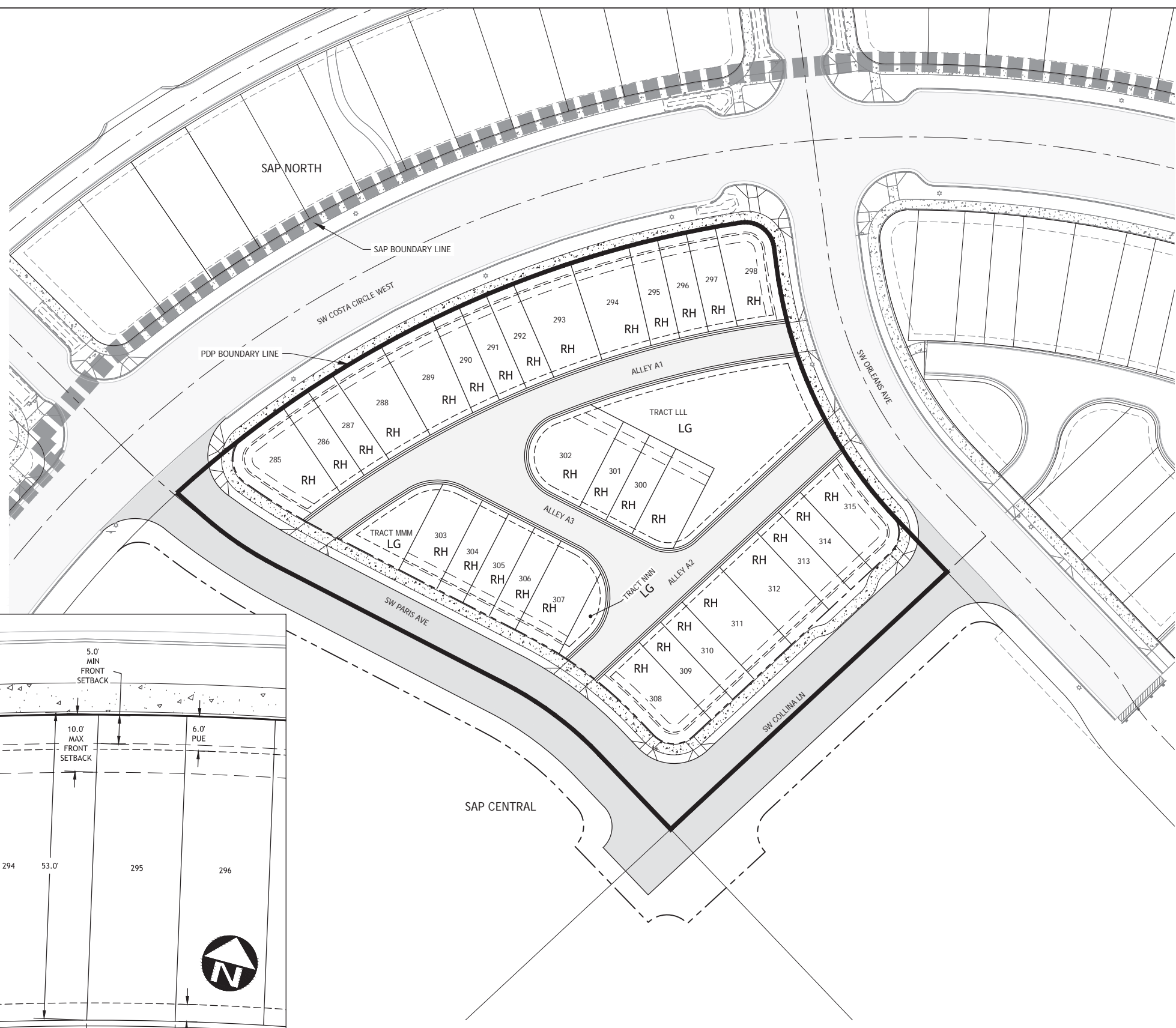
---	EASEMENT LINES
---	EXISTING RIGHT-OF-WAY
---	EXISTING CENTERLINE
---	EXISTING PROPERTY LINE
---	EXISTING BOUNDARY LINE
---	EXISTING SIDEWALK
---	EX 1-FOOT CONTOURS
---	EX 5-FOOT CONTOURS
---	EX SANITARY SEWER
---	EX STORM DRAIN
XW	EX WATER LINE
XG	EX GAS LINE
XE	EX BURIED POWER LINE
---	EX OVERHEAD POWER LINE
XCOM	EX CABLE TV LINE
XT	EX TELEPHONE LINE
⊙	EX SANITARY MANHOLE
⊙	EX SANITARY CLEANOUT
⊙	EX STORM MANHOLE
□	EX AREA DRAIN
⊙	EX CURB INLET
⊙	EX STORM CLEANOUT
⊙	EX FIRE HYDRANT
⊙	EX WATER METER
⊙	EX WATER VALVE
⊙	EX BLOW-OFF
⊙	EX AIR RELEASE VALVE
⊙	EX GAS VALVE
⊙	EX CABLE RISER
⊙	EX TELEPHONE RISER
⊙	EX LIGHT POLE
---	EXISTING FENCE
---	EXISTING ELECTRIC VAULT
---	EXISTING PAVEMENT
---	EX TREES
---	DRAINAGE DIRECTION



N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submit\395-058 (2)\EXIST.dwg - SHEET: 22x34 May 6, 15 - 9:02 AM erik

ELEVATION DATUM: NAVD 88

N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submittal\395-058 (3)SIE.dwg - SHEET: 22x34 May 6, 15 - 9:04 AM erk



LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PDP BOUNDARY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK BY OTHERS
- EXISTING SIDEWALK

LEGEND:

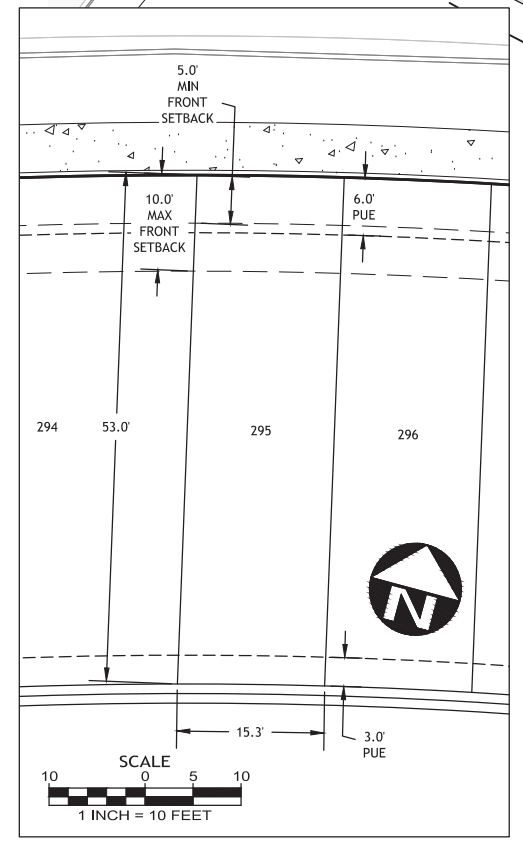
- RH ROW HOUSE LOTS
- LG LINEAR GREEN SPACE

LOT COUNT:

31	ROW HOUSE LOTS
31	TOTAL

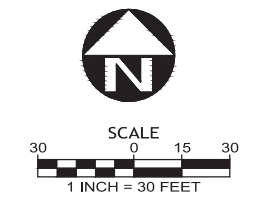
LAND AREA TABLE:

TOTAL AREA:	1.52 AC
PUBLIC STREETS:	0.31 AC
LINEAR GREEN SPACE:	0.15 AC
LOTS & ALLEYS:	1.06 AC
AVG. DENSITY PER NET ACRE:	31 / 1.06 = 29.25 UNITS / AC



TYPICAL LOT PLAN

ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

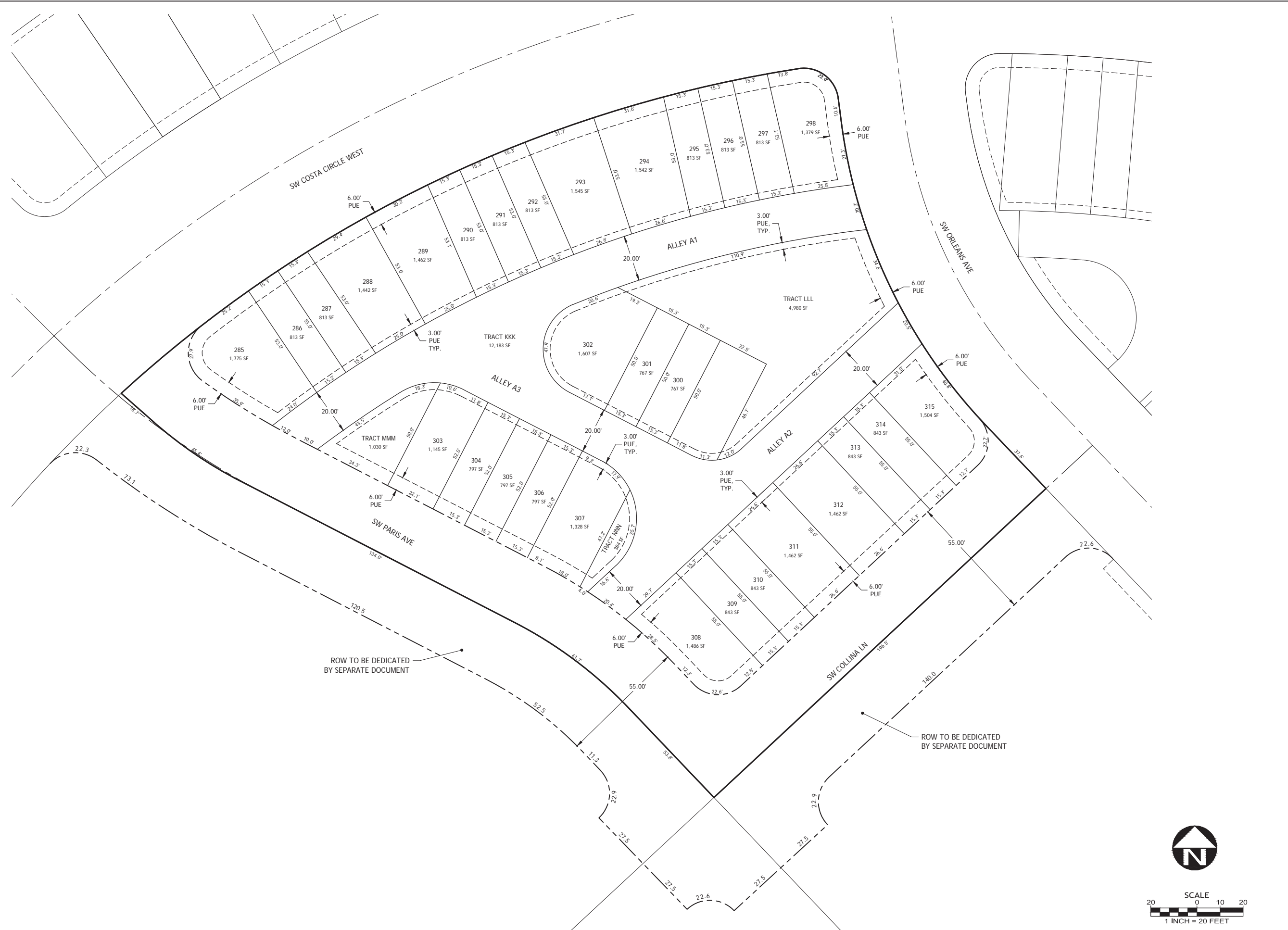
**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development
Plan
&
Final Development Plan

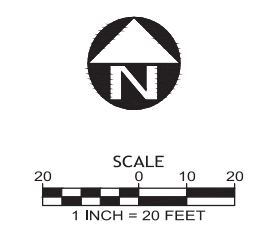
**SITE / LAND
USE PLAN**

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\395-058.dwg - SHEET: 22x34 May 6, 15 - 9:05 AM erik



ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

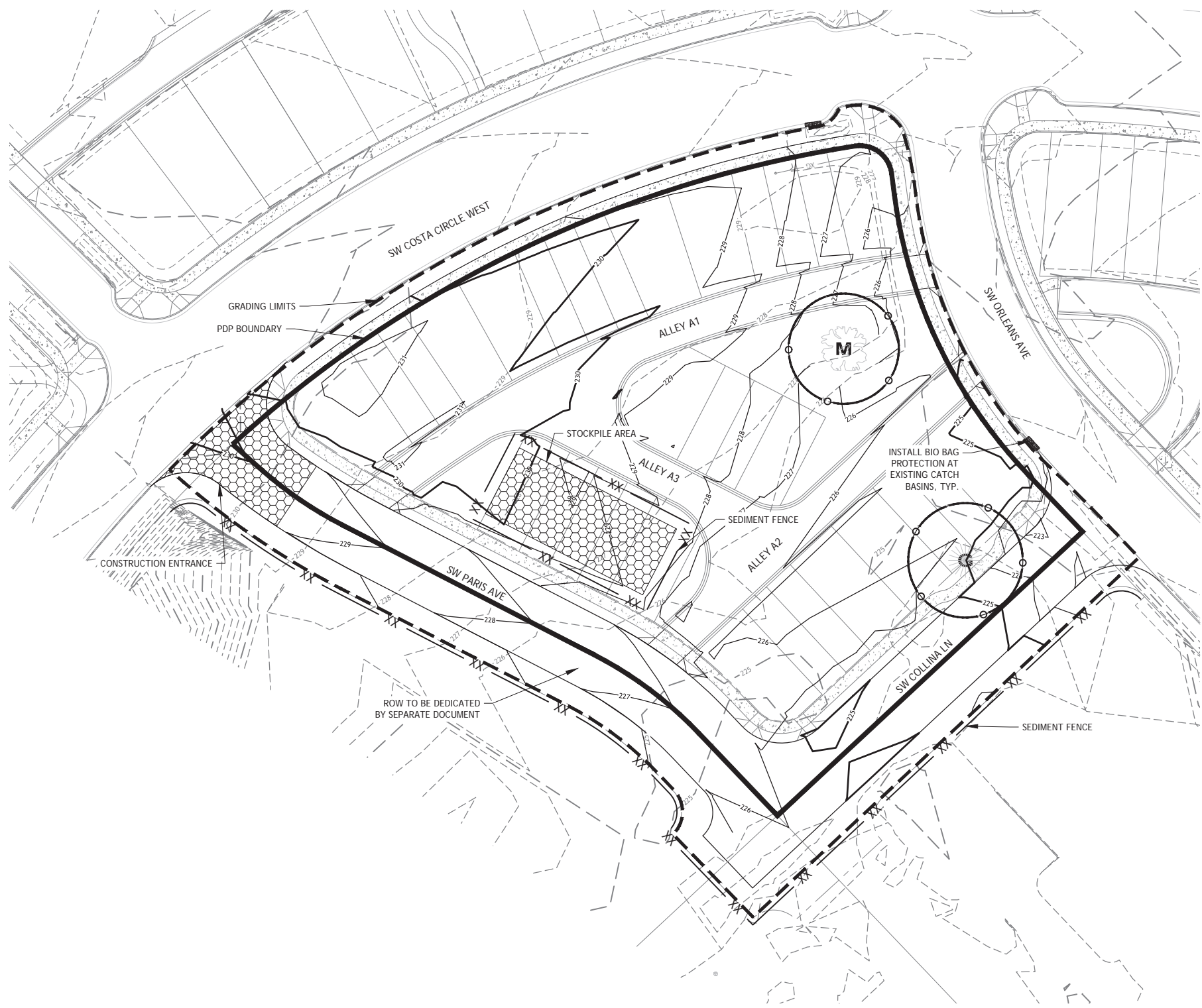
PRELIMINARY
PLAT

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015



N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submit\395-058 (5)GRAD.dwg - SHEET: 22x34 May 6, 15 - 9:06 AM erik

ELEVATION DATUM: NAVD 88



LEGEND

- - - 324 EX 2-FT CONTOUR
- - - 320 EX 10-FT CONTOUR
- 324 FG 2-FT CONTOUR
- 320 FG 10-FT CONTOUR
- ▭ PROPOSED RETAINING WALL
- ▭ GRADING LIMITS
- ▭ EXISTING FENCE
- XX SEDIMENT FENCE
- ▭ TREE PROTECTION FENCING
- ▭ CONSTRUCTION FENCING
- ▭ WATTLES
- ⊕ BIO-BAG PROTECTION
- ☀ EX TREES TO REMAIN

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- ☀ EXISTING TREES TO RETAIN



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development
Plan
&
Final Development Plan

**GRADING &
EROSION CONTROL
PLAN**

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015





POLYGON NW COMPANY



GEODESIGN, INC

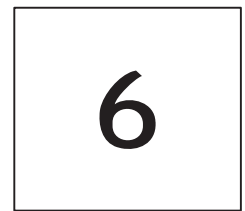
REVISIONS	
DATE	DESCRIPTION

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

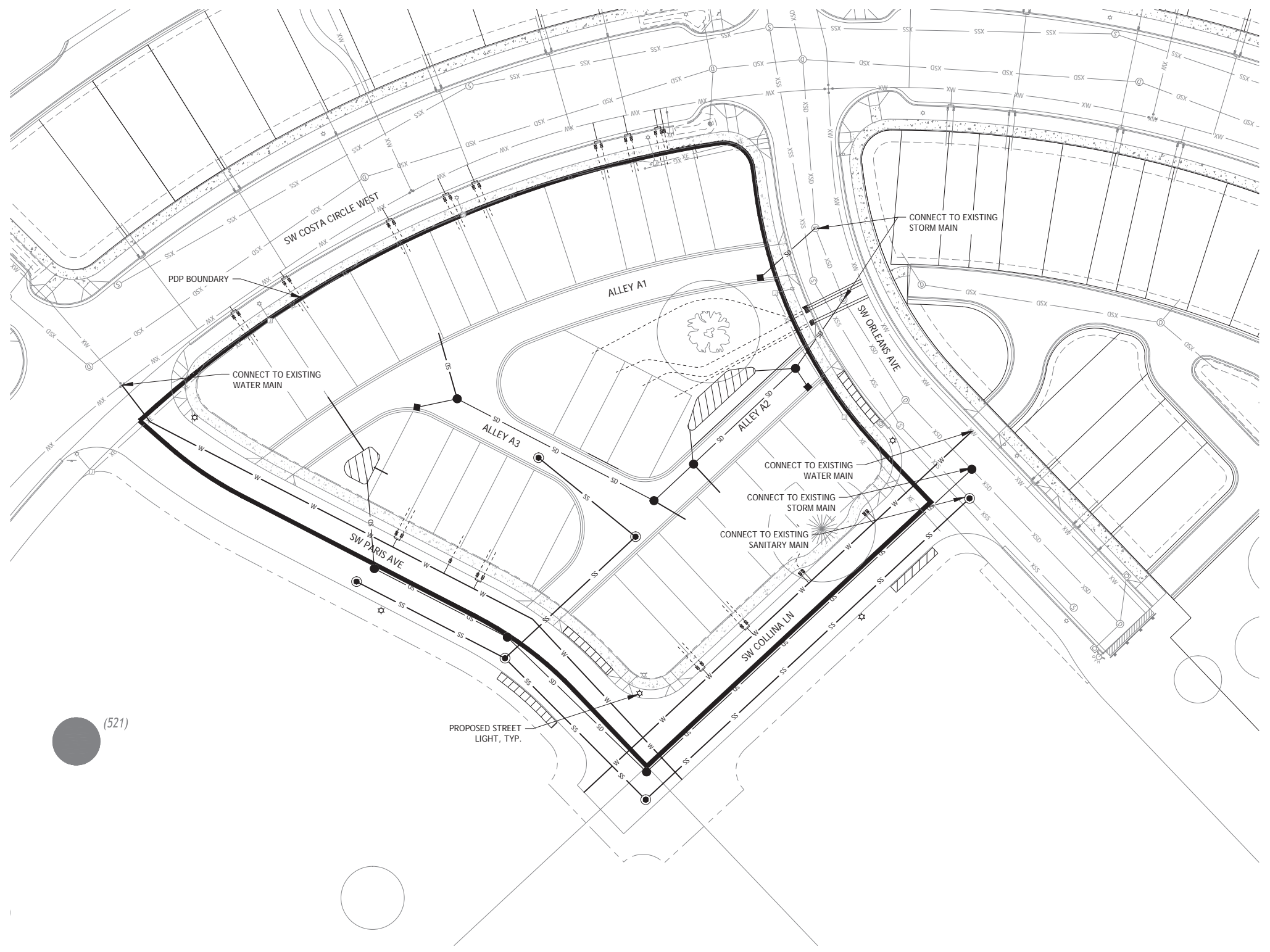
COMPOSITE
UTILITY
PLAN

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015



LEGEND:

- SS — PROPOSED SANITARY SEWER
- XSS — EX SANITARY SEWER
- SD — PROPOSED STORM DRAIN
- XSD — EX STORM DRAIN
- W — PROPOSED WATER LINE
- XW — EX WATER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- ⊕ PROPOSED FIRE HYDRANT
- ⊙ EX SANITARY MANHOLE
- ⊙ EX STORM MANHOLE
- EX AREA DRAIN
- EX CURB INLET
- EX STORM CLEANOUT
- ⊕ EX FIRE HYDRANT
- ⊕ EX WATER METER
- EX WATER VALVE
- EX BLOW-OFF
- EX AIR RELEASE VALVE
- EX GAS VALVE
- EX CABLE RISER
- EX TELEPHONE RISER
- EX LIGHT POLE
- X EXISTING FENCE
- ⊕ EX TREES
- ▨ PROPOSED RAINWATER MANAGEMENT FACILITY



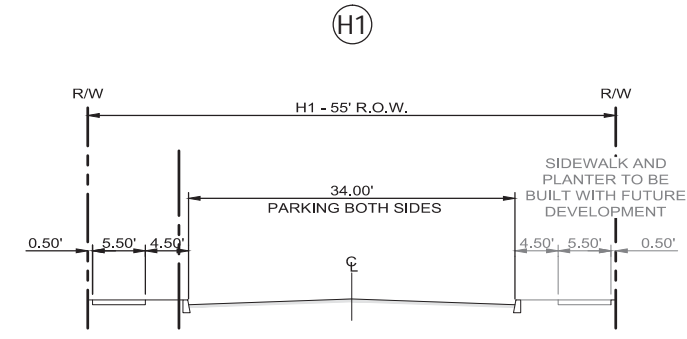
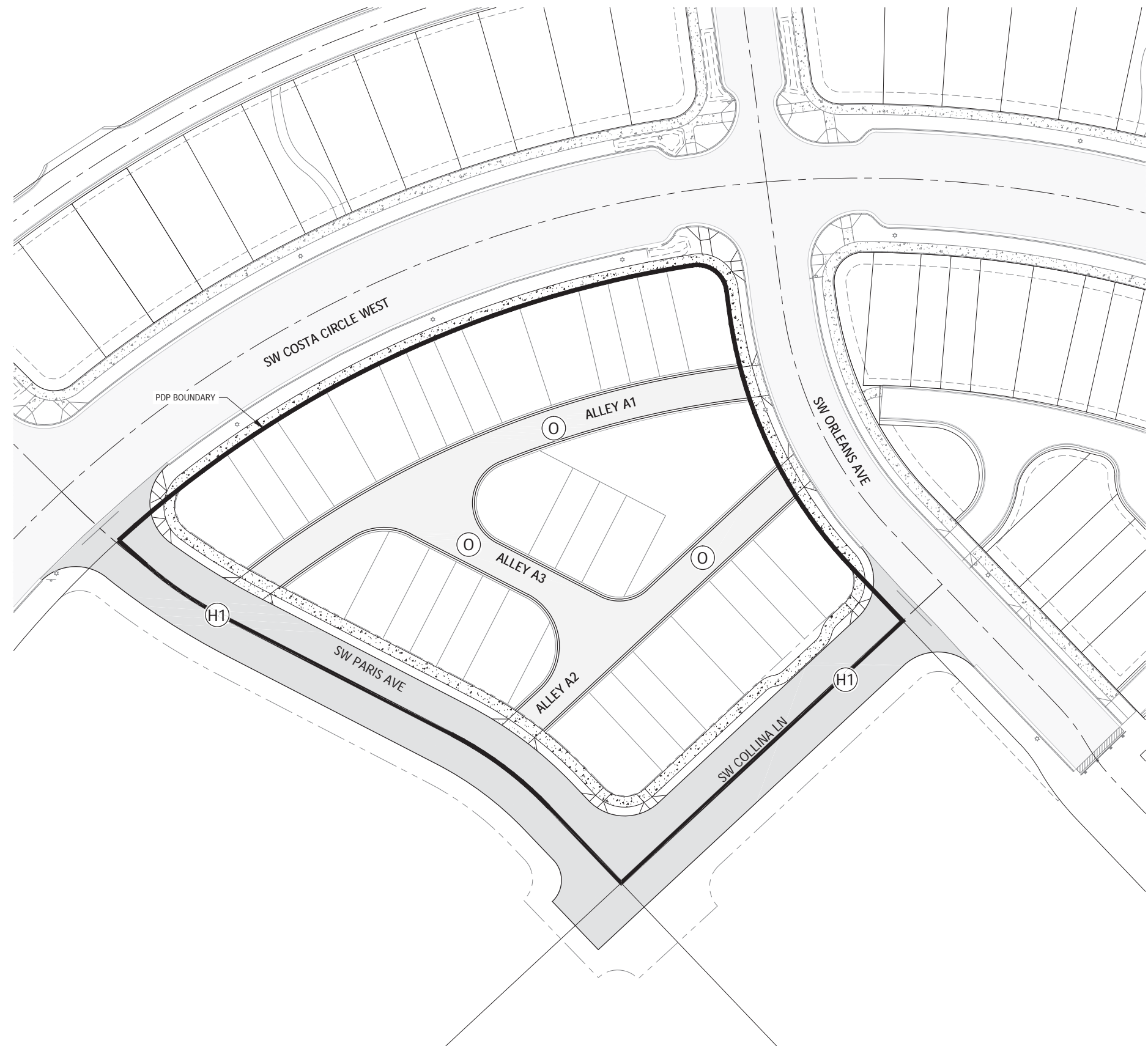
(521)



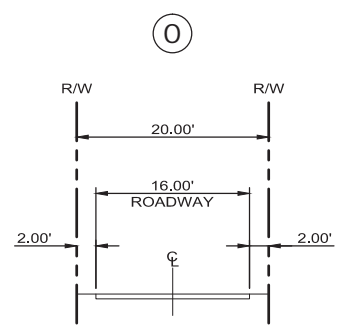
ELEVATION DATUM: NAVD 88

N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submit\395-058 (6)COMP.dwg - SHEET 22x34 May 6, 15 - 11:22 AM pre

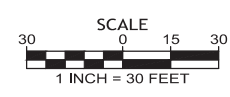
N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\395-058 (7)CIRC.SECT.dwg - SHEET: 22x34 May. 6. 15 - 9:08 AM erik



RESIDENTIAL VILLAGE CENTER
SCALE: 1"=10'



PRIVATE LANE
SCALE: 1"=10'



ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C VILLEBOIS ROW HOMES

Preliminary Development Plan & Final Development Plan

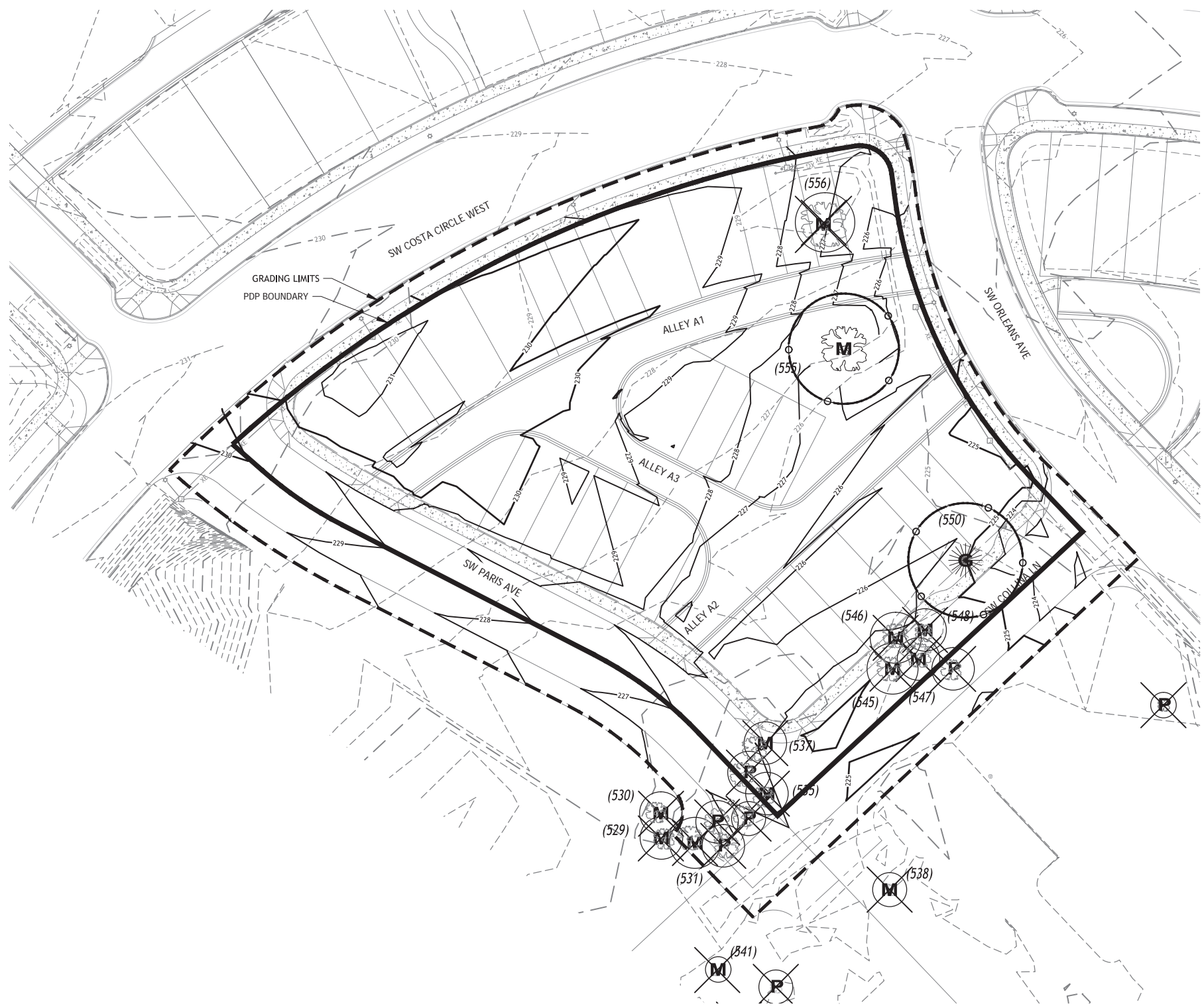
CIRCULATION PLAN & STREET SECTIONS

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015



N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submit\395-058 (8) TREEPRES.dwg - SHEET: 22x34 May 6, 15 - 9:09 AM erik

ELEVATION DATUM: NAVD 88



LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (M) EXISTING TREES LIKELY TO BE REMOVED
- (P) EXISTING TREES TO BE REMOVED
- (X) EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCING
- - - GRADING LIMITS

NOTES

ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARBORIST. CONTACT: MORGAN HOLAN PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

1. HEALTH
2. SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
3. COMPATIBILITY WITH DEVELOPMENT
4. FORM / VISUAL INTEREST / MATURE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

1. THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLAN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development Plan & Final Development Plan

**TREE
PRESERVATION
PLAN**

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

SAP NORTH

LEGEND:

- LOT LINES
- PHASE LINE
- 4** PHASE NUMBER
- SC SPECIALTY CONDOS
- MU MIXED USE CONDOS
- UA URBAN APARTMENTS
- CN CONDOS
- RH ROWHOUSES
- VA VILLAGE APARTMENTS

SAP EAST

SAP SOUTH



ELEVATION DATUM: NAVD 88

North arrow pointing up. Scale bar showing 0, 50, and 100 feet. Text: SCALE 1 INCH = 100 FEET



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C VILLEBOIS ROW HOMES

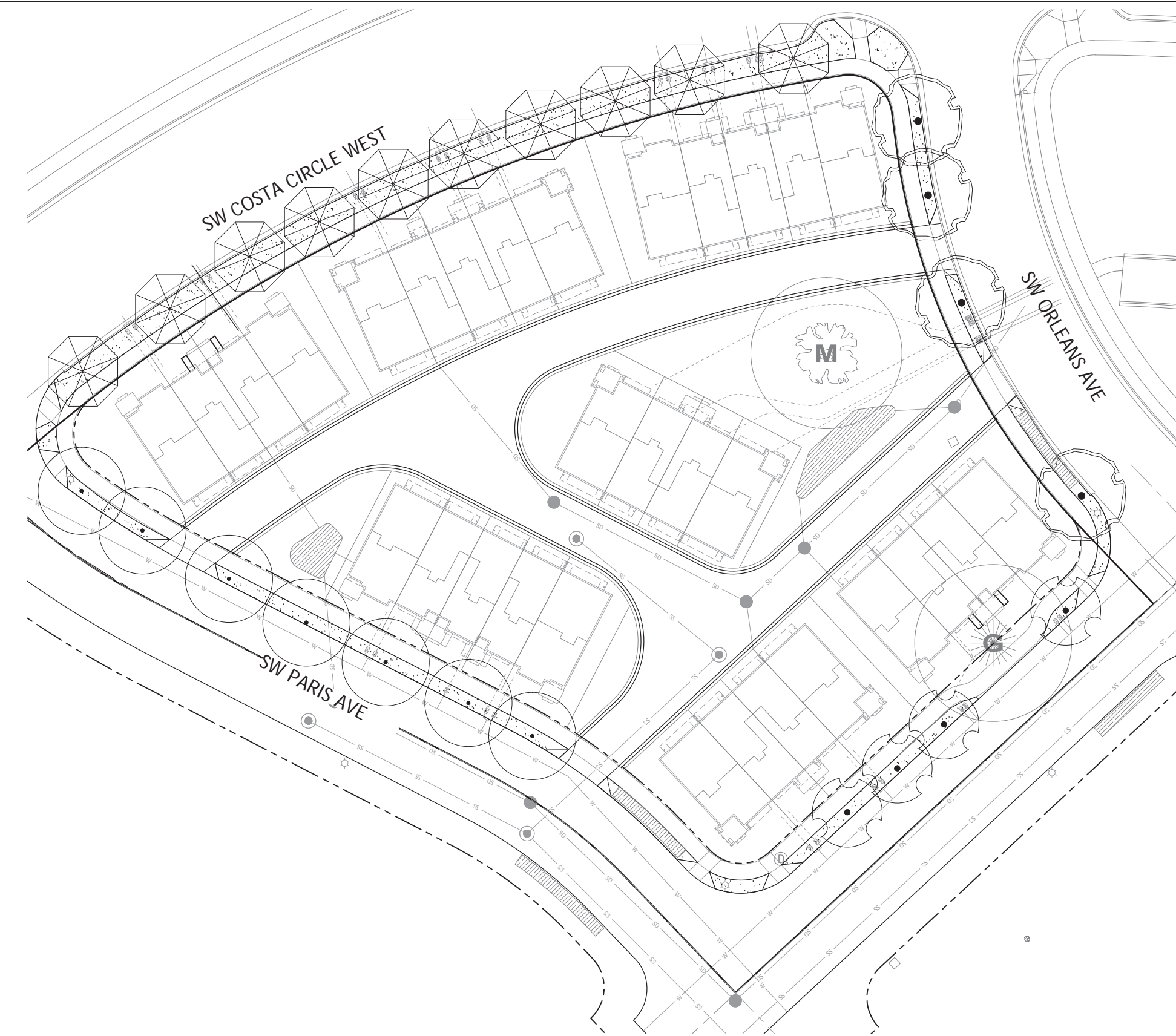
Preliminary Development Plan & Final Development Plan

SAP CENTRAL PHASING PLAN UPDATE

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

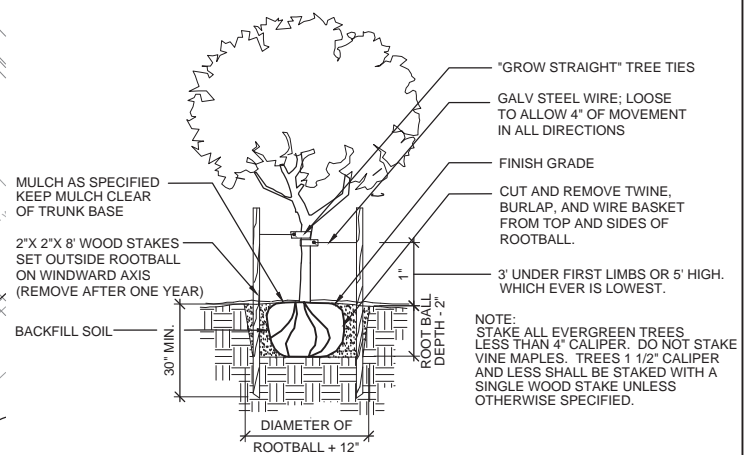
N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submittal\395-058 (0)PHASE.dwg - SHEET: 22x34 May, 6, 15, 9:10 AM erik

N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submittal\395-058-STREETREE-PDP-LA.dwg - SHEET: L1 May 6, 15 - 9:11 AM erik



STREET TREE LEGEND:

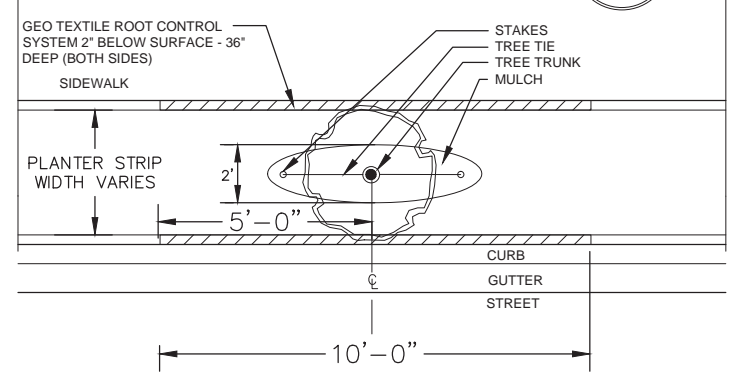
SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	10	TULIP TREE / LIRIODENDRON TULIPIFERA	2.5" cal., B&B	25' o.c.
	4	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2.5" cal., B&B	25' o.c.
	7	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	4	CRIMEAN LINDEN / TILIA X EUCHLORA	2.5" cal., B&B	25' o.c.
		PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		
		BIORETENTION CELL		



TREE STAKING DETAIL

SCALE: N.T.S

1
L1

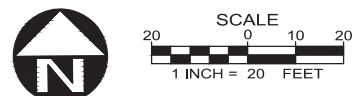


TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S

2
L1

ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

STREET TREE
PLAN

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015



IIC) Utility and Drainage Reports



MEMORANDUM

DATE: March 18, 2015
TO: City of Wilsonville
FROM: Jessie King, PE
Pacific Community Design
RE: Villebois Row Homes (PDP 6C) Utility Analysis
Job No. 395-058

This memorandum report is to address the utility connections for the Villebois Row Homes (PDP 6C) development portion of Villebois SAP Central. This phase is located within the Villebois Village Center, south and west of the Costa Circle West and Orleans St intersection. This report will be divided into three sections: Water, Sanitary Sewer, and Storm Sewer. Rainwater Management will be discussed in a separate report.

Water

SAP Central defined the land use for this area to be row homes and village apartments with a maximum unit count of 48. The proposed development will contain attached row homes with a total unit count of 31 and therefore complies with design intent of SAP Central.

Sanitary Sewer

The portion of the site fronting Costa Circle Drive is located within service area 5, see attached exhibit SS. SAP Central defined the land use for this area to be row homes with a maximum unit count of 12. The proposed development includes attached row homes with a total unit count of 14. The increase in peak flow will be 0.89 gallons per minute (GPM).

A remainder of this site is located within service area 3B. SAP Central defined the land use for this area to be village apartments with a maximum unit count of 36. The proposed development includes attached row homes with a total unit count of 17. These units along with 6 additional units from PDP 4C-Phase 1 will be redirected to Area 5. This additional area will contribute 11.34 GPM to Area 5, approximately 3% of the total capacity of the 8-inch line servicing this area. With the additional 0.89 GPM from the portion fronting Costa Circle Drive, the 8-inch line servicing Areas 4A, 4B, and 5 will function at 87% of the total capacity.

Based on this, there is adequate capacity for this development.

Storm Sewer

See the developed drainage map, exhibit A. The stormwater report submitted with PDP 2N defined the land use for this area to be 85% impervious, based on the SAP Central land use designation. The water quality facilities within the Coffee Lake Basin were designed to provide treatment for this land use. The proposed layout has an impervious area of 76%. For impervious area calculations refer to exhibits B1-B4.

Based on this information the current facilities are adequately sized to provide treatment per the City of Wilsonville Public Works Standards.

Thank you.

Attachments:

1. SS - Sanitary Sewer Service Area Exhibit
2. Sanitary Sewer Conveyance Calculations
3. A - Developed Drainage Map
4. B1 - Composite Curve Number - Lot 83 (SAP Central)
5. B2 - Percent Impervious - Lot 83 (SAP Central)
6. B3 - Composite Curve Number - Lot 83 (PDP 6C)
7. B4 - Percent Impervious - Lot 83 (PDP 6C)



JOB: 395-058
 PROJECT: Villebois PDP 6C
 FILE: N:/PROJ/395-058/05 Reports/Sanitary Analysis/395058.Sanitary Conveyance.2015-03-19.xls

**SAP CENTRAL PDP 6C
 SANITARY PEAK FLOW CALCULATIONS
 AREA 5-PDP 6C (Additional Units)**

UNIT FLOW FACTORS

Residential: 213 gal/day/unit
 Commercial: 1500 gal/day/acre
 Infiltration (I/I): 800 gal/day/acre
 Peaking Factor: 3, or Fig. 3-11

Residential (R): 2 units

$Q_r = R \times 213 \text{ gal/day/unit} = 426 \text{ gal/day}$

$Q_r = 0.30 \text{ gal/min}$

Commercial (C): 0 acres

$Q_c = C \times 1500 \text{ gal/day/acre} = 0.00 \text{ gal/day}$

$Q_c = 0.00 \text{ gal/min}$

Developed Flow (Qf):

$Q_f = Q_r + Q_c = 0.30 \text{ gal/min} \quad 426 \text{ gal/day}$
 0.00043 MGD

Peak Flow (Qp):

Peaking Factor = $-0.284 \ln(Q) + 2.33$
 3.00

$Q_p = Q_f \times \text{Peak F} = 0.89 \text{ gal/min}$

Total Area (A): 0 acres

$Q_i = A \times 800 \text{ gal/day/acre} = 0 \text{ gal/day}$

$Q_i = 0.00 \text{ gal/min}$

$Q_t = Q_p + Q_i = 0.89 \text{ gal/min}$
--

**SAP CENTRAL PDP 6C
SANITARY PEAK FLOW CALCULATIONS
AREA 3B-PDP 6C**

UNIT FLOW FACTORS

Residential: 213 gal/day/unit
 Commercial: 1500 gal/day/acre
 Infiltration (I/I): 800 gal/day/acre
 Peaking Factor: 3, or Fig. 3-11

Residential (R): 23 units

$$Q_r = R \times 213 \text{ gal/day/unit} = 4,899 \text{ gal/day}$$

$$Q_r = 3.40 \text{ gal/min}$$

Commercial (C): 0 acres

$$Q_c = C \times 1500 \text{ gal/day/acre} = 0.00 \text{ gal/day}$$

$$Q_c = 0.00 \text{ gal/min}$$

Developed Flow (Qf):

$$Q_f = Q_r + Q_c = 3.40 \text{ gal/min} \quad 4899 \text{ gal/day}$$

$$0.00490 \text{ MGD}$$

Peak Flow (Qp):

$$\text{Peaking Factor} = -0.284 \ln(Q) + 2.33$$

$$3.00$$

$Q_p = Q_f \times \text{Peak F} = 10.21 \text{ gal/min}$
--

Total Area (A): 2.04 acres

$$Q_i = A \times 800 \text{ gal/day/acre} = 1,632 \text{ gal/day}$$

$$Q_i = 1.13 \text{ gal/min}$$

$Q_t = Q_p + Q_i = 11.34 \text{ gal/min}$

**SAP NORTH PDP 3N & SCHOOL OWNED PROPERTY
SANITARY PEAK FLOW CALCULATIONS
AREA 4A**

UNIT FLOW FACTORS

Residential: 213 gal/day/unit
 Commercial: 1500 gal/day/acre
 Infiltration (I/I): 800 gal/day/acre
 Peaking Factor: 3, or Fig. 3-11

Residential (R): 150 units

$$Q_r = R \times 213 \text{ gal/day/unit} = 31,950 \text{ gal/day}$$

$$Q_r = 22.19 \text{ gal/min}$$

Commercial (C): 0 acres

$$Q_c = C \times 1500 \text{ gal/day/acre} = 0.00 \text{ gal/day}$$

$$Q_c = 0.00 \text{ gal/min}$$

Developed Flow (Qf):

$$Q_f = Q_r + Q_c = 22.19 \text{ gal/min} \quad 31950 \text{ gal/day}$$

$$0.03195 \text{ MGD}$$

Peak Flow (Qp):

$$\text{Peaking Factor} = -0.284 \ln(Q) + 2.33$$

$$3.00$$

$Q_p = Q_f \times \text{Peak F} = 66.56 \text{ gal/min}$
--

Total Area (A): 23.67 acres

$$Q_i = A \times 800 \text{ gal/day/acre} = 18,936 \text{ gal/day}$$

$$Q_i = 13.15 \text{ gal/min}$$

$Q_t = Q_p + Q_i = 79.71 \text{ gal/min}$

**FUTURE SAP NORTH AREA
AREA 4B**

UNIT FLOW FACTORS

Residential: 213 gal/day/unit
Commercial: 1500 gal/day/acre
Infiltration (I/I): 800 gal/day/acre
Peaking Factor: 3, or Fig. 3-11

Residential (R): 36 units

$Q_r = R \times 213 \text{ gal/day/unit} = 7,668 \text{ gal/day}$

$Q_r = 5.33 \text{ gal/min}$

Commercial (C): 0 acres

$Q_c = C \times 1500 \text{ gal/day/acre} = 0.00 \text{ gal/day}$

$Q_c = 0.00 \text{ gal/min}$

Developed Flow (Q_f):

$Q_f = Q_r + Q_c = 5.33 \text{ gal/min} \quad 7668 \text{ gal/day}$
 0.00767 MGD

Peak Flow (Q_p):

Peaking Factor = $-0.284 \ln(Q) + 2.33$
3.00

$Q_p = Q_f \times \text{Peak F} = 15.98 \text{ gal/min}$
--

Total Area (A): 9.91 acres

$Q_i = A \times 800 \text{ gal/day/acre} = 7,928 \text{ gal/day}$

$Q_i = 5.51 \text{ gal/min}$

$Q_t = Q_p + Q_i = 21.48 \text{ gal/min}$

AREA 5

UNIT FLOW FACTORS

Residential:	213	gal/day/unit
Commercial:	1500	gal/day/acre
Infiltration (I/I):	800	gal/day/acre
Peaking Factor:	3, or Fig. 3-11	

Residential (R): 384 units

$$Q_r = R \times 213 \text{ gal/day/unit} = 81,792 \text{ gal/day}$$

$$Q_r = 56.80 \text{ gal/min}$$

Commercial (C): 0 acres

$$Q_c = C \times 1500 \text{ gal/day/acre} = 0.00 \text{ gal/day}$$

$$Q_c = 0.00 \text{ gal/min}$$

Developed Flow (Qf):

$$Q_f = Q_r + Q_c = 56.80 \text{ gal/min} \quad 81792 \text{ gal/day}$$
$$0.08179 \text{ MGD}$$

Peak Flow (Qp):

$$\text{Peaking Factor} = -0.284 \ln(Q) + 2.33$$
$$3.00$$

$Q_p = Q_f \times \text{Peak F} = 170.40 \text{ gal/min}$

Total Area (A): 69.31 acres

$$Q_i = A \times 800 \text{ gal/day/acre} = 55,448 \text{ gal/day}$$

$$Q_i = 38.51 \text{ gal/min}$$

$Q_t = Q_p + Q_i = 208.91 \text{ gal/min}$
--

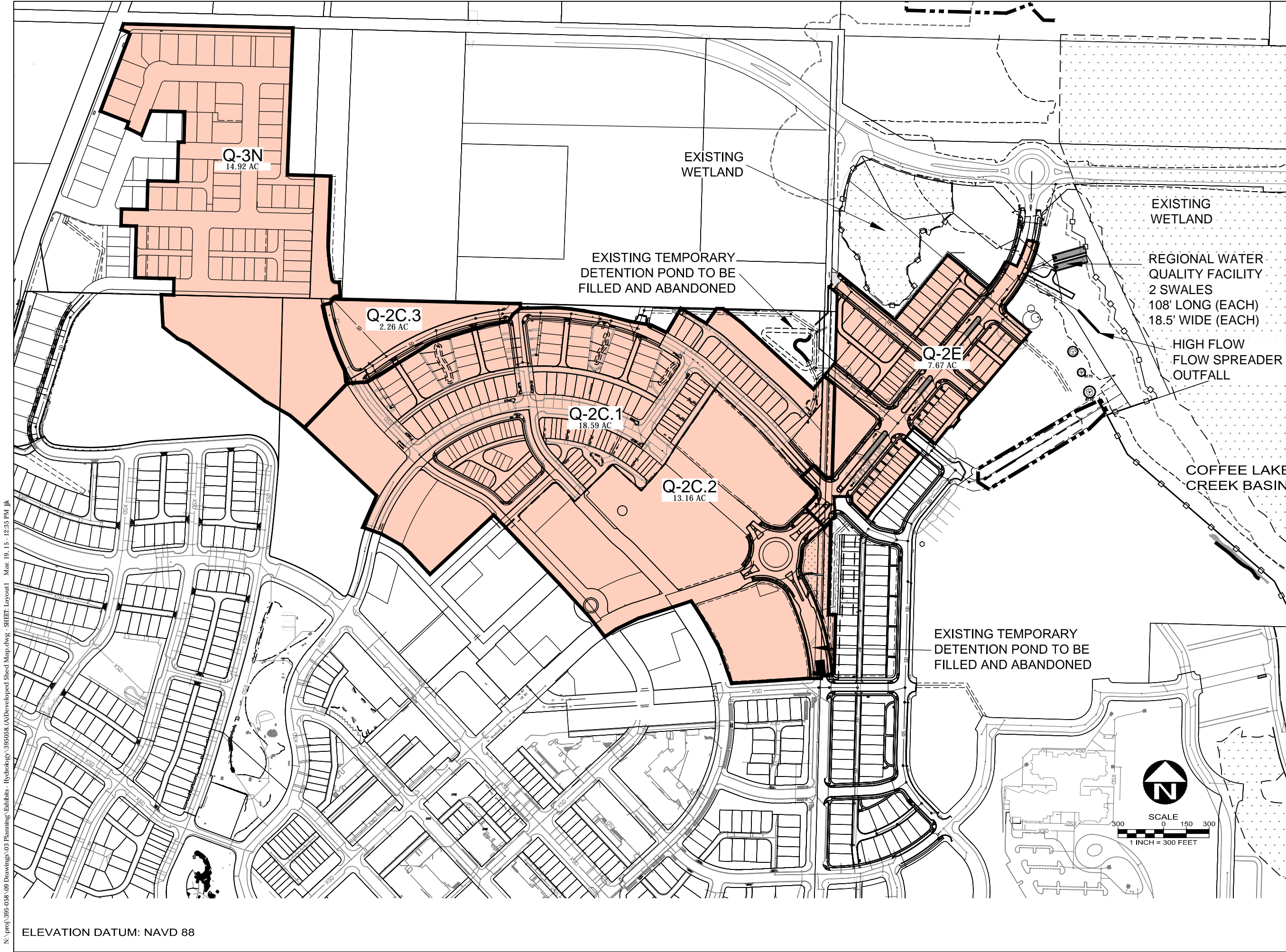


EXHIBIT J

MAIN CAPACITY CALCULATIONS

JOB: 395-058
 PROJECT: Villebois PDP 6C
 FILE: N:/PROJ/395-058/05 Reports/Sanitary Analysis/395058.Sanitary Conveyance.2015-03-19.xls
 Manning's "n" 0.013

LINE	Q (GPM)	Q (CFS)	PIPE SIZE (IN)	SLOPE (FT/FT)	Qf (CFS)	Q/Qf (%)	Vf (FPS)	V/Vf (%)	ACTUAL V (FPS)
TOOZE MAIN									
AREA 5-PDP 6C (Additional Units)	0.89	0.00	8	0.0040	0.77	0.00	2.20	0.20	0.44
AREA 3B-PDP 6C	12.23	0.03	8	0.0040	0.77	0.04	2.20	0.24	0.52
NODE 4A	91.94	0.20	8	0.0040	0.77	0.27	2.20	0.47	1.03
Before NODE 5	300.85	0.67	8	0.0040	0.77	0.87	2.20	1.07	2.36



N:\proj\395-058-09 Drawings\03 Planning\Exhibits - Hydrology\395058 (A)\Developed Shed Map.dwg - SHEET: layout1 Mar. 19. 15 - 12:35 PM jlk

ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

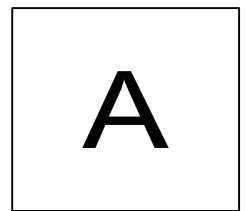
REVISIONS	
DATE	DESCRIPTION

PDP 6C/FDP
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

DEVELOPED
DRAINAGE
MAP

1ST SUBMITTAL DATE 3/23/2015





**COMPOSITE CURVE NUMBER
LOT 83 - SAP CENTRAL
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
 PROJECT: VILLEBOIS ROW HOMES - VILLEBOIS PDP 6C
 FILE: N:/PROJ/395-058/05-REPORTS/UTILITY MEMO/395058.IMPERVIOUS AREA.XLSX

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	0.45	90	24.1%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.76	94	41.1%
Street and Alley ROW's	0.65	94.4	34.8%
Open Space Area	0.00	80	0.0%
TOTAL	1.86		

Composite Curve Number per COA = 93.2

FIGURE B1



**PERCENT IMPERVIOUS
LOT 83 - SAP CENTRAL
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
PROJECT: VILLEBOIS ROW HOMES - VILLEBOIS PDP 6C
FILE: N:/PROJ/395-058/05-REPORTS/UTILITY MEMO/395058.IMPERVIOUS AREA.XLSX

Total Site Area 1.86 acres 80,884 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	16,584
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	29,918
ROW/Alley Impervious Area (80%)	22,506
Total	69,007

% Impervious = 85%

FIGURE B2



**COMPOSITE CURVE NUMBER
LOT 83 - PDP 6C
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
 PROJECT: VILLEBOIS ROW HOMES - VILLEBOIS PDP 6C
 FILE: N:/PROJ/395-058/05-REPORTS/UTILITY MEMO/395058.IMPERVIOUS AREA.XLSX

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	0.78	90	42.0%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.00	94	0.0%
Street and Alley ROW's	0.92	94.4	49.8%
Open Space Area	0.15	80	8.2%
TOTAL	1.86		

Composite Curve Number per COA = 91.4

FIGURE B3



**PERCENT IMPERVIOUS
LOT 83 - PDP 6C
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
PROJECT: VILLEBOIS ROW HOMES - VILLEBOIS PDP 6C
FILE: N:/PROJ/395-058/05-REPORTS/UTILITY MEMO/395058.IMPERVIOUS AREA.XLSX

Total Site Area 1.86 acres 80,884 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	28,879
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	0
ROW/Alley Impervious Area (80%)	32,213
Total	61,092

% Impervious = 76%

FIGURE B4



MEMORANDUM

DATE: May 6, 2015
TO: City of Wilsonville
FROM: Patrick Espinosa, PE
Pacific Community Design
RE: Villebois Row Homes (PDP 6C) Rainwater Analysis
Job No. 395-058

This memorandum report is to demonstrate that the rainwater management program proposed for the Villebois Row Homes (PDP 6C) development portion of Villebois SAP Central is in compliance with the rainwater master plan submitted with SAP Central.

This portion of Villebois drains to the Coffee Lake Basin, see the developed drainage map exhibit A. The SAP Central rainwater management plan showed rainwater management provided by a series of bio-retention cells located within the planter strips of the adjacent public streets as well as planter boxes on the lots for individual buildings.

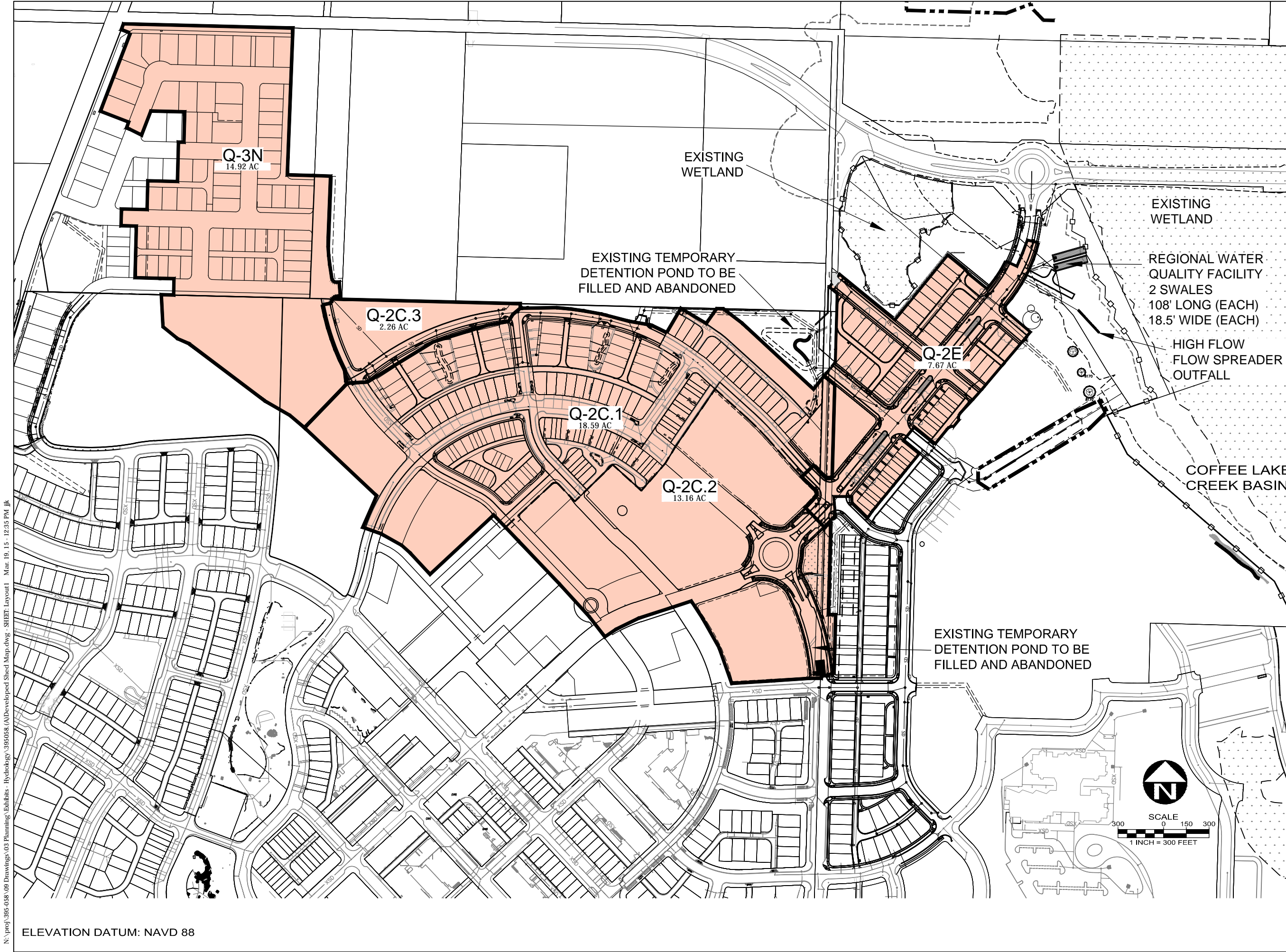
The proposed development will contain bio-retention cells within the planter strips to treat adjacent public street runoff. Two additional bio-retention cells located on the private lots will treat six of the seven row home buildings within the site. Due to limitations caused by the need to retain existing trees additional treatment facilities (shown in the SAP Central plan) were eliminated.

PDP 6C will treat 61% of the impervious area created on site. With the existing treatment facilities along with the future treatment facilities located on the remaining portion of SAP Central, SAP Central will treat 72% of the overall impervious area created. Based on this information the current facilities are adequately sized to provide treatment per the Villebois Village Rainwater Management Plan for SAP Central.

Thank you.

Attachments:

1. Figure A - Developed Drainage Map
2. Figure A - SAP Central Rainwater Management Plan
3. Figure A2 - PDP 6C Rainwater Management Plan
4. B1 - Composite Curve Number - Lot 83 (SAP Central)
5. B2 - Percent Impervious - Lot 83 (SAP Central)
6. B3 - Composite Curve Number - Lot 83 (PDP 6C)
7. B4 - Percent Impervious - Lot 83 (PDP 6C)
8. C - SAP Central Rainwater Management Calculations



N:\proj\395-058-09 Drawings\03 Planning\Exhibits - Hydrology\395058 (A)\Developed Shed Map.dwg - SHEET: layout1 Mar. 19. 15 - 12:35 PM jlk

ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

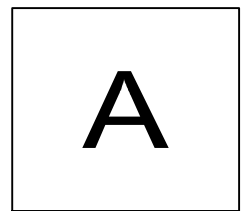
REVISIONS	
DATE	DESCRIPTION

PDP 6C/FDP
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

DEVELOPED
DRAINAGE
MAP

1ST SUBMITTAL DATE 3/23/2015





COSTA PACIFIC COMMUNITIES

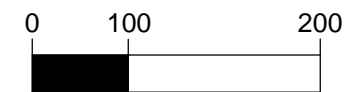
ALPHA COMMUNITY DEVELOPMENT
FLETCHER FARR AYOTTE
IVERSON ASSOCIATES
PACIFIC HABITAT SERVICES
WALT KNAPP
KITTELSON & ASSOCIATES
MAYER/REED

LEGEND:

- SAP BOUNDARY
- RAINWATER COMPONENT
- PERVIOUS STREET PAVERS
- ROOF GARDEN
- 6** RAINWATER COMP. NUMBER



SCALE



1 IN = 200 FT

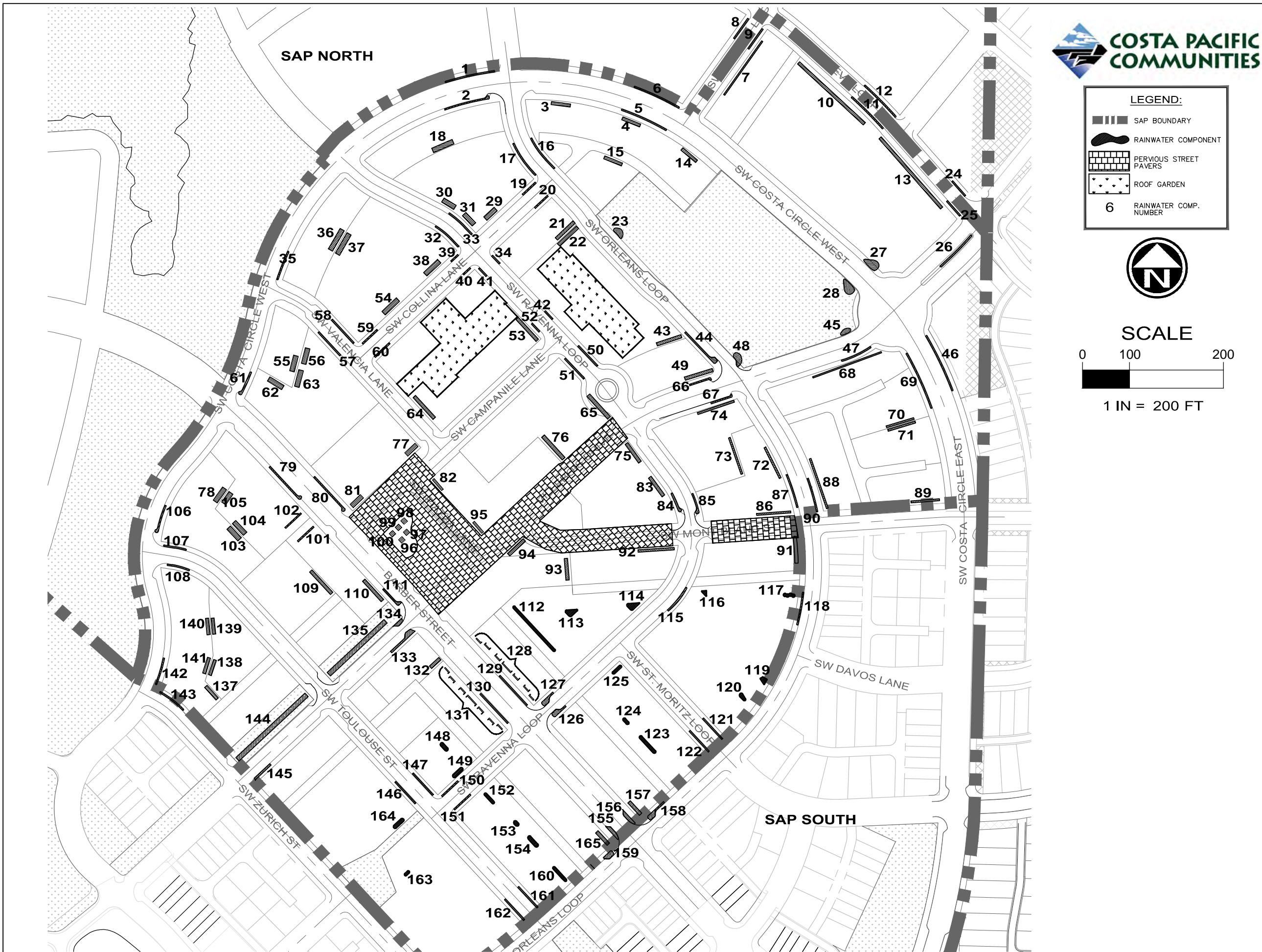
VILLEBOIS

SAP CENTRAL

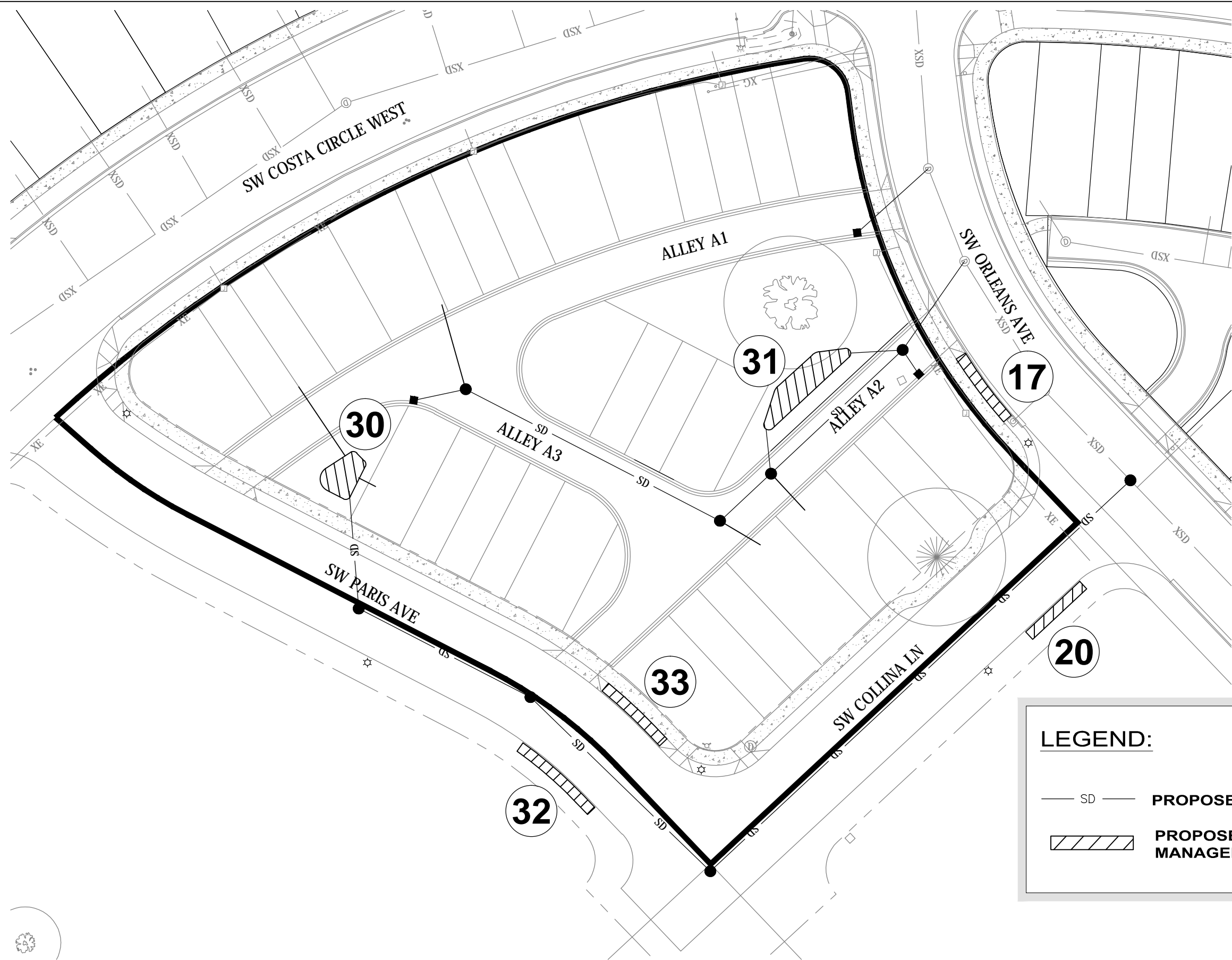
Rainwater Management Plan

DATE: February 24, 2006

FIGURE A

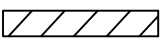



N:\proj\395-058\09 Drawings\03 Planning\Exhibits - Rainwater\395058\A2\ Rainwater Plan.dwg - SHEET: 22x34 May. 6. 15. - 11:12 AM pre




LEGEND:

— SD — PROPOSED STORM DRAIN

 PROPOSED RAINWATER MANAGEMENT FACILITY



SCALE



1 INCH = 40 FEET



POLYGON NW COMPANY



REVISIONS	
DATE	DESCRIPTION

**PDP 6C/FDP
VILLEBOIS
ROW HOMES**

Preliminary
Development Plan
&
Final Development Plan

**RAINWATER
MANAGEMENT
PLAN**

1ST SUBMITTAL DATE 3/23/2015
2ND SUBMITTAL DATE 5/6/2015

A2



**COMPOSITE CURVE NUMBER
LOT 83 - SAP CENTRAL
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
 PROJECT: LOT 83 - VILLEBOIS PDP 6C
 FILE: N:/PROJ/395-058/05-REPORTS/RAINWATER
 MANAGEMENT/395058.Rainwater Analysis.2015-03-23.XLS

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	0.45	90	24.1%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.76	94	41.1%
Street and Alley ROW's	0.65	94.4	34.8%
Open Space Area	0.00	80	0.0%
TOTAL	1.86		

Composite Curve Number per COA = 93.2

FIGURE B1



**PERCENT IMPERVIOUS
LOT 83 - SAP CENTRAL
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
PROJECT: LOT 83 - VILLEBOIS PDP 6C
FILE: N:/PROJ/395-058/05-REPORTS/RAINWATER MANAGEMENT/395058.Rainwater Analysis.2015-03-23.XLS

Total Site Area 1.86 acres 80,884 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	16,584
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	29,918
ROW/Alley Impervious Area (80%)	22,506
Total	69,007
% Impervious =	85%

FIGURE B2



**COMPOSITE CURVE NUMBER
LOT 83 - PDP 6C
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
 PROJECT: LOT 83 - VILLEBOIS PDP 6C
 FILE: N:/PROJ/395-058/05-REPORTS/RAINWATER
 MANAGEMENT/395058.Rainwater Analysis.2015-03-23.XLS

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	0.78	90	42.0%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.00	94	0.0%
Street and Alley ROW's	0.92	94.4	49.8%
Open Space Area	0.15	80	8.2%
TOTAL	1.86		

Composite Curve Number per COA = 91.4

FIGURE B3



**PERCENT IMPERVIOUS
LOT 83 - PDP 6C
(INCLUDING COLLINA & PARIS)**

JOB NUMBER: 395-058
PROJECT: LOT 83 - VILLEBOIS PDP 6C
FILE: N:/PROJ/395-058/05-REPORTS/RAINWATER MANAGEMENT/395058.Rainwater Analysis.2015-03-23.XLS

Total Site Area 1.86 acres 80,884 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	28,879
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	0
ROW/Alley Impervious Area (80%)	32,213
Total	61,092

% Impervious = 76%

FIGURE B4



JOB NUMBER: 395-058
 PROJECT: LOT 83- VILEROIS PDP6C
 FILE: N:\PROJ\395-058\05\REPORTS\RAINWATERMANAGEMENT\395038 Rainwater Analysis_2015-05-06.XLS

EXHIBIT C:
 RAINWATER COMPLIANCE SUMMARY - SAP CENTRAL

PHASE	DRAINAGE BASIN	BASIN ID	AREA (SF)	% IMPERVIOUS	IMPERVIOUS AREA (SF)	RAINWATER COMPONENT NO.	RAINWATER COMPONENT TYPE	RAINWATER COMPONENT AREA / NO. OF TREES	SIZING FACTOR	IMPERVIOUS AREA TREATED ¹			% IMPERVIOUS AREA TREATED
										ARROWHEAD CREEK	MILL CREEK	COFFEELAKE CREEK	
6C	COFFEE LAKE CREEK	LOT 83	80,884	76%	61,092	-	-	-	-	-	-	37078	-
							TREES						
						17	BIO-RETENTION CELL	24	0.01			2400	
						20	BIO-RETENTION CELL	125	0.03			3214	
						3C	BIORETENTION CELL	116	0.03			3859	
						31	BIO-R-RETENTION CELL	205	0.03			5967	
						32	BIO-R-RETENTION CELL	383	0.03			12542	
						33	BIO-RETENTION CELL	151	0.03			5048	
							BIO-RETENTION CELL	126	0.03			4048	
TOTAL PDP 1C			717,433		556,610			369,104					66%
TOTAL PDP 2C			230,432		189,922			90,489					48%
TOTAL PIAZZA VILEROIS			38,768		38,768			26,042					67%
TOTAL PHASE 4C			354,143		251,361							165,600	66%
TOTAL PHASE 6C			80,884		61,092							37,078	61%
FUTURE SAP CENTRAL PHASES ²			995,347		770,207			0			47,547	567,099	80%
SAP CENTRAL TOTAL			2,336,123		1,806,868			485,645			47,547	769,777	72%

¹COMPONENT IMPERVIOUS AREA TREATED REFLECTS ACTUAL COMPONENT CONTACT AREA AND MAY NOT REFLECT SIZING FACTOR

²FUTURE SAP CENTRAL PHASE TOTALS PER APPROVED SAP CENTRAL RAINWATER MANAGEMENT PLAN

IID) Traffic Analysis



117 Commercial Street NE
 Suite 310
 Salem, OR 97301
 503.391.8773
 www.dksassociates.com

MEMORANDUM

DATE: May 7, 2015
TO: Steve Adams, P.E., City of Wilsonville
FROM: Scott Mansur, P.E., PTOE *Sm*
 Halston Tuss, EIT



SUBJECT: Villebois Urban Village SAP Central 6C Transportation Study (Lot 83)

P15018-005

This memorandum documents trip generation estimates and a site plan review for the proposed PDP 6C development of 31 rowhouses south of SW Costa Circle West between SW Paris Avenue and SW Orleans Avenue. The purpose of this memorandum is to compare the proposed land use development of Villebois Urban Village Specific Area Plan (SAP) Central (dated March 3rd, 2015) to previously analyzed SAP Central land use numbers and ensure the current proposal was adequately analyzed as part of a prior traffic impact study and that additional intersection capacity analysis will not be needed.

Villebois Land Use

When the Future Study Area was added to the *Villebois Village Master Plan*,¹ DKS performed updated traffic impact analysis for the entire Villebois area. Table 1 shows the residential land use estimates that were the basis of the updated traffic impact analysis.²

Table 1: Villebois Village Residential Land Uses Analyzed in Prior Traffic Impact Study (October 2013)

SAP	Single Family Units	Condo/Townhouse Units	Apartment Units	Total Residential Units
East	534	42	-	576
Central ^a	49	459	501	1,009
North	423	31	10	464
South	357	103	21	481

^a SAP Central also included 33,000 square feet of retail space

¹ The most recent version of the *Villebois Village Master Plan* was adopted October 7, 2013, and included the addition of the "future study area".

² *Villebois Future Study Area Transportation Impact Analysis*, DKS Associates, October 21, 2013, page 5.



SAP Central Residential Land Use/Trip Generation

As shown previously in Table 1, the most recent traffic impact analysis performed for Villebois assumed that SAP Central would include 49 single family units, 459 condo/townhouse units, and 501 apartment units for a total of 1,009 residential units. Now, the current SAP Central proposal includes 74 single family units, 392 condo/townhouse units, and 533 apartment units for a total of 999 residential units. Table 2 shows the p.m. peak hour trip generation estimates for both land use breakdowns along with the net change.³ As shown, the currently planned residential land uses are estimated to generate 609 (397 in, 212 out) p.m. peak hour trips for SAP Central, which is a net increase of 11 total (5 in, 6 out) trips. This increase in project trips does not trigger additional traffic impact analysis, but will need to be coordinated with the City staff regarding transportation system development charges (SDCs) related to additional trips through the I-5/Wilsonville Road interchange area.

Table 2: SAP Central Trip Generation Comparison

Land Use (ITE Code)	Size	Average Trip Generation Rate	Number of New Trips (P.M. Peak)		
			In	Out	Total
<i>Basis of Traffic Impact Analysis (October 2013)</i>					
Single Family Units (210)	49 units	1.01 trips/unit	31	18	49
Condo/Townhome (230)	459 units	0.52 trips/unit	159	79	238
Apartments (220)	501 units	0.62 trips/unit	202	109	311
Total Trips			392	206	598
<i>Current Plans (May 2015)</i>					
Single Family Units (210)	74 units	1.01 trips/unit	47	28	75
Condo/Townhome (230)	392 units	0.52 trips/unit	136	68	204
Apartments (220)	533 units	0.62 trips/unit	214	116	330
Total Trips			397	212	609
Net New Trips			5	6	11

³ Retail land use quantities and trip generation estimates were not included in the analysis because no changes are being proposed.



SAP Central PDP 6C Lot 83 Trip Generation

SAP Central is broken into approximately 14 Planned Development Phases (PDPs). Table 3 shows the estimated trip generation for PDP 6C based on the currently proposed 31 rowhouses for Lot 83. As shown, the 31 proposed residential units planned would generate approximately 16 (10 in, 6 out) p.m. peak hour trips.

Table 3: SAP Central PDP 6C Lot 83 Trip Generation

Land Use (ITE Code)	Number of Units	Average Trip Generation Rate	Number of New Trips (P.M. Peak)		
			In	Out	Total
Lot 83 - Condo/Townhome (230)	31	0.52 trips/unit	10	6	16

Site Plan Review

The applicant’s preliminary site plan was provided with the Traffic Study Request letter and is attached to the appendix.⁴ It was reviewed to evaluate site access for vehicles and pedestrians as well as evaluate parking.

Site Access

Two proposed roadways, SW Paris Avenue and SW Collina Lane, will provide access to the site. Furthermore, the internal alley network will be accessed by two driveways on SW Orleans Avenue and two driveways on the proposed SW Paris Ave.

Pedestrian Access

The site plan shows proposed sidewalks surrounding the rowhouses on the SW Costa Circle West, SW Orleans Avenue, SW Paris Avenue, and SW Collina Lane frontages. Edelweiss Park west of the proposed site and the Hilltop Park area in PDP 5C east of the proposed site will be major generators of pedestrian traffic. The project sponsor should ensure that the appropriate pathways to and from Hilltop Park are incorporated into the Villebois SAP Central PDP 6C development.

Parking

In total, the 31 rowhouse units require 1 space per dwelling unit. This results in 31 total parking spaces, therefore the single car garages provided with each rowhouse will be sufficient to meet required standards. Additionally, the site plan shows approximately 500 feet of available on-street parking on SW Costa Circle West, SW Orleans Avenue, SW Paris Avenue, and SW Collina Lane facing the proposed site. This will provide space for 18 vehicles based on 28 feet per vehicle.

Curb Extensions

It is recommended that the site plan include curb extensions on the southeast corner of the SW Costa Circle West/SW Paris Avenue intersection consistent with the curb extensions currently located at SW Costa Circle West/SW Orleans Avenue. A curb extension on the southwest corner is also recommended for future

⁴ Site plan provided in email from ...



development of the site west of SW Paris Avenue. These extensions will provide benefits to pedestrians such as a decreased roadway crossing distance, increased sight distance, and reduced vehicle speeds.

Summary

Key findings for the proposed Villebois Urban Village SAP Central PDP 6C Lot 83 development of 31 rowhouses in Wilsonville, Oregon are as follows:

- The proposed SAP Central is expected to generate 11 (5 in, 6 out) p.m. peak hour trips more than the original approved trip generation estimates.
- This increase will need to be coordinated with the City staff regarding supplemental transportation system development charges (TSDCs) related to additional trips through the I-5/Wilsonville Road interchange area.
- The proposed development of 31 rowhouses within PDP 6C are estimated to generate 16 (10 in, 6 out) p.m. peak hour trips.
- The required parking spaces (31) are provided by the project.
- A curb extensions on the southeast corner of the SW Costa Circle West/SW Paris Avenue should be constructed as part of the project site improvements for pedestrian safety.

Please let us know if you have any questions.



Villemois



POLYGON HW COMPANY



GEODESIGN, INC.

REVISIONS	FOCUS	DESCRIPTION
DATE		

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

SITE / LAND
USE PLAN

PRELIMINARY DATE 5/14/2015
FINAL SUBMITTAL DATE 3/17/2015

3

LEGEND

- PROPOSED RIGHT-OF-WAY
- - - - - EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED FRONT YARD
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK BY OTHERS
- EXISTING SIDEWALK

LEGEND:

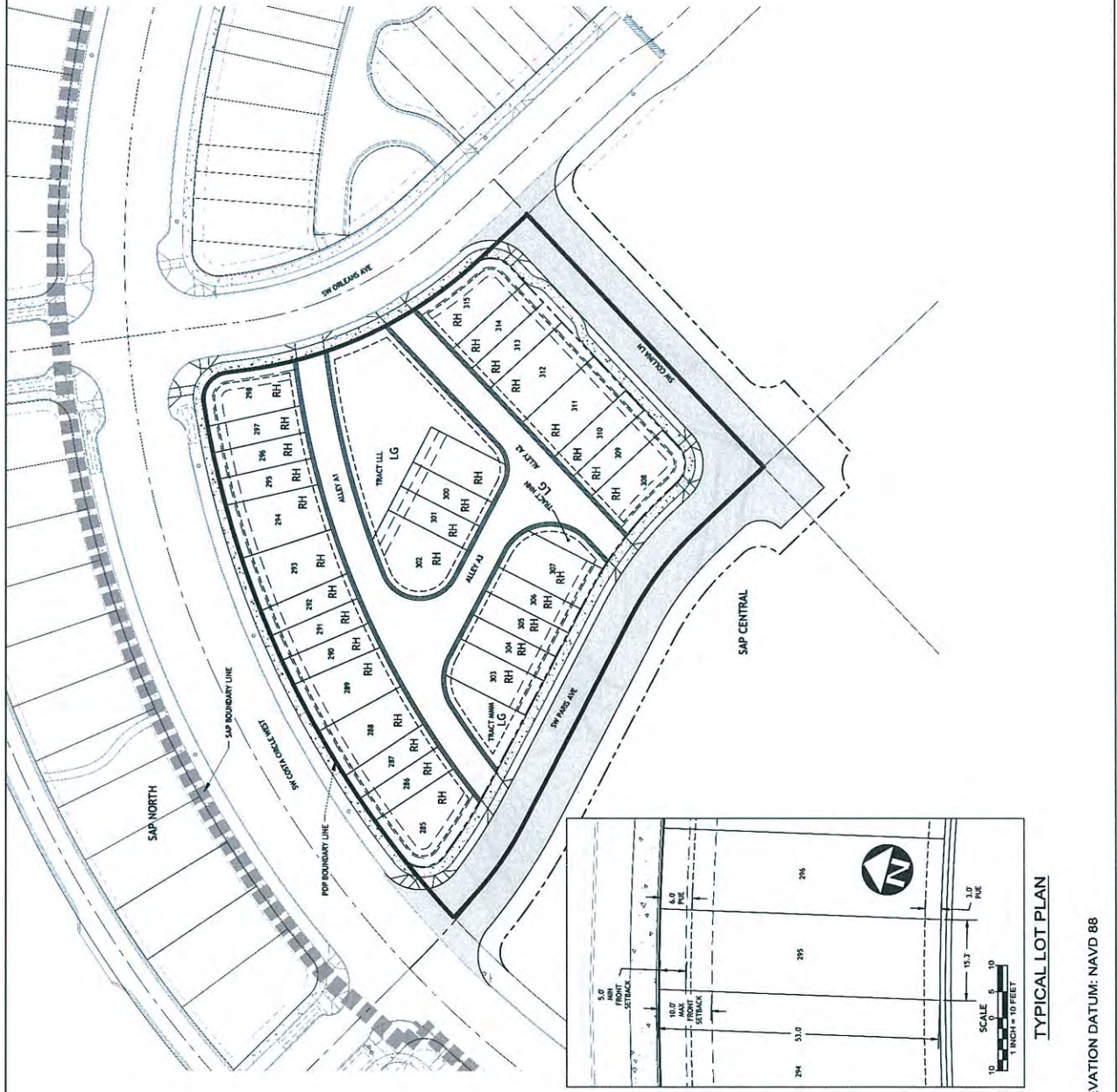
- RH ROW HOUSE LOTS
- LG LINEAR GREEN SPACE

LOT COUNT:

31	ROW HOUSE LOTS
31	TOTAL

LAND AREA TABLE:

TOTAL AREA:	1.52 AC
PUBLIC STREETS:	0.31 AC
LINEAR GREEN SPACE:	0.15 AC
LOTS & ALLEYS:	1.06 AC
AVG. DENSITY PER NET ACRE:	29.25 UNITS / AC
	31 / 1.06 =



TYPICAL LOT PLAN

ELEVATION DATUM: NAVD 88



Villebois



POLYGON NY COMPANY



DATE	REVISIONS	DESCRIPTION

GEORGEON, INC

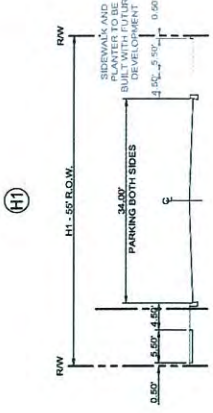
PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development Plan
&
Final Development Plan

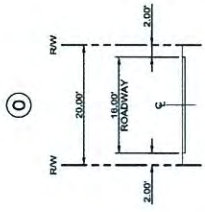
CIRCULATION
PLAN &
STREET
SECTIONS

NO SUBMITTAL DATE
BY SUBMITTAL DATE
3/23/2015

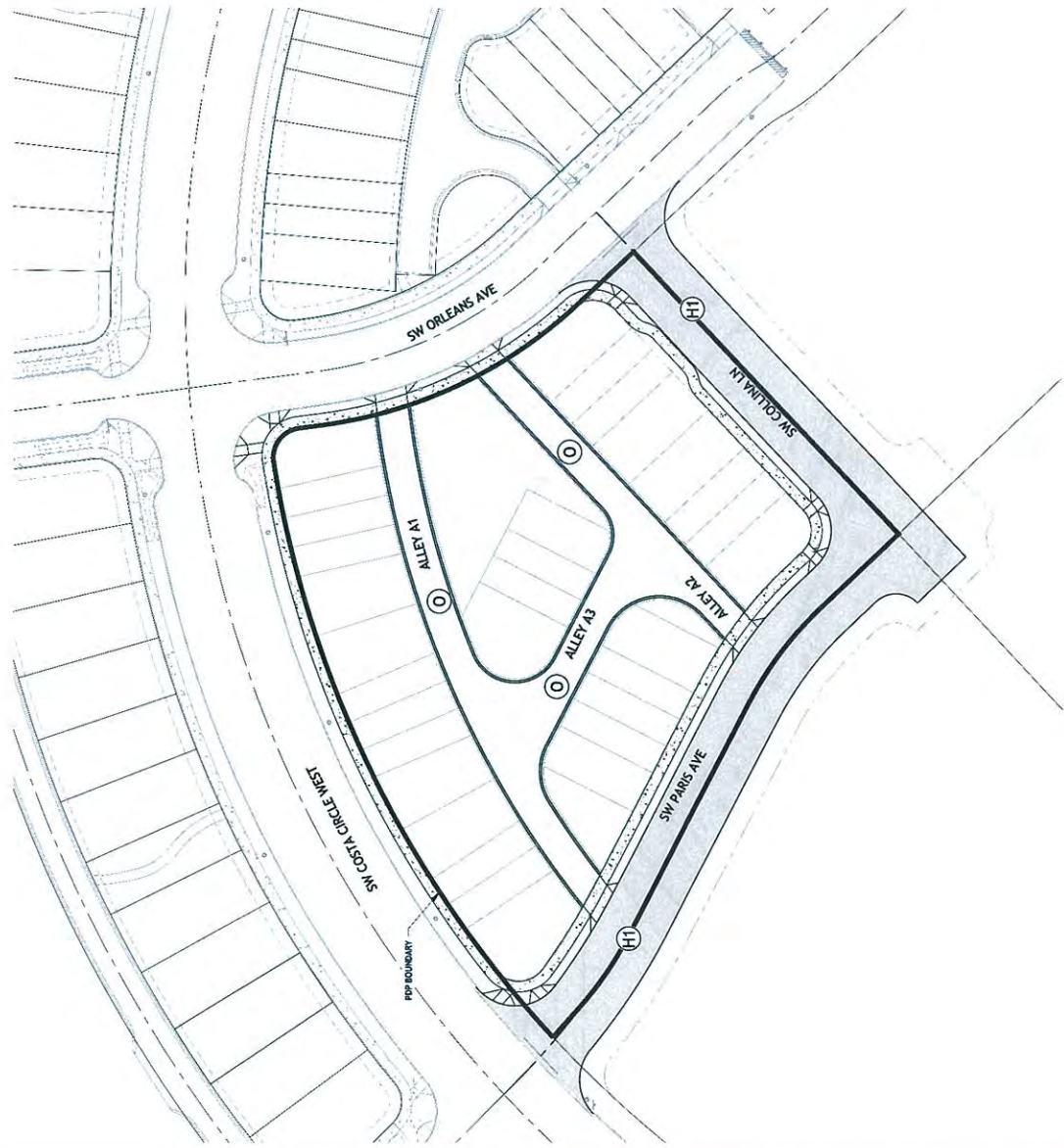
7



**RESIDENTIAL
VILLAGE CENTER**
SCALE: 1"=10'



PRIVATE LANE
SCALE: 1"=10'



ELEVATION DATUM: NAVD 88

III E) Tree Report

Villebois Row Homes, Lot 83 – Wilsonville, Oregon
Tree Maintenance and Protection Plan
March 21, 2015

MHA15025

Purpose

This Tree Maintenance and Protection Plan for the Villebois Row Homes, Lot 83 project located in Wilsonville, Oregon, is provided pursuant to City of Wilsonville Development Code, Section 4.610.40. This arborist report describes the existing trees located on the project site, as well as recommendations for tree removal, retention, mitigation, and protection. This report is based on observations made by International Society of Arboriculture (ISA) Certified Arborist and Qualified Tree Risk Assessor Morgan Holen (PN-6145A) during a site visit conducted on March 20, 2015.

Scope of Work and Limitations

Morgan Holen & Associates, LLC, was contracted by Polygon Northwest Company to visually assess existing trees measuring six inches in diameter and larger in terms of general condition and suitability for preservation with development, and to develop a tree maintenance and protection plan for the project. The site is planned for residential development. A site plan was provided by Pacific Community Design illustrating the location of trees and tree survey point numbers, and potential construction impacts.

Visual Tree Assessment (VTA¹) was performed on individual trees located across the site. Trees were evaluated in terms species, size, general condition, and potential construction impacts, and treatment recommendations include retain or remove. Following the inventory fieldwork, we coordinated with Pacific Community Design to discuss and finalize treatment recommendations based on the proposed site plan.

The client may choose to accept or disregard the recommendations contained herein, or seek additional advice. Neither this author nor Morgan Holen & Associates, LLC, have assumed any responsibility for liability associated with the trees on or adjacent to this site.

General Description

The Villebois Row Homes project at Lot 83 is located in the southwest corner of the intersection between Costa Circle West and Southwest Orleans Avenue. The existing site is undeveloped, with three mature trees near the east boundary and two dense clusters of trees to the south. In all, 17 trees measuring 6-inches and larger in diameter were inventoried including three tree species. Table 1 provides a summary of the count of trees by species. A complete description of individual trees is provided in the enclosed tree data.

Table 1. Count of Trees by Species – Villebois Row Homes, Lot 83, Wilsonville, OR.

Common Name	Species Name	Total	Percent
Atlas cedar	<i>Cedrus atlantica</i>	1	6%
European white birch	<i>Betula pendula</i>	14	82%
tuliptree	<i>Liriodendron</i>	2	12%
Total		17	100%

¹ Visual Tree Assessment (VTA): The standard process of visual tree inspection whereby the inspector visually assesses the tree from a distance and up close, looking for defect symptoms and evaluating overall condition and vitality.

Tree Plan Recommendations

As described in the enclosed tree data, individual trees were assigned a general condition rating as defined by the Villebois Specific Area Plan North Community Elements Book:

P: Poor Condition

M: Moderate Condition

G: Good Condition

I: Important Condition

The two tuliptrees (*Liriodendron tulipifera*) are 29- and 33-inches each in diameter. These trees are both in moderate condition, with minor defects and fair vigor. The 29-inch tree has codominant leaders originating at approximately 10-feet and old basal wounds. This tree is planned for removal for the purposes of construction; as shown on the site plans, it is located within the building footprint of row homes. The 33-inch diameter tuliptree has moderate structure, but appears stable. This tree is suitable for preservation and recommended for retention in an open space area between Orleans Avenue and new row homes. Minor pruning is recommended to improve crown structure and to remove dead branches for safety. Arborist supervision is recommended during street construction along the outer edge of the dripline to the north.

The Atlas cedar (*Cedrus atlantica*) is 26-inches in diameter and in good condition with no major defects. This tree is also suitable for preservation and recommended for retention. Pruning may be needed to provide for construction clearance along the north and south sides of the tree. Changes in grade should be minimized as much as possible beneath the dripline area. A new street south of the tree should be built up from the existing grade to avoid excavation. Arborist supervision is recommended when work is necessary beneath the dripline.

The remaining 14 trees are all European white birches (*Betula pendula*), which are widely accepted as an invasive species in our region. These trees range from 10- to 16-inches in diameter and are in moderate and poor condition. Common defects observed in these trees include dead and broken branches, a history of large branch failure, branch decay, and decline from the top down. These trees are recommended for removal because of species, condition, and for the purposes of construction.

Table 2 provides a summary of the count of trees by general condition rating and treatment recommendation.

Table 2. Count of Trees by Treatment Recommendation and General Condition Rating.

Treatment Recommendation	General Condition Rating			Total
	P	M	G	
Retain		1	1	2 (12%)
Remove	9	6	0	15 (88%)
Total	9 (53%)	7 (41%)	1 (6%)	17 (100%)

Mitigation Requirements

All 17 inventoried trees are 6-inches or larger in diameter, including two trees planned for retention with protection during construction and 15 trees planned for removal. Removal of these 15 trees requires mitigation per Section 4.620.00; removed trees shall be replaced on a basis of one tree planted for each tree removed. Therefore, 15 trees measuring at least 2-inch in diameter shall be planted as mitigation for tree removal.

Tree Protection Standards

Trees designated for retention will need special consideration to assure their protection during construction. We recommend a preconstruction meeting with the owner, contractors, and project arborist to review tree protection measures and address questions or concerns on site. Tree protection measures include:

- **Fencing.** Trees to remain on site shall be protected by installation of tree protection fencing to prevent injury to tree trunks or roots, or soil compaction within the root protection area, which generally coincides with tree driplines. Fences shall be 6-foot high steel on concrete blocks or orange plastic construction fencing on metal stakes. The project arborist shall determine the exact location and type of tree protection fencing. Trees located more than 30-feet from construction activity shall not require fencing.
- **Tree Protection Zone.** Without authorization from the Project Arborist, none of the following shall occur beneath the dripline of any protected tree:
 1. Grade change or cut and fill;
 2. New impervious surfaces;
 3. Utility or drainage field placement;
 4. Staging or storage of materials and equipment; or
 5. Vehicle maneuvering.

Root protection zones may be entered for tasks like surveying, measuring, and, sampling. Fences must be closed upon completion of these tasks.

- **Pruning.** Pruning may be needed to provide for overhead clearance and to remove dead and defective branches for safety. The project arborist can help identify where pruning is necessary once trees recommended for removal have been removed and the site is staked and prepared for construction. Tree removal and pruning shall be performed by a Qualified Tree Service.
- **Excavation.** Excavation beneath the dripline of protected trees shall be avoided if alternatives are feasible. Otherwise, the project arborist shall provide on-site consultation during all excavation activities beneath the dripline of protected trees. Excavation immediately adjacent to roots larger than 2-inches in diameter within the root protection zone of retained trees shall be by hand or other non-invasive techniques to ensure that roots are not damaged. Where feasible, major roots shall be protected by tunneling or other means to avoid destruction or damage. Exceptions can be made if, in the opinion of the project arborist, unacceptable damage will not occur to the tree. Where soil grade changes affect the root protection area, the grade line should be meandered wherever practicable. This will require on-site coordination to ensure a reasonable balance between engineering, construction, and the need for tree protection.

- **Surfacing.** If surfacing is proposed beneath the dripline of protected trees, coordinate with the project arborist to provide recommendations for adjustments to protection fencing and to monitor construction in the tree protection zone. Avoid excavation and use a modified profile to build up from existing grade (Figure 1). The profile includes a layer of permeable geotextile fabric on the ground surface and crushed rock to raise the grade as needed. Surfacing may include asphalt, concrete, or other materials. If excavation is necessary, work shall be performed under arborist supervision.

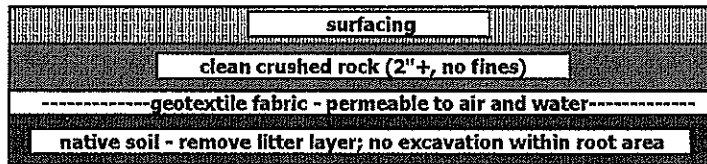


Figure 1. Sample profile for areas within Critical Root Zones. Depth of rock is dependent on grading. Technique based on best management practices.

- **Landscaping.** Following construction and where landscaping is desired, apply approximately 3-inches of mulch beneath the dripline of protected trees, but not directly against tree trunks. Shrubs and ground covers may be planted within tree protection areas. If irrigation is used, use drip irrigation only beneath the driplines of protected trees.
- **Quality Assurance.** The project arborist should supervise proper execution of this plan during construction activities that could encroach on retained trees. Tree protection site inspection monitoring reports should be provided to the Client and City on a regular basis throughout construction.

Thank you for choosing Morgan Holen & Associates, LLC, to provide consulting arborist services for the Villebois Row Home, Lots 83 project. Please contact us if you have questions or need any additional information.

Thank you,
Morgan Holen & Associates, LLC

Morgan E. Holen, Owner
ISA Certified Arborist, PN-6145A
ISA Tree Risk Assessment Qualified
Forest Biologist

Enclosures: Villebois Row Homes, Lot 83 – Tree Data 3-20-15



Point No.	Tree No.	Common Name	Species Name	DBH*	C-Rad [^]	Cond [#]	Condition & Comments	Treatment
10280	529	European white birch	<i>Betula pendula</i>	14	18	M	invasive species	remove
10278	530	European white birch	<i>Betula pendula</i>	14	14	M	invasive species	remove
10281	531	European white birch	<i>Betula pendula</i>	16	18	P	invasive species	remove
10283	532	European white birch	<i>Betula pendula</i>	12	18	P	invasive species	remove
	533	European white birch	<i>Betula pendula</i>	14	20	P	invasive species	remove
10285	534	European white birch	<i>Betula pendula</i>	11	12	P	invasive species	remove
10284	535	European white birch	<i>Betula pendula</i>	13	16	P	invasive species	remove
10274	536	European white birch	<i>Betula pendula</i>	15	12	P	invasive species	remove
10275	537	European white birch	<i>Betula pendula</i>	14	16	M	invasive species	remove
10245	545	European white birch	<i>Betula pendula</i>	16	18	P	invasive species	remove
10246	546	European white birch	<i>Betula pendula</i>	15	14	M	invasive species	remove
10247	547	European white birch	<i>Betula pendula</i>	15	12	P	invasive species	remove
10243	548	European white birch	<i>Betula pendula</i>	10	16	M	invasive species	remove
10244	549	European white birch	<i>Betula pendula</i>	14	18	P	invasive species	remove
10226	550	Atlas cedar	<i>Cedrus atlantica</i>	26	27	G	no major defects	retain
10231	555	tuliptree	<i>Liriodendron tulipifera</i>	33	26	M	moderate structure, appears stable	retain
10234	556	tuliptree	<i>Liriodendron tulipifera</i>	29	25	M	codominant leaders at ~10', basal wounds	remove

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches); trees with multiple trunks splitting below DBH are measured separately and individual trunk measurements are separated by a comma, except multiple trunks of the same size are indicated with an asterisk
[^]C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

[#]Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

Morgan Holen & Associates, LLC
 Consulting Arborists and Urban Forest Management
 3 Monroe Parkway, Suite P220, Lake Oswego, Oregon 97035
 morgan.holen@comcast.net | 971-409-9354

Section III

Tentative Plat

IIIA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
TENTATIVE PLAT
PDP 6 CENTRAL**

SECTION IIIA

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE.....	2
	SECTION 4.125. VILLAGE (V) ZONE.....	2
	(.02) PERMITTED USES.....	2
	(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE	2
	(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING ..	4
	(.08) OPEN SPACE.....	4
	(.09) STREET & ACCESS IMPROVEMENT STANDARDS	5
	(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS	7
	SECTION 4.177. STREET IMPROVEMENT STANDARDS	8
	SECTION 4.210. APPLICATION PROCEDURE.....	8
	SECTION 4.236. GENERAL REQUIREMENTS - STREETS.	13
	SECTION 4.237. GENERAL REQUIREMENTS - OTHER.....	15
	SECTION 4.262. IMPROVEMENTS - REQUIREMENTS.	18
II.	CONCLUSION.....	20

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125. VILLAGE (V) ZONE

(.02) PERMITTED USES

Examples of principle uses that are typically permitted:

- D. Row Houses
- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owners association.

Response: The proposed Tentative Plat will create lots for development of single family row houses and tracts for linear greens. All proposed uses within the subject area are permitted pursuant to this section.

(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE

All development in this zone shall be subject to the V Zone and the applicable provisions of the Wilsonville Planning and Land Development Ordinance. If there is a conflict, then the standards of this section shall apply. The following standards shall apply to all development in the V zone:

- A. Block, Alley, Pedestrian and Bicycle Standards:
 - 1. Maximums Block Perimeter: 1,800 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent a block perimeter from meeting this standard.

Response: These standards are addressed within the PDP Compliance Report (see Section IIA).

- 2. Maximum spacing between streets for local access: 530 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent street extensions from meeting this standard.

Response: These standards are addressed within the PDP Compliance Report (see Section IIA).

- 3. If the maximum spacing for streets for local access exceeds 530 feet, intervening pedestrian and bicycle access shall be provided, with a maximum spacing of 330 feet from those local streets, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent pedestrian and bicycle facility extensions from meeting this standard.

Response: These standards are addressed within the PDP Compliance Report (see Section IIA).

- B. Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

Response: All of the lots within the proposed PDP that have frontage on a public street and an alley will take vehicular access from an alley to a garage or parking area.

Table V-1 Development Standards

Table V-1: Development Standards												
Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width (%)	Max. Bldg. Height (ft.)	Front Min. (ft.)	Setbacks ^{10, 13, 20}			Alley-Loaded Garage (note)	Street-Loaded Garage (note)
								Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)		
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ¹	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	80	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR		60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ⁴	15	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{17, 18}	20 ⁸	5	5 ¹⁵	7	4,734
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{17, 18}	20 ⁸	5	5 ¹⁵	7	607

Notes: NR: No Requirement
 NA: Not Allowed
 1 Lot < 8000sf: NR; Lot > 8000sf: 80% (Max. Lot Coverage)
 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
 5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
 6 For Standard, or Large Lots on Collector Arterials, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
 7 The garage setback from alley shall be between 3 and 5 foot or, when an optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main facade of the associated dwelling unit.
 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
 10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
 11 Row Houses are typically attached, but may be detached within the Village Center boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
 12 See Definitions, 9-122-01, for measurement of Minimum Frontage Width.
 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Interim Village Master Plan for areas included within the Village Center.
 15 On Small, Medium and Large Lots with frontage 30 ft. or greater, the minimum combined side yard setbacks shall total 10 ft. with a minimum of 5 ft. On small and medium lots, minimum side setback shall be 0 ft. or as required by Building Code.
 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
 17 Dwellings on lots without alley access shall be at least 36 feet wide.
 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
 20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

Response: The *Tentative Plat* (see Section IIB in this Notebook) depicts proposed lot sizes and dimensions. All of the lots meet applicable requirements, as addressed below. All of the lots will be developed with single family attached row houses, with no more than ten contiguous units along a street edge. Table V-1 does not indicate a minimum lot size, width or depth for Row Houses in the Village Center. The proposed PDP 6C does not have any lots >8,000 sf, so no maximum lot coverage applies. Row House lots will have a frontage width greater than 80%, except as allowed by footnote 11 of Table V-1. Row Houses will not have building heights greater than 45 ft, and will have front setbacks between 5-10 ft, except as allowed under footnote 4 above. No additional standards from Table V-1 apply. There is a concurrent final development plan application for the proposed architecture in Section VI.

(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING

Table V-2: Off-Street Parking Requirements

Category	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short Term	Bicycle Long Term
Row Houses	1.0 / DU	NR	NR	NR

Response: Each of the Row Houses will provide a minimum of a one-car garage in compliance with this standard.

(.08) OPEN SPACE

Open space shall be provided as follows:

- A. In all residential developments and in mixed-use developments where the majority of the developed square footage is to be in residential use, at least twenty-five percent (25%) of the area shall be open space, excluding street pavement and surface parking. In multi-phased developments, individual phases are not required to meet the 25% standard as long as an approved Specific Area Plan demonstrates that the overall development shall provide a minimum of 25% open space. Required front yard areas shall not be counted towards the required open space area. Required rear yard areas and other landscaped areas that are not within required front or side yards may be counted as part of the required open space.
- B. Open space area required by this Section may, at the discretion of the Development Review Board, be protected by a conservation easement or dedicated to the City, either rights in fee or easement, without altering the density or other development standards of the proposed development. Provided that, if the dedication is for public park purposes, the size and amount of the proposed dedication shall meet the criteria of the City of Wilsonville standards. The square footage of any land, whether dedicated or not, which is used for open space shall be deemed a part of the development site for the purpose of computing density or allowable lot coverage. See SROZ provisions, Section 4.139.10.
- C. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review and approve any pertinent bylaws, covenants, or agreements prior to recordation.

Response: The Parks *Master Plan* for Villebois states that there are 57.87 acres of parks and 101.46 acres of open space for a total of 159.33 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent with *Master Plan*. PDP 6C includes the addition of linear greens not shown in the *Villebois Village Master Plan*, thereby increasing the amount of parks. The additional park areas are described in more detail in the PDP compliance report (see Section IIA).

(.09) STREET & ACCESS IMPROVEMENT STANDARDS

A. Except as noted below, the provisions of Section 4.177 apply within the Village zone:

1. General Provisions:

- a. All street alignment and access improvements shall conform to the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan and the following standards:

Response: The street alignments and access improvements within this PDP are generally consistent with those approved in the *Villebois Village Master Plan* and SAP Central, as refined by the PDP application (see the PDP Supporting Compliance Report for further description of refinements to the street network - Section IIA of Notebook).

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.

Response: All street improvements within this Preliminary Development Plan will comply with the applicable Public Works Standards. The street system within this Preliminary Development Plan is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Circulation Plan* located in Section IIB of this Notebook.

- ii. All streets shall be developed with curbs, landscape strips, bikeways or pedestrian pathways, according to the Master Plan.

Response: All streets within this Preliminary Development Plan will be developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways as depicted on the *Circulation Plan* (Section IIB of this Notebook) and in accordance with the *Master Plan*.

2. Intersections of streets

- a. Angles: Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.
- b. Intersections: If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety (90) degrees shall require approval by the City Engineer after consultation with the Fire District.

Response: The plan sheets located in Section IIB of this Notebook demonstrate that all proposed streets will intersect at angles consistent with the above standards (see the *Tentative Plat*).

- c. **Offsets: Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:**
 - i. 1000 ft. for major arterials
 - ii. 600 ft. for minor arterials
 - iii. 100 ft. for major collector
 - iv. 50 ft. for minor collector

Response: The plan sheets located in Section IIB of this Notebook demonstrate that opposing intersections on public streets are offset, as appropriate, so that no danger to the traveling public is created (see the *Tentative Plat* in Section III B).

- d. **Curb Extensions:**
 - i. Curb extensions at intersections shall be shown on the Specific Area Plans required in subsection 4.125(.18)(C) through (F), below, and shall:
 - ii. Not obstruct bicycle lanes on collector streets.
 - iii. Provide a minimum 20 foot wide clear distance between curb extensions all local residential street intersections shall have, shall meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.

Response: Curb extensions are shown on the *Circulation Plan* (see Section IIB). Curb extensions will not obstruct bicycle lanes on collector streets as the subject site is not adjacent to collector streets. The attached drawings illustrate that all street intersections will have a minimum 20 foot wide clear distance between curb extensions on all local residential street intersections.

- 3. **Street grades shall be a maximum of 6% on arterials and 8% for collector and local streets. Where topographic conditions dictate, grades in excess of 8%, but not more than 12%, may be permitted for short distances, as approved by the City Engineer, where topographic conditions or existing improvements warrant modification of these standards.**

Response: The *Grading & Erosion Control Plan* located in Section IIB, demonstrates that proposed streets can comply with this standard.

4. **Centerline Radius Street Curves:**

The minimum centerline radius street curves shall be as follows:

- a. **Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by City Engineer.**

- b. Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.
- c. Local streets: 75 feet

Response: The *Tentative Plat* (see Section IIIB) demonstrates that all streets will comply with the above standards.

5. Rights-of-way:

- a. See (.09) (A), above.

Response: Proposed rights-of-way are shown on the plan sheets located in Section IIIB of this Notebook. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with recordation of a final plat in accordance with Section 4.177.

6. Access drives.

- a. See (.09) (A), above.
- b. 16 feet for two-way traffic.

Response: Access drives (alleys) will be paved at least 16-feet within a 20-foot tract, as shown on the *Circulation Plan* in Section IIB of this Notebook. In accordance with Section 4.177, all access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions

7. Clear Vision Areas

- a. See (.09) (A), above.

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177.

8. Vertical clearance:

- a. See (.09) (A), above.

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177.

9. Interim Improvement Standard:

- a. See (.09) (A), above.

Response: Interim improvements along SW Paris Avenue and SW Collina Lane will provide for adequate street access until the adjacent properties are developed, as shown on the attached Circulation Plan (see Section IIB).

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

G. Preliminary Development Plan Approval Process:

1. An application for approval of a Preliminary Development Plan for a development in an approved SAP shall:
 - f) Include a preliminary land division (concurrently) per Section 4.400, as applicable.

Response: This application includes a request for preliminary land division approval. This request for approval of a Tentative Plat can be seen in Section III of this Notebook. This section includes a Supporting Compliance Report, the proposed Tentative Plat, draft CC&R's, a copy of the certification of liens & assessments form, and the subdivision name approval from the County Surveyor's Office.

SECTION 4.177. STREET IMPROVEMENT STANDARDS

Response: Proposed rights-of-way are shown on the plan sheets in Section IIIB. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with the final plat.

The drawings located in Section IIB demonstrate that all proposed access drives (alleys) within the Preliminary Development Plan area will have a minimum improvement width of 16 feet and will provide two-way travel. All access drives (alleys) will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

LAND DIVISIONS

SECTION 4.210. APPLICATION PROCEDURE

- A. **Preparation of Tentative Plat.** The Planning Staff shall provide information regarding procedures and general information having a direct influence on the proposed development, such as elements of the Comprehensive Plan, existing and proposed streets, road and public utilities. The applicant shall cause to be prepared a tentative plat, together with improvement plans and other supplementary material as specified in this Section. The Tentative Plat shall be prepared by an Oregon licensed professional land surveyor or engineer. An affidavit of the services of each surveyor or engineer shall be furnished as part of the submittal.

Response: A Tentative Plat has been prepared by an Oregon licensed professional engineer as required. The Tentative Plat can be seen in Section IIIB of this Notebook. Improvement plans can be seen in Section IIB of this application Notebook. The Introductory Narrative located in Section IA includes a listing of the services provided by each design team member.

- B. **Tentative Plat Submission.** The purpose of the Tentative Plat is to present a study of the proposed subdivision to the Planning Department and Development Review Board and to receive approval

recommendations for revisions before preparation of a final Plat. The design and layout of this plan plat shall meet the guidelines and requirements set forth in this Code. The Tentative Plat shall be submitted to the Planning Department with the following information:

1. Site development application form completed and signed by the owner of the land or a letter of authorization signed by the owner. A preliminary title report or other proof of ownership is to be included with the application form.
2. Application fees as established by resolution of the City Council.

Response: Copies of the application form and the application fee are included in Sections IB and IC, respectively, of this Notebook.

3. Ten (10) copies and one (1) sepia or suitable reproducible tracing of the Tentative Plat shall be submitted with the application. Paper size shall be eighteen inch (18”) by twenty-four inch (24”), or such other size as may be specified by the City Engineer.

Response: The balance of the 10 copies of the Tentative Plat (see Section IIIB) will be provided when the application is determined complete; three (3) of which have been provided with initial submittal.

4. Name of the subdivision. No subdivision shall duplicate or resemble the name of any other subdivision in Clackamas or Washington County. Names may be checked through the county offices.

Response: The proposed name is “Tonquin Woods at Villebois No. 8” (see Section IIIE for documentation of subdivision name approval from the Clackamas County Surveyor’s Office).

5. Names, address, and telephone numbers of the owners and applicants, and engineer or surveyor.

Response: The names, addresses and telephone numbers of the owner, applicant, engineer and surveyor are listed in the Introductory Narrative, which can be seen in Section IA of this Notebook, and are listed on the *Cover Sheet* (see Section IIB of Notebook).

6. Date, north point and scale drawing.
7. Location of the subject property by Section, Township, and Range.
8. Legal road access to subject property shall be indicated as City, County, or other public roads.
9. Vicinity map showing the relationship to the nearest major highway or street.
10. Lots: Dimensions of all lots, minimum lot size, average lot size, and proposed lot and block numbers.
11. Gross acreage in proposed plat.

Response: The above information is provided on the plan sheets located in Section IIB of this Notebook. The location of the subject property by Section, Township and Range and the gross acreage of the proposed plat are also listed in the Introductory Narrative, located in Section IA of this Notebook, and are listed on the *Cover Sheet* (see Section IIB of Notebook).

12. Proposed uses of the property, including sits, if any, for multi-family dwellings, shopping centers, churches, industries, parks, and playgrounds or other public or semi-public uses.

Response: The proposed plat does not include any multi-family dwelling sites, shopping centers, churches, or industries. Park areas are indicated on the plan sheets located in Section IIB. Proposed uses within the subject park areas are detailed on the FDP Plans included in Section VIB of this Notebook.

13. Improvements: Statement of the improvements to be made or installed including streets, sidewalks, lighting, tree planting, and times such improvements are to be made or completed.

Response: Proposed improvements are shown on the plan sheets in Section IIB. The *Circulation Plan* shows proposed streets and sidewalks. The *Street Tree/Lighting Plan* shows proposed street trees and proposed street lights.

14. Trees. Locations, types, sizes, and general conditions of all existing trees, as required in Section 4.600.

Response: The requirements of Section 4.600 can be seen in Section V of this Notebook. The *Tree Preservation Plan* (see Section IIB) shows existing tree locations, types, sizes and general conditions, pursuant to the requirements of Section 4.600.

15. Utilities such as electrical, gas, telephone, on and abutting the tract.

Response: The *Composite Utility Plan* shows existing and proposed utilities. These sheets can be seen in Section IIB of this Notebook.

16. Easements: Approximate width, location, and purpose of all existing and proposed easements on, and known easements abutting the tract.

17. Deed Restrictions: Outline of proposed deed restrictions, if any.

18. Written Statement: Information which is not practical to be shown on the maps may be shown in separate statements accompanying the Tentative Plat.

19. If the subdivision is to be a “Planned Development,” a copy of the proposed Home Owners Association By-Laws must be submitted at the time of submission of the application. The Tentative Plat shall be considered as the Stage I Preliminary Plan. The proposed By-Laws must address the maintenance of any parks, common areas, or facilities.

Response: The *Existing Conditions* plan, located in Section IIB, shows the approximate width, location, and purpose of all existing easements. The *Tentative Plat*, located in Section IIIB, shows proposed easements. No deed restrictions are proposed at this time. A draft of the CC&R's is included in Section IIIC of this Notebook.

20. Any plat bordering a stream or river shall indicate areas subject to flooding and shall comply with the provisions of Section 4.172.

Response: The proposed plat areas do not border a stream or river.

21. Proposed use or treatment of any property designated as open space by the City of Wilsonville.

Response: The proposed plat does not include any areas designated as open space by the City of Wilsonville.

22. A list of the names and addresses of the owners of all properties within 250 feet of the subject property, printed on self-adhesive mailing labels. The list shall be taken from the latest available property ownership records of the Assessor's Office of the affected county.

Response: The required mailing list has been submitted with this application. A copy is provided in Section ID.

23. A completed "liens and assessments" form, provided by the City Finance Department.

Response: A copy of this form is provided in Exhibit IIID.

24. Locations of all areas designated as a Significant Resource Overlay Zone by the City, as well as any wetlands shall be shown on the tentative plat.

Response: The proposed plat does not include any areas designated as SROZ by the City or any wetlands.

25. Locations of all existing and proposed utilities, including but not limited to domestic water, sanitary sewer, storm drainage, streets, and any private utilities crossing or intended to serve the site. Any plans to phase the construction or use of utilities shall be indicated.

Response: The *Existing Conditions* plan shows all existing utilities. The *Composite Utility Plan* shows all proposed utilities. The *Grading and Erosion Control Plan* show proposed streets and storm drainage facilities. These plan sheets can be seen in Section IIB of this Notebook.

26. A traffic study, prepared under contract with the City, shall be submitted as part of the tentative plat application process, unless specifically waived by the Community Development Director.

Response: A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

C. Action on proposed tentative plat:

1. **Consideration of tentative subdivision plat.** The Development Review Board shall consider the tentative plat and the reports of City staff and other agencies at a regular Board meeting no more than ninety (90) days after tentative plat application has been accepted as complete by the City. Final action on the proposed tentative plat shall occur within the time limits specified in Section 4.013. The tentative plat shall be approved if the Development Review Board determines that the tentative plat conforms in all respects to the requirements of this Code.

Response: The proposed Tentative Plat located in Section IIIB, is included with this application for review by the Development Review Board.

2. **Consideration of tentative partition plat.** The Planning Director shall review and consider any proposed land partition plat through the procedures for Administrative Reviews specified in Section 4.030 and 4.035.

Response: This request is for a Tentative Subdivision Plat. This code section does not apply.

4. **The Board shall, by resolution, adopt its decision, together with findings and a list of all Conditions of Approval or required changes to be reflected on the Final Plat**

Response: Any Conditions of Approval adopted by the Board shall be reflected on the Final Plat.

4. **Board may limit content of deed restrictions.** In order to promote local, regional and state interests in affordable housing, the Board may limit the content that will be accepted within proposed deed restrictions or covenants. In adopting conditions of approval for a residential subdivision or condominium development, the Board may prohibit such things as mandatory minimum construction costs, minimum unit sizes, prohibitions or manufactures housing, etc.

Response: The applicant recognizes the authority of the Board to limit the content of the deed restrictions or covenants.

5. **Effect of Approval.** After approval of a tentative plat, the applicant may proceed with final surveying, improvement construction and preparation of the final plat. Approval shall be effective for a period of two (2) years, and if the final plat is not submitted to the Planning Department within such time, the tentative plat shall be submitted again and the entire procedure shall be repeated for consideration of any changes conditions which may exist. Except, however, that the Development

Review Board may grant a time extension as provided in Section 4.023.

Response: After approval of the Tentative Plat, a final plat will be prepared and submitted to the Planning Department within two years if an extension is not provided.

- D. Land division phases to be shown. Where the applicant intends to develop the land in phases, the schedule for such phasing shall be presented for review at the time of the tentative plat. In acting on an application for tentative plat approval, the Planning Director or Development Review Board may set time limits for the completion of the phasing schedule which, if not met, shall result in an expiration of the tentative plat approval.

Response: The PDP is proposed to be executed in one phase.

- E. Remainder tracts to be shown as lots or parcels. Tentative plats shall clearly show all effected property as part of the application for land division. All remainder tracts, regardless of size, shall be shown and counted among the parcels or lots of the division.

Response: No remainder tracts are proposed.

SECTION 4.236. GENERAL REQUIREMENTS - STREETS.

- (.01) **Conformity to the Master Plan Map:** Land divisions shall conform to and be in harmony with the Transportation Master Plan (Transportation Systems Plan), the bicycle and Pedestrian Master Plan, the Parks and Recreation Master Plan, the Official Plan or Map and especially to the Master Street Plan.

Response: The proposed land division complies with Specific Area Plan - Central and the *Villebois Village Master Plan* with the refinements described in the PDP Supporting Compliance Report (see Section IIA of this Notebook), and thereby conforms to the applicable Master Plans.

- (.02) **Relation to Adjoining Street System.**

- A. A land division shall provide for the continuation of the principal streets existing in the adjoining area, or of their proper projection when adjoining property is not developed, and shall be of a width not less than the minimum requirements for streets set forth in these regulations. Where, in the opinion of the Planning Director or Development Review Board, topographic conditions make such continuation or conformity impractical, an exception may be made. In cases where the Board or Planning Commission has adopted a plan or plat of a neighborhood or area of which the proposed land division is a part, the subdivision shall conform to such adopted neighborhood or area plan.
- B. Where the plat submitted covers only a part of the applicant's tract, a sketch of the prospective future street system of the unsubmitted part shall be furnished and the street system of the part submitted

shall be considered in the light of adjustments and connections with the street system of the part not submitted.

- C. At any time when an applicant proposes a land division and the Comprehensive Plan would allow for the proposed lots to be further divided, the city may require an arrangement of lots and streets such as to permit a later resubdivision in conformity to the street plans and other requirements specified in these regulations.

Response: The street system proposed in this land division generally conforms to the street system in SAP Central and the *Villebois Village Master Plan* with refinements described in the PDP Supporting Compliance Report (see Section IIA of this Notebook).

(.03) All streets shall conform to the standards set forth in Section 4.177 and the block size requirements of the zone.

Response: Previous sections of this report have demonstrated compliance with the standards of Section 4.177 and the applicable block size requirements.

(.04) **Creation of Easements:** The Planning Director or Development Review Board may approve an easement to be established without full compliance with these regulations, provided such an easement is the only reasonable method by which a portion of a lot large enough to allow partitioning into two (2) parcels may be provided with vehicular access and adequate utilities. If the proposed lot is large enough to divide into more than two (2) parcels, a street dedication may be required. Also, within a Planned Development, cluster settlements may have easement driveways for any number of dwelling units when approved by the Planning Director or Development Review Board.

Response: Any necessary easements will be identified on the final plat.

(.05) **Topography:** The layout of streets shall give suitable recognition to surrounding topographical conditions in accordance with the purpose of these regulations.

Response: The *Grading and Erosion Control Plan* (see Section IIB) demonstrates that the layout of streets has given recognition to surrounding topographic conditions.

(.06) **Reserve Strips:** The Planning Director or Development Review Board may require the applicant to create a reserve strip controlling the access to a street. Said strip is to be placed under the jurisdiction of the City Council, when the Director or Board determine that a strip is necessary:

- A. To prevent access to abutting land at the end of a street in order to assure the proper extension of the street pattern and the orderly development of land lying beyond the street; or
- B. To prevent access to the side of a street on the side where additional width is required to meet the right-of-way standards established by the City; or
- C. To prevent access to land abutting a street of the land division but not within the tract or parcel of land being divided; or

D. To prevent access to land unsuitable for building development.

Response: Reserve strips will be provided as appropriate.

(.07) Future Expansion of Street: When necessary to give access to, or permit a satisfactory future division of, adjoining land, streets shall be extended to the boundary of the land division and the resulting dead-end street may be approved without a turn-around. Reserve strips and street plugs shall be required to preserve the objective of street extension.

Response: Streets that will be expanded in the future will occur in compliance with this standard.

(.08) Existing Streets: Whenever existing streets adjacent to or within a tract are of inadequate width, additional right-of-way shall conform to the designated width in this Code or in the Transportation Systems Plan.

Response: Rights-of-way will be dedicated in accordance with the *Villebois Village Master Plan* and the Transportation System Plan.

(.09) Street Names: No street names will be used which will duplicate or be confused with the names of existing streets, except for extensions of existing streets. Street names and numbers shall conform to the established name system in the City, and shall be subject to the approval of the City Engineer.

Response: No street names will be used that duplicate or could be confused with the names of existing streets. Street names and numbers will conform to the established name system in the City, as approved by the City Engineer.

SECTION 4.237. GENERAL REQUIREMENTS - OTHER.

(.01) Blocks:

- A. The length, width, and shape of blocks shall be designed with due regard to providing adequate building sites for the use contemplated, consideration of needs for convenient access, circulation, control, and safety of pedestrian, bicycle, and motor vehicle traffic, and recognition of limitations and opportunities of topography.
- B. **Sizes:** Blocks shall not exceed the sizes and length specified for the zone in which they are located unless topographical conditions or other physical constraints necessitate larger blocks. Larger blocks shall only be approved where specific findings are made justifying the size, shape, and configuration.

Response: The PDP compliance report demonstrates compliance with the applicable block size requirements (see Section IIA). The street system proposed in this land division conforms to the street system in SAP Central and the *Villebois Village Master Plan* as described in the PDP Supporting Compliance Report (see Section IIA of this Notebook).

(.02) Easements:

- A. **Utility lines.** Easements for sewers, drainage, water mains, electrical lines or other public utilities shall be dedicated wherever necessary. Easements shall be provided consistent with the City's Public Works Standards, as specified by the City Engineer or Planning Director. All the utility lines within and adjacent to the site shall be installed with underground services within the street and to any structures. All utilities shall have appropriate easements for construction and maintenance purposes.
- B. **Water Courses.** Where a land division is traversed by a water course, drainage way, channel or stream, there shall be provided a storm water easement or drainage right-of-way conforming substantially with the lines of the water course, and such further width as will be adequate for the purposes of conveying storm water and allowing for maintenance of the facility or channel. Streets or parkways parallel to water courses may be required.

Response: The final plat will include the appropriate easements.

(.03) Pedestrian and bicycle pathways. An improved public pathway shall be required to transverse the block near its middle if that block exceeds the length standards of the zone in which it is located.

- A. Pathways shall be required to connect to cul-de-sacs to pass through unusually shaped blocks.
- B. Pathways required by this subsection shall have a minimum width of ten (10) feet unless they are found to be unnecessary for bicycle traffic, in which case they are to have a minimum width of six (6) feet.

Response: No mid-block pathways are required as the proposed block size does not exceed the length standards of the zone in which it is located.

(.04) Tree planting. Tree planting plans for a land division must be submitted to the Planning Director and receive the approval of the Director or Development Review Board before the planning is begun. Easements or other documents shall be provided, guaranteeing the City the right to enter the site and plant, remove, or maintain approved street trees that are located on private property.

Response: The *Street Tree/Lighting Plan* shows proposed street tree planting. This plan sheet can be seen in Section IIB of this Notebook.

(.05) Lot Size and shape. The lot size, width, shape and orientation shall be appropriate for the location of the land division and for the type of development and use contemplated. Lots shall meet the requirements of the zone where they are located.

- A. In areas that are not served by public sewer, an on-site sewage disposal permit is required from the City. If the soil structure is

adverse to on-site sewage disposal, no development shall be permitted until sewer service can be provided.

- B. Where property is zoned or deeded for business or industrial use, other lot widths and areas may be permitted at the discretion of the Development Review Board. Depth and width of properties reserved or laid out for commercial and industrial purposes shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.
- C. In approving an application for a Planned Development, the Development Review Board may waive the requirements of this section and lot size, shape, and density shall conform to the Planned Development conditions of approval.

Response: Proposed lot sizes, widths, shapes and orientations are appropriate for the proposed development and are in conformance with the Village Zone requirements as demonstrated by this report.

(.06) **Access.** The division of land shall be such that each lot shall have a minimum frontage on a public street, as specified in the standards of the relative zoning districts. This minimum frontage requirement shall apply with the following exceptions:

- A. A lot on the outer radius of a curved street or facing the circular end of a cul-de-sac shall have frontage of not less than twenty-five (25) feet upon a street, measured on the arc.
- B. The Development Review Board may waive lot frontage requirements where in its judgment the waiver of frontage requirements will not have the effect of nullifying the intent and purpose of this regulation or if the Board determines that another standard is appropriate because of the characteristics of the overall development.

Response: The proposed lots comply with the applicable access requirements of the Village Zone as demonstrated in previous sections of this report.

(.07) **Through lots.** Through lots shall be avoided except where essential to provide separation of residential development from major traffic arteries or adjacent non-residential activity or to overcome specific disadvantages of topography and orientation. A planting screen easement of at least ten (10) feet, across which there shall be no access, may be required along the line of lots abutting such a traffic artery or other disadvantageous use. Through lots with planting screens shall have a minimum average depth of one hundred (100) feet. The Development Review Board may require assurance that such screened areas be maintained as specified in Section 4.176.

Response: No through lots are proposed by this application.

(.08) **Lot side lines.** The side lines of lots, as far as practicable for the purpose of the proposed development, shall run at right angles to the street upon which the lots face.

Response: All side lines of lots will run at right angles to the street upon which the lots face.

(.09) **Large lot land divisions.** In dividing tracts which at some future time are likely to be re-divided, the location of lot lines and other details of the layout shall be such that re-division may readily take place without violating the requirements of these regulations and without interfering with the orderly development of streets. Restriction of buildings within future street locations shall be made a matter of record if the Development Review Board considers it necessary.

Response: This request does not include any tracts which may be divided at a future time.

(.10) **Building line.** The Planning Director or Development Review Board may establish special building setbacks to allow for the future redivision or other development of the property or for other reasons specified in the findings supporting the decision. If special building setbacks lines are established for the land division, they shall be shown on the final plat.

Response: No building lines are proposed by this application.

(.11) **Build-to line.** The Planning Director or Development Review Board may establish special build-to lines for the development, as specified in the findings and conditions of approval for the decision. If special build-to lines are established for the land division, they shall be shown on the final plat.

Response: No build-to lines are proposed by this application.

(.12) **Land for public purposes.** The Planning Director or Development Review Board may require property to be reserved for public acquisition, or irrevocably offered for dedication, for a specified period of time.

Response: This land division does not include land to be dedicated for public purposes except for the dedication of street right-of-way.

(.13) **Corner lots.** Lots on street intersections shall have a corner radius of not less than ten (10) feet.

Response: All lots on street intersections will have a corner radius of not less than ten (10) feet. This is demonstrated on the *Tentative Plat*, located in Section III B following this Supporting Compliance Report.

SECTION 4.262. IMPROVEMENTS - REQUIREMENTS.

(.01) **Streets.** Streets within or partially within the development shall be graded for the entire right-of-way width, constructed and surfaced in accordance with the Transportation Systems Plan and City Public Works Standards. Existing streets which abut the development shall be graded, constructed, reconstructed, surfaced or repaired as determined by the City Engineer.

Response: The *Grading and Erosion Control Plan*, located in Section IIB of this Notebook, shows compliance with this standard.

(.02) **Curbs.** Curbs shall be constructed in accordance with standards adopted by the City.

Response: Curbs will be constructed in accordance with City standards.

(.03) **Sidewalks.** Sidewalks shall be constructed in accordance with standards adopted by the City.

Response: Sidewalks will be constructed in accordance with City standards.

(.04) **Sanitary sewers.** When the development is within two hundred (200) feet of an existing public sewer main, sanitary sewers shall be installed to serve each lot or parcel in accordance with standards adopted by the City. When the development is more than two hundred (200) feet from an existing public sewer main, the City Engineer may approve an alternate sewage disposal system.

Response: The *Composite Utility Plan*, located in Section IIB of this Notebook, illustrate proposed sanitary sewer lines.

(.05) **Drainage.** Storm drainage, including detention or retention systems, shall be provided as determined by the City Engineer.

Response: The *Grading and Erosion Control Plan*, located in Section IIIB of this Notebook, illustrate the proposed storm drainage facilities. A supporting utility report is provided (see Section IIC) that demonstrates that the proposed storm drainage facilities will meet City standards.

(.06) **Underground utility and service facilities.** All new utilities shall be subject to the standards of Section 4.300 (Underground Utilities). The developer shall make all necessary arrangements with the serving utility to provide the underground services in conformance with the City's Public Works Standards.

Response: Proposed utilities will be placed underground pursuant to Section 4.300 and City Public Works Standards.

(.07) **Streetlight standards.** Streetlight standards shall be installed in accordance with regulations adopted by the City.

Response: Proposed streetlights are shown on the *Street Tree/Lighting Plan*, located in Section IIB of this Notebook. Streetlights will be installed in accordance with City standards.

(.08) **Street signs.** Street name signs shall be installed at all street intersections and dead-end signs at the entrance to all dead-end streets and cul-de-sacs in accordance with standards adopted by the City. Other signs may be required by the City Engineer.

Response: Street name and dead-end signs will be installed in accordance with City standards.

(.09) **Monuments.** Monuments shall be placed at all lot and block corners, angle points, points of curves in streets, at intermediate points and shall be of such material, size, and length as required by State Law. Any monuments that are disturbed before all improvements are completed by the developer and accepted by the City shall be replaced to conform to the requirements of State Law.

Response: Monuments will be placed at all lot and block corners, angle points, points of curves in streets, at intermediate points and will be of such material, size, and length as required by State Law.

(.10) **Water.** Water mains and fire hydrants shall be installed to serve each lot in accordance with City standards.

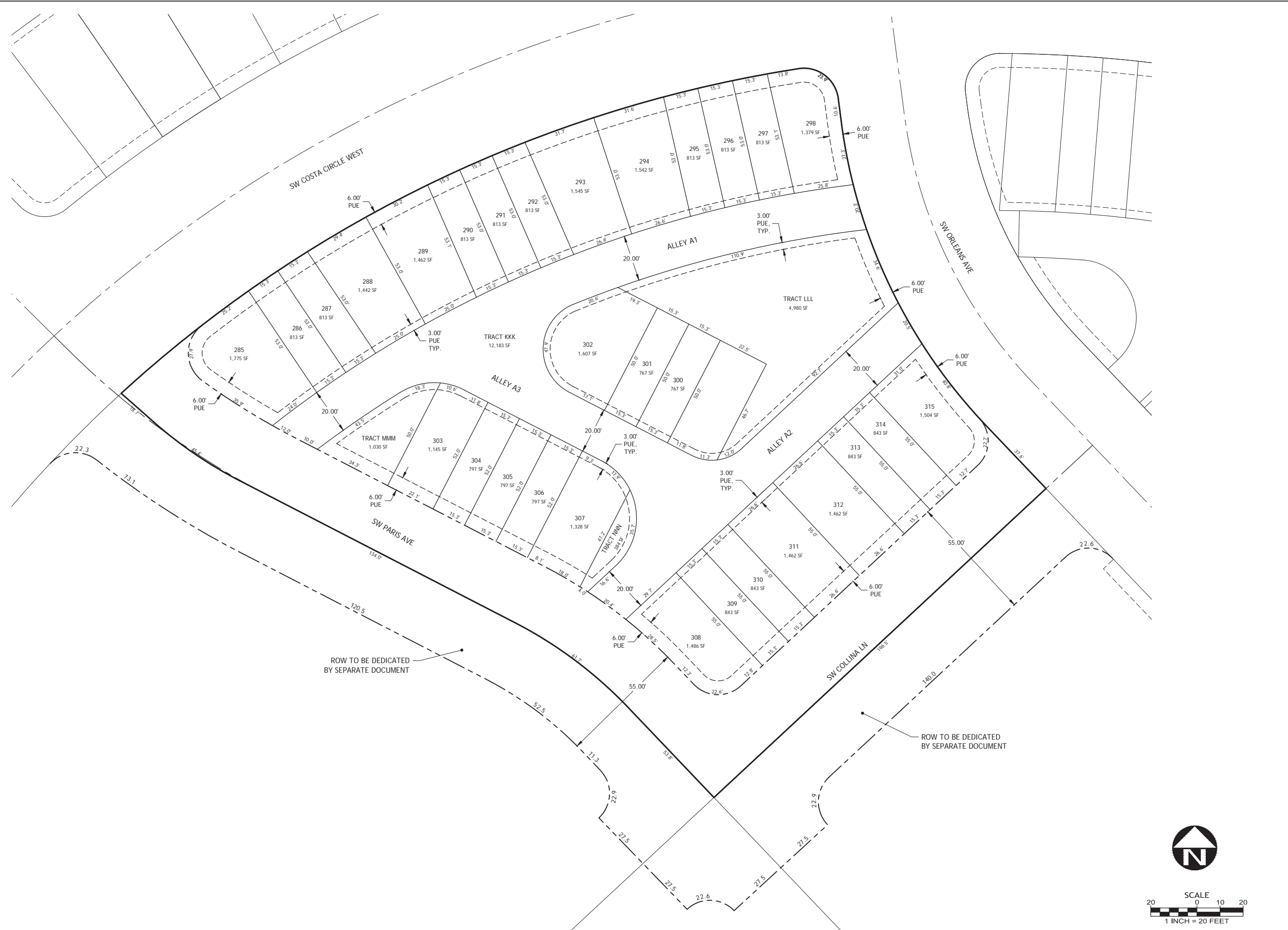
Response: Water mains and fire hydrants will be installed to serve each lot in accordance with City standards (see the *Composite Utility Plan*), located in Section IIB of this Notebook).

II. CONCLUSION

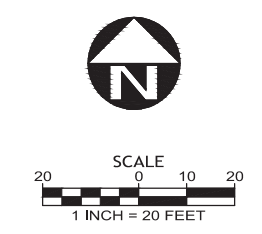
This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Tentative Subdivision Plat. Therefore, the applicant respectfully requests approval of this application.

IIIB) Tentative Plat

N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\395-058.dwg - SHEET: 22x34 May 6, 15 - 9:05 AM erik



ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C VILLEBOIS ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

PRELIMINARY PLAT

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

Omitted

IIIC) Draft CC&R's

Omitted

IIID) Copy of Certification of Assessments & Liens

Omitted

III E) Subdivision Name Approval

Section IV

Zone Change

IVA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
ZONE CHANGE
PDP 6 - CENTRAL**

SECTION IVA

TABLE OF CONTENTS

I.	CITY OF WILSONVILLE COMPREHENSIVE PLAN.....	2
	IMPLEMENTATION MEASURE 4.1.6. A	2
	IMPLEMENTATION MEASURE 4.1.6.C	2
	IMPLEMENTATION MEASURE 4.1.6.D	2
II.	CITY OF WILSONVILLE LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.029 ZONING CONSISTENT WITH THE COMPREHENSIVE PLAN	2
	SECTION 4.110 ZONING - ZONES	3
	SECTION 4.125 VILLAGE (V) ZONE	3
	SECTION 4.197 ZONE CHANGES AND AMENDMENTS TO THIS CODE - PROCEDURES. ...	3
III.	PROPOSAL SUMMARY & CONCLUSION	5

I. CITY OF WILSONVILLE COMPREHENSIVE PLAN

COMPACT URBAN DEVELOPMENT - IMPLEMENTATION MEASURES

IMPLEMENTATION MEASURE 4.1.6. A

Development in the “Residential - Village” Map area shall be directed by the Villebois Village Concept Plan (depicting the general character of proposed land uses, transportation, natural resources, public facilities, and infrastructure strategies), and subject to relevant Policies and Implementation Measures in the Comprehensive Plan; and implemented in accordance with the Villebois Village Master Plan, the “Village” Zone District, and any other provisions of the Wilsonville Planning and Land Development Ordinance that may be applicable.

Response: This application is being submitted and reviewed concurrently with a Preliminary Development Plan for Phase 6 of SAP-Central.

IMPLEMENTATION MEASURE 4.1.6.C

The “Village” Zone District shall be applied in all areas that carry the Residential - Village Plan Map Designation.

Response: The application proposes a zone change to “Village” for the subject property area, which includes the “Residential-Village” Comprehensive Plan Map Designation.

IMPLEMENTATION MEASURE 4.1.6.D

The “Village” Zone District shall allow a wide range of uses that benefit and support an “urban village”, including conversion of existing structures in the core area to provide flexibility for changing needs of service, institutional, governmental and employment uses.

Response: This application seeks zone change approval from PF - Public Facilities to V - Village Zone on a portion of Villebois located within SAP Central. The subject property is 1.89 acres in size. The plan for subject property includes single family residential lots and park and open space areas. The ‘Introductory Narrative’ (see Section IA of Notebook) lists the proposed number and type of residential units, which contribute to a diverse mix of housing. The proposed residential land use and housing type in this area are consistent with those portrayed in the *Villebois Village Master Plan*, which this regulation is intended to implement.

II. CITY OF WILSONVILLE LAND DEVELOPMENT ORDINANCE

SECTION 4.029 ZONING CONSISTENT WITH THE COMPREHENSIVE PLAN

If a development, other than a short-term temporary use, is proposed on a parcel or lot which is not zoned in accordance with the comprehensive plan, the applicant must receive approval of a zone change prior to, or concurrently with the approval of an application for a Planned Development.

Response: This zone change application is being requested concurrent with a PDP application and Tentative Plat for the site in conformance with the code. The PDP application material is located in Section II of this Notebook and the Tentative Plat application material is in Section III.

SECTION 4.110 ZONING - ZONES

(.01) The following Base Zones are established by this Code:

- H. Village, which shall be designated “V” [per Section 4.125 enabling amendments (File No. 02PC08)]

Response: The subject property is within the city limits of Wilsonville. The area has a City of Wilsonville Comprehensive Plan designation of “Residential - Village.” The site is currently zoned Public Facilities. This request is for a zone change to “Village,” which is permitted within the area designated “Residential - Village” on the Comprehensive Plan Map.

SECTION 4.125 VILLAGE (V) ZONE

(.01) The Village (V) zone is applied to lands within the Residential Village Comprehensive Plan Map designation. The Village zone is the principal implementing tool for the Residential Village Comprehensive Plan designation. It is applied in accordance with the Villebois Village Master Plan and the Residential Village Comprehensive Plan designation as described in the Comprehensive Plan.

Response: The subject property lies within the area designated “Residential - Village” on the Comprehensive Plan Map. This request is for a zone change to “V - Village.”

(.02) Permitted Uses

Response: The proposed uses listed in the associated application for a Preliminary Development Plan (see Section II of this Notebook) are consistent with the land uses permitted under the Village zone. The PDP, located in Section II of this Notebook, states that the proposed development will create lots for single family residential Row Houses as well as linear greens. These uses are permitted under the Village zone.

(.18) Village Zone Development Permit Process

- B. Unique Features and Processes of the Village (V) Zone
 - 2. ...Application for a zone change shall be made concurrently with an application for PDP approval...

Response: The application for a zone change is being made concurrent with an application for PDP approval (see Section II of this Notebook).

SECTION 4.197 ZONE CHANGES AND AMENDMENTS TO THIS CODE - PROCEDURES.

(.02) In recommending approval or denial of a proposed zone map amendment, the Planning Commission or Development Review Board shall at a minimum, adopt findings addressing the following criteria:

- A. That the application before the Commission or Board was submitted in accordance with the procedures set forth in Section 4.008 or, in the case of a Planned Development, Section 4.140; and

Response: This application has been submitted in accordance with the procedures set forth in Section 4.140, which requires that:

- (A) *All parcels of land exceeding two (2) acres in size that are to be used for residential, commercial or industrial development, shall, prior to the issuance of building permit: 1. Be zoned for planned development; and*
- (B) *Zone change and amendment to the zoning map are governed by the applicable provisions of the Zoning Sections, inclusive of Section 4.197.*

This zone change application will establish the appropriate zone for this development and will be governed by the appropriate Zoning Sections.

- B. That the proposed amendment is consistent with the Comprehensive Plan map designation and substantially complies with the applicable goals, policies and objectives, set forth in the Comprehensive Plan Text; and

Response: Comprehensive Plan Implementation Measure 4.1.6.c. states, “*the “Village” Zone District shall be applied in all areas that carry the Residential-Village Plan Map Designation.*” Since the “Village” zone must be applied to areas designated Residential Village on the Comprehensive Plan Map, its application to these areas is consistent with the Comprehensive Plan.

- C. In the event that the subject property, or any portion thereof, is designated as “Residential” on the City’s Comprehensive Plan Map; specific findings shall be made addressing substantial compliance with Implementation Measure 4.1.4.b, d, e, q, and x of Wilsonville’s Comprehensive Plan text; and

Response: As noted above, Comprehensive Plan Implementation Measure 4.1.6.c. states, “*the “Village” Zone District shall be applied in all areas that carry the Residential-Village Plan Map Designation.*” Since the Village Zone must be applied to areas designated “Residential Village” on the Comprehensive Plan Map and is the only zone that may be applied to these areas, its application is consistent with the Comprehensive Plan.

- D. That the existing primary public facilities, i.e., roads and sidewalks, water, sewer and storm sewer are available and are of adequate size to serve the proposed development; or, that adequate facilities can be provided in conjunction with project development. The Planning Commission and Development Review Board shall utilize any and all means to insure that all primary facilities are available and are adequately sized; and

Response: The Preliminary Development Plan compliance report and the plan sheets demonstrate that the existing primary public facilities are available and can be provided in conjunction with the project. Section IIC of this Notebook includes

supporting utility and drainage reports. In addition, the applicant will fund the completion of a Traffic Impact Analysis, which is attached as Exhibit IID.

- E. That the proposed development does not have a significant adverse effect upon Significant Resource Overlay Zone areas, an identified natural hazard, or an identified geologic hazard. When Significant Resource Overlay Zone areas or natural hazard, and/ or geologic hazard are located on or about the proposed development, the Planning Commission or Development Review Board shall use appropriate measures to mitigate and significantly reduce conflicts between the development and identified hazard or Significant Resource Overlay Zone; and

Response: The subject site does not include any areas within a Significant Resource Overlay Zone.

- F. That the applicant is committed to a development schedule demonstrating that the development of the property is reasonably expected to commence within two (2) years of the initial approval of the zone change; and

Response: The applicant is committed to a schedule demonstrating that the development of the subject property is reasonably expected to commence within two (2) years of the initial approval of the zone change.

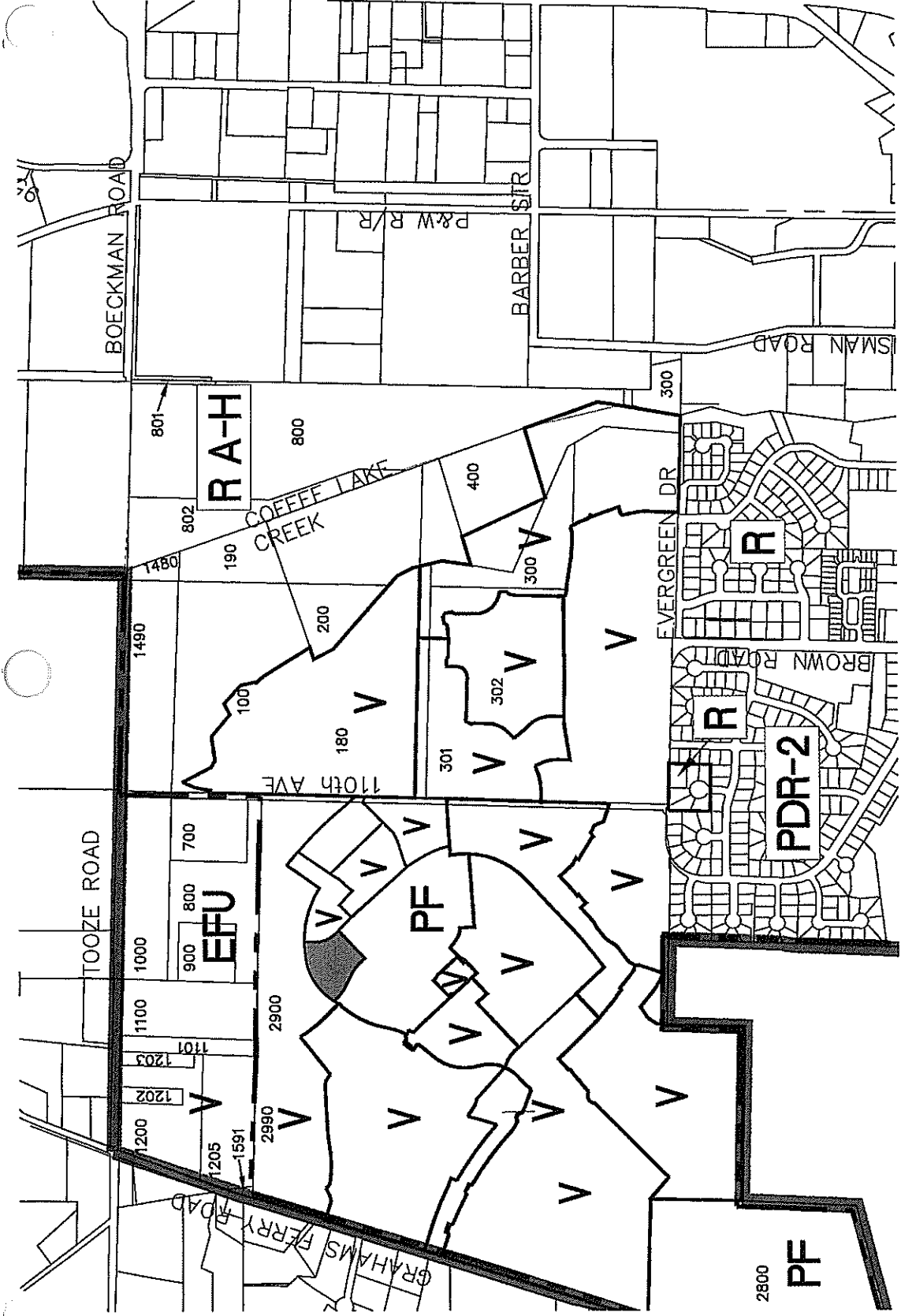
- G. That the proposed development and use(s) can be developed in compliance with the applicable development standards or appropriate conditions are attached to insure that the project development substantially conforms to the applicable development standards.

Response: The proposed development can be developed in compliance with the applicable development standards, as demonstrated by this report and the Preliminary Development Plan (Section II) and Tentative Plat (Section III) applications.

III. PROPOSAL SUMMARY & CONCLUSION






This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Zone Change. Therefore, the applicant requests approval of this application.

IVB) Zone Change Map



1" = 1000'

LEGEND

-  SUBJECT AREA - PROPOSED VILLAGE (V) ZONE (1.52 AC)
-  ZONE LINE
-  EXISTING UGB
-  EXISTING CITY BOUNDARY
-  EXISTING ZONING DESIGNATION

PROPOSED ZONE MAP AMENDMENT

IVC) Legal Description & Sketch



EXHIBIT A

March 20, 2015

LEGAL DESCRIPTION

Job No. 395-058

A tract of land being Lot 83, plat of "Villebois Village Center No. 3", Clackamas County Plat Records, and public Right-of-Way, in the Northeast and Northwest Quarters of Section 15, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, State of Oregon, more particularly described as follows:

BEGINNING at the most southerly corner of said Lot 83;

thence along the southwesterly line of said Lot 83, North 43°37'09" West, a distance of 53.84 feet to a point of tangential curvature;

thence continuing along said southwesterly line, along a 185.00 foot radius tangential curve to the left, arc length of 61.66 feet, central angle of 19°05'42", chord distance of 61.37 feet, and chord bearing of North 53°10'00" West to a point of tangency;

thence continuing along said southwesterly line, North 62°42'51" West, a distance of 133.98 feet to a point of tangential curvature;

thence continuing along said southwesterly line, along a 185.00 foot radius tangential curve to the right, arc length of 45.41 feet, central angle of 14°03'50", chord distance of 45.30 feet, and chord bearing of North 55°40'56" West to a point of tangency;

thence continuing along said southwesterly line and its extension, North 48°39'01" West, a distance of 46.86 feet;

thence leaving said extension line, along a 590.00 foot radius non-tangential curve, concave southeasterly, with a radius point bearing South 42°44'04" East, arc length of 393.12 feet, central angle of 38°10'36", chord distance of 385.89 feet, and chord bearing of North 66°21'14" East to a point on the centerline of SW Orleans Avenue;

thence along said centerline, South 07°28'09" East, a distance of 53.01 feet to a point of tangential curvature;

thence continuing along said centerline, along a 207.00 foot radius tangential curve to the left, arc length of 128.16 feet, central angle of 35°28'22", chord distance of 126.12 feet, and chord bearing of South 25°12'21" East to a point of tangency;

thence continuing along said centerline, South 43°36'51" East, a distance of 40.30 feet;

thence leaving said centerline, along the southeasterly line of said Lot 83 and its extension, South 47°03'23" West, a distance of 224.00 feet to the POINT OF BEGINNING.

Containing 1.89 acres, more or less.

Basis of bearings per "Villebois Village Center No. 3", Clackamas County Plat Records.

REGISTERED
PROFESSIONAL
LAND SURVEYOR



OREGON
JULY 9, 2002
TRAVIS C. JANSEN
57751

RENEWS: 6/30/2015

N:\proj\395-c drawings\06 Survey\Legals\395058.Zone Change.dwg - SHEET: Legal Mar. 20, 15 - 8:30 AM blake

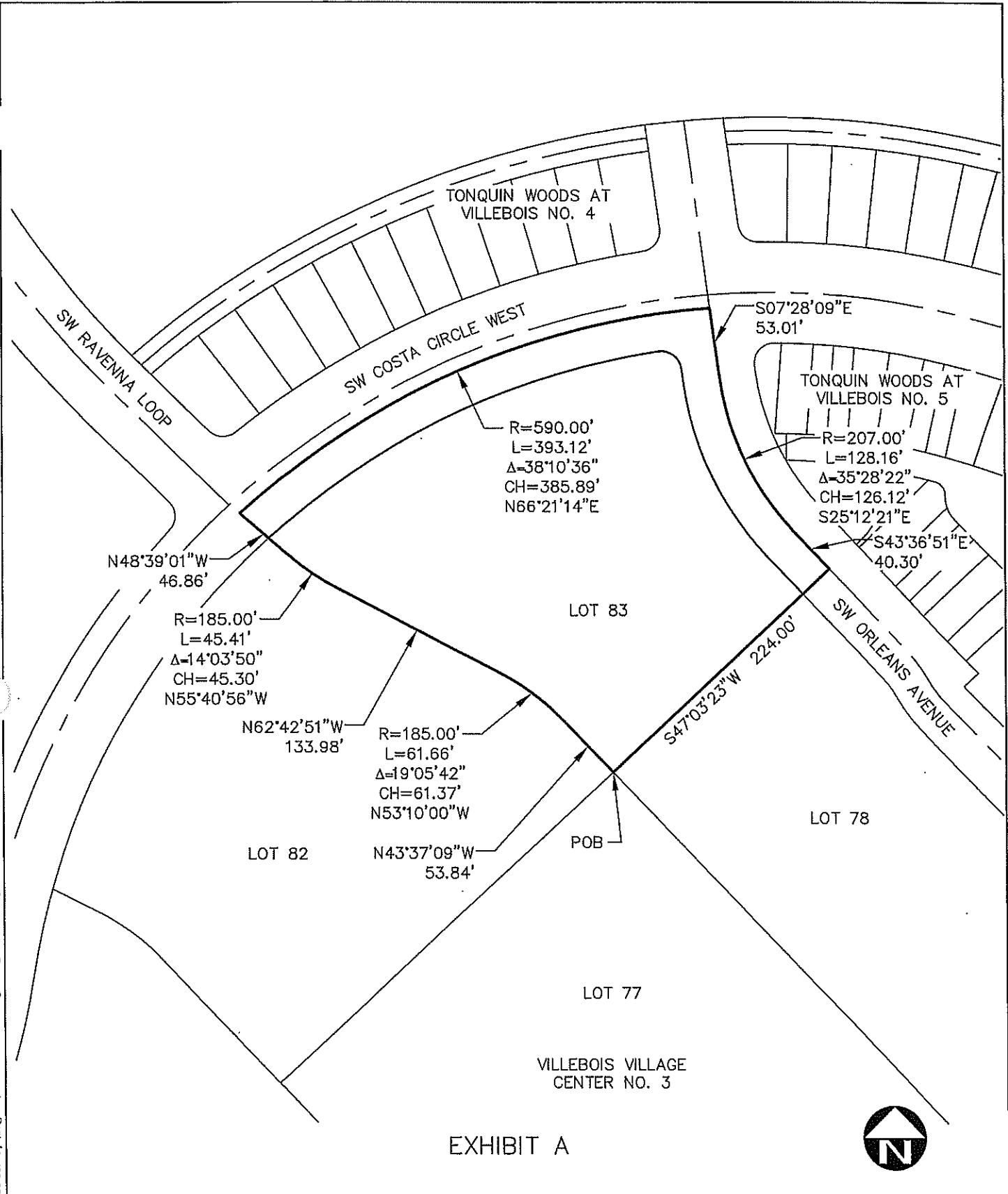


EXHIBIT A



DRAWN BY: BAA DATE: 3/20/15
 REVIEWED BY: TCJ DATE: 3/20/15
 PROJECT NO.: 395-058
 SCALE: 1"=100'
 PAGE 3 OF 3



12564 SW Main St
 Tigard, OR 97223
 [T] 503-941-9484
 [F] 503-941-9485

Section V

Tree Removal Plan

VA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
TYPE “C” TREE REMOVAL PLAN/PERMIT
PDP 6 - CENTRAL**

SECTION VA

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT...	2
	SECTION 4.610.40. TYPE C PERMIT.....	4
	SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT.....	6
	SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION	8
	SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS	9
	SECTION 4.640.00. APPLICATION REVIEW PROCEDURES.....	9
II.	CONCLUSION	9

I. WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE

SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT

(.01) Except where an application is exempt, or where otherwise noted, the following standards shall govern the review of an application for a Type A, B, C or D Tree Removal Permit:

- A. **Standard for the Significant Resource Overlay Zone.** The standard for tree removal in the Significant Resource Overlay Zone shall be that removal or transplanting of any tree is not inconsistent with the purposes of this chapter.

Response: PDP 6 Central does not include areas within the Significant Resource Overlay Zone (SROZ).

- B. **Preservation and Conservation.** No development application shall be denied solely because trees grow on the site. Nevertheless, tree preservation and conservation as a principle shall be equal in concern and importance as other design principles.

Response: The design of this Preliminary Development Plan has taken into account the preservation of trees on site. The *Tree Preservation Plan* in Section VC shows the existing trees to be retained and removed on site.

- C. **Development Alternatives.** Preservation and conservation of wooded areas and trees shall be given careful consideration when there are feasible and reasonable location alternatives and design options on-site for proposed buildings, structures or other site improvements.

Response: The preservation and conservation of trees on site was carefully considered during the planning for onsite improvements. The *Tree Preservation Plan*), shown in Section VC, depicts the trees that are to be removed and likely to be removed during construction due to homes, site improvements or due to tree condition.

- D. **Land Clearing.** Where the proposed activity requires land clearing, the clearing shall be limited to designated street rights-of-way and areas necessary for the construction of buildings, structures or other site improvements.

Response: The clearing of land will be limited to areas necessary for the construction of on site improvements. The *Grading and Erosion Control Plan* in Section IIB of the Notebook depicts the extent of grading activities proposed on the site.

- E. **Residential Development.** Where the proposed activity involves residential development, residential units shall, to the extent reasonably feasible, be designed and constructed to blend into the natural setting of the landscape.

Response: The Village Center Architectural Standards (VCAS) was developed for the general design of residential structures within SAP - Central. These homes are designed to blend into the landscape as much as feasible. The design of homes within this phase of SAP - Central will be in accordance with the VCAS for SAP - Central. This

is assured through review of compliance with the VCAS with the concurrent FDP application in Section VI.

- F. Compliance with Statutes and Ordinances.** The proposed activity shall comply with all applicable statutes and ordinances.

Response: The development in PDP 6C will comply with all applicable statutes and ordinances.

- G. Relocation or Replacement.** The proposed activity shall include necessary provisions for tree relocation or replacement, in accordance with WC 4.620.00, and the protection of those trees that are not removed, in accordance with WC 4.620.10.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10. As shown on in the Tree Report prepared by Morgan Holan, certified arborist (see Section VB), the tree mitigation proposed with the planting of street trees and trees within linear green areas exceeds the required amount of mitigation.

- H. Limitation.** Tree removal or transplanting shall be limited to instances where the applicant has provided completed information as required by this chapter and the reviewing authority determines that removal or transplanting is necessary based on the criteria of this subsection.

1. **Necessary for Construction.** Where the applicant has shown to the satisfaction of the reviewing authority that removal or transplanting is necessary for the construction of a building, structure or other site improvement and that there is no feasible and reasonable location alternative or design option on-site for a proposed building, structure or other site improvement; or a tree is located too close to an existing or proposed building or structures, or creates unsafe vision clearance.
2. **Disease, Damage, or Nuisance, or Hazard.** Where the tree is diseased, damaged, or in danger of falling, or presents a hazard as defined in WC 6.208, or is a nuisance as defined in WC 6.200 it seq., or creates unsafe vision clearance as defined in this code.
3. **Interference.** Where the tree interferes with the healthy growth of other trees, existing utility service or drainage, or utility work in a previously dedicated right-of-way, and it is not feasible to preserve the tree on site.
4. **Other.** Where the applicant shows that tree removal or transplanting is reasonable under the circumstances.

Response: Morgan Holan, certified arborist, has prepared a Tree Report for PDP 6 Central. This report can be seen in Section VB following this Supporting Compliance Report. This Tree Report calls out trees to be removed and retained within the PDP. The determination to remove trees was based upon an assessment of what trees were necessary to remove due to construction, the health of the tree, and whether or not they interfered with the health of other trees or utility work. A listing of all the trees to be removed is included in the attached Tree Report (see Section VB).

I. Additional Standards for Type C Permits.

1. Tree Survey. For all site development applications reviewed under the provisions of Chapter 4 Planning and Zoning, the developer shall provide a Tree Survey before site development as required by WC 4.610.40 , and provide a Tree Maintenance and Protection Plan, unless specifically exempted by the Planning Director or DRB, prior to initiating site development.

Response: The *Tree Preservation Plan* (see Section VC) along with the tree report (see Section VB) provide a tree survey with the location, species and health of each tree in the PDP area.

2. Platted Subdivisions. The recording of a final subdivision plat whose preliminary plat has been reviewed and approved after the effective date of Ordinance 464 by the City and that conforms with this subchapter shall include a Tree Survey and Maintenance and Protection Plan, as required by this subchapter, along with all other conditions of approval.

Response: The final subdivision plat will include this information, as necessary.

3. Utilities. The City Engineer shall cause utilities to be located and placed wherever reasonably possible to avoid adverse environmental consequences given the circumstances of existing locations, costs of placement and extensions, the public welfare, terrain, and preservation of natural resources. Mitigation and/or replacement of any removed trees shall be in accordance with the standards of this subchapter.

Response: The *Composite Utility Plans* for the site have been designed to minimize the impact upon the environment to the extent feasible given existing conditions. These plans can be seen in Section IIB of this Notebook. Any trees to be removed due to the placement of utilities will be replaced and/or mitigated in accordance with the provisions in this subchapter.

J. Exemption. Type D permit applications shall be exempt from review under standards D, E, H and I of this subsection.

Response: This application requests a Type C Tree Removal Permit, therefore this standard is not applicable.

SECTION 4.610.40. TYPE C PERMIT

- (.01) Approval to remove any trees on property as part of a site development application may be granted in a Type C permit. A Type C permit application shall be reviewed by the standards of the subchapter and all applicable review criteria of Chapter 4. Application of the standards of this section shall not result in a reduction of square footage or loss of density, but may require an applicant to modify plans to allow for buildings of greater height. If an applicant proposes to remove trees and submits a landscaping plan as part of a site development application, an application for a Tree Removal Permit shall be included. The Tree Removal Permit application will be reviewed in the Stage II development review process, and any changes

made that affect trees after Stage II review of a development application shall be subject to review by DRB. Where mitigation is required for tree removal, such mitigation may be considered as part of the landscaping requirements as set forth in this Chapter. Tree removal shall not commence until approval of the required Stage II application and the expiration of the appeal period following that decision. If a decision approving a Type C permit is appealed, no trees shall be removed until the appeal has been settled.

Response: This application includes a request for approval of a Type “C” Tree Removal Plan for approval by the Development Review Board so that a Tree Removal Permit may be issued. Proposed tree removal is identified on The *Tree Preservation Plan* included in Section VC of this Notebook.

(.02) The applicant must provide ten copies of a Tree Maintenance and Protection Plan completed by an arborist that contains the following information:

A. A plan, including a topographical survey bearing the stamp and signature of a qualified, registered professional containing all the following information:

1. Property Dimensions. The shape and dimensions of the property, and the location of any existing and proposed structure or improvement.

2. Tree Survey. The survey must include:

a) An accurate drawing of the site based on accurate survey techniques at a minimum scale of one inch (1”) equals one hundred feet (100’) and which provides a) the location of all trees having six inches (6”) or greater d.b.h. likely to be impacted, b) the spread of canopy of those trees, c) the common and botanical name of those trees, and d) the approximate location and name of any other trees on the property.

b) A description of the health and condition of all trees likely to be impacted on the site property. In addition, for trees in a present or proposed public street or road right-of-way that are described as unhealthy, the description shall include recommended actions to restore such trees to full health. Trees proposed to remain, to be transplanted or to be removed shall be so designated. All trees to remain on the site are to be designated with metal tags that are to remain in place throughout the development. Those tags shall be numbered, with the numbers keyed to the tree survey map that is provided with the application.

c) Where a stand of twenty (20) or more contiguous trees exist on a site and the applicant does not propose to remove any of those trees, the required tree survey may be simplified to accurately show only the perimeter area of that stand of trees, including its drip line. Only those trees on the

perimeter of the stand shall be tagged, as provided in “b”, above.

- d) All Oregon white oaks, native yews, and any species listed by either the state or federal government as rare or endangered shall be shown in the tree survey.
3. **Tree Protection.** A statement describing how trees intended to remain will be protected during development, and where protective barriers are necessary, that they will be erected before work starts. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic tape or similar forms of markers do not constitute “barriers”.
4. **Easements and Setbacks.** Location and dimension of existing and proposed easements, as well as all setback required by existing zoning requirements.
5. **Grade Changes.** Designation of grade proposed for the property that may impact trees.
6. **Cost of Replacement.** A cost estimate for the proposed tree replacement program with a detailed explanation including the number, size, and species.
7. **Tree Identification.** A statement that all trees being retained will be identified by numbered metal tags, as specified in subsection “A,” above in addition to clear identification on construction documents.

Response: The attached plan sheets (see the *Tree Preservation Plan*) located in Section VC) identify the proposed tree removal. The *Tree Preservation Plans* provide information required by Section 4.610.40(.02). Morgan Holan, certified arborist, has also prepared a Tree Report (see Section VB) that provides information required by Section 4.610.40(.02).

SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT

(.01) Requirement Established. A Type B or C Tree Removal Permit grantee shall replace or relocate each removed tree having six (6) inches or greater d.b.h. within one year of removal.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10. As shown in the Tree Report prepared by Morgan Holan, certified arborist (see Section VB), the tree mitigation proposed with the planting of street trees and trees within park areas exceeds the required amount of mitigation.

(.02) Basis For Determining Replacement. The permit grantee shall replace removed trees on a basis of one (1) tree replaced for each tree removed. All replacement trees must measure two inches (2”) or more in diameter. Alternatively, the Planning Director or Development Review board may require the permit grantee to replace removed trees on a per caliper inch basis, based on a finding that the large size of the trees being removed justifies an increase in the replacement trees required. Except, however,

that the Planning Director or Development Review Board may allow the use of replacement Oregon white oaks and other uniquely valuable trees with a smaller diameter.

Response: Trees to be removed will be replaced in accordance with this criterion. The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes mitigation analysis for planting replacement trees.

(.03) Replacement Tree Requirements. A mitigation or replacement tree plan shall be reviewed by the City prior to planting and according to the standards of this subsection.

- A. Replacement trees shall have shade potential or other characteristics comparable to the removed trees, shall be appropriately chosen for the site from an approved tree species list supplied by the City, and shall be state Department of Agriculture nursery Grade No. 1 or better.
- B. Replacement trees must be staked, fertilized and mulched, and shall be guaranteed by the permit grantee or the grantee's successors-in-interest for two (2) years after the planting date.
- C. A "guaranteed" tree that dies or becomes diseased during that time shall be replaced.
- D. Diversity of tree species shall be encouraged where trees will be replaced, and diversity of species shall also be maintained where essential to preserving a wooded area or habitat.

Response: The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes mitigation analysis for planting replacement trees.

(.04) All trees to be planted shall consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade.

Response: All trees to be planted will meet the requirements as stated in this criterion.

(.05) Replacement Tree Location.

- A. **City Review Required.** The City shall review tree relocation or replacement plans in order to provide optimum enhancement, preservation, and protection of wooded areas. To the extent feasible and desirable, trees shall be relocated or replaced on-site and within the same general area as trees removed
- B. **Relocation or Replacement Off-Site.** When it is not feasible or desirable to relocate or replace trees on-site, relocation or replacement may be made at another location - approved by the city.

Response: Trees will be replaced within the same general area as the trees removed. The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes a mitigation analysis for planting replacement trees.

(.06) City Tree Fund. Where it is not feasible to relocate or replace trees on site or at another approved location in the City, the Tree Removal Permit

grantee shall pay into the City Tree Fund, which fund is hereby created, an amount of money approximately the value as defined by this subchapter, of the replacement trees that would otherwise be required by this subchapter. The City shall use the City Tree Fund for the purpose of producing, maintaining and preserving wooded areas and heritage trees, and for planting trees within the City.

Response: All trees removed will be replaced within PDP 6C. The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes a mitigation analysis for planting replacement trees.

(.07) Exception. Tree replacement may not be required for applicants in circumstances where the Director determines that there is good cause to not so require. Good cause shall be based on a consideration of preservation of natural resources, including preservation of mature trees and diversity of ages of trees. Other criteria shall include consideration of terrain, difficulty of replacement and impact on adjacent property.

Response: No exception to the tree replacement requirements is requested with this application.

SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION

- (.01)** Where tree protection is required by a condition of development under Chapter 4 or by a Tree Maintenance and Protection Plan approved under this subchapter, the following standards apply:
- A.** All trees required to be protected must be clearly labeled as such.
 - B.** **Placing Construction Materials Near Tree.** No person may conduct any construction activity likely to be injurious to a tree designated to remain, including, but not limited to, placing solvents, building material, construction equipment, or depositing soil, or placing irrigated landscaping, within the drip line, unless a plan for such construction activity has been approved by the Planning Director or Development Review Board based upon the recommendations of an arborist.
 - C.** **Attachments to Trees During Construction.** Notwithstanding the requirement of WC 4.620.10(1)(A), no person shall attach any device or wire to any protected tree unless needed for tree protection.
 - D.** **Protective Barrier.** Before development, land clearing, filling or any land alteration for which a Tree Removal Permit is required, the developer shall erect and maintain suitable barriers as identified by an arborist to protect remaining trees. Protective barriers shall remain in place until the City authorizes their removal or issues a final certificate of occupancy, whichever occurs first. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic Tape or similar forms of markers do not constitute “barriers”. The most appropriate and protective barrier shall be utilized. Barriers are required for all trees designated to remain, except in the following cases.

1. Rights-of-ways and Easements.
2. Any property area separate from the construction or land clearing area onto which no equipment may venture.

Response: Trees to be retained will be protected to the greatest extent possible during construction. Additional details about tree protection during construction will be provided with the construction drawings.

SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS

(.01) The following standards apply to all activities affecting trees, including, but not limited to, tree protection as required by a condition of approval on a site development application brought under this chapter or as required by an approved Tree Maintenance and Protection Plan.

- A. Pruning activities shall be guided by the most recent version of the ANSI 300 Standards for Tree, Shrub and Other Woody Plant Maintenance.
- B. Topping is prohibited
 1. Exception from this section may be granted under a Tree Removal Permit if necessary for utility work or public safety.

Response: All pruning activities will comply with ANSI 300 standards. Additional details about the pruning activities proposed for trees during construction will be further addressed in the construction drawings. Any topping necessary will be applied for with the Tree Removal Permit.

SECTION 4.640.00. APPLICATION REVIEW PROCEDURES

(.03) Reviewing Authority

- B. Type C. Where the site is proposed for development necessitating site plan review or plat approval by the Development Review Board, the Development Review Board shall be responsible for granting or denying the application for a Tree Removal Permit, and that decision may be subject to affirmance, reversal or modification by the City Council, if subsequently reviewed by the Council.

Response: This application includes *Tree Preservation Plans*, located in Section VC for review by the Development Review Board. The applicant is requesting that the Development Review Board approve this plan so that a Tree Removal Permit may be issued.

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable criteria of the City of Wilsonville Land Development Ordinance for the requested review of the Type "C" Tree Removal Plan and Permit. Therefore, the applicant respectfully requests approval of this application.

VB) Tree Report

**Villebois Row Homes, Lot 83 – Wilsonville, Oregon
Tree Maintenance and Protection Plan
March 21, 2015**

MHA15025

Purpose

This Tree Maintenance and Protection Plan for the Villebois Row Homes, Lot 83 project located in Wilsonville, Oregon, is provided pursuant to City of Wilsonville Development Code, Section 4.610.40. This arborist report describes the existing trees located on the project site, as well as recommendations for tree removal, retention, mitigation, and protection. This report is based on observations made by International Society of Arboriculture (ISA) Certified Arborist and Qualified Tree Risk Assessor Morgan Holen (PN-6145A) during a site visit conducted on March 20, 2015.

Scope of Work and Limitations

Morgan Holen & Associates, LLC, was contracted by Polygon Northwest Company to visually assess existing trees measuring six inches in diameter and larger in terms of general condition and suitability for preservation with development, and to develop a tree maintenance and protection plan for the project. The site is planned for residential development. A site plan was provided by Pacific Community Design illustrating the location of trees and tree survey point numbers, and potential construction impacts.

Visual Tree Assessment (VTA¹) was performed on individual trees located across the site. Trees were evaluated in terms species, size, general condition, and potential construction impacts, and treatment recommendations include retain or remove. Following the inventory fieldwork, we coordinated with Pacific Community Design to discuss and finalize treatment recommendations based on the proposed site plan.

The client may choose to accept or disregard the recommendations contained herein, or seek additional advice. Neither this author nor Morgan Holen & Associates, LLC, have assumed any responsibility for liability associated with the trees on or adjacent to this site.

General Description

The Villebois Row Homes project at Lot 83 is located in the southwest corner of the intersection between Costa Circle West and Southwest Orleans Avenue. The existing site is undeveloped, with three mature trees near the east boundary and two dense clusters of trees to the south. In all, 17 trees measuring 6-inches and larger in diameter were inventoried including three tree species. Table 1 provides a summary of the count of trees by species. A complete description of individual trees is provided in the enclosed tree data.

Table 1. Count of Trees by Species – Villebois Row Homes, Lot 83, Wilsonville, OR.

Common Name	Species Name	Total	Percent
Atlas cedar	<i>Cedrus atlantica</i>	1	6%
European white birch	<i>Betula pendula</i>	14	82%
tuliptree	<i>Liriodendron</i>	2	12%
Total		17	100%

¹ Visual Tree Assessment (VTA): The standard process of visual tree inspection whereby the inspector visually assesses the tree from a distance and up close, looking for defect symptoms and evaluating overall condition and vitality.

Tree Plan Recommendations

As described in the enclosed tree data, individual trees were assigned a general condition rating as defined by the Villebois Specific Area Plan North Community Elements Book:

- P: Poor Condition
- M: Moderate Condition
- G: Good Condition
- I: Important Condition

The two tuliptrees (*Liriodendron tulipifera*) are 29- and 33-inches each in diameter. These trees are both in moderate condition, with minor defects and fair vigor. The 29-inch tree has codominant leaders originating at approximately 10-feet and old basal wounds. This tree is planned for removal for the purposes of construction; as shown on the site plans, it is located within the building footprint of row homes. The 33-inch diameter tuliptree has moderate structure, but appears stable. This tree is suitable for preservation and recommended for retention in an open space area between Orleans Avenue and new row homes. Minor pruning is recommended to improve crown structure and to remove dead branches for safety. Arborist supervision is recommended during street construction along the outer edge of the dripline to the north.

The Atlas cedar (*Cedrus atlantica*) is 26-inches in diameter and in good condition with no major defects. This tree is also suitable for preservation and recommended for retention. Pruning may be needed to provide for construction clearance along the north and south sides of the tree. Changes in grade should be minimized as much as possible beneath the dripline area. A new street south of the tree should be built up from the existing grade to avoid excavation. Arborist supervision is recommended when work is necessary beneath the dripline.

The remaining 14 trees are all European white birches (*Betula pendula*), which are widely accepted as an invasive species in our region. These trees range from 10- to 16-inches in diameter and are in moderate and poor condition. Common defects observed in these trees include dead and broken branches, a history of large branch failure, branch decay, and decline from the top down. These trees are recommended for removal because of species, condition, and for the purposes of construction.

Table 2 provides a summary of the count of trees by general condition rating and treatment recommendation.

Table 2. Count of Trees by Treatment Recommendation and General Condition Rating.

Treatment Recommendation	General Condition Rating			Total
	P	M	G	
Retain		1	1	2 (12%)
Remove	9	6	0	15 (88%)
Total	9 (53%)	7 (41%)	1 (6%)	17 (100%)

Mitigation Requirements

All 17 inventoried trees are 6-inches or larger in diameter, including two trees planned for retention with protection during construction and 15 trees planned for removal. Removal of these 15 trees requires mitigation per Section 4.620.00; removed trees shall be replaced on a basis of one tree planted for each tree removed. Therefore, 15 trees measuring at least 2-inch in diameter shall be planted as mitigation for tree removal.

Tree Protection Standards

Trees designated for retention will need special consideration to assure their protection during construction. We recommend a preconstruction meeting with the owner, contractors, and project arborist to review tree protection measures and address questions or concerns on site. Tree protection measures include:

- **Fencing.** Trees to remain on site shall be protected by installation of tree protection fencing to prevent injury to tree trunks or roots, or soil compaction within the root protection area, which generally coincides with tree driplines. Fences shall be 6-foot high steel on concrete blocks or orange plastic construction fencing on metal stakes. The project arborist shall determine the exact location and type of tree protection fencing. Trees located more than 30-feet from construction activity shall not require fencing.
- **Tree Protection Zone.** Without authorization from the Project Arborist, none of the following shall occur beneath the dripline of any protected tree:
 1. Grade change or cut and fill;
 2. New impervious surfaces;
 3. Utility or drainage field placement;
 4. Staging or storage of materials and equipment; or
 5. Vehicle maneuvering.

Root protection zones may be entered for tasks like surveying, measuring, and, sampling. Fences must be closed upon completion of these tasks.

- **Pruning.** Pruning may be needed to provide for overhead clearance and to remove dead and defective branches for safety. The project arborist can help identify where pruning is necessary once trees recommended for removal have been removed and the site is staked and prepared for construction. Tree removal and pruning shall be performed by a Qualified Tree Service.
- **Excavation.** Excavation beneath the dripline of protected trees shall be avoided if alternatives are feasible. Otherwise, the project arborist shall provide on-site consultation during all excavation activities beneath the dripline of protected trees. Excavation immediately adjacent to roots larger than 2-inches in diameter within the root protection zone of retained trees shall be by hand or other non-invasive techniques to ensure that roots are not damaged. Where feasible, major roots shall be protected by tunneling or other means to avoid destruction or damage. Exceptions can be made if, in the opinion of the project arborist, unacceptable damage will not occur to the tree. Where soil grade changes affect the root protection area, the grade line should be meandered wherever practicable. This will require on-site coordination to ensure a reasonable balance between engineering, construction, and the need for tree protection.

- **Surfacing.** If surfacing is proposed beneath the dripline of protected trees, coordinate with the project arborist to provide recommendations for adjustments to protection fencing and to monitor construction in the tree protection zone. Avoid excavation and use a modified profile to build up from existing grade (Figure 1). The profile includes a layer of permeable geotextile fabric on the ground surface and crushed rock to raise the grade as needed. Surfacing may include asphalt, concrete, or other materials. If excavation is necessary, work shall be performed under arborist supervision.

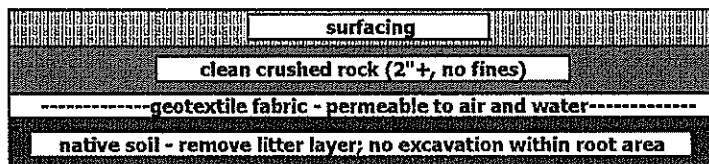


Figure 1. Sample profile for areas within Critical Root Zones. Depth of rock is dependent on grading. Technique based on best management practices.

- **Landscaping.** Following construction and where landscaping is desired, apply approximately 3-inches of mulch beneath the dripline of protected trees, but not directly against tree trunks. Shrubs and ground covers may be planted within tree protection areas. If irrigation is used, use drip irrigation only beneath the driplines of protected trees.
- **Quality Assurance.** The project arborist should supervise proper execution of this plan during construction activities that could encroach on retained trees. Tree protection site inspection monitoring reports should be provided to the Client and City on a regular basis throughout construction.

Thank you for choosing Morgan Holen & Associates, LLC, to provide consulting arborist services for the Villebois Row Home, Lots 83 project. Please contact us if you have questions or need any additional information.

Thank you,
Morgan Holen & Associates, LLC

Morgan E. Holen, Owner
ISA Certified Arborist, PN-6145A
ISA Tree Risk Assessment Qualified
Forest Biologist

Enclosures: Villebois Row Homes, Lot 83 – Tree Data 3-20-15

Point No.	Tree No.	Common Name	Species Name	DBH*	C-Rad [^]	Cond [#]	Condition & Comments	Treatment
10280	529	European white birch	<i>Betula pendula</i>	14	18	M	invasive species	remove
10278	530	European white birch	<i>Betula pendula</i>	14	14	M	invasive species	remove
10281	531	European white birch	<i>Betula pendula</i>	16	18	P	invasive species	remove
10283	532	European white birch	<i>Betula pendula</i>	12	18	P	invasive species	remove
	533	European white birch	<i>Betula pendula</i>	14	20	P	invasive species	remove
10285	534	European white birch	<i>Betula pendula</i>	11	12	P	invasive species	remove
10284	535	European white birch	<i>Betula pendula</i>	13	16	P	invasive species	remove
10274	536	European white birch	<i>Betula pendula</i>	15	12	P	invasive species	remove
10275	537	European white birch	<i>Betula pendula</i>	14	16	M	invasive species	remove
10245	545	European white birch	<i>Betula pendula</i>	16	18	P	invasive species	remove
10246	546	European white birch	<i>Betula pendula</i>	15	14	M	invasive species	remove
10247	547	European white birch	<i>Betula pendula</i>	15	12	P	invasive species	remove
10243	548	European white birch	<i>Betula pendula</i>	10	16	M	invasive species	remove
10244	549	European white birch	<i>Betula pendula</i>	14	18	P	invasive species	remove
10226	550	Atlas cedar	<i>Cedrus atlantica</i>	26	27	G	no major defects	retain
10231	555	tuliptree	<i>Liriodendron tulipifera</i>	33	26	M	moderate structure, appears stable	retain
10234	556	tuliptree	<i>Liriodendron tulipifera</i>	29	25	M	codominant leaders at ~10', basal wounds	remove

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches); trees with multiple trunks splitting below DBH are measured separately and individual trunk measurements are separated by a comma, except multiple trunks of the same size are indicated with an asterisk
[^]C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).
[#]Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

VC) Tree Preservation Plan

N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submit\395-058 (8) TREEPRES.dwg - SHEET: 22x34 May 6, 15 - 9:09 AM erik

ELEVATION DATUM: NAVD 88



LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (Symbol: Circle with 'M') EXISTING TREES LIKELY TO BE REMOVED
- (Symbol: Circle with 'P') EXISTING TREES TO BE REMOVED
- (Symbol: Circle with 'X') EXISTING TREES TO BE REMOVED
- (Symbol: Dashed line) TREE PROTECTION FENCING
- (Symbol: Solid line) GRADING LIMITS

NOTES

ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARBORIST. CONTACT: MORGAN HOLAN PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

1. HEALTH
2. SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
3. COMPATIBILITY WITH DEVELOPMENT
4. FORM / VISUAL INTEREST / MATURE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

1. THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLAN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



POLYGON NW COMPANY



GEODESIGN, INC

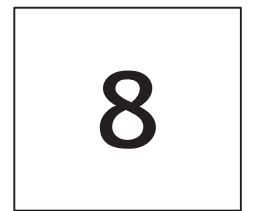
REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development Plan & Final Development Plan

TREE PRESERVATION PLAN

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015



Section VI

Final Development Plan

VIA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
FINAL DEVELOPMENT PLAN 6 - CENTRAL**

SECTION VIA

Table of Contents

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE.....	2
	SECTION 4.125. VILLAGE (V) ZONE.....	2
	Lighting Master Plan	6
	Curb Extensions	6
	Street Tree Master Plan	6
	Site Furnishings.....	6
	Play Structures	6
	Tree Protection	6
	Plant List.....	6
	GENERAL DEVELOPMENT REGULATIONS	7
	SECTION 4.156. SIGN REGULATIONS.....	7
	SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING	7
	SECTION 4.177. STREET IMPROVEMENT STANDARDS.....	14
	SECTION 4.178. SIDEWALK & PATHWAY STANDARDS.....	14
	SITE DESIGN REVIEW	15
	SECTION 4.400. PURPOSE.	15
	SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.	18
	SECTION 4.440. PROCEDURE.	20
	SECTION 4.450. INSTALLATION OF LANDSCAPING.	21
II.	VILLAGE CENTER ARCHITECTURAL STANDARDS	22
	STANDARDS APPLYING TO ALL BUILDINGS.....	22
III.	CONCLUSION.....	32

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125. VILLAGE (V) ZONE

(.02) Permitted Uses

Examples of principle uses that typically permitted:

- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owners association.

Table V-1 Development Standards

Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width (%age) ^{16, 17}	Max. Bldg. Height (ft.)	Setbacks ^{16, 13, 20}			Alley-Loaded Garage (note)	Street-Loaded Garage (note)	
							Front Min. (ft.)	Front Max. (ft.)	Rear Min. (ft.)			
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ¹	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	80	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ³	15	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁷	7	8,17,18
Single-Family Dwellings	2,250	35	50	1	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁷	7	8,17,18

Notes: NR: No Requirement
 NA: Not Allowed
 1 Lot < 8000sf: NR; Lot > 8000sf: 80% (Max. Lot Coverage)
 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way, canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
 5 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to 8 ft. into the Public Way. Stairs may encroach to the Public Way.
 6 For Standard, or Large Lots on Collector Arterials, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
 7 The garage setback from alley shall be between 3 and 5 foot or, when an optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main facade of the associated dwelling unit.
 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
 10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
 11 Row houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRH.
 12 See Ordinance 9-122-01, for measurement of Minimum Frontage Width.
 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Village Center Master Plan for areas included within the Village Center.
 15 On Small, Medium and Large Lots with frontage 50 ft. or greater, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.
 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
 17 Dwellings on lots without alley access shall be at least 36 feet wide.
 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
 20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

Response: The parks proposed within PDP 6C are permitted uses. These are non-commercial parks to be owned and operated by a homeowners association.

(.07) General Regulations - Off-Street Parking, Loading & Bicycle Parking

Response: The proposed parks within PDP 6C do not include any off-street parking. These areas are not planned to provide amenities that require off-street parking. All proposed parks include pathways for pedestrians and bicycle travel.

(.08) Open Space.

Response: The Parks Master Plan for Villebois states that there are 57.87 acres of parks and 101.46 acres of open space for a total of 159.33 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent with Master Plan. PDP 6C includes the addition of linear greens not shown in the Villebois

Village Master Plan, thereby increasing the amount of parks. The PDP provides more park areas than originally included in this phase.

(.09) Street and Access Improvement Standards.

Response: The Supporting Compliance Report for the PDP demonstrates that streets and access improvement standards are met (See Section IIA). This code section does not apply to the proposed parks, except to assure that vision clearance standards are met in proposed planting schemes for these areas. Proposed landscaping is sited to meet vision clearance standards (see Exhibit VIB).

(.10) Sidewalk and Pathway Improvement Standards.

Response: This code section refers directly to code Section 4.176, which is addressed in subsequent sections of this report.

(.11) Landscaping, Screening and Buffering

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:
 - 1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The applicable provisions of Section 4.176 are addressed in the subsequent sections of this report. The PDP provides information regarding street trees for the proposed streets (See Section IIB). This FDP application reflects the provision of street trees consistent with that shown in the PDP application.

(.12) Master Signage and Wayfinding

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central Signage & Wayfinding Plan.

(.14) Design Standards Applying to the Village Zone

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:
 - 2. Building and site design shall include:
 - b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Architectural Pattern Book, Community Elements Book or approved Village Center Design.

Response: The materials proposed for the parks of the subject PDP are consistent with the approved *Community Elements Book* as shown in the FDP Approval Criteria section of this report. The *Pattern Book* is not applicable to the proposed park uses.

- f. The protection of existing significant trees as identified in an approved *Community Elements Book*.

Response: The design of the parks will protect existing significant trees consistent with the Tree Protection component of the *Community Elements Book* and the *Tree Preservation Plan* (see Section IIB of this Notebook). The FDP plans (Exhibit VIB) show retention of existing significant trees.

- g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

Response: A detailed landscape plan is provided with this FDP application in accordance with the requirements of Section 4.125 (.07) and (.11), 4.176(.09), and 4.440(.01)B (see attached plans in Exhibit VIB).

3. Lighting and site furnishings shall be in compliance with the approved *Community Elements Book*.

Response: Lighting and site furnishings as identified in the approved *Community Elements Book* for SAP - Central are addressed in the FDP Approval Criteria section of this report.

(.18) Village Zone Development Permit Process

L. Final Development Plan Approval Procedures (Equivalent to Site Design Review):

1. Unless an extension has been granted by the Development Review Board as enabled by Section 4.023, within two (2) years after the approval of a PDP, an application for approval of a FDP shall:
 - a. Be filed with the City Planning Division for the entire FDP, or when submission of the PDP in phases has been authorized by the development Review Board, for a phase in the approved sequence.
 - b. Be made by the owner of all affected property or the owner's authorized agent.
 - c. Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution.
 - d. Set forth the professional coordinator and professional design team for the project.

Response: This application has been made by the owner and applicant of the affected property and has been filed on the prescribed form and accompanied by the

prescribed fee (copies of the application form and fee payment are included in Sections IB and IC, respectively, of this Notebook). The professional coordinator and professional design team for the project are listed in the Introductory Narrative (see Section IA of this Notebook).

M. FDP Application Submittal Requirements:

1. An application for approval of a FDP shall be subject to the provisions of Section 4.034.

Response: Section 4.034(.08), states that “Applications for development approvals within the Village zone shall be reviewed in accordance with the standards and procedures set forth in Section 4.125.” The proposed FDP is reviewed in accordance with the standards and procedures set forth in Section 4.125, as demonstrated by this report.

N. FDP Approval Procedures

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

O. FDP Refinements to an Approved Preliminary Development Plan

Response: This FDP is submitted for review and approval concurrent with the PDP. Thus, the FDP is consistent with the PDP and does not propose any refinements or amendments to the PDP.

P. FDP Approval Criteria

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

2. An application for an FDP shall demonstrate that the proposal conforms to the applicable Architectural Pattern Book, Community Elements Book, Village Center Design and any other conditions of a previously approved PDP.

Response: This FDP addresses parks and proposed architecture within PDP 6C. The attached Elevations & Floor Plans (see Exhibit VIC) demonstrate compliance with the *Village Center Architectural Standards* and the Village Center Design. The FDP is within the Village Center. The FDP is submitted for review and approval concurrent with the PDP; therefore, there are no conditions of a previously approved PDP that apply to this request. Conformance of the proposed FDP with the *Community Elements Book* for SAP - Central is demonstrated as follows.

LIGHTING MASTER PLAN

Response: The lighting shown on the attached plans (see Exhibit VIB) is consistent with the Lighting Master Plan Diagram shown on page 5 of the *Community Elements Book* for SAP Central.

CURB EXTENSIONS

Response: PDP 6C will be developed with curb extensions shown on the Curb Extension Concept Plan Diagram located on page 6 of the *Community Elements Book* for SAP - Central. This has been demonstrated in the concurrent PDP application in Section II of this Notebook. The FDP is consistent with the PDP.

STREET TREE MASTER PLAN

Response: The location and species of street trees shown on the attached plans (see Exhibit VIB) is consistent with the Street Tree Master Plan Diagram and List shown on pages 7-10 of the *Community Elements Book*. These tree species will be planted along the street frontages in the FDP.

SITE FURNISHINGS

Response: The furnishings shown the attached plans (see Exhibit VIB) were selected to maintain the identity and continuity of Villebois. The site furnishings shown in the parks are consistent with those described in the Site Furnishings Concept shown on pages 11-13 of the *Community Elements Book*.

PLAY STRUCTURES

Response: No play structures are proposed within the subject FDP.

TREE PROTECTION

Response: The Tree Protection component shown on page 15 of the *Community Elements Book* for SAP - Central describes the goal, policies, and implementation measures that were used to promote the protection of existing trees in the design of the PDP area. Tree preservation and removal is shown in conjunction with the concurrent PDP and *Tree Removal Plan* applications (see Sections II and Section V, respectively, of this Notebook). The proposed FDP, which includes linear greens, is consistent with the tree protection shown in PDP and *Tree Removal Plan*.

PLANT LIST

Response: The *Community Elements Book* for SAP - Central contains a Plant List (pages 16-18) of non-native and native trees, shrubs, and herbs/grasses for species to be used within Villebois. The attached plans (see Exhibit VIB) list the plants that will be planted in the proposed parks. The proposed plantings are consistent with the Plant List in the SAP - Central *Community Elements Book*.

PART II - ADDRESS OVERLAY AREAS

Response: The subject FDP area is not located within an Address Overlay Area. Part II of the *Community Elements Book* for SAP - Central is not applicable to this FDP.

GENERAL DEVELOPMENT REGULATIONS

SECTION 4.156. SIGN REGULATIONS

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central Signage & Wayfinding Plan.

SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING

(.02) Landscaping and Screening Standards.

Response: As shown on the attached plans (see Exhibit VIB), the parks will be landscaped with a mixture of ground cover, lawn areas, shrubs, and trees. Streets and public right-of-way improvements, including street trees, are reviewed with the PDP (see Section II of this Notebook). This FDP consistently reflects street trees shown in the PDP.

(.03) Landscape Area.

Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.

Response: The proposed parks are nearly 100% landscaped as shown in the attached plans (see Exhibit VIB), except for walkways and areas beneath the understory of existing trees.

(.04) Buffering and Screening.

Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

- A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.
- B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.
- C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.

- D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.
- E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.
- F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.

Response: None of the above-listed areas or uses exist within the proposed parks. Therefore, no buffering or screening is required in relation to the FDP.

(.05) Sight-Obscuring Fence or Planting.

The use for which a sight-obscuring fence or planting is required shall not begin operation until the fence or planting is erected or in place and approved by the City. A temporary occupancy permit may be issued upon a posting of a bond or other security equal to one hundred ten percent (110%) of the cost of such fence or planting and its installation. (See Sections 4.400 to 4.470 for additional requirements.)

Response: No sight-obscuring fence or planting is required in this FDP area.

(.06) Plant Materials.

- A. Shrubs and Ground Cover. All required ground cover plants and shrubs must be of sufficient size and number to meet these standards within three (3) years of planting. Non-horticultural plastic sheeting or other impermeable surface shall not be placed under mulch. Surface mulch or bark dust are to be fully raked into soil of appropriate depth, sufficient to control erosion, and are confined to areas around plantings. Areas exhibiting only surface mulch, compost or barkdust are not to be used as substitutes for plants areas.
 - 1. Shrubs. All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10" to 12" spread.

Response: As shown on the attached plans (see Exhibit VIB) all shrubs will be equal to or better than 2-gallon size with a 10 to 12 inch spread. All shrubs will be well branched and typical of their type as described in current AAN standards.

- 2. Ground cover. Shall be equal to or better than the following depending on the type of plant materials used: Gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 inch on center minimum. No bare root planting shall be permitted. Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting. Where wildflower seeds are designated

for use as a ground cover, the City may require annual re-seeding as necessary.

Response: As shown on the attached plans (see Exhibit VIB) all ground covers will be at least 4" pots and spaced appropriately. These plants will be installed as required.

3. Turf or lawn in non-residential developments. Shall not be used to cover more than ten percent (10%) of the landscaped area, unless specifically approved based on a finding that, due to site conditions and availability of water, a larger percentage of turf or lawn area is appropriate. Use of lawn fertilizer shall be discouraged. Irrigation drainage runoff from lawns shall be retained within lawn areas.

Response: The subject FDP area is within a residential development; therefore this criterion does not apply.

4. Plant materials under trees or large shrubs. Appropriate plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.

Response: As shown on the attached plans (see Exhibit VIB) appropriate plant materials will be installed beneath the canopies of trees and large shrubs. Areas that are not appropriate to plant beneath the canopies of existing trees will be mulched with bark.

- B. Trees. All trees shall be well-branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards and shall be balled and burlapped. The trees shall be grouped as follows:

1. Primary trees which define, outline or enclose major spaces, such as Oak, Maple, Linden, and Seedless Ash, shall be a minimum of 2" caliper.
2. Secondary trees which define, outline or enclose interior areas, such as Columnar Red Maple, Flowering Pear, Flame Ash, and Honeylocust, shall be a minimum of 1-3/4" to 2" caliper.
3. Accent trees which, are used to add color, variation and accent to architectural features, such as Flowering Pear and Kousa Dogwood, shall be 1-3/4" minimum caliper.
4. Large conifer trees such as Douglas Fir or Deodar Cedar shall be installed at a minimum height of eight (8) feet.
5. Medium-sized conifers such as Shore Pine, Western Red Cedar or Mountain Hemlock shall be installed at a minimum height of five to six (5 to 6) feet.

Response: As shown on the attached plans (see Exhibit VIB), proposed tree species have been selected from the Villebois Plant List in the *Community Elements Book*. All

proposed trees meet the minimum 2” caliper code requirement or the minimum height requirement for conifers as appropriate. All proposed trees will be well-branched, typical of their type as described in current AAN, and balled and burlapped.

- C. Where a proposed development includes buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area, the Development Review Board may require larger or more mature plant materials:

Response: This standard does not apply to the subject FDP as no buildings are proposed in the parks.

- D. **Street Trees.**

Response: Review of streets and rights-of-way, including street trees, occurs with the PDP (see Section II of this Notebook). Street trees shown in the plans for this FDP are consistent with those shown in the PDP application. Compliance with the Street Tree Master Plan is demonstrated in the PDP (Section II of Notebook).

- E. **Types of Plant Species.**

- 1. Existing landscaping or native vegetation may be used to meet these standards, if protected and maintained during the construction phase of the development and if the plant species do not include any that have been listed by the City as prohibited. The existing native and non-native vegetation to be incorporated into the landscaping shall be identified.

Response: As shown on the attached plans (see Exhibit VIB), there are existing trees in the FDP area to be retained. The existing trees will be protected and maintained during the construction phase and are incorporated into the landscaping as appropriate.

- 2. Selection of plant materials. Landscape materials shall be selected and sited to produce hardy and drought-tolerant landscaping. Selection shall be based on soil characteristics, maintenance requirements, exposure to sun and wind, slope and contours of the site, and compatibility with other vegetation that will remain on the site. Suggested species lists for street trees, shrubs and groundcovers shall be provided by the City of Wilsonville.

Response: All proposed landscaping materials are selected from the Villebois Plant List in the *Community Elements Book*. Specific materials were selected to best meet the site characteristics of the subject property.

- 3. Prohibited plant materials. The City may establish a list of plants that are prohibited in landscaped areas. Plants may be prohibited because they are potentially damaging to sidewalks, roads, underground utilities, drainage improvements, or foundations, or because they are known to be invasive to native vegetation.

Response: No plant materials listed as “Prohibited Plant Species” on the Villebois Plant List are included in the proposed landscaping.

F. Tree Credit.

Response: Tree credits are not applicable to this FDP application.

G. Exceeding Standards. Landscape materials that exceed the minimum standards of this Section are encouraged, provided that height and vision clearance requirements are met.

H. Compliance with Standards. The burden of proof is on the applicant to show that proposed landscaping materials will comply with the purposes and standards of this Section.

Response: The attached plans (see Exhibit VIB) and this report demonstrate that the proposed landscaping complies with the standards of the Wilsonville Development Code and the *Community Elements Book*.

(.07) Installation and Maintenance.

A. Installation. Plant materials shall be installed to current industry standards and shall be properly staked to assure survival. Support devices (guy wires, etc.) shall not be allowed to interfere with normal pedestrian or vehicular movement.

B. Maintenance. Maintenance of landscaped areas is the on-going responsibility of the property owner. Any landscaping installed to meet the requirements of this Code, or any condition of approval established by a City decision-making body acting on an application, shall be continuously maintained in a healthy, vital and acceptable manner. Plants that die are to be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City. Failure to maintain landscaping as required in this Section shall constitute a violation of this Code for which appropriate legal remedies, including the revocation of any applicable land development permits, may result.

C. Irrigation. The intent of this standard is to assure that plants will survive the critical establishment period when they are most vulnerable due to a lack of watering and also to assure that water is not wasted through unnecessary or inefficient irrigation. Approved irrigation system plans shall specify one of the following:

1. A permanent, built-in, irrigation system with an automatic controller. Either a spray or drip irrigation system, or a combination of the two, may be specified.
2. A permanent or temporary system designed by a landscape architect licensed to practice in the State of Oregon, sufficient to assure that the plants will become established and drought-tolerant.

3. Other irrigation system specified by a licensed professional in the field of landscape architecture or irrigation system design.
4. A temporary permit issued for a period of one year, after which an inspection shall be conducted to assure that the plants have become established. Any plants that have died, or that appear to the Planning Director to not be thriving, shall be appropriately replaced within one growing season. An inspection fee and a maintenance bond or other security sufficient to cover all costs of replacing the plant materials shall be provided, to the satisfaction of the Community Development Director. Additionally, the applicant shall provide the City with a written license or easement to enter the property and cause any failing plant materials to be replaced.

Response: Plants will be installed and maintained properly. A permanent-built-in irrigation system with an automatic controller will be installed underground to irrigate the proposed landscaping. Additional details about the irrigation system will be provided with construction plans.

- D. Protection. All required landscape areas, including all trees and shrubs, shall be protected from potential damage by conflicting uses or activities including vehicle parking and the storage of materials.

Response: The attached planting plans demonstrate that all landscape areas will be protected from potential damage by vehicle travel along streets and alleys.

(.08) Landscaping on Corner Lots.

All landscaping on corner lots shall meet the vision clearance standards of Section 4.177. If high screening would ordinarily be required by this Code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

Response: All landscaping at corners will meet the vision clearance standards of Section 4.177.

(.09) Landscape Plans.

Landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type, installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated. Landscape plans shall divide all landscape areas into the following categories based on projected water consumption for irrigation:

- A. High water usage areas (+/- two (2) inches per week): small convoluted lawns, lawns under existing trees, annual and perennial flower beds, and temperamental shrubs;

- B. Moderate water usage areas (+/- one (1) inch per week): large lawn areas, average water-using shrubs, and trees;
- C. Low water usage areas (Less than one (1) inch per week, or gallons per hour): seeded field grass, swales, native plantings, drought-tolerant shrubs, and ornamental grasses or drip irrigated areas.
- D. Interim or unique water usage areas: areas with temporary seeding, aquatic plants, erosion control areas, areas with temporary irrigation systems, and areas with special water-saving features or water harvesting irrigation capabilities.
These categories shall be noted in general on the plan and on the plant material list.

Response: The attached plans (see Exhibit VIB) include the required information listed in Section 4.176(.09).

(.10) Completion of Landscaping.

The installation of plant materials may be deferred for a period of time specified by the Board or Planning Director acting on an application, in order to avoid hot summer or cold winter periods, or in response to water shortages. In these cases, a temporary permit shall be issued, following the same procedures specified in subsection (.07)(C)(3), above, regarding temporary irrigation systems. No final Certificate of Occupancy shall be granted until an adequate bond or other security is posted for the completion of the landscaping, and the City is given written authorization to enter the property and install the required landscaping, in the event that the required landscaping has not been installed. The form of such written authorization shall be submitted to the City Attorney for review.

Response: The applicant does not anticipate deferring the installation of plant materials. Should it be necessary to defer installation of plant materials, the applicant will apply for a temporary permit.

(.11) Street Trees Not Typically Part of Site Landscaping.

Street trees are not subject to the requirements of this Section and are not counted toward the required standards of this Section. Except, however, that the Development Review Board may, by granting a waiver or variance, allow for special landscaping within the right-of-way to compensate for a lack of appropriate on-site locations for landscaping. See subsection (.06), above, regarding street trees.

Response: Street trees are not counted toward the required standards of this Section.

(.12) Mitigation and Restoration Plantings.

Response: No additional tree removal is proposed with the FDP. The PDP includes a concurrent Tree Removal Plan (see Section V of this Notebook) which addresses required tree mitigation.

SECTION 4.177. STREET IMPROVEMENT STANDARDS

(.01) Except as specifically approved by the Development Review Board, all street and access improvements shall conform to the Street System Master Plan, together with the following standards:

H. Access drives and lanes.

Response: The proposed parks are accessible from the adjacent street rights-of-way and/or pathways as shown on the attached plans. All streets and alleys accommodate 2-way traffic.

I. Corner or clear vision area.

1. A clear vision area shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. No structures, plantings, or other obstructions that would impede visibility between the height of 3- inches and 10 feet shall be allowed within said area. Measurements shall be made from the top of the curb, or, when there is no curb, from the established street center line grade. However, the following items shall be exempt:

- a. Light and utility poles with a diameter less than 12 inches.
- b. An existing tree, trimmed to the trunk, 10 feet above the curb.
- c. Official warning or street sign.
- d. Natural contours where the natural elevations are such that there can be no cross-visibility at the intersection and necessary excavation would result in an unreasonable hardship on the property owner or deteriorate the quality of the site.

Response: Landscaping at the corners of the parks will be less than 30 inches in height to assure that visibility is not blocked.

SECTION 4.178. SIDEWALK & PATHWAY STANDARDS

(.01) Sidewalks. All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.

Response: All sidewalks and pathways in the subject FDP area are at least 5 feet in width and concrete.

(.03) Pavement surface.

A. All bike paths shall be paved with asphalt to provide a smooth riding surface. Where pathways are adjacent to and accessible from improved public streets, the Public Works Director may require a concrete surface. At a minimum the current AASHTO "Guide for the

Development of Bicycle Facilities” and the State “Oregon Bicycle Plan” shall be used to design all bicycle facilities within the City of Wilsonville. Any deviation from the AASHTO, ODOT, and City standards will require approval from the City Engineer prior to implementation of the design.

- B. To increase safety, all street crossings shall be marked and should be designed with a change of pavement such as brick or exposed aggregate. All arterial crossings should be signalized.
- C. All pathways shall be clearly posted with standard bikeway signs.
- D. Pedestrian and equestrian trails may have a gravel or sawdust surface if not intended for all weather use.

Response: There are no bicycle pathways in this FDP area. Details about sidewalks in the public right-of-way were addressed in the PDP application (Section II of this Notebook). No Major or Minor pathways are identified on the subject property.

(.06) Pathway Clearance.

- A. Vertical clearance of at least 8 feet 6 inches shall be maintained above the surface of all pathways. The clearance above equestrian trails shall be a minimum of ten feet.
- B. All landscaping, signs and other potential obstructions shall be set back at least (1) foot from the edge of the pathway surface. No exposed rock should be permitted within two (2) feet of the path pavement and all exposed earth within two (2) feet of the pavement shall be planted with grass, sod or covered with 2" of barkdust.

Response: As shown on the attached plans, all potential obstructions are at least one foot from the edge of the pathway surfaces, and vertical clearance will be maintained.

SITE DESIGN REVIEW

SECTION 4.400. PURPOSE.

(.01) Excessive uniformity, inappropriateness or poor design of the exterior appearance of structures and signs and the lack of proper attention to site development and landscaping in the business, commercial, industrial and certain residential areas of the City hinders the harmonious development of the City, impairs the desirability of residence, investment or occupation in the City, limits the opportunity to attain the optimum use in value and improvements, adversely affects the stability and value of property, produces degeneration of property in such areas and with attendant deterioration of conditions affecting the peace, health and welfare, and destroys a proper relationship between the taxable value of property and the cost of municipal services therefore.

Response: No buildings are proposed within park areas. No signage is proposed, as the SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and

FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central Signage & Wayfinding Plan.

The proposed landscaping within the parks is designed in compliance with the standards for the rest of Villebois, so the entire development will have a cohesive, harmonious appearance, creating a desirable place of residence and adding to the overall quality of life in the City.

(.02) The City Council declares that the purposes and objectives of site development requirements and the site design review procedure are to:

- A. Assure that Site Development Plans are designed in a manner that insures proper functioning of the site and maintains a high quality visual environment.**

Response: The parks in the FDP area have been designed to assure proper functioning of the site and to maintain an aesthetically pleasing environment. The proposed landscaping and park design will add to the quality of the environment as well as the functioning of the site.

- B. Encourage originality, flexibility and innovation in site planning and development, including the architecture, landscaping and graphic design of said development;**

Response: The FDP includes landscaping as shown on the attached plans (Exhibit VIB), which will enhance the visual environment of the site. Pedestrian connections to sidewalks, trails, and adjacent residences will be provided to enhance the site's connectivity to surrounding uses.

- C. Discourage monotonous, drab, unsightly, dreary and inharmonious developments;**

Response: The FDP area will include landscaping as shown on the attached plans (see Exhibit VIB). Landscaping will consist of an appropriate mixture of ground cover, shrubs, and trees selected from the Villebois Plant List to create a harmonious appearance throughout the larger Villebois development. The proposed landscaping will contribute to an interesting and aesthetically appealing development.

- D. Conserve the City's natural beauty and visual character and charm by assuring that structures, signs and other improvements are properly related to their sites, and to surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping, and that proper attention is given to exterior appearances of structures, signs and other improvements;**

Response: The parks will incorporate landscaping that makes sense for a Pacific Northwest community, while matching the City's natural beauty and visual character.

- E. Protect and enhance the City's appeal and thus support and stimulate business and industry and promote the desirability of investment and occupancy in business, commercial and industrial purposes;**

Response: The parks, along with their pedestrian connections to adjacent residences and streets, will help to maintain the appeal of Villebois as a unique and attractive community in which to live, work, and recreate. Residents of Villebois will stimulate the local economy by opening new businesses and thus creating jobs and by spending money in existing businesses.

- F. **Stabilize and improve property values and prevent blighted areas and, thus, increase tax revenues;**

Response: The proposed parks will create neighborhood amenities that will help to maintain property values in this new community. A Home Owners Association will ensure that these areas are properly maintained over time.

- G. **Insure that adequate public facilities are available to serve development as it occurs and that proper attention is given to site planning and development so as to not adversely impact the orderly, efficient and economic provision of public facilities and services.**

Response: The process used to plan for Villebois incorporates a tiered system that originates at the *Villebois Village Master Plan*. The *Master Plan* shows how facilities, including parks and open space, are distributed and available to residents throughout Villebois.

Figure 5 - Parks & Open Space Plan of the Master Plan shows that approximately 33% of Villebois will be in parks and open space. Phase 6 Central will contain more areas for parks than originally shown for this area with SAP - Central, as demonstrated in the PDP (see Section II of this Notebook). This FDP is consistent with the PDP, SAP - Central, and the *Villebois Village Master Plan*, and therefore, complies with this criterion.

- H. **Achieve the beneficial influence of pleasant environments for living and working on behavioral patterns and, thus, decrease the cost of governmental services and reduce opportunities for crime through careful consideration of physical design and site layout under defensible space guidelines that clearly define all areas as either public, semi-private, or private, provide clear identity of structures and opportunities for easy surveillance of the site that maximize resident control of behavior -- particularly crime;**

Response: The *Villebois Village Master Plan* shows that the community will include a variety of housing options (living) and the Village Center will contain places for employment (working). This FDP shows a living environment in Phase 6 Central that is enhanced by proximity to park and open space areas. Residents who will surround the parks and open spaces will provide on-going surveillance and control.

- I. **Foster civic pride and community spirit so as to improve the quality and quantity of citizen participation in local government and in community growth, change and improvements;**

Response: The design of the Villebois Village has been created to develop a community that is truly unique. The City and Villebois Master Planner, as well as the Applicant, are working in partnership with nearby residents, property owners, and

local and regional governments to create a complete, livable, pedestrian-oriented community that will be an asset to the City of Wilsonville and Portland region. This partnership has generated citizen participation in the project and the unique design shall foster civic pride and community spirit amongst the residents of Villebois.

- J. **Sustain the comfort, health, tranquility and contentment of residents and attract new residents by reason of the City's favorable environment and, thus, to promote and protect the peace, health and welfare of the City.**

Response: The design of the Villebois Village revolves around three guiding principles: connectivity, diversity, and sustainability. These principles are intended to sustain the comfort, health, tranquility, and contentment of Villebois residents, while also promoting and protecting the peace, health and welfare of the City. *Connectivity* refers to creating connections between Villebois neighborhoods and between Villebois and other parts of the City and region for multiple modes of transportation. *Diversity* includes multiple choices of housing styles, housing affordability, recreation, employment, goods and services, and infrastructure for transportation. *Sustainability* involves the protection of natural resources and open space, energy conservation, and storm and rainwater management.

SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.

(.01) The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural styles is not included in these standards. (Even in the Boones Ferry Overlay Zone, a range of architectural styles will be encouraged.)

- A. **Preservation of Landscape.** The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soils removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

Response: As shown in the attached plans (see Exhibit VIB), proposed plant materials are drawn from the Villebois Plant List, which includes native species, to ensure consistency of general appearance within the Villebois community.

- B. **Relation of Proposed Buildings to Environment.** Proposed structures shall be located and designed to assure harmony with the natural environment, including protection of steep slopes, vegetation and other naturally sensitive areas for wildlife habitat and shall provide proper buffering from less intensive uses in accordance with Sections 4.171 and 4.139 and 4.139.5. The achievement of such relationship may include the enclosure of space in conjunction with other existing buildings or other proposed buildings and the creation

of focal points with respect to avenues of approach, street access or relationships to natural features such as vegetation or topography.

Response: Chapter 3 of the *Villebois Village Master Plan* takes into account scenic views, topography, existing vegetation, and other natural features in the design and location of parks and open spaces in the Villebois development. The FDP area does not include any steep slopes, sensitive wildlife habitat areas, wetlands, SROZ areas, or flood plains. The proposed parks are in addition to the parks shown in the *Master Plan* and SAP Central. Existing trees within the parks are maintained to the extent possible as reviewed in the concurrent PDP and Tree Removal Plan applications (see Sections II and V, respectively, of this Notebook).

- C. **Drives, Parking and Circulation.** With respect to vehicular and pedestrian circulation, including walkways, interior drives and parking, special attention shall be given to location and number of access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement of parking areas that are safe and convenient and, insofar as practicable, do not detract from the design of proposed buildings and structures and the neighboring properties.

Response: No driveways or parking areas are proposed or required with this FDP. The parks included in the FDP are all accessible from adjacent streets and pathways, as shown on the FDP plans (see Reduced Drawings in Section VIB).

- D. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties of the public storm drainage system.

Response: Surface water drainage is addressed in the PDP application (see Section II of Notebook). The FDP is consistent with grading and drainage shown in the PDP. This system has been carefully designed so as not to adversely affect neighboring properties.

- E. **Utility Service.** Any utility installations above ground shall be located so as to have an harmonious relation to neighboring properties and site. The proposed method of sanitary and storm sewage disposal from all buildings shall be indicated.

Response: The PDP application addresses utility installation (see Section II of Notebook). The FDP is consistent with the PDP.

- F. **Advertising Features.** In addition to the requirements of the City's sign regulations, the following criteria should be included: the size, location, design, color, texture, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.

Response: No advertising features are proposed in this FDP.

- G. **Special Features.** Exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall be required to prevent their being incongruous with the existing or contemplated environment and its surrounding properties. Standards for screening and buffering are contained in Section 4.176.

Response: This FDP does not propose any exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures or other accessory areas and structures. Compliance with Section 4.176 is addressed earlier in this report.

- (.02) The standards of review outlined in Sections (a) through (g) above shall also apply to all accessory buildings, structures, exterior signs and other site features, however related to the major buildings or structures.

Response: No accessory buildings or structures are proposed.

- (.03) The Board shall also be guided by the purpose of Section 4.400, and such objectives shall serve as additional criteria and standards.

Response: Compliance with the purpose of Section 4.400 has been addressed earlier in this report.

SECTION 4.440. PROCEDURE.

- (.01) **Submission of Documents.**

A prospective applicant for a building or other permit who is subject to site design review shall submit to the Planning Department, in addition to the requirements of Section 4.035, the following:

- A. A site plan, drawn to scale, showing the proposed layout of all structures and other improvements including, where appropriate, driveways, pedestrian walks, landscaped areas, fences, walls, off-street parking and loading areas, and railroad tracks. The site plan shall indicate the location of entrances and exits and direction of traffic flow into and out of off-street parking and loading areas, the location of each parking space and each loading berth and areas of turning and maneuvering vehicles. The site plan shall indicate how utility service and drainage are to be provided.
- B. A Landscape Plan, drawn to scale, showing the location and design of landscaped areas, the variety and sizes of trees and plant materials to be planted on the site, the location and design of landscaped areas, the varieties, by scientific and common name, and sizes of trees and plant materials to be retained or planted on the site, other pertinent landscape features, and irrigation systems required to maintain trees and plant materials. An inventory, drawn at the same scale as the Site Plan, of existing trees of 4" caliper or more is required. However, when large areas of trees are proposed

to be retained undisturbed, only a survey identifying the location and size of all perimeter trees in the mass in necessary.

- C. Architectural drawings or sketches, drawn to scale, including floor plans, in sufficient detail to permit computation of yard requirements and showing all elevations of the proposed structures and other improvements as they will appear on completion of construction. Floor plans shall also be provided in sufficient detail to permit computation of yard requirements based on the relationship of indoor versus outdoor living area, and to evaluate the floor plan's effect on the exterior design of the building through the placement and configuration of windows and doors.
- D. A Color Board displaying specifications as to type, color, and texture of exterior surfaces of proposed structures. Also, a phased development schedule if the development is constructed in stages.
- E. A sign plan, drawn to scale, showing the location, size, design, material, color and methods of illumination of all exterior signs.
- F. The required application fee.

Response: Section VIB of this notebook includes FDP plans that meet the requirements of Section 4.440 (.01). A copy of the application fee submitted is included in Exhibit IB of this notebook. Architectural Elevations & Floor Plans are included in Section VIC of this notebook.

The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central *Signage & Wayfinding Plan*. A copy of the required application fee is included in Exhibit IC.

SECTION 4.450. INSTALLATION OF LANDSCAPING.

(.01) All landscaping required by this section and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City shall be returned to the applicant.

Response: The applicant understands that they must provide a security to guarantee installation of the proposed landscaping.

(.02) Action by the City approving a proposed landscape plan shall be binding upon the applicant. Substitution of plant materials, irrigation systems, or other aspects of an approved landscape plan shall not be made without official action of the Planning Director or Development Review Board, as specified in this Code.

Response: The applicant understands that changes to the landscape plan included in this application cannot be made without official action of the Planning Director or the Development Review Board.

(.03) All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered with Board approval.

Response: The applicant understands that they are responsible for the ongoing maintenance of the proposed landscaping.

(.04) If a property owner wishes to add landscaping for an existing development, in an effort to beautify the property, the Landscape Standards set forth in Section 4.176 shall not apply and no Plan approval or permit shall be required. If the owner wishes to modify or remove landscaping that has been accepted or approved through the City's development review process, that removal or modification must first be approved through the procedures of Section 4.010.

Response: This FDP does not include any existing development; therefore this criterion does not apply.

II. VILLAGE CENTER ARCHITECTURAL STANDARDS

STANDARDS APPLYING TO ALL BUILDINGS

1.1 Building Types

The Building Type, as per Table V-1: Development Standards (Village Zone), sets the building height and setback requirements. Additionally, the character of each Address is derived, in part, from assumptions about the types of products that will be developed. Therefore, this document establishes the appropriate Building Type(s) for each Address. For example, the Architectural Standards for The Courtyard Address assumes that a Row House building type is most appropriate to the intended character of the space. Whether the dwelling units are apartments, condominiums, or fee-simple is beyond the scope of this document.

All buildings outside the Address overlays shall meet the development standards of the Village Zone per the proposed Building Type. Row houses outside of an Address overlay may be detached or attached and are subject to 'Row Houses - Village Center' in Table V-1: Development Standards (Village Zone).

Response: The proposed buildings are row houses. The subject row houses are outside the Address overlays and are sited in conformance with the standards of 'Row

Houses - Village Center' in *Table V-1: Development Standards (Village Zone)* as shown on the attached *Building Site Plan* in Section VIB of the Notebook.

1.2 Building Height and Roof Form

Intent: Strengthen the perception of streets and open spaces as public rooms by establishing a consistency of façade heights and roof forms.

Required Standards:

1. **Maximum Building Height shall be as required by Table V-1: Development Standards (Village Zone).**

Response: Maximum building height as measured from finished grade to midpoint of highest pitched roof and is below the maximum of 45'-0" for all proposed elevations, as shown on the attached Elevations in Section VIC of the Notebook.

2. **See Address for other height limitations, such as number of stories or Average Façade Height.**

Response: The proposed row houses are not located within an Address Overlay.

3. **Building Height measurement is defined in Section 4.001 Definitions (Village Zone).**

Response: Maximum building height was measured from finished grade to midpoint of highest pitched roof per the definition of building or structure height.

4. **Rooftop equipment shall be screened from view of taller buildings, whether existing or future, to the extent feasible.**

Response: No rooftop equipment is proposed on the subject row houses.

5. **At least two roof gardens within SAP Central shall be provided where appropriate to desired roof form (i.e. flat roofs)**

Response: Roof gardens are not appropriate for the row houses due to the fact that the roofs are not flat and they are individually owned homes.

Optional:

- Buildings are encouraged to approach the maximum allowable height or number of stories.
- Building design should minimize the impact of shading of public and private outdoor areas from mid-morning and mid-afternoon hours.

Response: Proposed Row Houses are three stories in height.

1.3 Horizontal Façade Articulation

Intent: Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. **Horizontal articulation:** Horizontal facades shall be articulated into smaller units. Appropriate methods of horizontal façade articulation include two or more of the following elements: change of facade materials, change of color, facade planes that are vertical in proportion, bays and recesses, breaks in roof elevation, or other methods as approved. (See individual Address for allowed and encouraged methods of horizontal articulation.)

Response: Horizontal articulation is achieved by façade planes that are vertical in proportion and include bays and recesses as well as breaks in roof elevation.

2. **Building facades should incorporate design features such as offsets, projections, reveals, and/or similar elements to preclude large expanses of uninterrupted building surfaces.**

Response: The proposed row houses incorporate projections of two stories of bay windows above the first floor to break down the scale of the buildings. The elevations show the use of colors and materials, as well as trim or shutters, to break down the scale of the buildings.

Optional:

- **Articulation should extend to the roof. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.**

Response: The articulation in the proposed row houses extends to the roof through the use of dormers.

2.1 Vertical Façade Articulation for All Mixed Use Buildings

Intent: Establish a distinct vertical façade separation consistent with historic village centers. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. **Vertical mixed-use buildings shall express a division between base and top. At least two of the following methods of horizontal articulation shall be incorporated:**
 - a) **Change of material;**
 - b) **Change of color, texture, or pattern of similar materials;**
 - c) **Change of structural expression (for example, pilasters with storefronts spanning between at the base and punched openings above);**
 - d) **Belt course or signage band; and/or**
 - e) **Line of canopies and/or awnings. To meet this strategy, canopies or awnings shall project at least 4 feet and cover at least 70% of the façade length.**

Response: N/A. None of the proposed buildings are mixed use buildings.

2. When used, an arcade alone is sufficient to meet the requirement of differentiation of a building's base. An arcade may be attached or recessed and shall be sufficient in depth and height so as to be used as a passageway.

Response: N/A. None of the proposed buildings are mixed use buildings.

Optional:

- The division between base and top should occur at or near the floor level of programmatic division. Example: a building with one story of retail, one story of office, and two stories of residential would have a two-story base.
- Storefront design should be substantially different from the residential window detailing.
- Differentiation of a building's base should extend to building's corners but may vary in height. If building is at a corner, all facades must meet the requirement. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.
- Base design should incorporate design features such as recessed entries, shielded lighting, projecting signage, masonry storefront base, and/or similar elements to preclude long expanses of undistinguished ground level uses.

Response: N/A. None of the proposed buildings are mixed use buildings.

3.1 Exterior Building Materials and Color

Intent: Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. When multiple materials are used on a façade, visually heavier and more massive materials shall occur at the building base, with lighter materials above the base. A second story, for example, shall not appear heavier or demonstrate greater mass than the portion of the building supporting it. Generally, masonry products and concrete are considered "heavier" than other façade materials.

Response: Heavier materials are not proposed on the upper floors. Brick materials are proposed along the first floor of the row homes, below the windows and wrapping around the doors. Thus, the upper stories of the row houses do not appear to be heavier or demonstrate greater mass than the portion of the building supporting it.

2. Bright, intense colors shall be reserved for accent trim. However, a color palette that includes more intense color may be considered upon review of a fully colored depiction of the building.

Response: The building color and material palette contains no bright or intense colors.

3. Bright colors shall not be used for commercial purposes to draw attention to a building.

Response: N/A. None of the proposed buildings are commercial buildings.

4. Concrete block shall be split-faced, ground-faced, or scored where facing a street or public way. Concrete block is discouraged around the plaza.

Response: N/A. No concrete block is used in these buildings.

5. Exteriors shall be constructed of durable and maintainable materials that have texture, pattern, or lend themselves to quality detailing.

Response: Varied durable exterior materials have been used on the buildings that include quality detailing, textures and patterns.

Optional:

- Exterior materials should have an integral color, patterning, and/or texture.
- Sustainable building materials and practices are strongly encouraged. Programs such as the Portland General Electric Earth Advantage and the LEED Building Certification Program of the U.S. Green Building Council may be used as guides in this regard.

Response: The builder will participate in the Portland General Electric Earth Advantage program.

3.2 Architectural Character

Intent: Encourage creative expression through diversity of architectural character. Ensure consistency and accuracy of architectural styles.

Required Standards:

1. Each building shall have a definitive, consistent Architectural character (see glossary). All primary facades of a building (those facades that face a public street) shall be designed with building components and detail features consistent with the architectural character of the building.

Response: The architectural character of the primary facades of each building is consistent, but articulated in such a way as to create diversity within that character. Row Home buildings will alternate between French Revival and English Revival styles.

2. Mixing of various Architectural Styles (see glossary) on the same building dilutes the character and is therefore not allowed. If a historic architectural style is selected, then all detail and trim features must be consistent with the architectural style.

Response: Architectural styles are not mixed on the same building.

3. Secondary facades attached to a primary façade (such as a side wall not facing a public street) shall wrap around the building by incorporating building material features to the primary façade for a minimum of 25 percent of the overall wall length measured from the primary façade.

Response: The street facing side elevation of the building incorporates the same materials and detailing as the front elevation.

4. All visible sides of buildings should display a similar level of quality and visual interest. The majority of a building's architectural features and treatments should not be restricted to a single façade.

Response: A majority of the detailing and materials wrap around to the street facing side elevations of the building. Materials and details included on the front elevations such as finishes, trim and window patterns are incorporated into the side elevations.

5. Accessory buildings should be designed and integrated with the primary building. Exterior facades of an accessory building should employ architectural, site, and landscaping design elements that are integrated with and common to those used on the primary structure.

Response: There are no accessory buildings proposed.

6. Applicants are encouraged to consult an architect or architectural historian regarding appropriate elements of architectural style.

Response: The buildings have been designed by Milbrandt Architects, Inc., P.S.

7. In areas not within an address, building elevations of block complexes shall not repeat an elevation found on an adjacent block.

Response: The row houses are not within an Address. The row houses do not repeat an elevation found on an adjacent lot.

3.3 Ground Level Building Components

Intent: Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Required Standards:

1. Building setbacks and frontage widths shall be as required by Table V-1: Development Standards unless specifically noted otherwise by an Address requirement. Detached row houses shall not be separated at front façade by more than 10 feet, except as necessary to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, open space requirements, or as otherwise approved by the Development Review Board.

Response: The attached Building Site Plan in Section VIB of the Notebook demonstrates that the proposed Row Homes will be sited in compliance with the applicable setbacks for Village Center - Row Houses. Table V-1 specifies a minimum frontage width for Village Center - Row Houses as 80%. Most of the Row House lots will meet or exceed the minimum 80% frontage width, except for corner lots (lots 285, 289, 308 and 315) and lots with end units accommodating the curve radius of the street frontage (lots 288, 289, 293, 294, 311 and 312), as allowed by footnote 11 of Table V-1. The frontage widths of these excepted lots is listed as follows:

- Lot 285 - 51%
- Lot 288 - 65%
- Lot 289 - 63%
- Lot 291 - 61%
- Lot 294 - 60%
- Lot 298 - 73%
- Lot 308 - 63%
- Lot 311 - 73%
- Lot 312 - 73%
- Lot 315 - 61%

2. Retail shall be oriented toward the adjacent street or public way and have direct access from sidewalks through storefront entries. Secondary entry from the parking lot side is allowed, however the street side shall have the primary entrance.

Response: N/A. This project contains no retail establishments.

3. Mixed use buildings: residential entries, where opening to streets and public ways, shall be differentiated from adjacent retail entries and provide secure access through elevator lobbies, stairwells, and/or corridors.

Response: N/A. No mixed use buildings are proposed with this project.

4. All entries, whether retail or residential, shall have a weatherproof roof covering, appropriate to the size and importance of the entry but at least 4 feet deep and 4 feet wide.

Response: All units have covered entries that are at least 4' deep and 4' wide.

5. Building lighting, when provided, shall be indirect or shielded.

Response: All exterior building lighting shall consist of shielded fixtures.

6. Parking structures shall be screened from streets using at least two of the following methods:
 - a) Residential or commercial uses, where appropriate;
 - b) Decorative grillwork (plain vertical or horizontal bars are not acceptable);
 - c) Decorative artwork, such as metal panels, murals, or mosaics; and/or

- d) Vegetation, such as trees, shrubs, ground cover and/or vines, adjacent to the wall surface.

Response: N/A - no parking structure included in this project.

7. For mixed-use buildings, within the plaza address every storefront window shall have a canopy or awning.

Response: N/A - no mixed-use buildings included in this project.

8. Reflective, heavily tinted, or other sight-obscuring glass is strongly discouraged in commercial spaces and on windows larger than four square feet.

Response: N/A - no commercial spaces or windows larger than four square feet proposed.

9. Landscaping or other form of screening shall be provided when parking occurs between buildings and the street.

Response: No parking occurs between the buildings and the street.

Optional:

- Create indoor/outdoor relationships by opening interior spaces onto walkways and plazas and bring the “outdoors” into the building by opening interior spaces to air and light. Overhead garage doors, telescoping window walls, and low window sill heights are good strategies for creating indoor/outdoor relationships.
- The primary function of canopies and awnings is weather protection. Signage requirements are found in the Signage and Wayfinding Plan.

Response: All of the row houses include covered front entryways and courtyards in the front yard. Front windows open onto the courtyards, creating indoor/outdoor relationships. No canopies or awnings are proposed. No signage is proposed.

4.1 Façade Components

Intent: Maintain a lively and active street face. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. Windows and doors shall be recessed 3 inches (i.e., into the façade) to provide shadowing. Windows and doors recessed less than 3 inches are allowed, provided they also incorporate at least one of the following:
 - a. Shutters, appearing operable and sized for the window opening;
 - b. Railing, where required at operable doors and windows (i.e. French balcony); and/or
 - c. Visible and substantial trim. Trim is considered visible and substantial when it is of a contrasting material, color, or it creates shadowing. Stucco trim on a stucco façade is not acceptable.

Response: All windows and doors incorporate visible and substantial trim of a contrasting color.

2. Balconies shall extend no more than 36 inches beyond the furthest adjacent building face. Balconies are encouraged to extend into the building façade to achieve greater depth than 36 inches.

Response: PDP 6C does not include balconies on the front or side facades in the public view shed.

3. Shutters, where provided, shall be sized to appear operable at window or door openings.

Response: Where shutters are provided, they are sized to appear operable at window openings.

4. Except in the Plaza Address, balconies shall be at least 5 feet deep.

Response: PDP 6C includes second level decks on the rear façade that will range 3-5' in depth depending on location.

Optional:

- Individual residential windows should be square or vertical in proportion. An assembly of windows, however, may have an overall horizontal proportion.
- Material changes should occur at a horizontal line or at an inside corner of two vertical planes.
- Every residential unit is encouraged to have some type of outdoor living space: balcony, deck, terrace, stoop, etc.
- Expression of the rainwater path (conveyance or rainwater from the building roof to the ground) should be expressed at street-facing facades. Expression of the rainwater path includes the use of scuppers and exposed gutters and downspouts. Some of the Village Center streets feature surface rainwater drainage; where applicable, buildings shall have downspouts connected to the drainage system.
- Building fronts are encouraged to take on uneven angles as they accommodate the shape of the street.
- Encourage wide opening windows. Install small window panes where the style of the architecture dictates.
- The use of high window sill is discouraged.
- The use of finishing touches and ornament is encouraged on buildings.

Response: All windows are either square or vertical in proportion. All row houses have courtyards and covered front entryways.

5.1 Fencing

Intent: Ensure that fencing is compatible with the building design and consistent throughout the Village Center.

Required Standards:

1. See all applicable sections of the Village Zone, including but not limited to Section 4.125(.14) Table V-4: Permitted Materials and Configurations and Section 4.125(.05)D. Fences.

Response: Proposed fencing is shown on the attached plans and will be constructed of materials consistent with *Table V-3*, which applies to Row Houses.

2. The following fencing requirements apply to all fences and walls located between right-of-ways and building lines.

Response: Proposed fencing will comply with the following requirements as demonstrated below.

3. See Address overlay sections for additional requirements.

Response: The project is not located within an Address Overlay.

4. Except where specifically required by Address overlays, fences are optional. Less fencing than the maximum allowable extent is allowed.

Response: Proposed fencing is shown on the attached plans (see Exhibit IIIB).

5. Fencing shall be consistent with the Architectural Character of adjacent buildings. See Architectural Character, this section.

Response: Proposed fencing is designed to be consistent with the architectural character of the adjacent row houses.

6. Fencing controlling access to a courtyard, outdoor lobby, or other public entries shall be greater than 50% transparent.

Response: The project does not include public entry spaces.

7. Fencing located within the first 2'-0" setback from right-of-ways shall be greater than 50% transparent.

Response: Proposed fencing is a low courtyard wall that does not exceed 3' in height.

8. Fencing located within interior side yards or separating buildings on the same lot shall be offset 4'-0" or greater behind the adjacent front building line.

Response: No fencing within interior side yards is proposed.

9. Posts, pilasters, columns, or bollards may extend an additional 8" above the maximum height of any allowed fencing.

Response: Posts, pilasters, columns, or bollards will not extend more than 8” above the maximum height of any proposed fencing.

10. Fencing may not change height at corners. They must have level top surfaces and transition at posts to maintain height as required changes in grade elevation.

Response: Proposed fencing does not change height at corners.

11. Loading facilities, trash enclosures, and ground-level mechanical and utility equipment: These facilities shall be sited at the rear or side of buildings wherever practicable, and shall be screened where visible from the street. Screening shall match the adjacent development in terms of quality of materials and design. Such screening shall minimize light glare and noise levels affecting adjacent residential uses.

Response: The project does not include any loading facilities, trash enclosures, or ground-level mechanical & utility equipment.

Optional:

- Fencing is encouraged to be consistent with building railing at balconies, decks, porches, etc.

Response: Proposed fencing will be consistent with building railings at the front porches.

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Final Development Plan. Therefore, the applicant requests approval of this application.

VIB) Reduced Drawings

PHASE 6 CENTRAL VILLEBOIS ROW HOMES FINAL DEVELOPMENT PLAN

TL 3500, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Stret
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

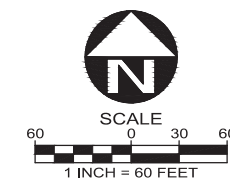
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- | | |
|-------|----------------------------|
| 1 | COVER SHEET |
| 2 | BUILDING SITE PLAN |
| L1 | PLANTING PLAN |
| L2 | PLANTING DETAILS AND NOTES |
| T1-T6 | ARCHITECTURAL PLANS |



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

FDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

COVER
SHEET

1ST SUBMITTAL DATE 3/23/2015





Villebois



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

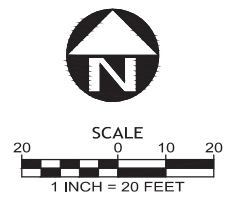
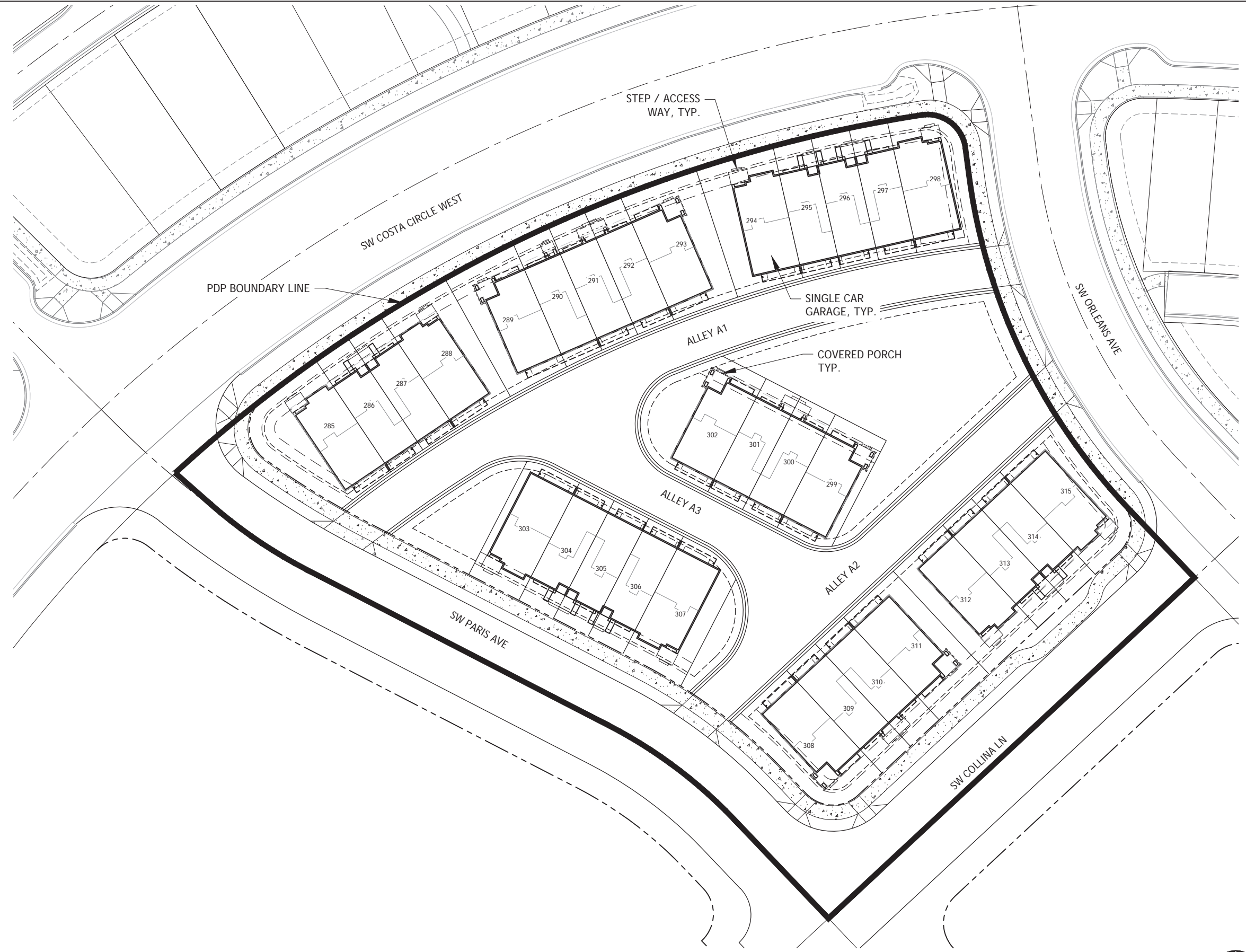
FDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

BUILDING
SITE PLAN

1ST SUBMITTAL DATE 3/23/2015

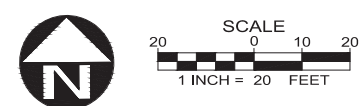
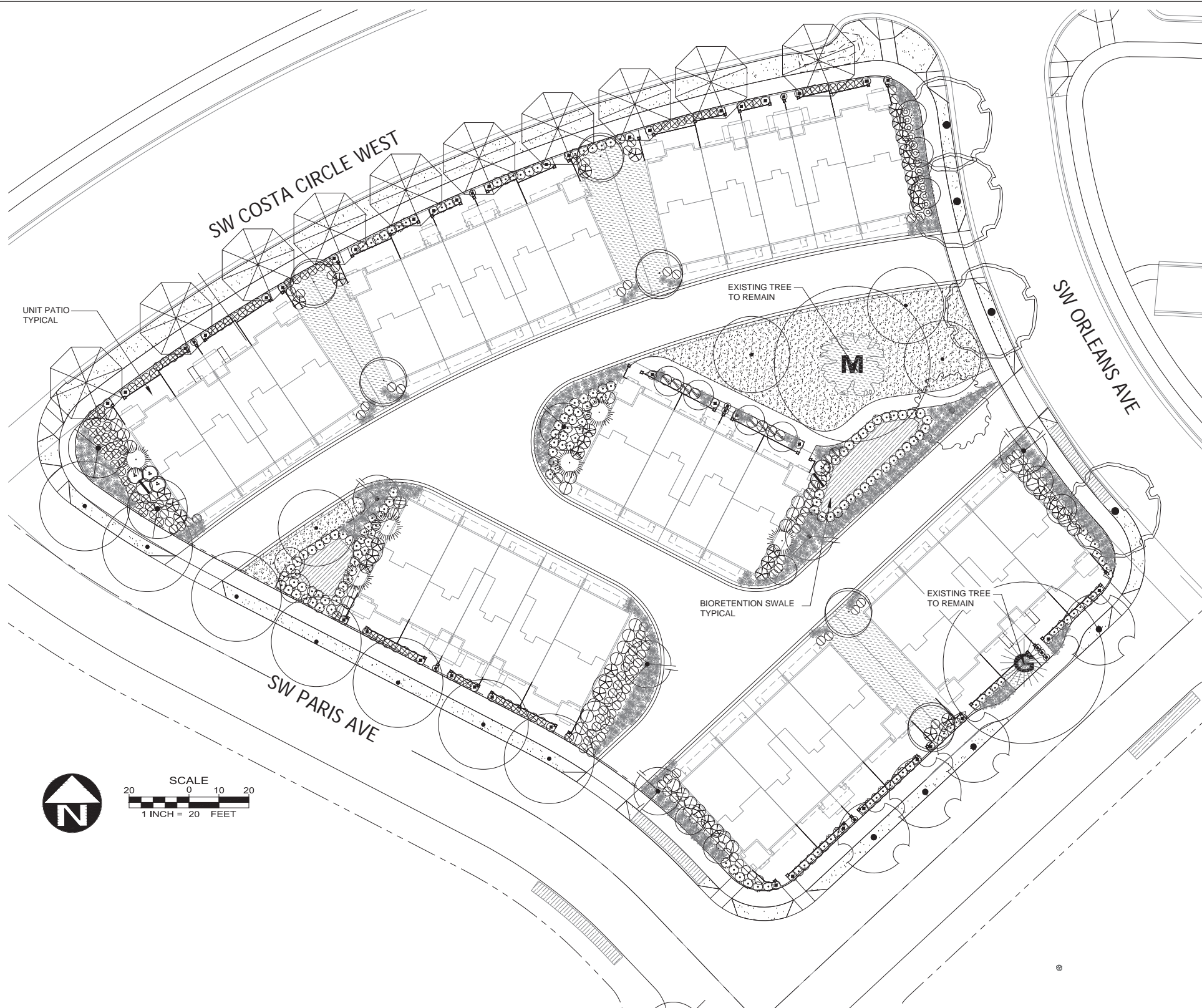
2



ELEVATION DATUM: NAVD 88

N:\proj\395-058\09 Drawings\03 Planning\Sheets - FDP\395058 (2) BUILDING SITE.dwg - SHEET: 2x34 Mar. 23, 15 - 4:36 PM brian

N:\proj\395-058\09 Drawings\03 Planning Sheets - FDP\395058-STREETTREE-FDP-(L1).dwg - SHEET L1 May, 5, 15 - 3:00 PM kel



ELEVATION DATUM: NAVD 88

STREET TREE LEGEND:

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	10	TULIP TREE / LIRIODENDRON TULIPIFERA	2.5" cal., B&B	25' o.c.
	4	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2.5" cal., B&B	25' o.c.
	7	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	4	CRIMEAN LINDEN / TILIA X EUCHLORA	2.5" cal., B&B	25' o.c.

PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.

BIORETENTION CELL

PLANTING LEGEND:

TREES

SYMBOL	COMMON NAME / BOTANICAL NAME:	SIZE AND DESCRIPTION
	RED SUNSET MAPLE / Acer rubrum 'Franksred':	2 Cal., B&B
	VINE MAPLE / Acer circinatum:	2" Cal., B&B
	JAPANESE MAPLE / ACER PALMATUM:	8' HT.
	INCENSE CEDAR / Calocedrus decurrens:	8' HT., B&B
	CHINESE KOUSA DOGWOOD / Cornus kousa 'Chinensis':	2" Cal., B&B
	CHINESE REDBUD / Cercis chinensis:	2" Cal., B&B
	SHIROFUGEN CHERRY / Prunus serrulata 'Shirofugen':	2" Cal., B&B

SHRUBS

SYMBOL	COMMON NAME / BOTANICAL NAME:	SIZE AND DESCRIPTION
	'NIKKO BLUE' HYDRANGEA / HYDRANGEA MACROPHYLLA 'NIKKO BLUE':	3 GAL.
	DAVID VIBURNUM / VIBURNUM DAVIDII:	2 GAL.
	DOUBLEFILE VIBURNUM / VIBURNUM PLICATUM 'TOMENTOSUM':	3 GAL.
	COMPACT JAPANESE HOLLY / ILEX CRENATA 'COMPACTA':	3 GAL.
	DWARF BURNING BUSH / EUONYMUS ALATA 'COMPACTA':	3 GAL.
	ANTHONY WATERER SPIREA / SPIREA BUMALDA 'ANTHONY WATERER':	3 GAL.
	RHODODENDRON 'PJM':	24"-30", B&B, 5' O.C.
	RHODODENDRON 'JEAN MARIE DE MONTEGUE':	3 Gal
	CAROL MACKIE DAPHNE / DAPHNE BURKWOODII 'CAROL':	3 GAL.
	REEVES SKIMMIA / SKIMMIS REEVESIANA:	3 Gal.
	ISANTI REDOSER DOGWOOD / CORNUS SERICEA 'ISANTI':	3 Gal.
	HOOGENDORN JAPANESE HOLLY / ILEX CRENATA 'HOOGENDORN':	3 GAL., 3' O.C.

ORNAMENTAL GRASSES AND GROUNDCOVERS

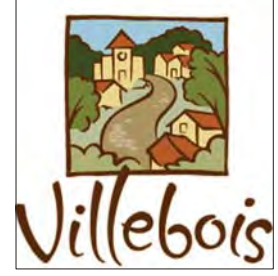
SYMBOL	COMMON NAME / Botanical name:	Size and Description
	DWARF FOUNTAIN GRASS / Pennisetum alopecuroides 'Hamlen':	1 Gal.
	MULCH	3" MIN. DEPTH, MEDIUM TO FINE GROUND DOUGLAS FIR
	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8 LBS/1000 SQUARE FEET.	

NOTE:
 1. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

BIORETENTION CELL PLANTING LEGEND

TREES/SHRUBS

SYMBOL	COMMON NAME / Botanical name:	Size and Description
	WEeping ALASKAN CEDAR / Chamaecyparis nootkatensis 'Pendula':	7-8' Ht., B&B
	PACIFIC DOGWOOD / Cornus nuttallii:	2" Cal., B&B
	NOOTKA ROSE / Rosa nutkana:	#1 CONTAINER
	RED TWIG DOGWOOD / Cornus sericea:	#1 CONTAINER
	KELSEY DOGWOOD / Cornus sericea 'Kelseyi':	#1 CONTAINER
	SNOWBERRY / Symphoricarpos alba:	#1 CONTAINER
	'WET/MOIST' AREA PLUGS: (4" PLUGS @ 12" O.C.)	
	SLOUGH SEDGE / Carex obnupta	34%
	SOFT RUSH / Juncus tenuis	33%
	SMALL FRUITED BULRUSH / Scirpus microcarpus	33%



OTTEN LANDSCAPE ARCHITECTS, INC
 GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

FDP 6C
 VILLEBOIS
 ROW HOMES

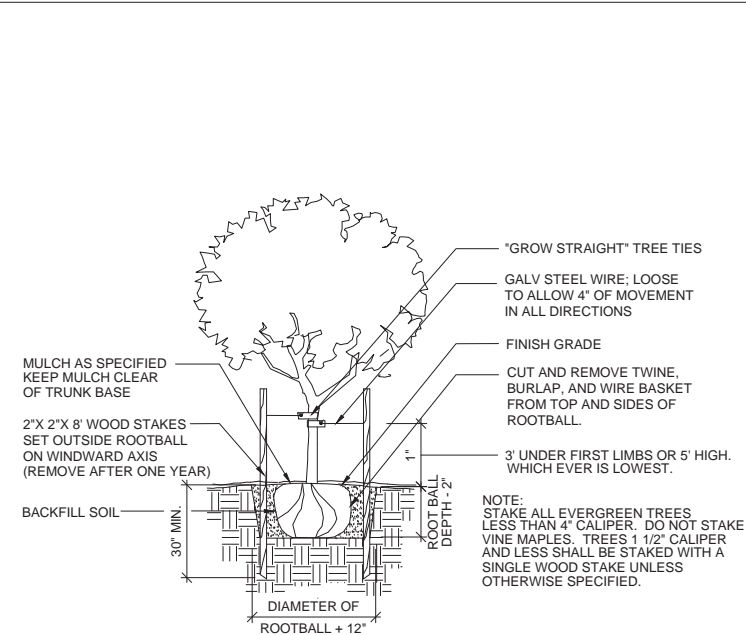
Preliminary Development
 Plan
 &
 Final Development Plan

**PLANTING
 PLAN**

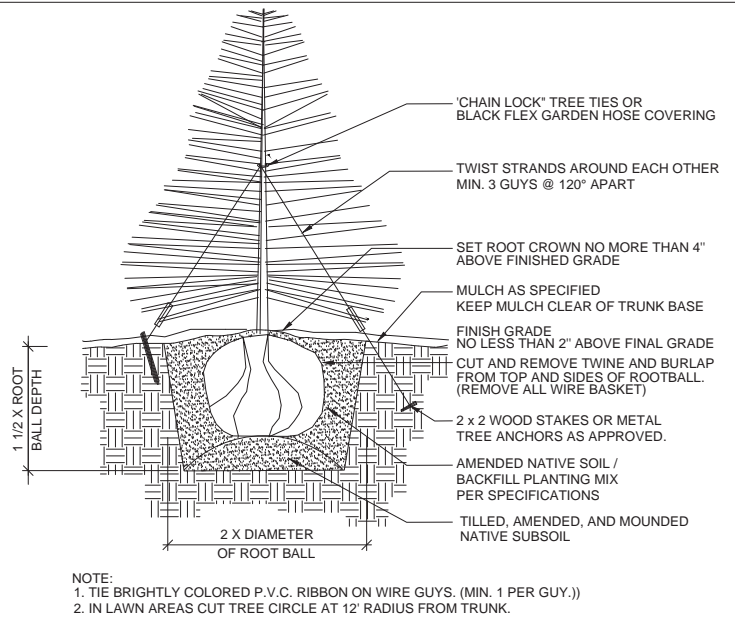
1ST SUBMITTAL DATE 3/23/2015



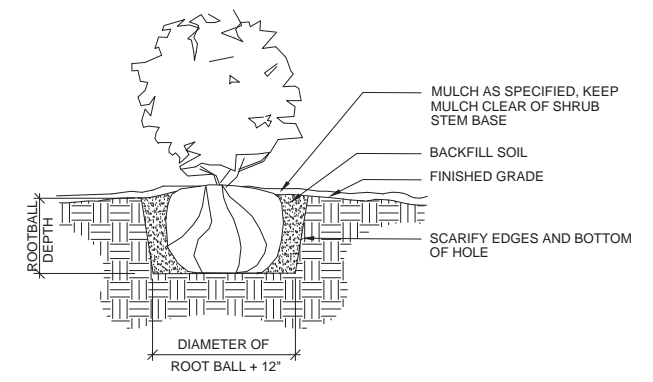
N:\proj\395-058\09 Drawings\03 Planning\Sheets - FDP\395058-STREET-TREE-FDP-(L2).dwg - SHEET: L2 May, 5, 15 - 1:42 PM .kel



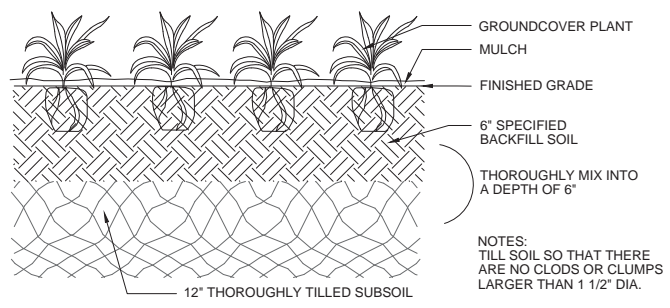
TREE STAKING DETAIL
SCALE: N.T.S.



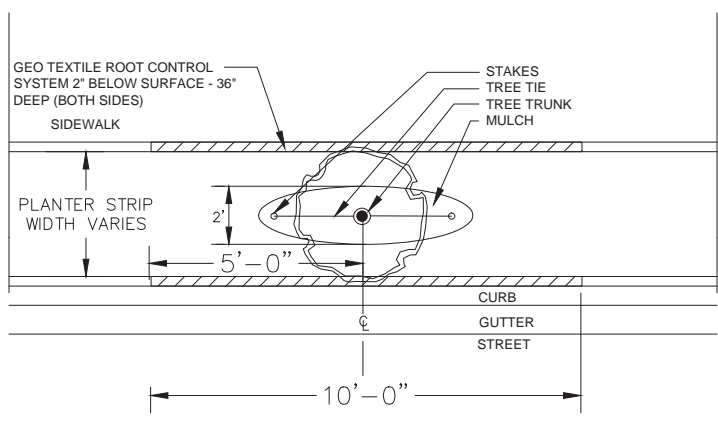
CONFIER TREE GUYING DETAIL
SCALE: N.T.S.



SHRUB PLANTING DETAIL
SCALE: N.T.S.



GROUNDCOVER PLANTING DETAIL
SCALE: N.T.S.

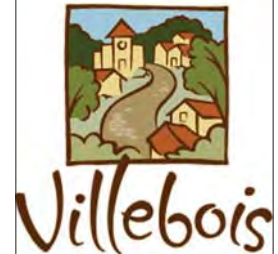


TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY
SCALE: N.T.S.

GENERAL NOTES: LANDSCAPE PLAN

1. THE CONTRACTOR SHALL VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO ODR.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN A BARK MULCH BED, UNLESS NOTED OTHERWISE.
5. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
7. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEIOUS MATERIAL OR DEBRIS.
8. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT TAG AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
9. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
10. WITH THE EXCEPTION OF THOSE TREES INDICATED ON THE TREE REMOVAL PLAN, CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ODR. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE ODR.
11. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY ODR TO ADJUST TREE LOCATIONS.
12. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE ODR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
13. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
14. BACK FILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO ONE PART TOPSOIL BY VOLUME, BONE MEAL PER MANUFACTURE'S RECOMMENDATION, AND SLOW RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATION.
15. GROUND COVERS AND PERENNIALS SHALL BE PLANTED WITH A MAXIMUM 2 INCH COVER OF BARK MULCH WITH NO FOLIAGE COVERED.
16. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
17. ALL PLANT MATERIALS SHALL BE NURSERY GROWN WITH HEALTHY ROOT SYSTEMS AND FULL BRANCHING, DISEASE AND INSECT FREE AND WITHOUT DEFECTS SUCH AS SUN SCALD, ABRASIONS, INJURIES AND DISFIGUREMENT.
18. ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE AND QUANTITY SPECIFIED. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SUB-STANDARD RESULTS CAUSED BY REDUCTION IN SIZE AND/OR QUANTITY OF PLANT MATERIALS.

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

FDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

PLANTING
DETAILS &
NOTES

1ST SUBMITTAL DATE 3/23/2015

L2

VIC) Elevations & Floor Plans



4-PLEX

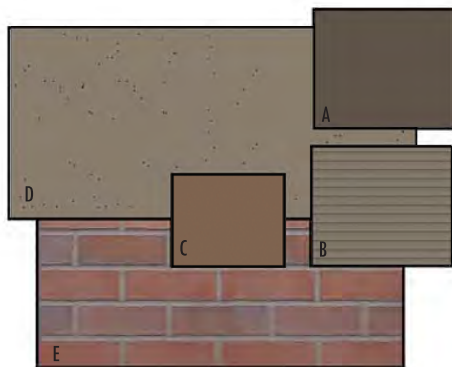
1/4" = 1'-0"

FRONT ELEVATION

ENGLISH REVIVAL

Color Legend

- (A) ACCENT 1
TRIM & COLUMNS
ENDURING BRONZE (S.W 7055)
- (B) ACCENT 2
5" LAP SIDING
BACKDROP (S.W 7025)
- (C) ACCENT 3
DOORS
BURNISHED BRANDY (S.W 7523)
- (D) BODY
STUCCO SIDING
BACKDROP (S.W 7025)
- (E) BASE
BRICK VENEER
AUTUMN BLEND - SMOOTH



- COMPOSITION ROOFING
- FIBER-CEMENT LAP SIDING WITH 2" EXPOSURE
- 6x8 WOOD CORBELS AT SOFFIT CREATED BY GABLE CANTILEVER
- 2-PIECE BARGE TRIM:
1x2 OVER 3/4x8
6" OVERHANG, TYP.
- METAL GUTTER OVER 5/4x6 FASCIA
12" OVERHANG, TYP.
- 2x6 TRIM FOR HALF TIMBER APPEARANCE
- FIBER-CEMENT STUCCO PANELS, TYP.
- EXTRUDED VINYL WINDOWS
- 2-PIECE WATER TABLE TRIM
- BRICK VENEER WITH "USED BRICK" APPEARANCE
- RAISED CONCRETE PORCH EXPOSED AGGREGATE WALKING SURFACE

Polygon at Villebois

Villebois Central PDP 6C
Wilsonville, Oregon

Polygon Northwest Company

Villebois Rowhomes

English Revival

Scale: 1/4" = 1'-0" Drawn By: JDP, AJC Date: 6-30-15 Date Plotted: 6-30-15

Sheet No.:
T2
Job No.:
1509

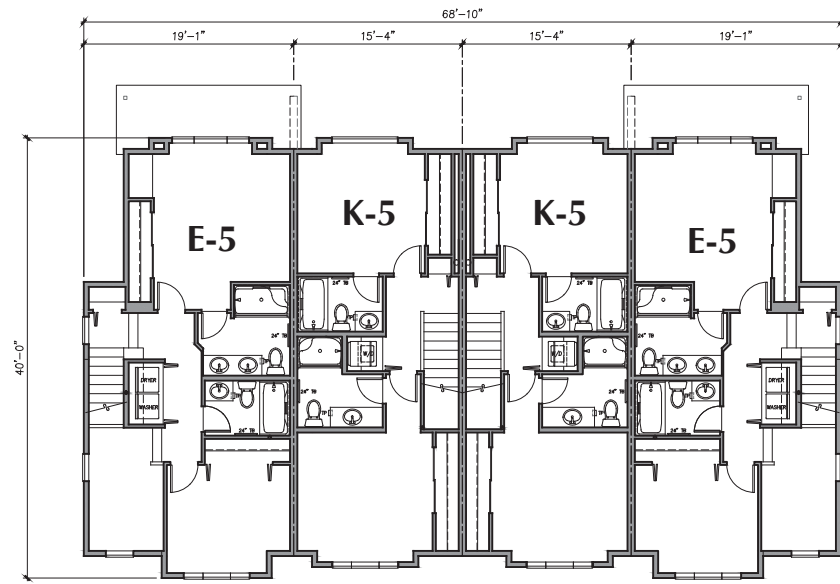


4-PLEX

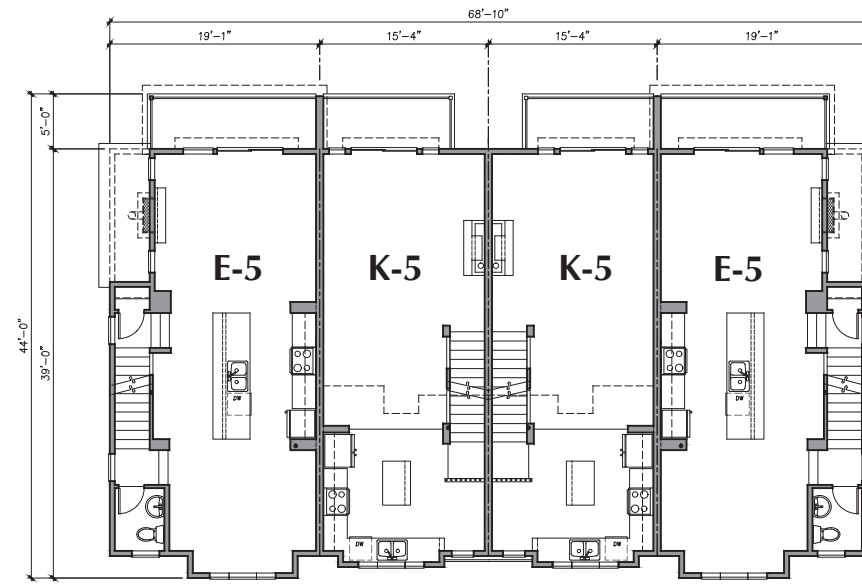
1/4" = 1'-0"

REAR ELEVATION

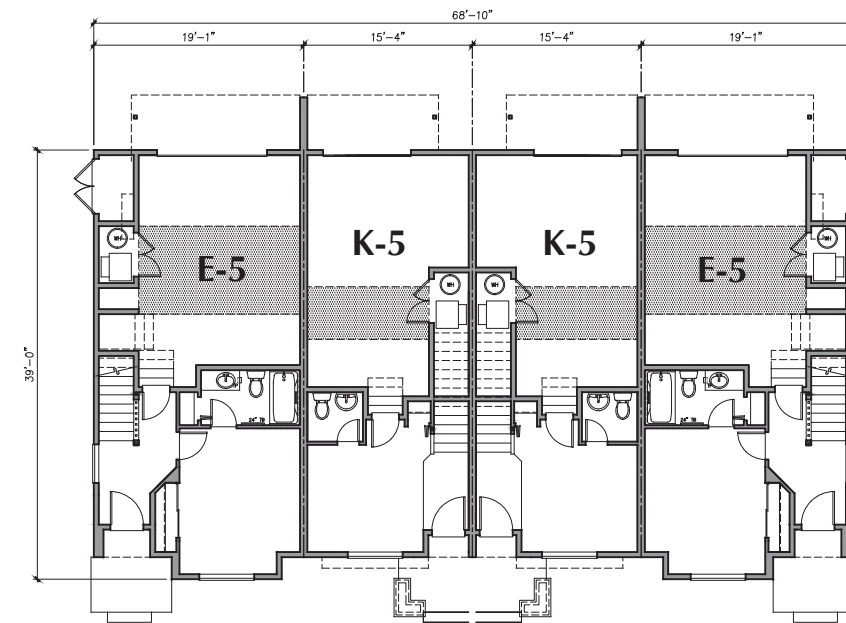
ENGLISH REVIVAL



4-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



4-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



4-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL

H:\1517\ROWHOMES\4-PLEX FLAT ENGLISH REVIVAL.DWG

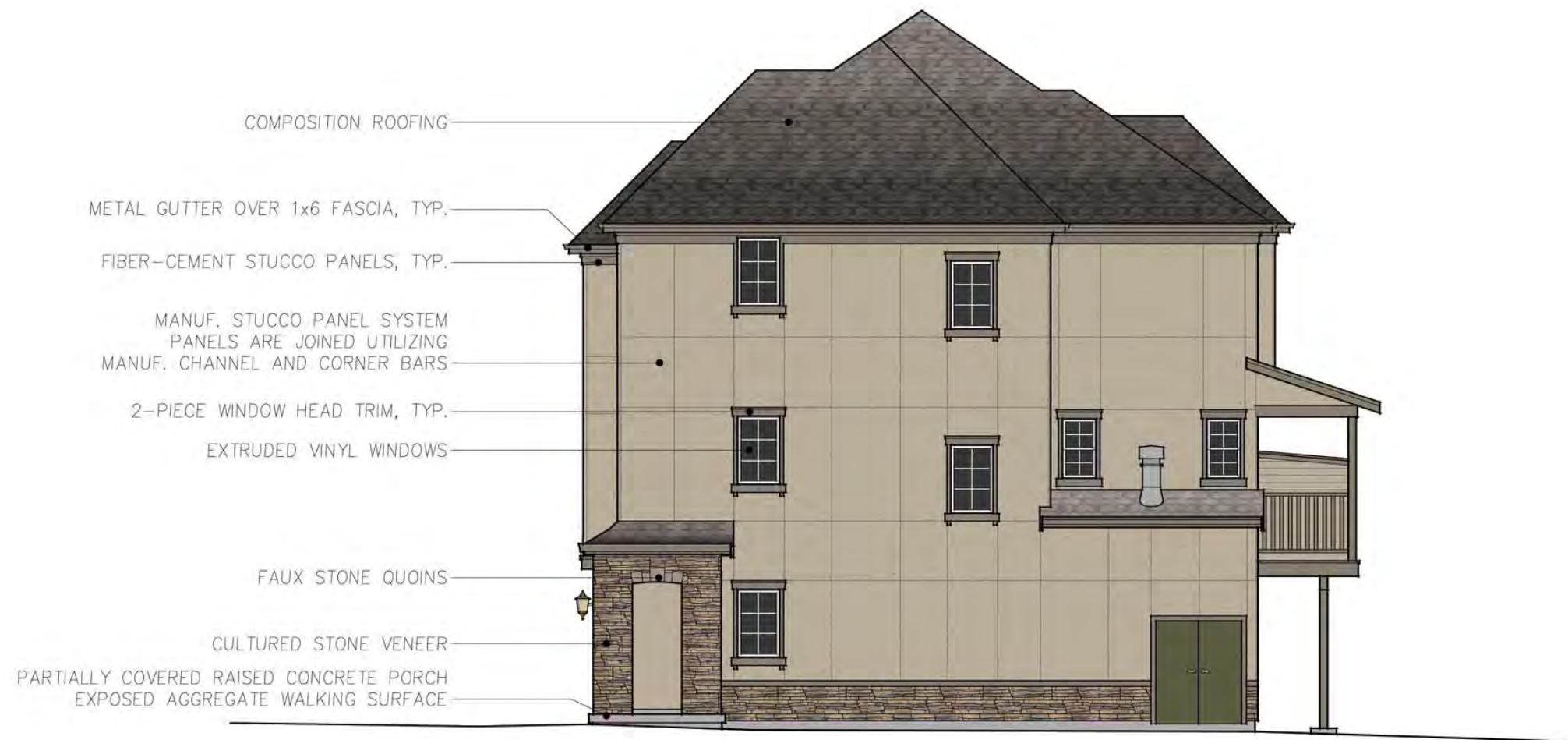


4-PLEX

1/4" = 1'-0"

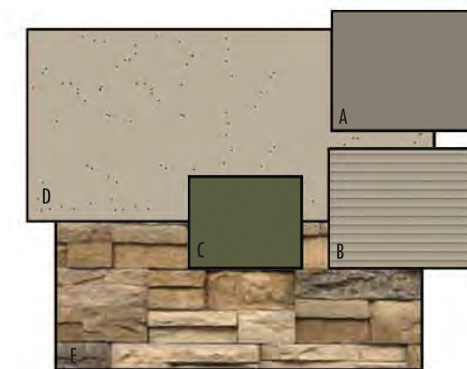
FRONT ELEVATION

FRENCH REVIVAL



Color Legend

- | | |
|--|--|
| (A) ACCENT 1
TRIM
BACKDROP (S.W 7025) | (D) BODY
STUCCO SIDING
AVENUE TAN (S.W 7543) |
| (B) ACCENT 2
5" LAP SIDING
AVENUE TAN (S.W 7543) | (E) BASE
STONE VENEER
GLACIER VALLEY |
| (C) ACCENT 3
DOORS AND SHUTTERS
SECRET GARDEN (S.W 6181) | |



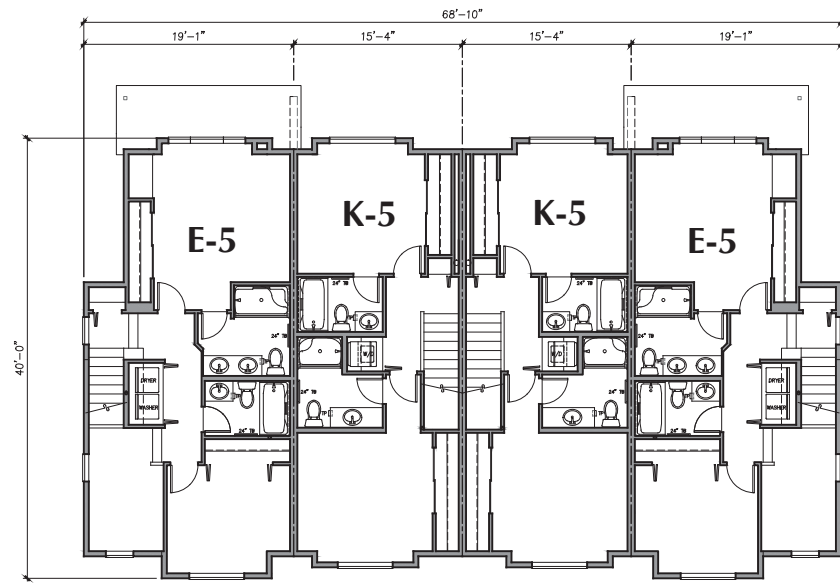


4-PLEX

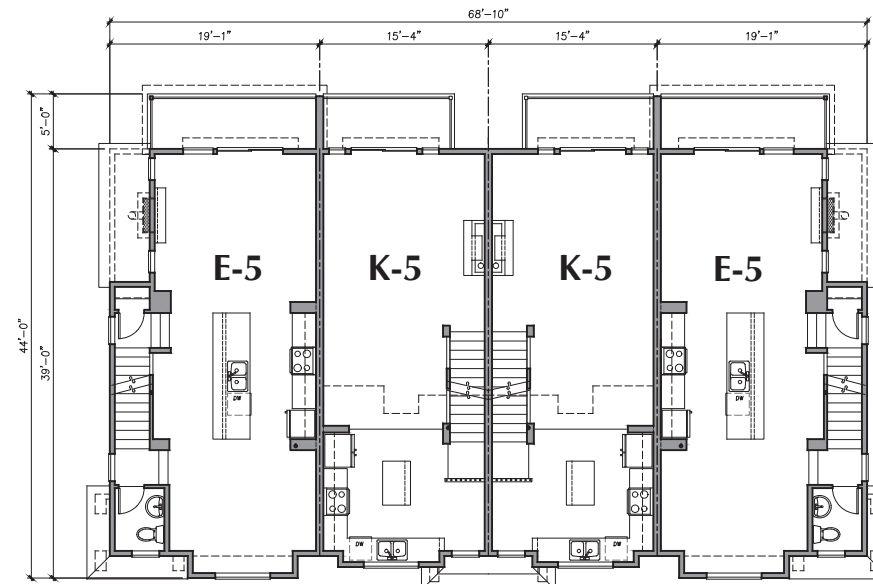
1/4" = 1'-0"

REAR ELEVATION

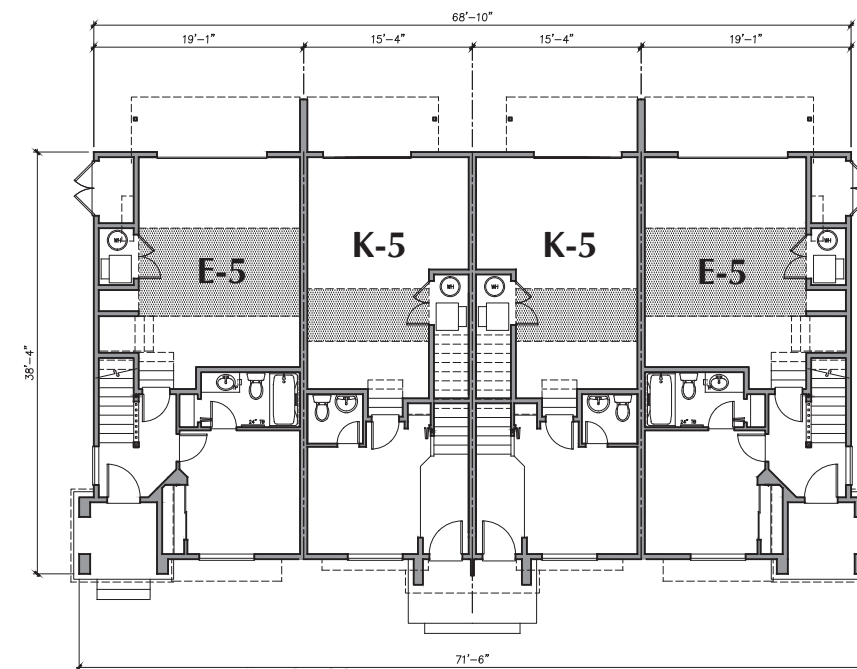
FRENCH REVIVAL



4-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



4-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



4-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL

H:\1517\ROWHOMES\4-PLEX FLAT FRENCH REVIVAL.DWG

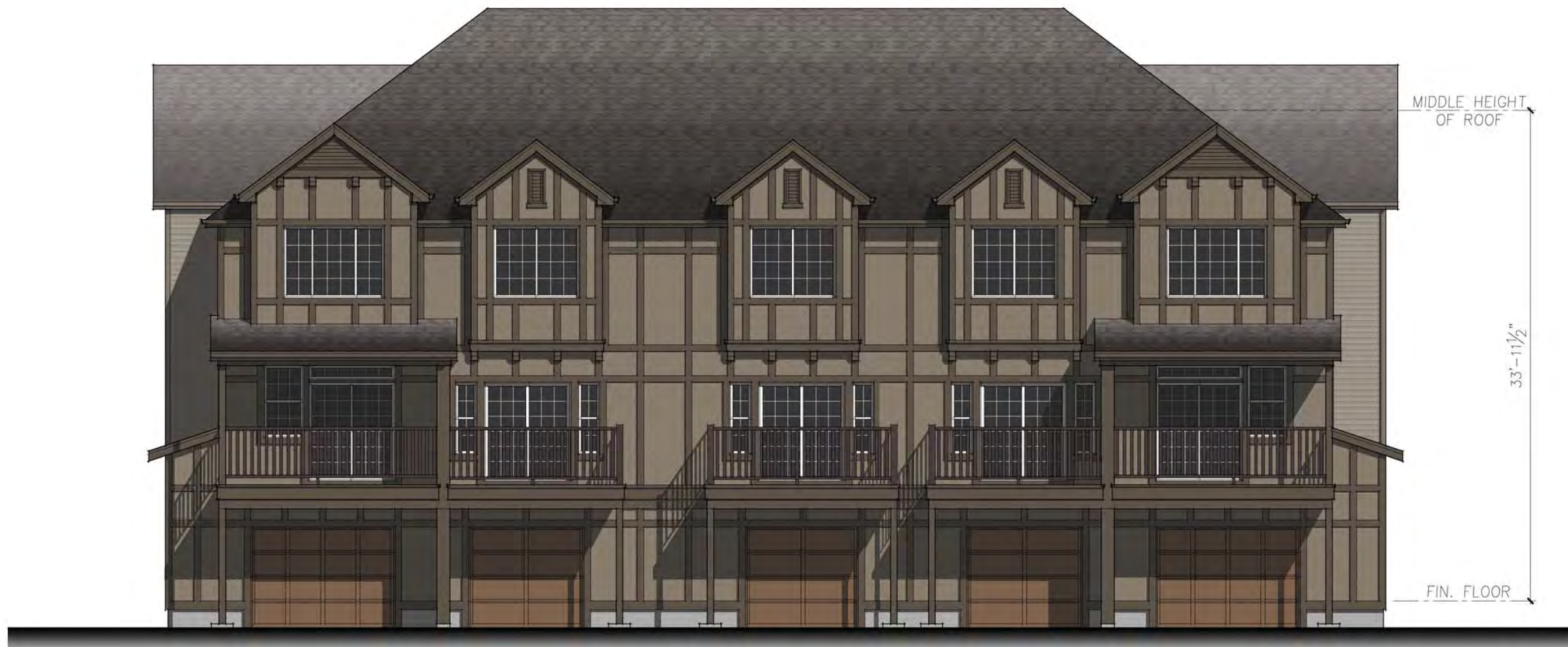


5-PLEX

1/4" = 1'-0"

FRONT ELEVATION

ENGLISH REVIVAL

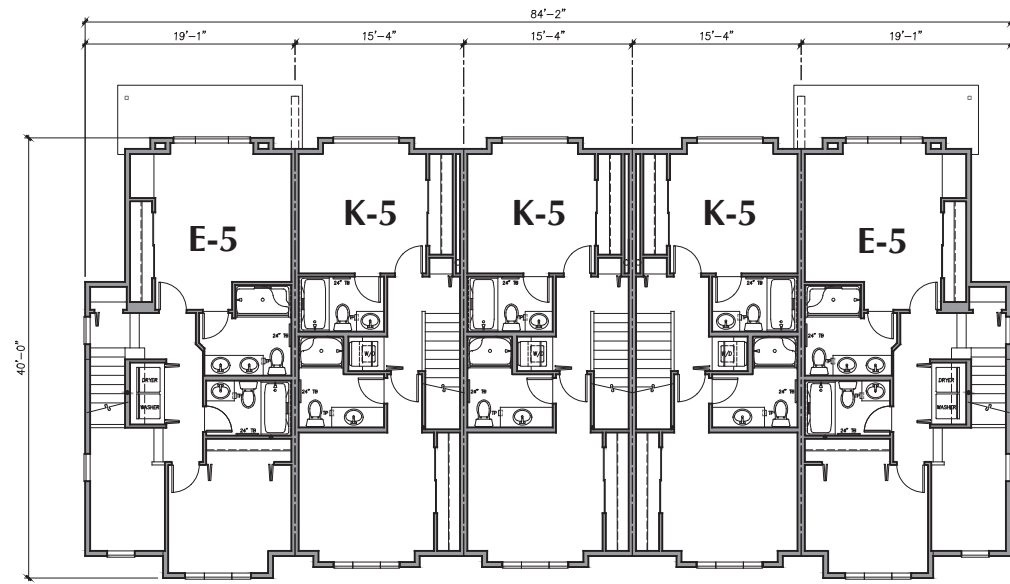


5-PLEX

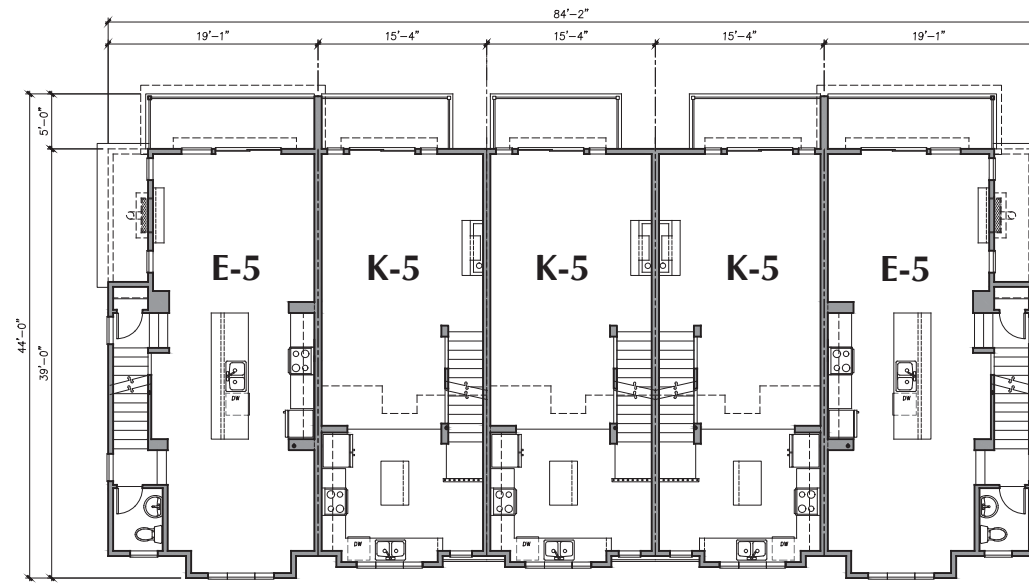
1/4" = 1'-0"

REAR ELEVATION

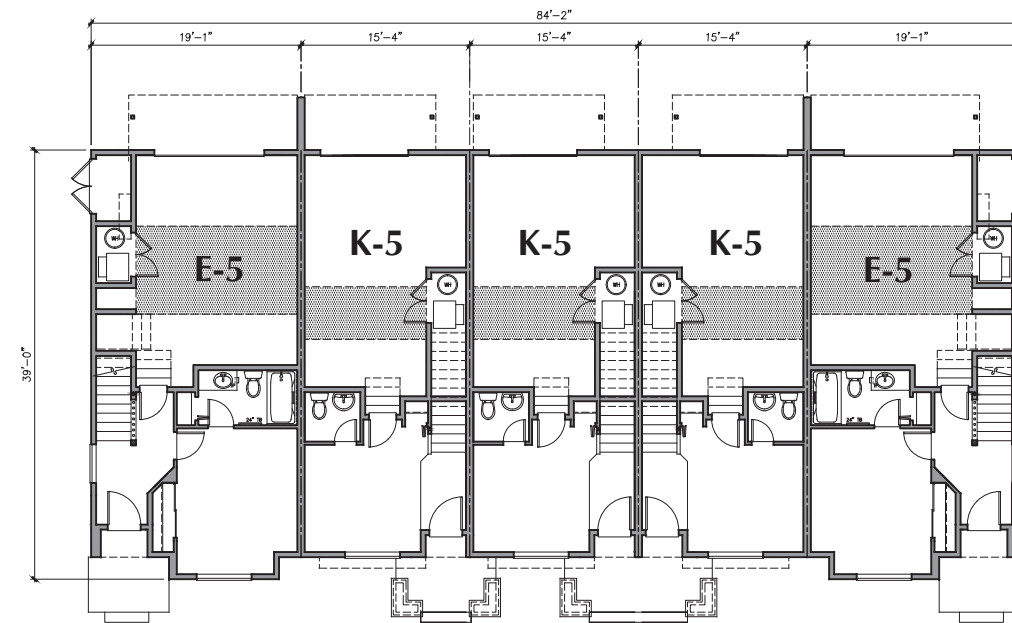
ENGLISH REVIVAL



5-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



5-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



5-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL

H:\1517\ROWHOMES\5-PLEX FLAT ENGLISH REVIVAL.DWG



5-PLEX

1/4" = 1'-0"

FRONT ELEVATION

FRENCH REVIVAL

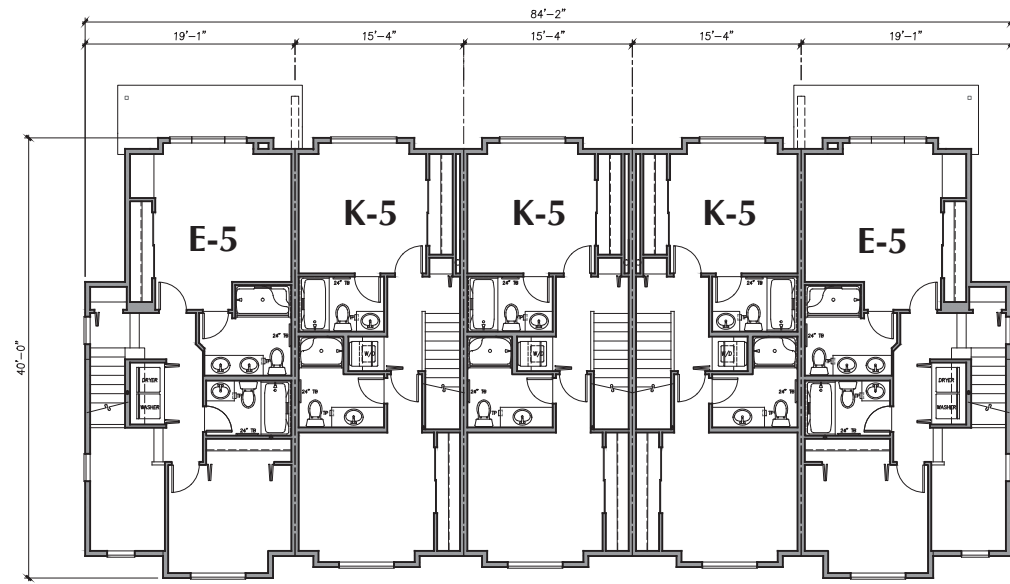


5-PLEX

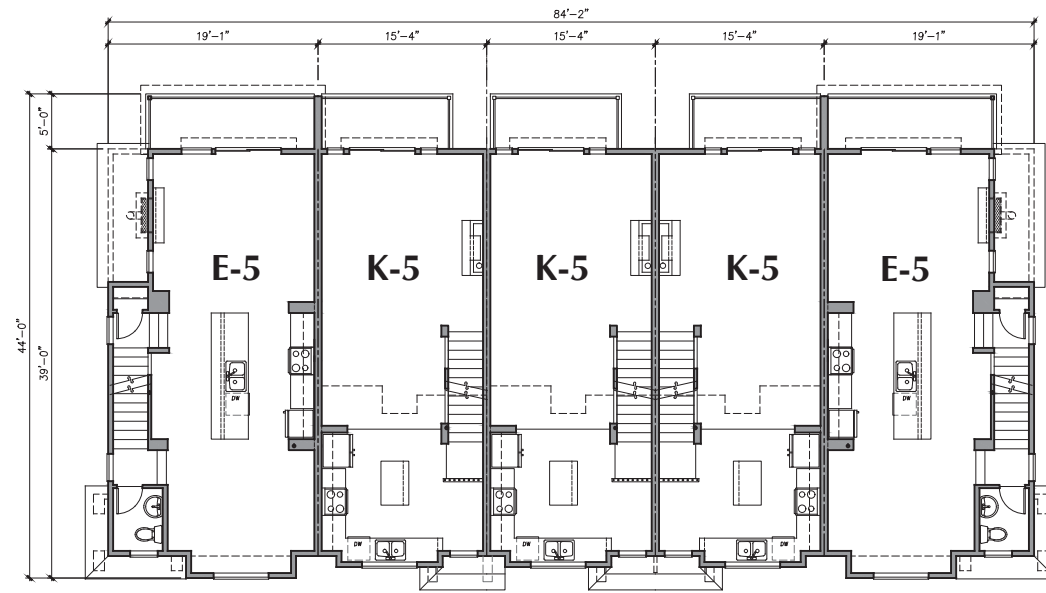
1/4" = 1'-0"

REAR ELEVATION

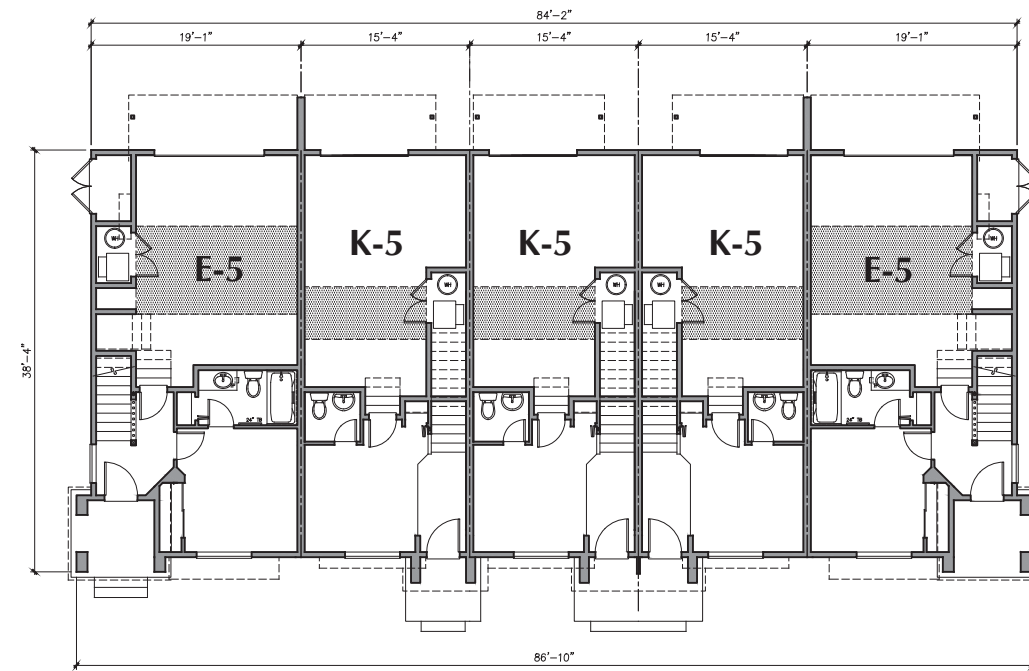
FRENCH REVIVAL



5-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



5-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



5-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL

H:\1517\ROWHOMES\5-PLEX FLAT FRENCH REVIVAL.DWG

PHASE 6 CENTRAL VILLEBOIS ROW HOMES PRELIMINARY DEVELOPMENT PLAN

TL 3500, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

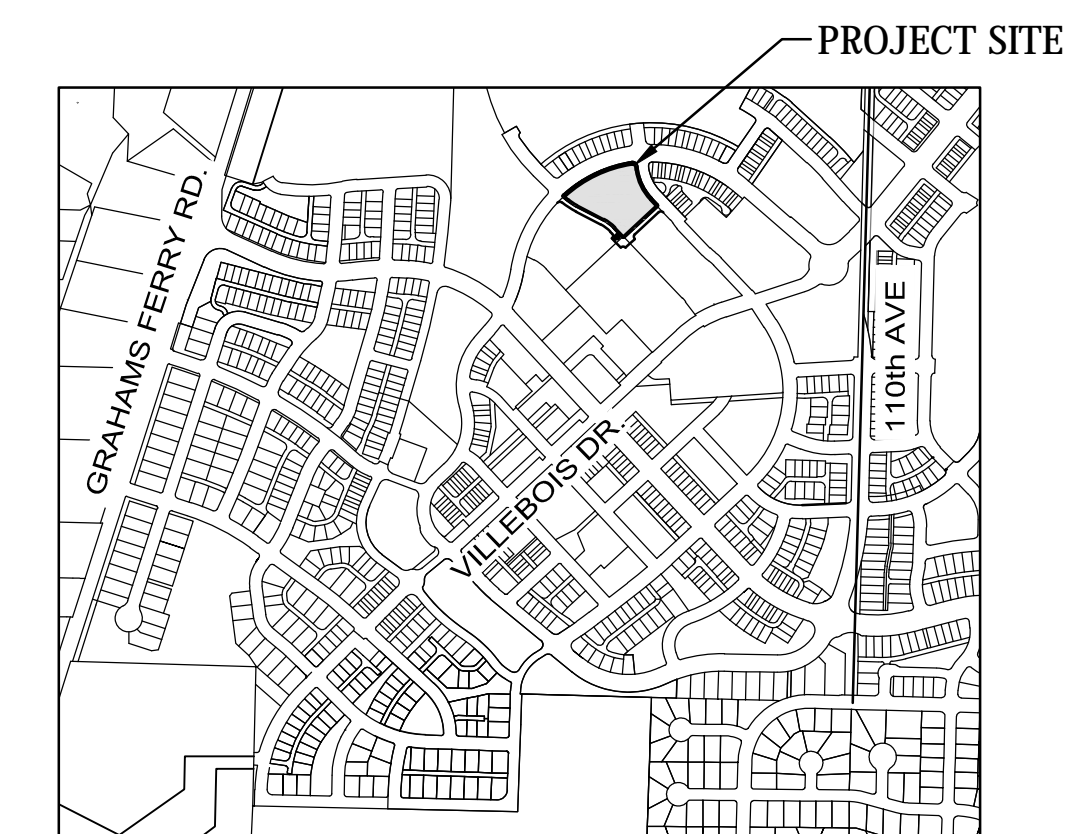
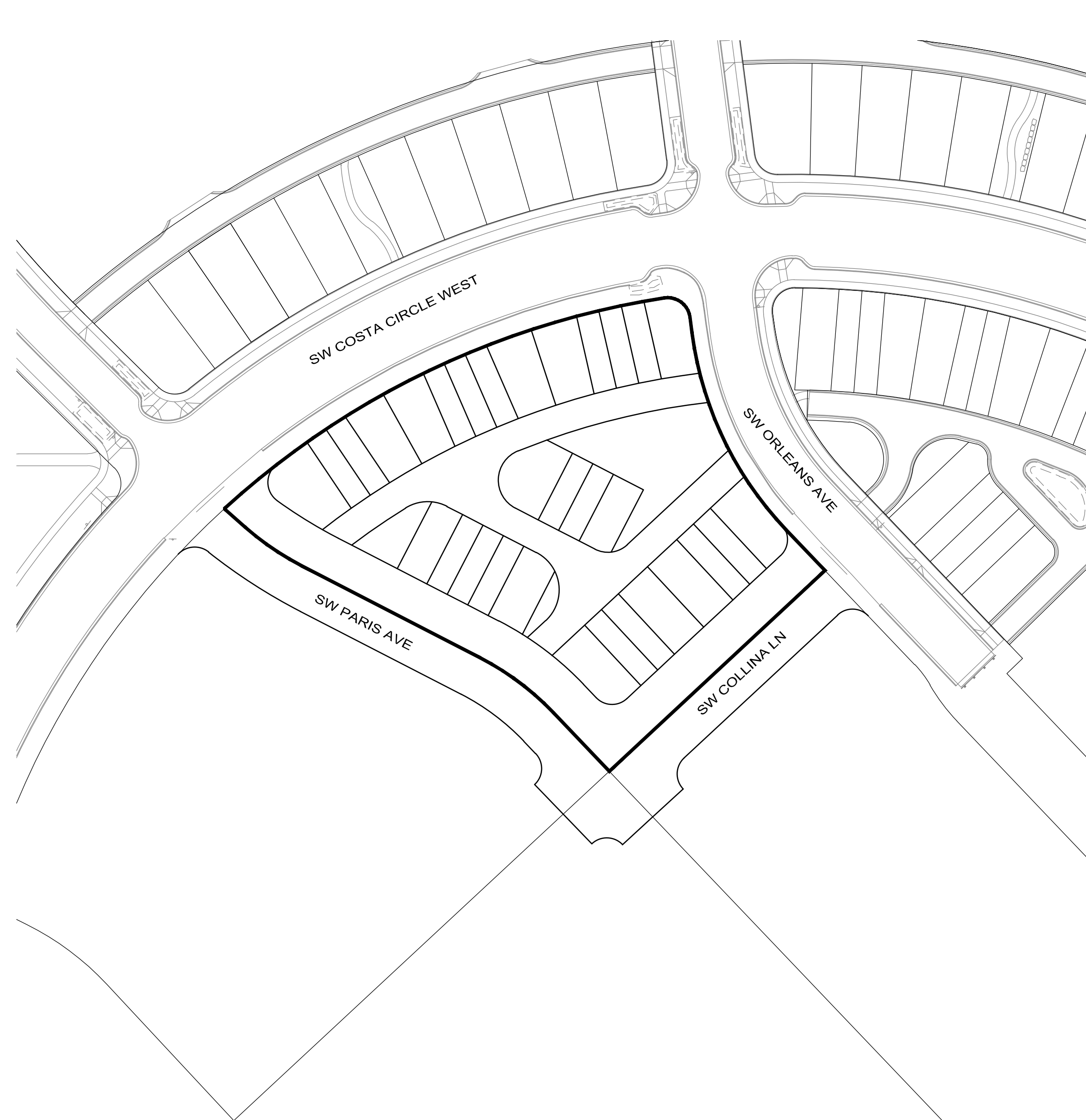
LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

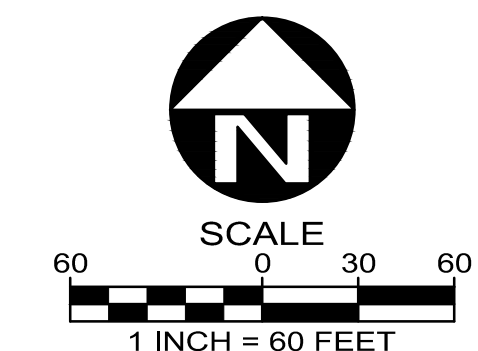
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE / LAND USE PLAN
- 4 PRELIMINARY PLAT
- 5 PRELIMINARY GRADING & EROSION CONTROL PLAN
- 6 COMPOSITE UTILITY PLAN
- 7 CIRCULATION PLAN & STREET SECTIONS
- 8 TREE PRESERVATION PLAN
- 9 SAP CENTRAL PHASING PLAN UPDATE
- L1 STREET TREE PLAN



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

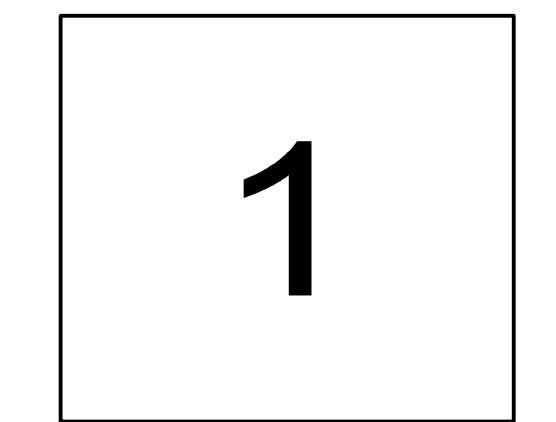
PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

COVER
SHEET



2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015





Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

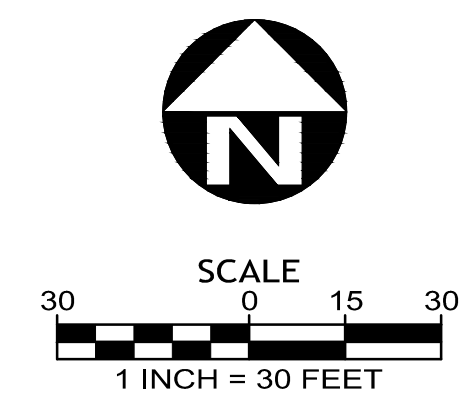
Preliminary Development
Plan
&
Final Development Plan

**EXISTING
CONDITIONS**

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

LEGEND

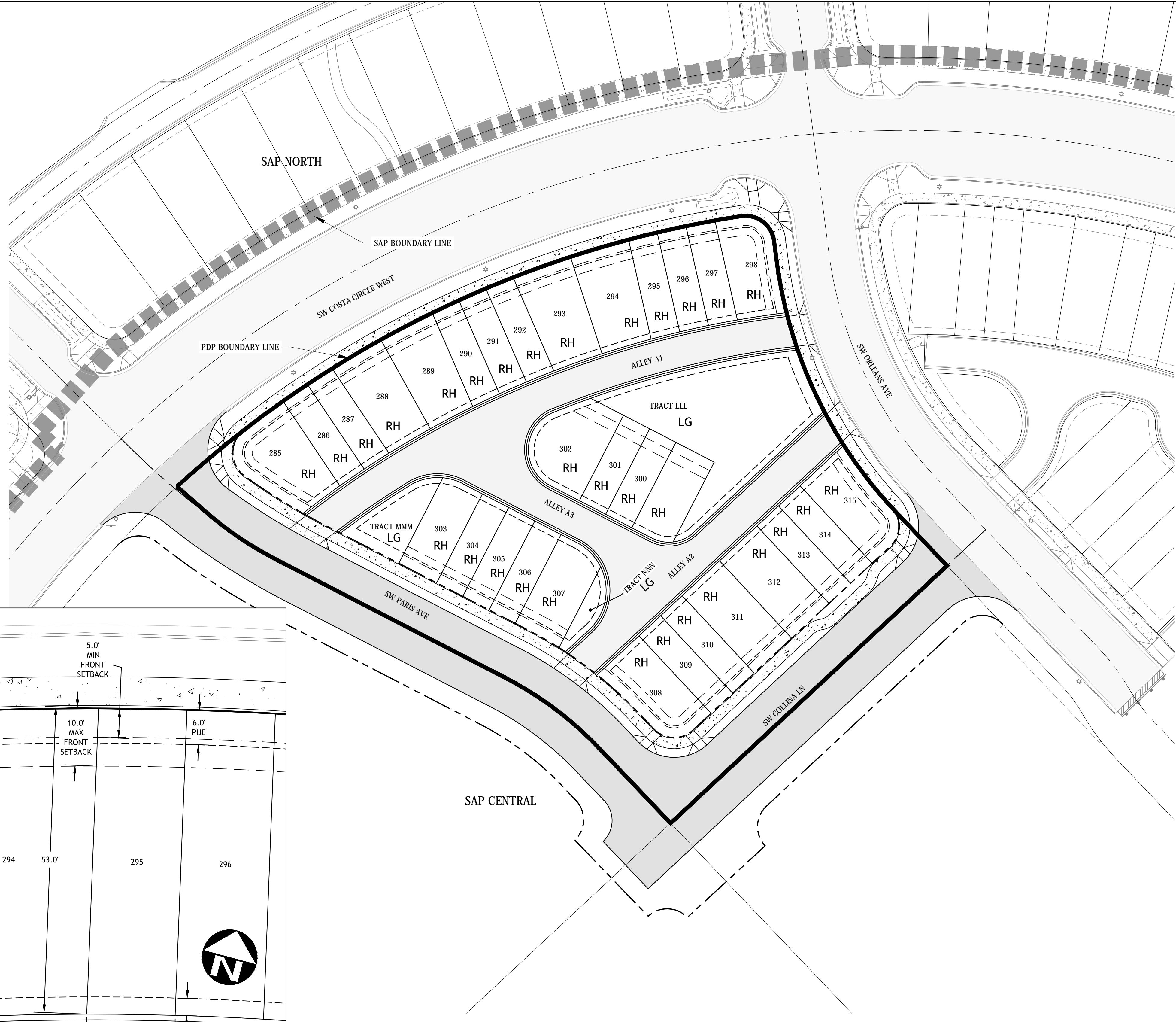
- EASEMENT LINES
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- 324 EX 1-FOOT CONTOURS
- 325 EX 5-FOOT CONTOURS
- EX SANITARY SEWER
- EX STORM DRAIN
- XW EX WATER LINE
- XG EX GAS LINE
- XE EX BURIED POWER LINE
- EX OVERHEAD POWER LINE
- XCOM EX CABLE TV LINE
- XT EX TELEPHONE LINE
- ⊙ EX SANITARY MANHOLE
- ⊙ EX SANITARY CLEANOUT
- ⊙ EX STORM MANHOLE
- EX AREA DRAIN
- ⊙ EX CURB INLET
- EX STORM CLEANOUT
- ⊗ EX FIRE HYDRANT
- ⊗ EX WATER METER
- ⊗ EX WATER VALVE
- ⊗ EX BLOW-OFF
- ⊗ EX AIR RELEASE VALVE
- ⊗ EX GAS VALVE
- ⊗ EX CABLE RISER
- ⊗ EX TELEPHONE RISER
- ⊗ EX LIGHT POLE
- EXISTING FENCE
- EXISTING ELECTRIC VAULT
- EXISTING PAVEMENT
- EX TREES
- DRAINAGE DIRECTION



N:\proj\395-058-09 Drawings\03 Planning Sheets - Planning Submittal\395058-09\EXIST.dwg - SHEET: 22x34 May. 6. 15 - 9:02 AM enk

ELEVATION DATUM: NAVD 88

N:\proj\395-058-09 Drawings\03 Planning\Sheets - Planning\Submittal\395058-09\SIE.dwg - SHEET: 22x34 May 6, 15 - 9:04 AM enk



LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PDP BOUNDARY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK BY OTHERS
- EXISTING SIDEWALK

LEGEND:

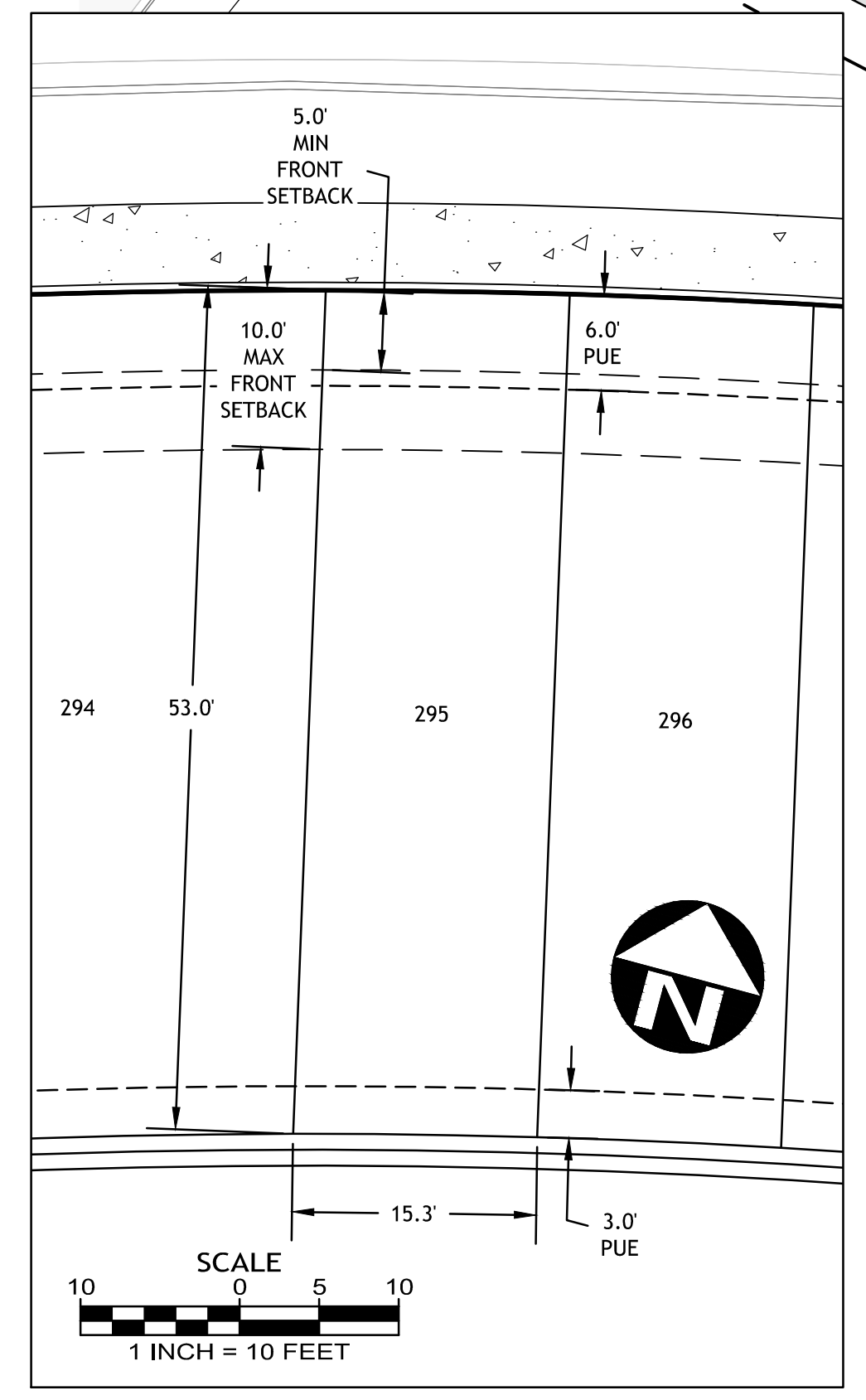
- RH ROW HOUSE LOTS
- LG LINEAR GREEN SPACE

LOT COUNT:

31	ROW HOUSE LOTS
31	TOTAL

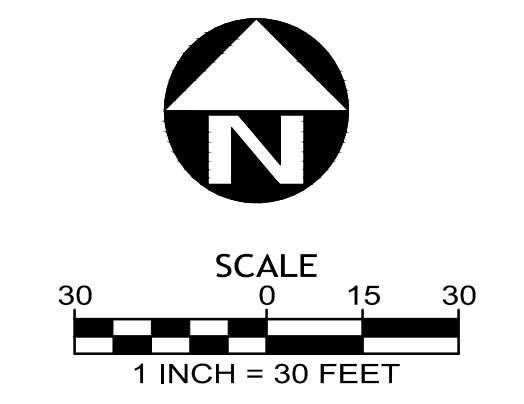
LAND AREA TABLE:

TOTAL AREA:	1.52 AC
PUBLIC STREETS:	0.31 AC
LINEAR GREEN SPACE:	0.15 AC
LOTS & ALLEYS:	1.06 AC
AVG. DENSITY PER NET ACRE:	31 / 1.06 = 29.25 UNITS / AC



TYPICAL LOT PLAN

ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS

DATE	DESCRIPTION
------	-------------

**PDP 6C
VILLEBOIS
ROW HOMES**

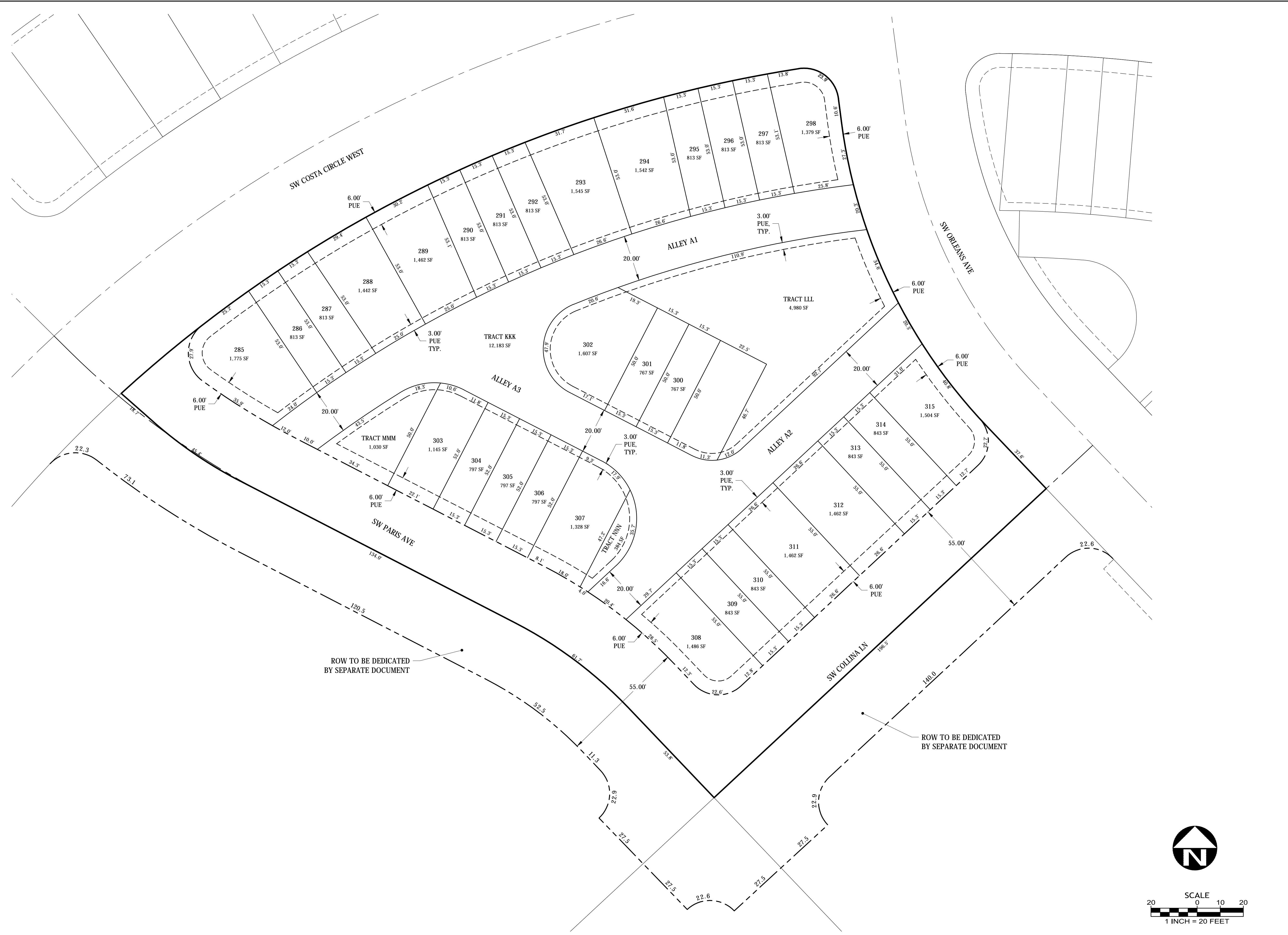
Preliminary Development
Plan
&
Final Development Plan

**SITE / LAND
USE PLAN**

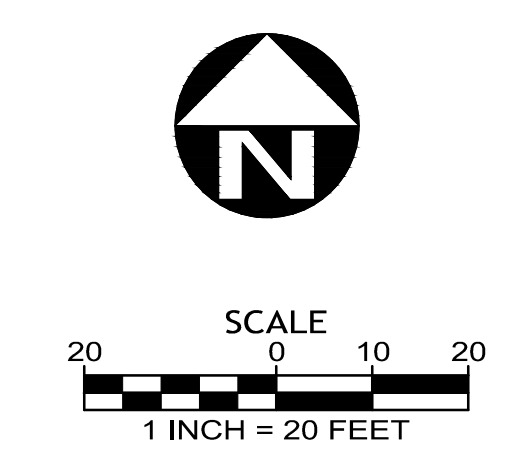
2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

3

N:\proj\395-058-09 Drawings\03 Planning\Sheets - Planning\Submittal\395058-03\PLAT.dwg - SHEET: 22x34 May 6, 15 - 9:05 AM enr



ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development Plan
&
Final Development Plan

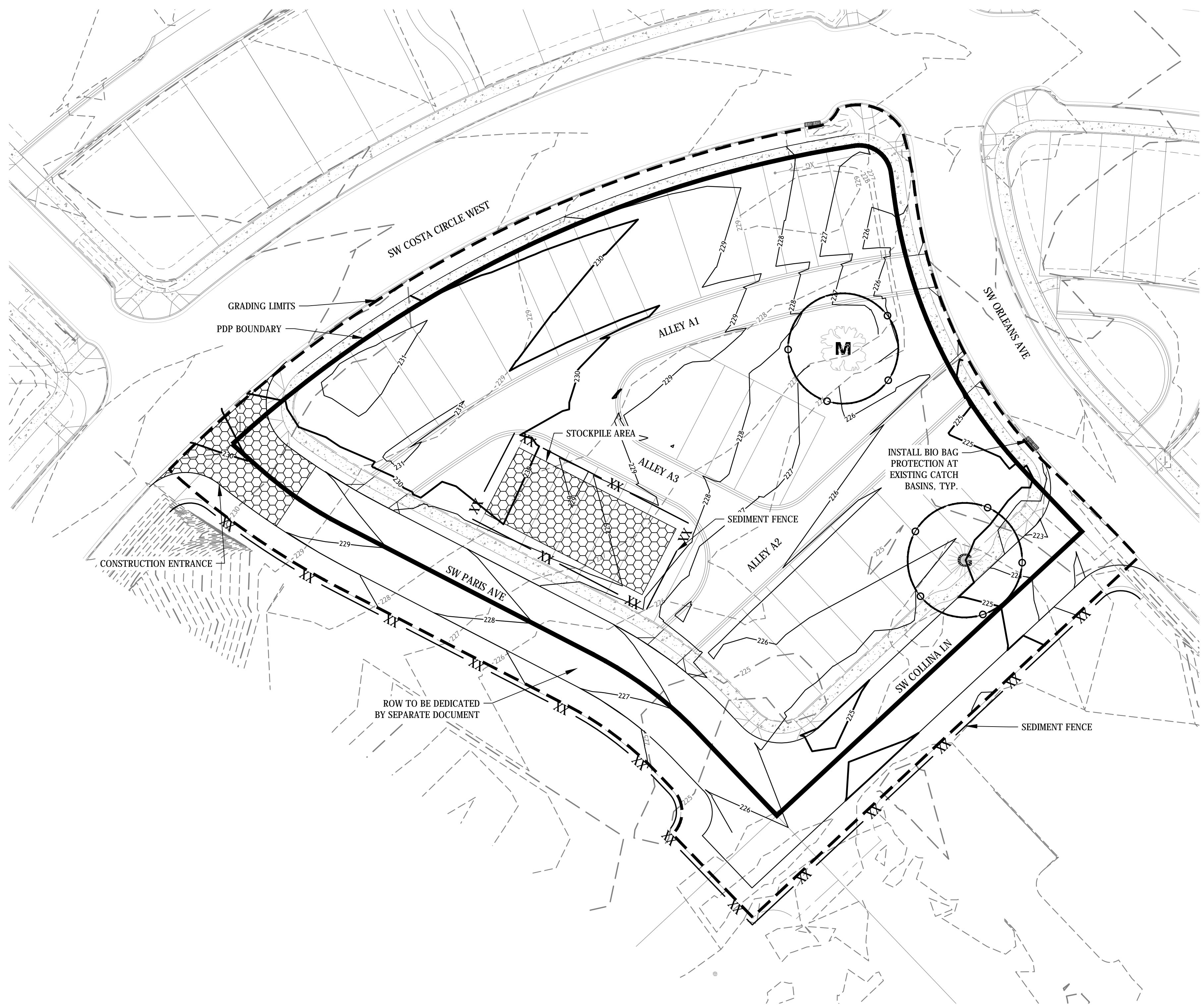
**PRELIMINARY
PLAT**

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

4

N:\proj\395-058_09 Drawings\03 Planning\Sheets - Planning\Submittal\395058_05 GRAD.dwg - SHEET: 22x34 May 6, 15 - 9:06 AM enk

ELEVATION DATUM: NAVD 88

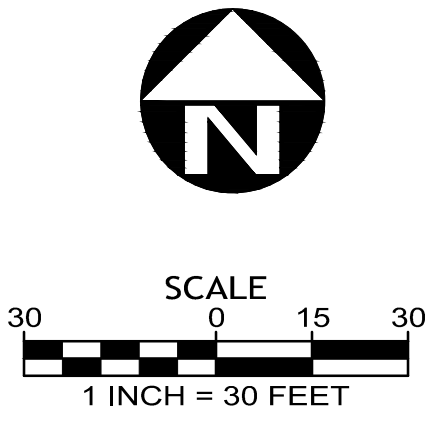


LEGEND

- - - 324 - - - EX 2-FT CONTOUR
- - - 320 - - - EX 10-FT CONTOUR
- - - 324 - - - FG 2-FT CONTOUR
- - - 320 - - - FG 10-FT CONTOUR
- ▭ PROPOSED RETAINING WALL
- ▭ GRADING LIMITS
- ▭ EXISTING FENCE
- XX SEDIMENT FENCE
- ▭ TREE PROTECTION FENCING
- ▭ CONSTRUCTION FENCING
- ▭ WATTLES
- ⊗ BIO-BAG PROTECTION
- ⊗ EX TREES TO REMAIN

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- ⊗ EXISTING TREES TO RETAIN



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development
Plan
&
Final Development Plan

**GRADING &
EROSION CONTROL
PLAN**

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

5



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

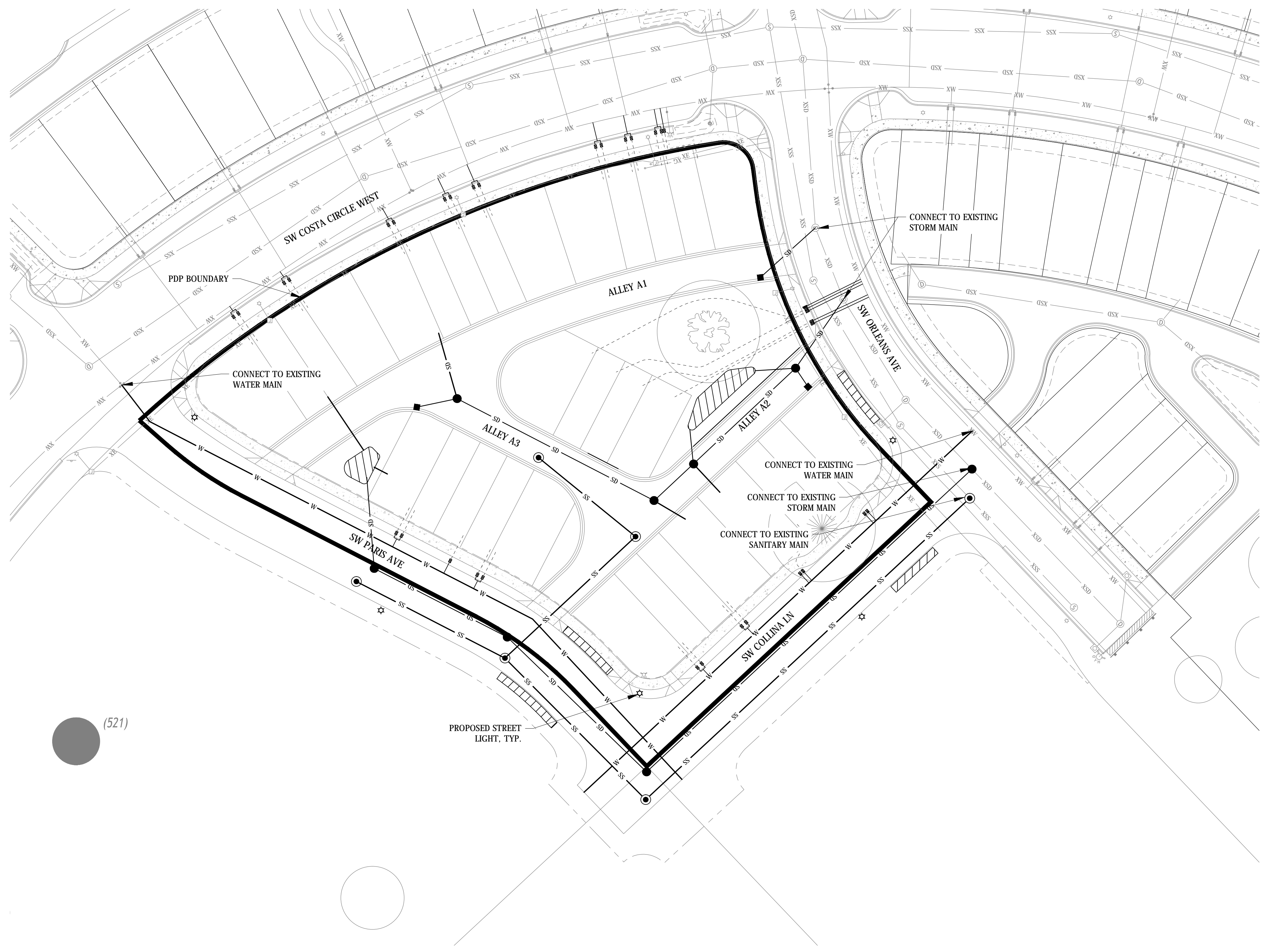
COMPOSITE
UTILITY
PLAN

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

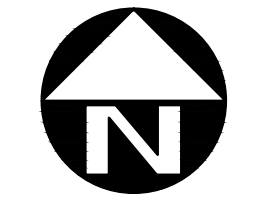
6

LEGEND:

- SS PROPOSED SANITARY SEWER
- XSS EX SANITARY SEWER
- SD PROPOSED STORM DRAIN
- XSD EX STORM DRAIN
- W PROPOSED WATER LINE
- XW EX WATER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- ⊕ PROPOSED FIRE HYDRANT
- ⊙ EX SANITARY MANHOLE
- ⊙ EX STORM MANHOLE
- EX AREA DRAIN
- EX CURB INLET
- EX STORM CLEANOUT
- ⊕ EX FIRE HYDRANT
- ⊕ EX WATER METER
- ⊕ EX WATER VALVE
- ⊕ EX BLOW-OFF
- ⊕ EX AIR RELEASE VALVE
- ⊕ EX GAS VALVE
- ⊕ EX CABLE RISER
- ⊕ EX TELEPHONE RISER
- X EXISTING FENCE
- ⊕ EX TREES
- ▨ PROPOSED RAINWATER MANAGEMENT FACILITY



(521)

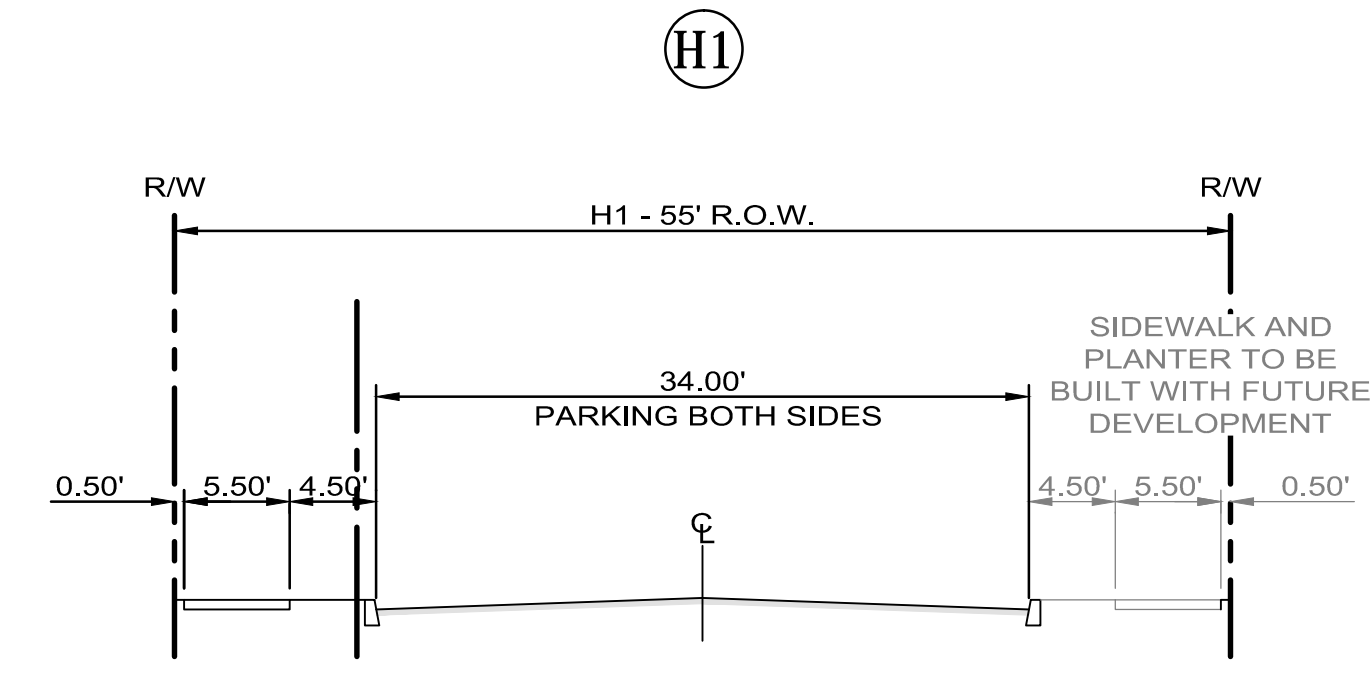
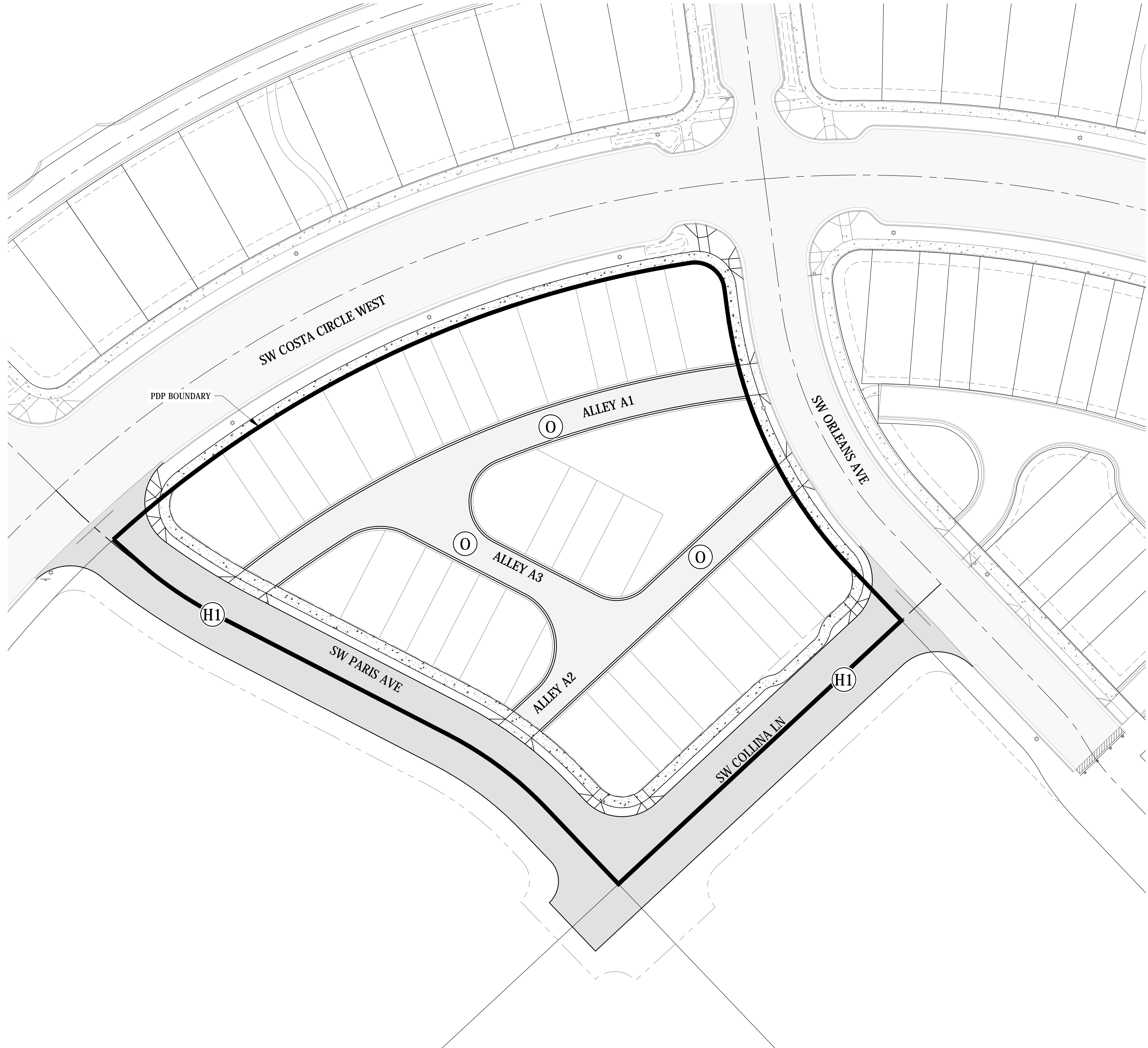


SCALE
0 15 30
1 INCH = 30 FEET

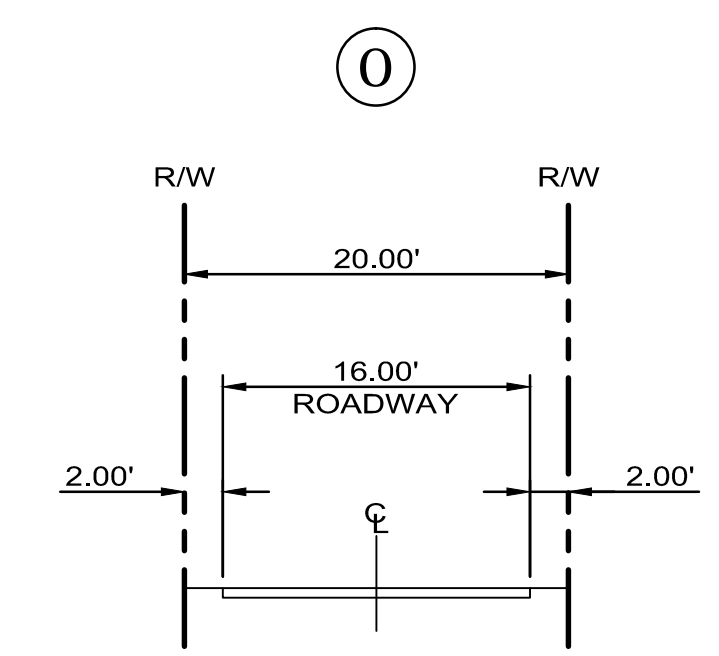
ELEVATION DATUM: NAVD 88

N:\proj\395-058-09 Drawings\03 Planning Sheets - Planning Submittal\395-058-09 COMP.dwg - SHEET 22x34 May 6, 15 - 11:22 AM pre

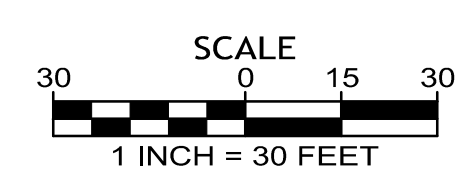
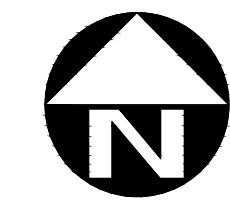
N:\proj\395-058-09 Drawings\03 Planning\Sheets - Planning\Submittal\395058-07\CIRC-SECT.dwg - SHEET: 22x34 May, 6, 15 - 9:08 AM enk



RESIDENTIAL VILLAGE CENTER
SCALE: 1"=10'



PRIVATE LANE
SCALE: 1"=10'



ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

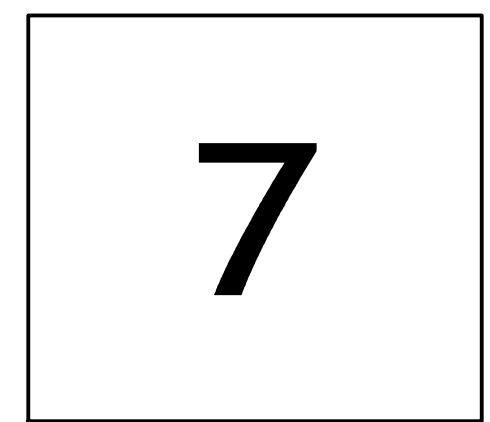
REVISIONS	
DATE	DESCRIPTION

PDP 6C VILLEBOIS ROW HOMES

Preliminary Development Plan & Final Development Plan

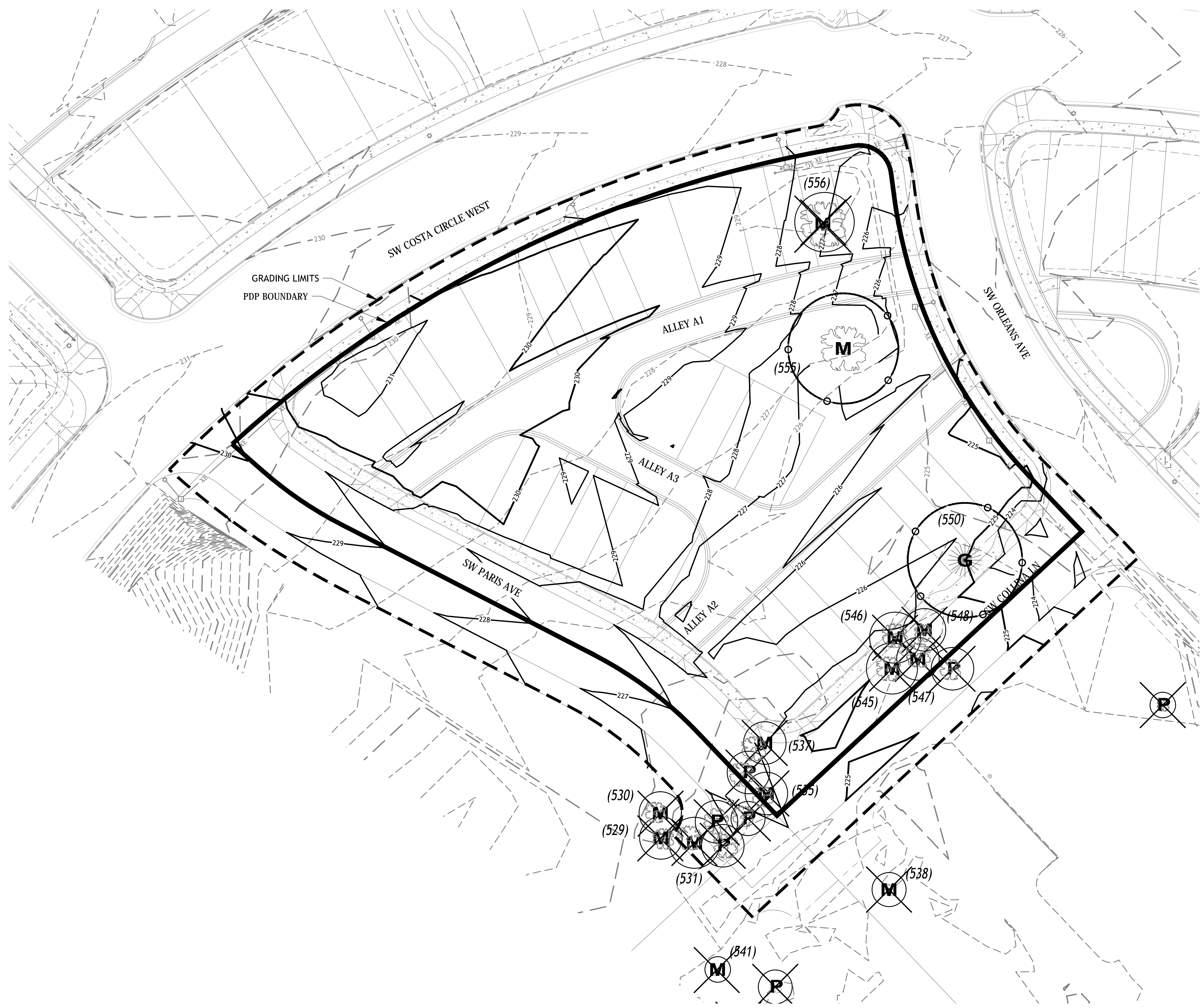
CIRCULATION PLAN & STREET SECTIONS

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015



N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submittal\395058.09\TREPRES.dwg - SHEET 22x34 May. 6. 15. 9:09 AM enk

ELEVATION DATUM: NAVD 88



LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (Circle with star) EXISTING TREES TO REMAIN
- (Circle with diagonal lines) EXISTING TREES LIKELY TO BE REMOVED
- (Circle with X) EXISTING TREES TO BE REMOVED
- (Dashed line) TREE PROTECTION FENCING
- (Thick solid line) GRADING LIMITS

NOTES

ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARBORIST. CONTACT: MORGAN HOLAN PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

- HEALTH
- SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
- COMPATIBILITY WITH DEVELOPMENT
- FORM / VISUAL INTEREST / MATURE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

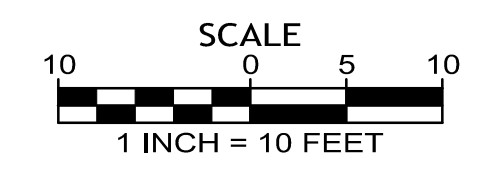
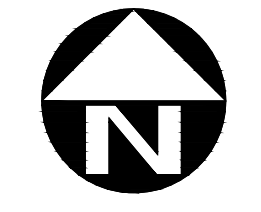
TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

- THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLAN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



POLYGON NW COMPANY



GEODESIGN, INC

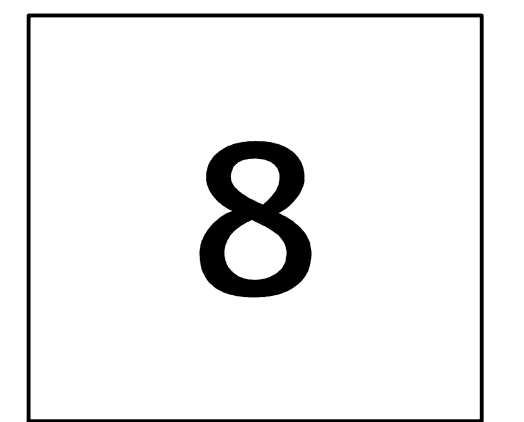
REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development Plan & Final Development Plan

TREE PRESERVATION PLAN

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

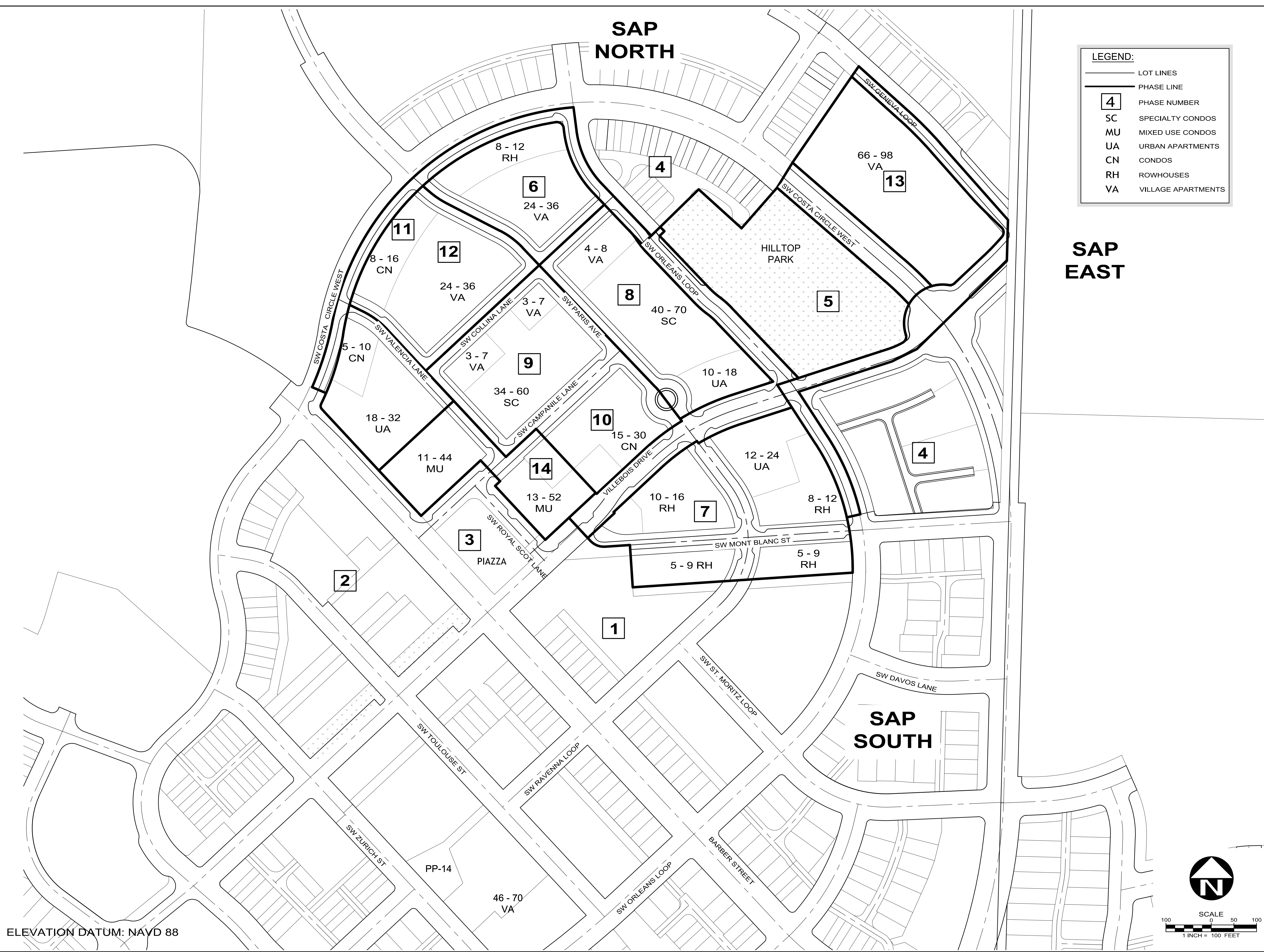


SAP NORTH

LEGEND:

- LOT LINES
- PHASE LINE
- 4** PHASE NUMBER
- SC SPECIALTY CONDOS
- MU MIXED USE CONDOS
- UA URBAN APARTMENTS
- CN CONDOS
- RH ROWHOUSES
- VA VILLAGE APARTMENTS

SAP EAST



ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C VILLEBOIS ROW HOMES

Preliminary Development Plan
&
Final Development Plan

SAP CENTRAL PHASING PLAN UPDATE

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

9

N:\proj\395-058-09 Drawings\03 Planning\Sheets - Planning\Submittal\395058-09\PHASE.dwg - SHEET: 22x34 May. 6. 15. 9:10 AM enk



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

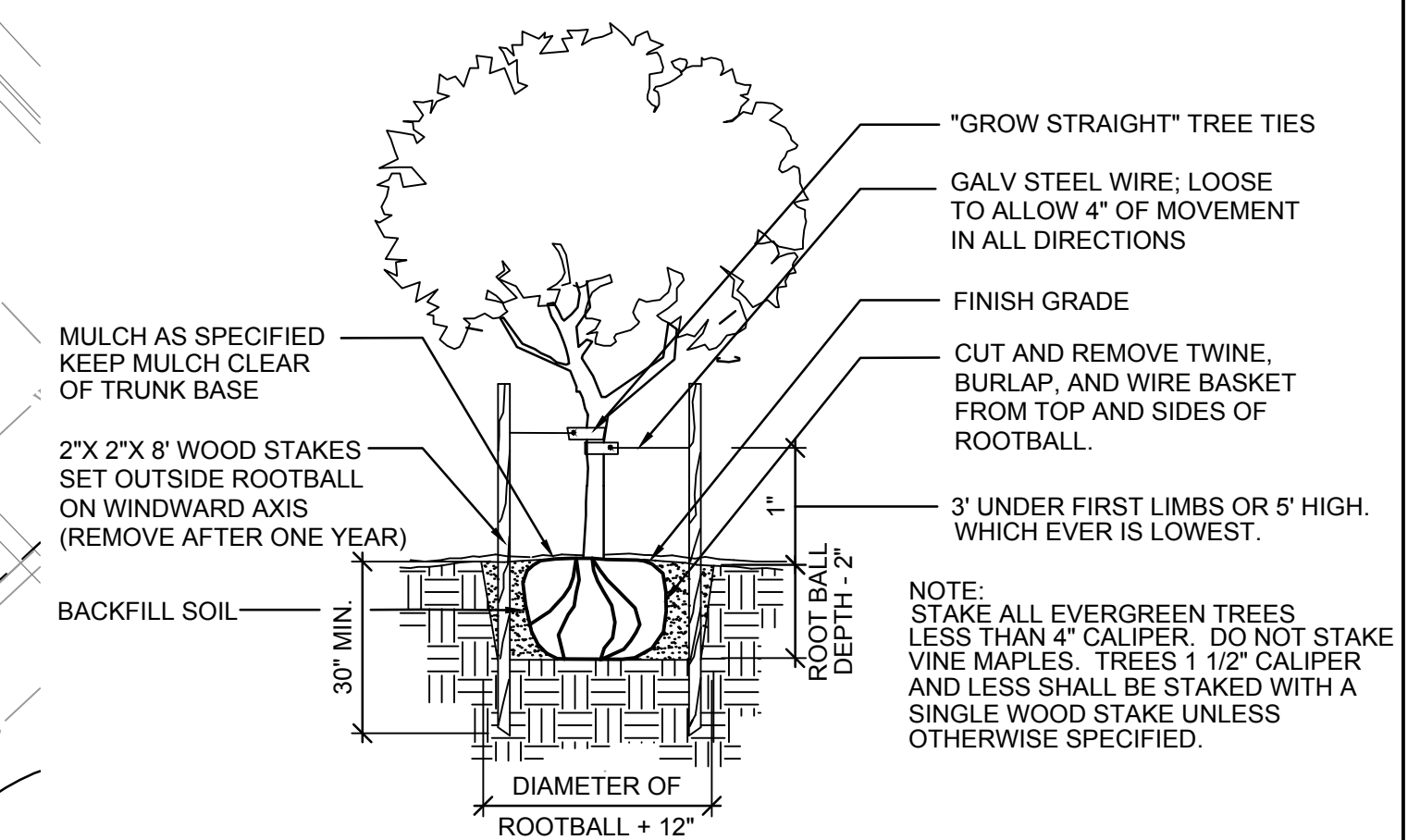
STREET TREE
PLAN

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

L1

STREET TREE LEGEND:

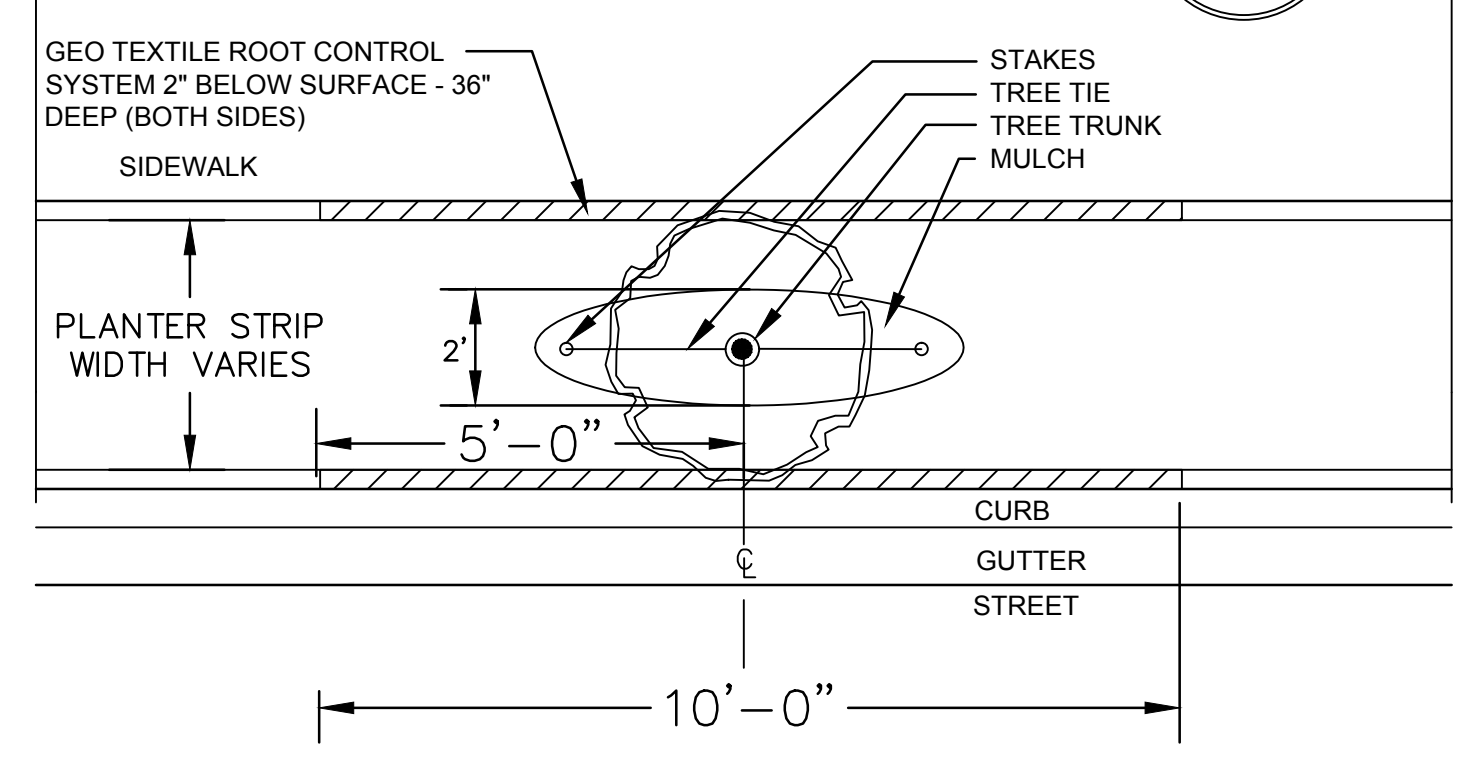
SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	10	TULIP TREE / LIRIODENDRON TULIPIFERA	2.5" cal., B&B	25' o.c.
	4	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2.5" cal., B&B	25' o.c.
	7	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	4	CRIMEAN LINDEN / TILIA X EUCHLORA	2.5" cal., B&B	25' o.c.
		PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		
		BIORETENTION CELL		



TREE STAKING DETAIL

SCALE: N.T.S

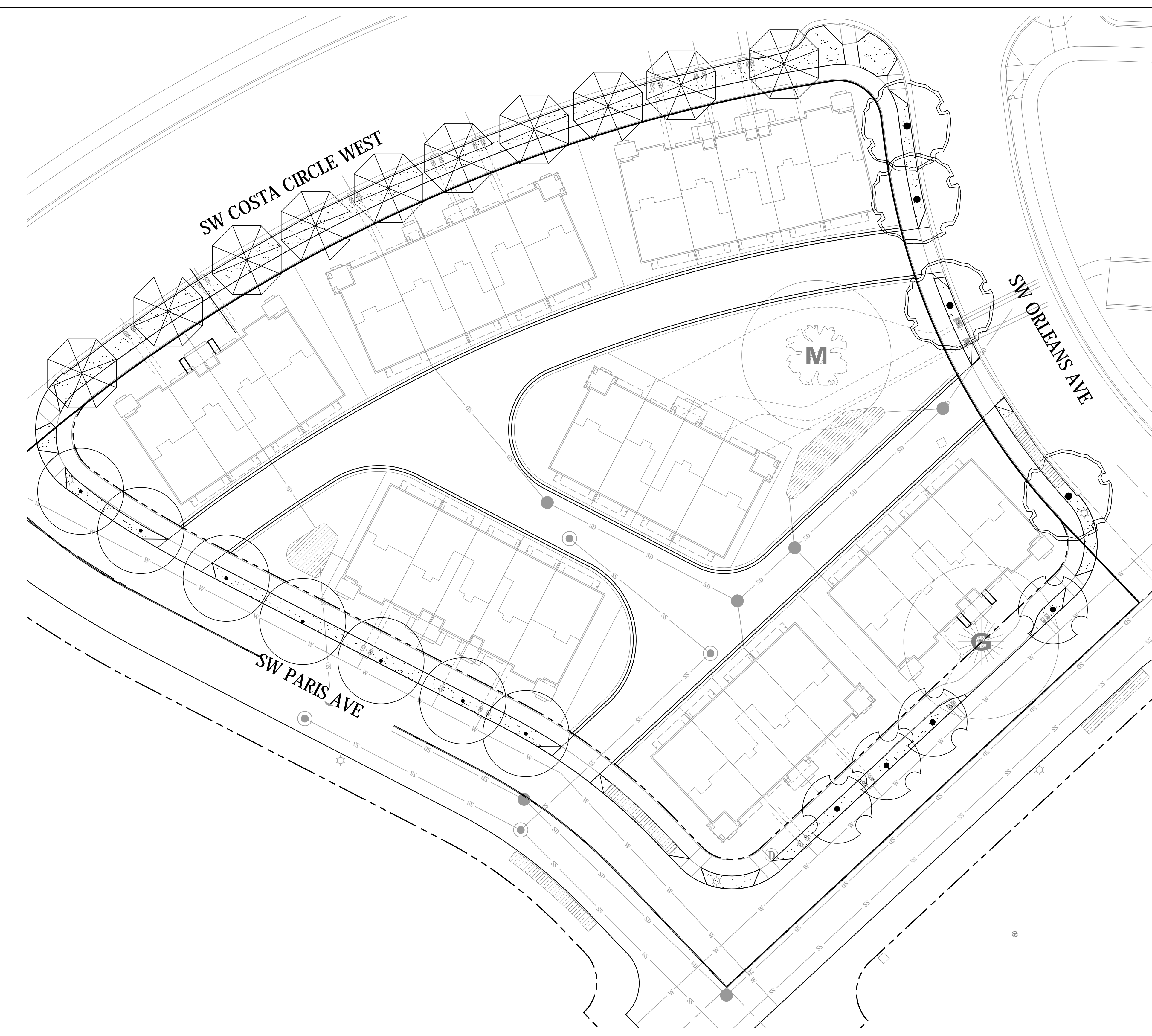
1
L1



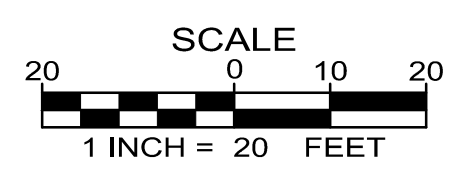
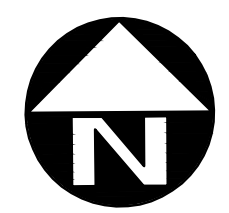
TREE PLANTER AND BARRIER DETAIL
FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S

2
L1



ELEVATION DATUM: NAVD 88



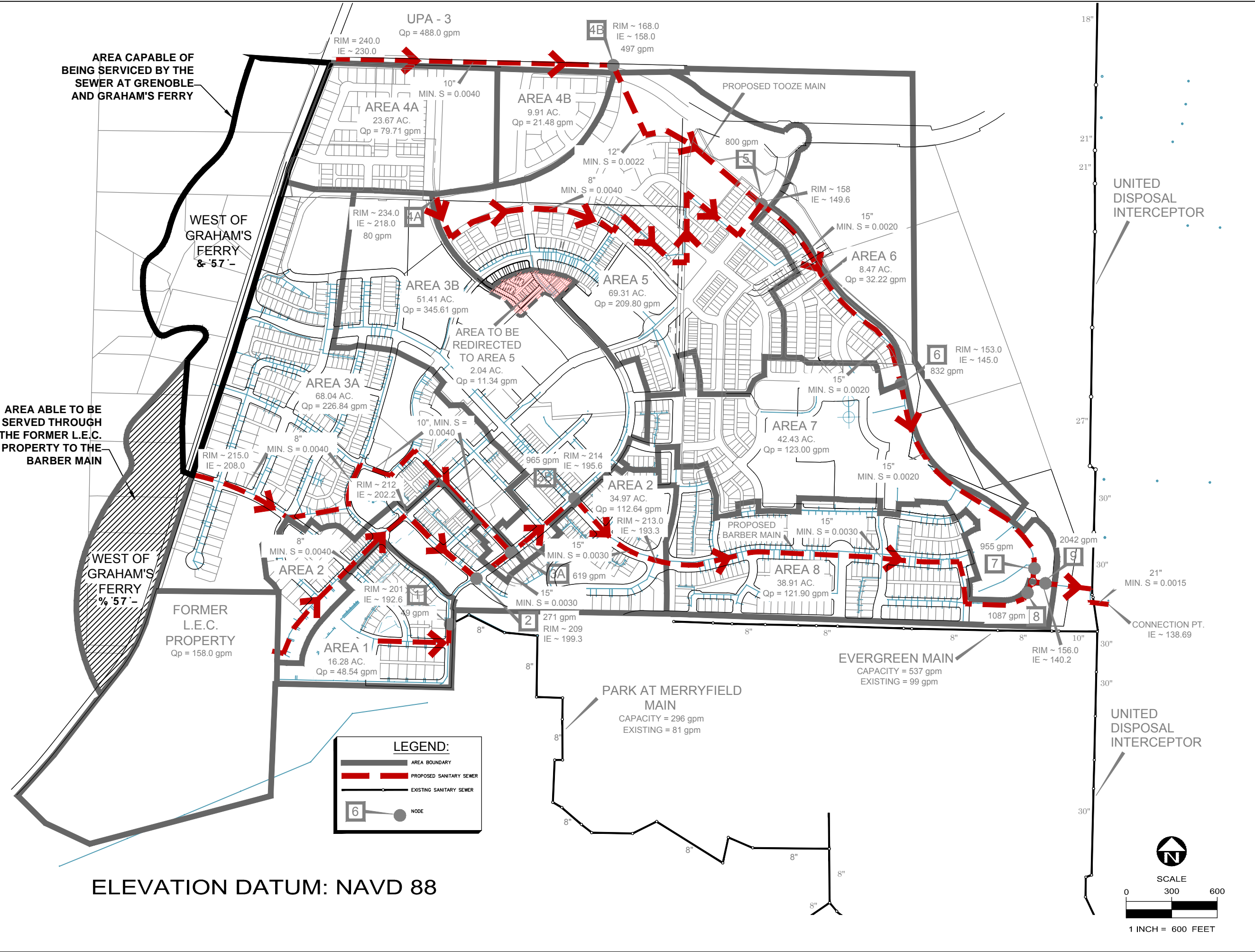
N:\proj\395-058_09 Drawings\03 Planning\Sheets - Planning\Submittal\395058.STREETREE-PDP-LA.dwg - SHEET: L1 May 6, 15 - 9:11 AM ehk

N:\proj\395-058\09 Drawings\03 Planning Exhibits - General\395058.Sanitary Sewer Exhibit.dwg - SHEET.SSMP 11x17 Mar. 20. 15 - 4:40 PM pre

AREA CAPABLE OF BEING SERVICED BY THE SEWER AT GRENOBLE AND GRAHAM'S FERRY

AREA ABLE TO BE SERVED THROUGH THE FORMER L.E.C. PROPERTY TO THE BARBER MAIN

ELEVATION DATUM: NAVD 88



LEGEND:

- AREA BOUNDARY
- - - PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- 6 — NODE

SCALE
0 300 600
1 INCH = 600 FEET



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

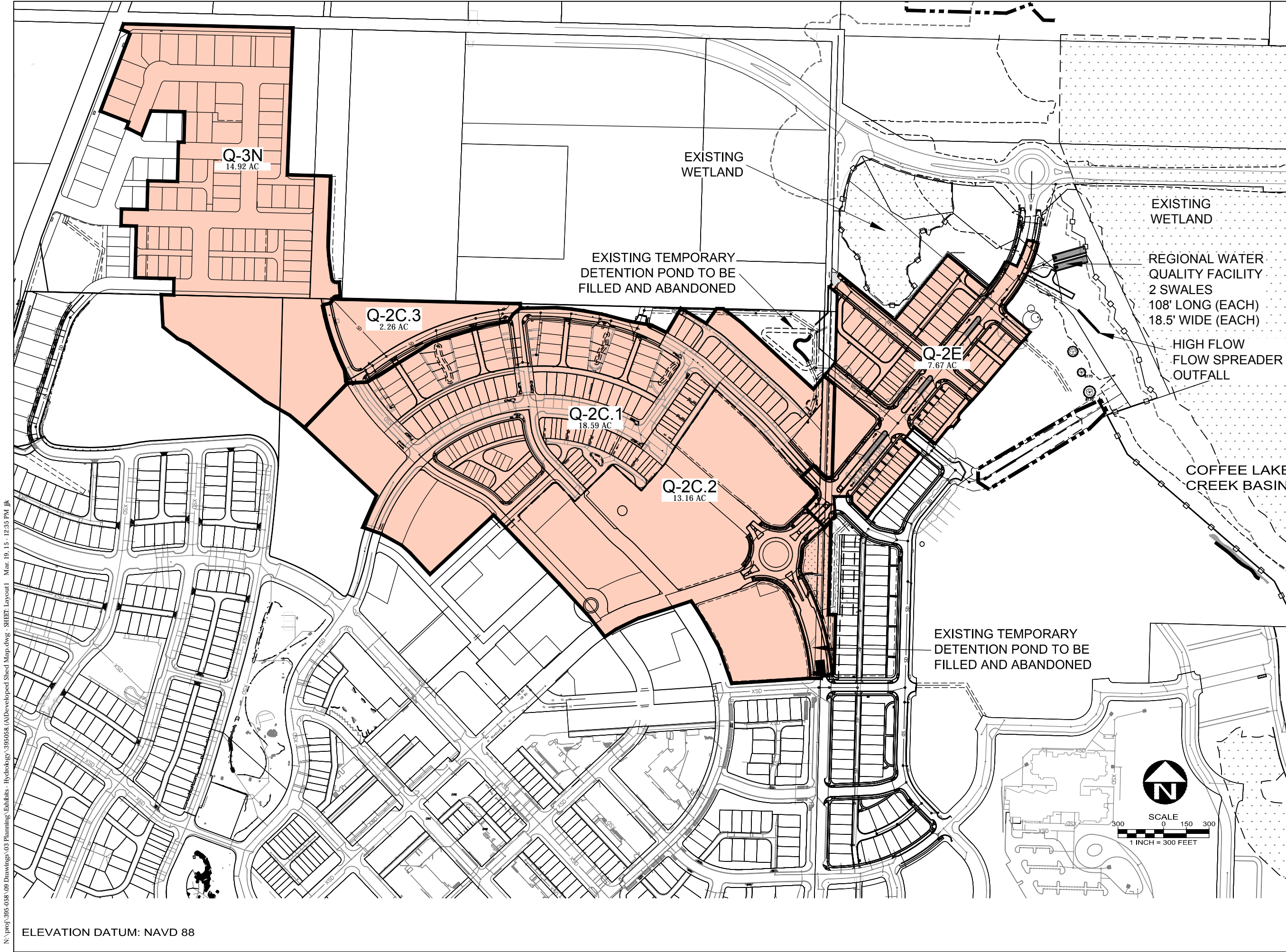
PDP 6C/FDP
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

SANITARY
SEWER
UNITED
DISPOSAL

1ST SUBMITTAL DATE 3/23/2015

SS



N:\proj\395-058-09 Drawings\03 Planning\Exhibits - Hydrology\395058 (A)\Developed Shed Map.dwg - SHEET: layout1 Mar. 19. 15 - 12:35 PM jlk

ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

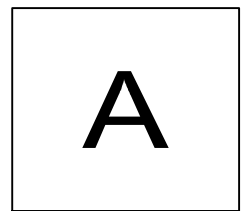
REVISIONS	
DATE	DESCRIPTION

PDP 6C/FDP
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

DEVELOPED
DRAINAGE
MAP

1ST SUBMITTAL DATE 3/23/2015





COSTA PACIFIC COMMUNITIES

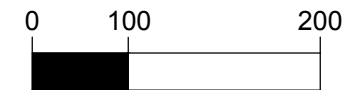
ALPHA COMMUNITY DEVELOPMENT
FLETCHER FARR AYOTTE
IVERSON ASSOCIATES
PACIFIC HABITAT SERVICES
WALT KNAPP
KITTELSON & ASSOCIATES
MAYER/REED

LEGEND:

- SAP BOUNDARY
- RAINWATER COMPONENT
- PERVIOUS STREET PAVERS
- ROOF GARDEN
- 6** RAINWATER COMP. NUMBER



SCALE



1 IN = 200 FT

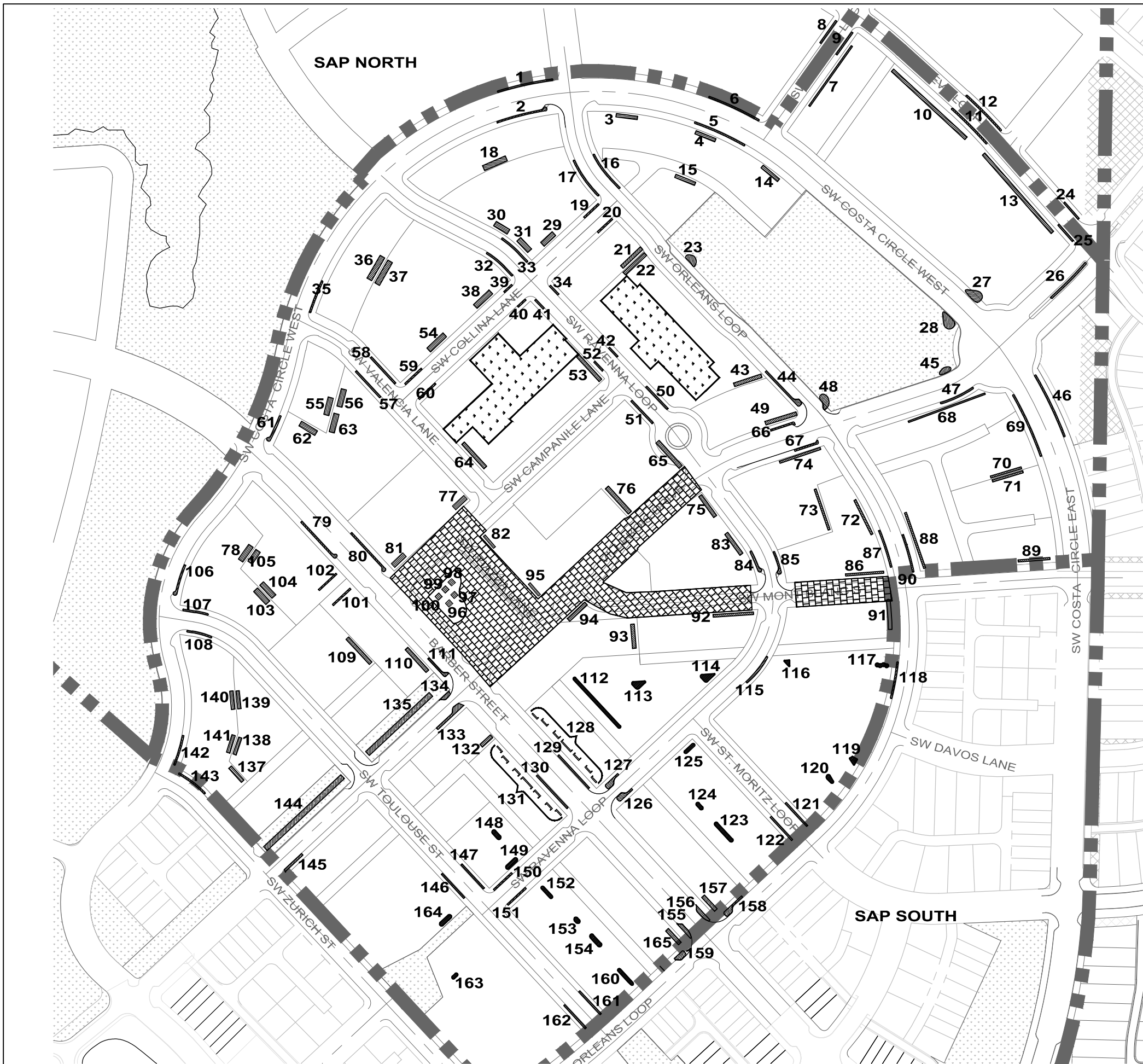
VILLEBOIS

SAP CENTRAL

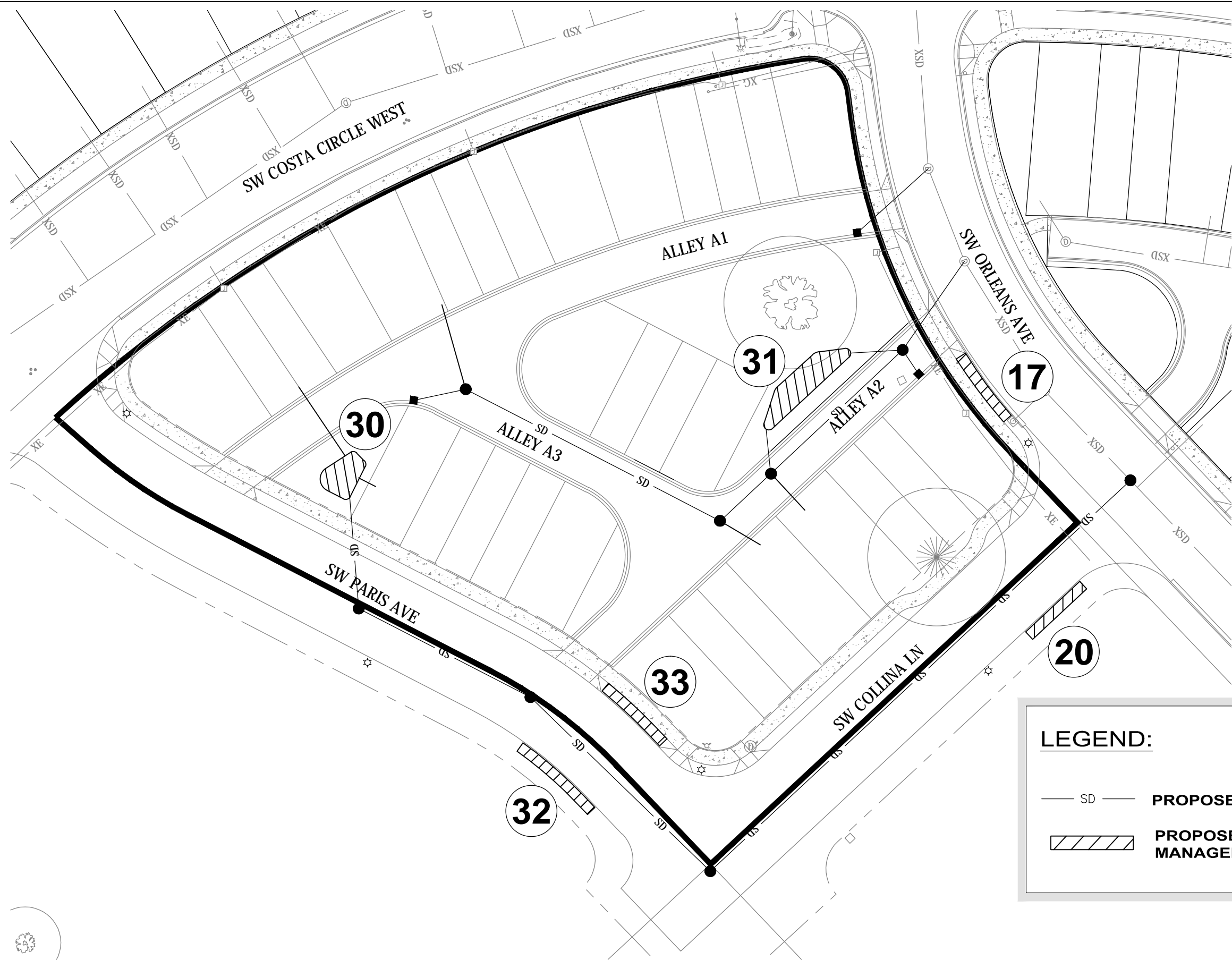
Rainwater Management Plan

DATE: February 24, 2006

FIGURE A

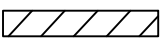



N:\proj\395-058\09 Drawings\03 Planning\Exhibits - Rainwater\395058\A2\ Rainwater Plan.dwg - SHEET: 22x34 May. 6. 15. - 11:12 AM pre




LEGEND:

— SD — **PROPOSED STORM DRAIN**

 **PROPOSED RAINWATER MANAGEMENT FACILITY**



SCALE



1 INCH = 40 FEET



Villebois



POLYGON NW COMPANY



REVISIONS	
DATE	DESCRIPTION

**PDP 6C/FDP
VILLEBOIS
ROW HOMES**

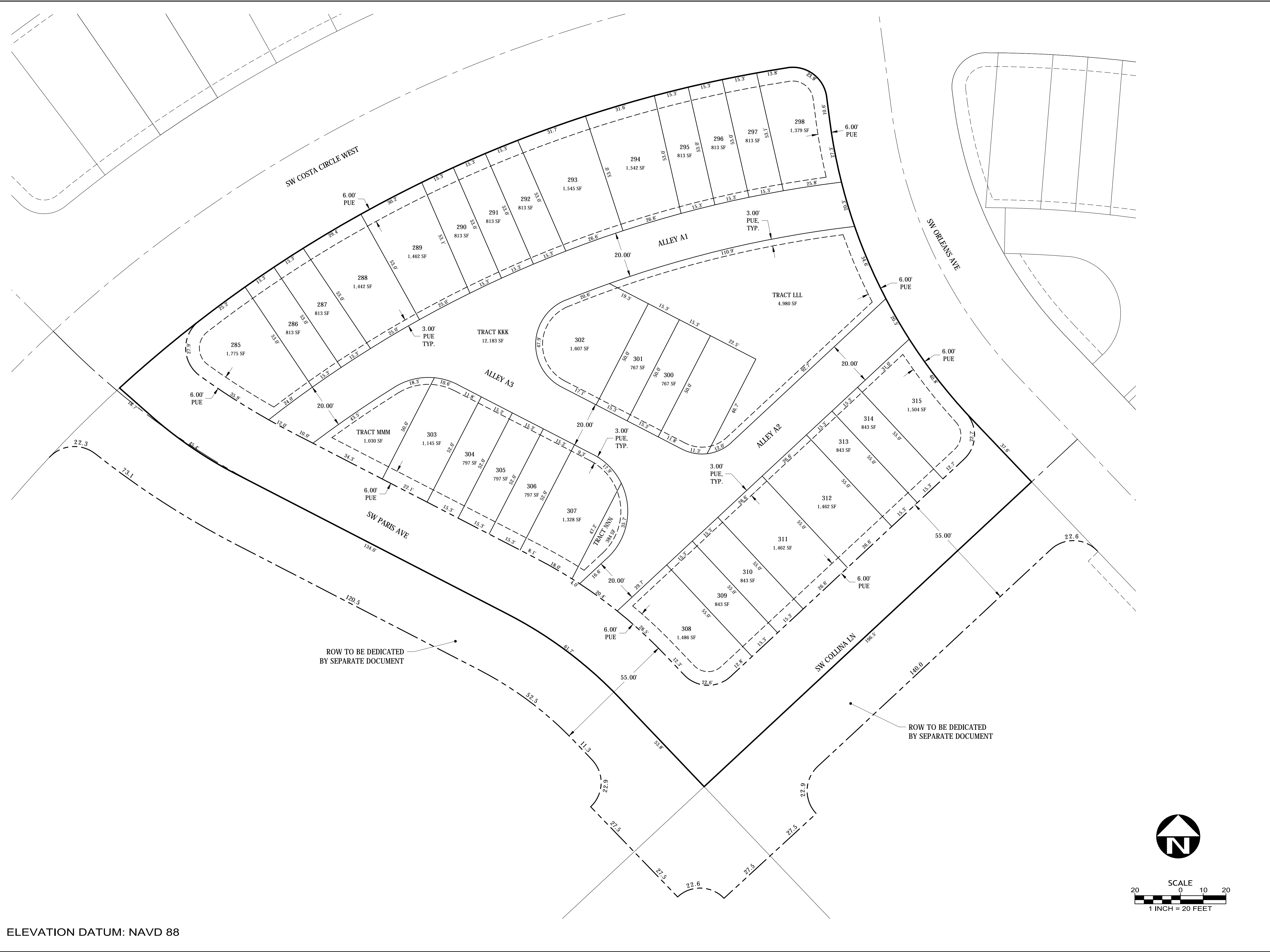
Preliminary
Development Plan
&
Final Development Plan

**RAINWATER
MANAGEMENT
PLAN**

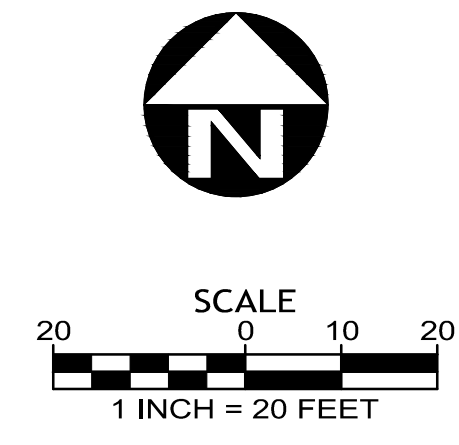
1ST SUBMITTAL DATE 3/23/2015
2ND SUBMITTAL DATE 5/6/2015

A2

N:\proj\395-058-09 Drawings\03 Planning\Sheets - Planning\Submittal\395058-03\PLAT.dwg - SHEET: 22x34 May 6, 15 - 9:05 AM enr



ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 6C
VILLEBOIS
ROW HOMES**

Preliminary Development Plan
&
Final Development Plan

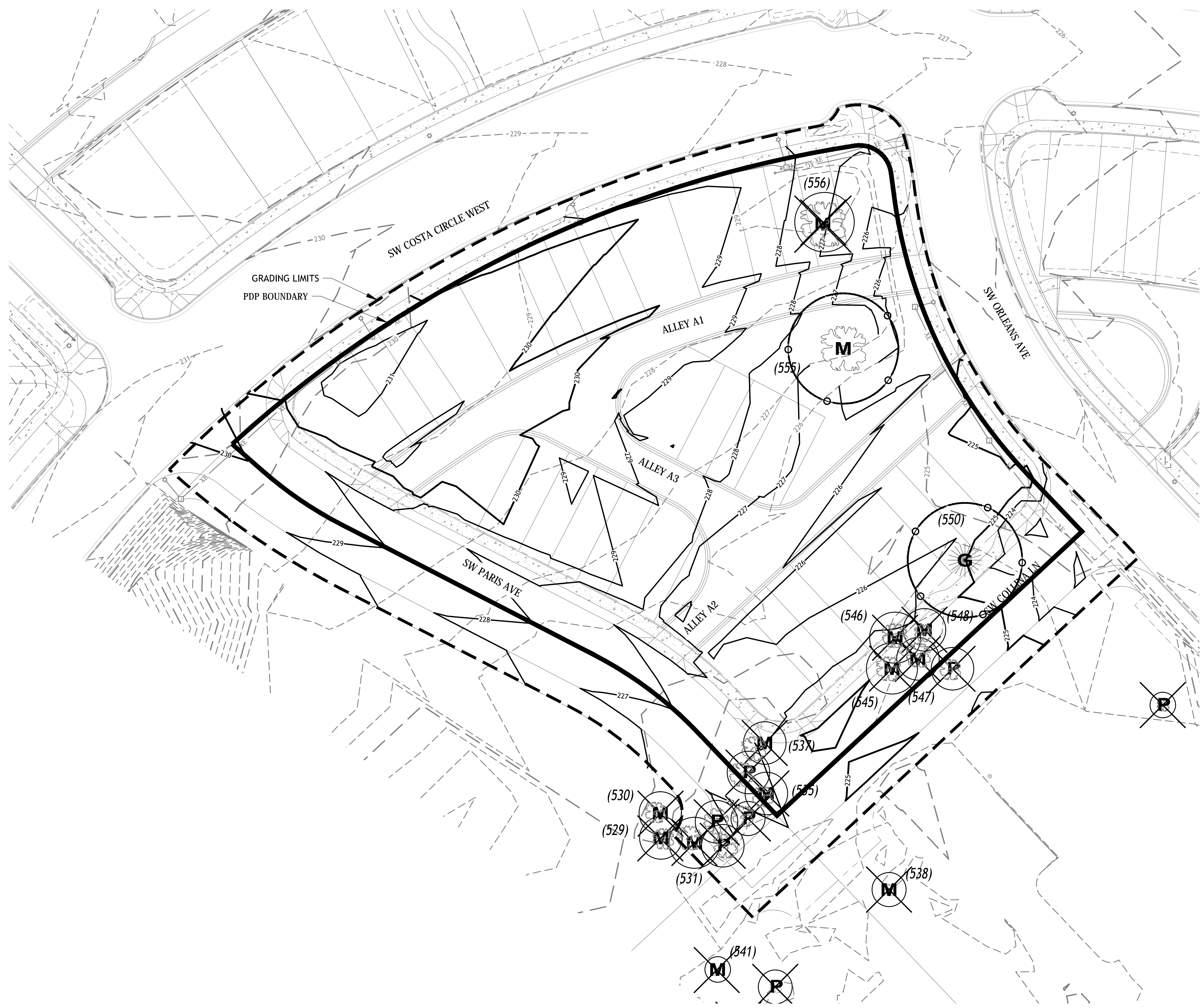
**PRELIMINARY
PLAT**

2ND SUBMITTAL DATE 5/6/2015
1ST SUBMITTAL DATE 3/23/2015

4

N:\proj\395-058\09 Drawings\03 Planning\Sheets - Planning\Submittal\395058.09\TREPRES.dwg - SHEET 22x34 May. 6. 15. 9:09 AM enk

ELEVATION DATUM: NAVD 88



LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (Symbol: Circle with 'M')
- (Symbol: Circle with 'G')
- (Symbol: Circle with 'X')
- (Symbol: Dashed line)
- (Symbol: Solid line)

NOTES
 ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARBORIST. CONTACT: MORGAN HOLAN PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
 TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:
 1. HEALTH
 2. SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
 3. COMPATIBILITY WITH DEVELOPMENT
 4. FORM / VISUAL INTEREST / MATURE SIZE

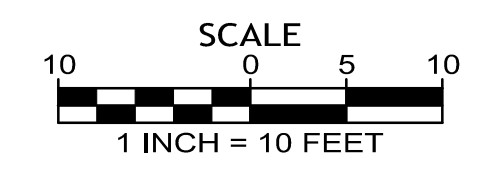
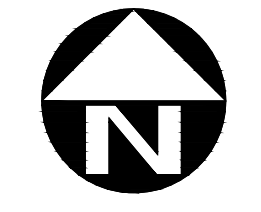
TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:
 1. THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLAN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 6C
 VILLEBOIS
 ROW HOMES**

Preliminary Development Plan & Final Development Plan

TREE PRESERVATION PLAN

2ND SUBMITTAL DATE 5/6/2015
 1ST SUBMITTAL DATE 3/23/2015

PHASE 6 CENTRAL VILLEBOIS ROW HOMES FINAL DEVELOPMENT PLAN

TL 3500, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

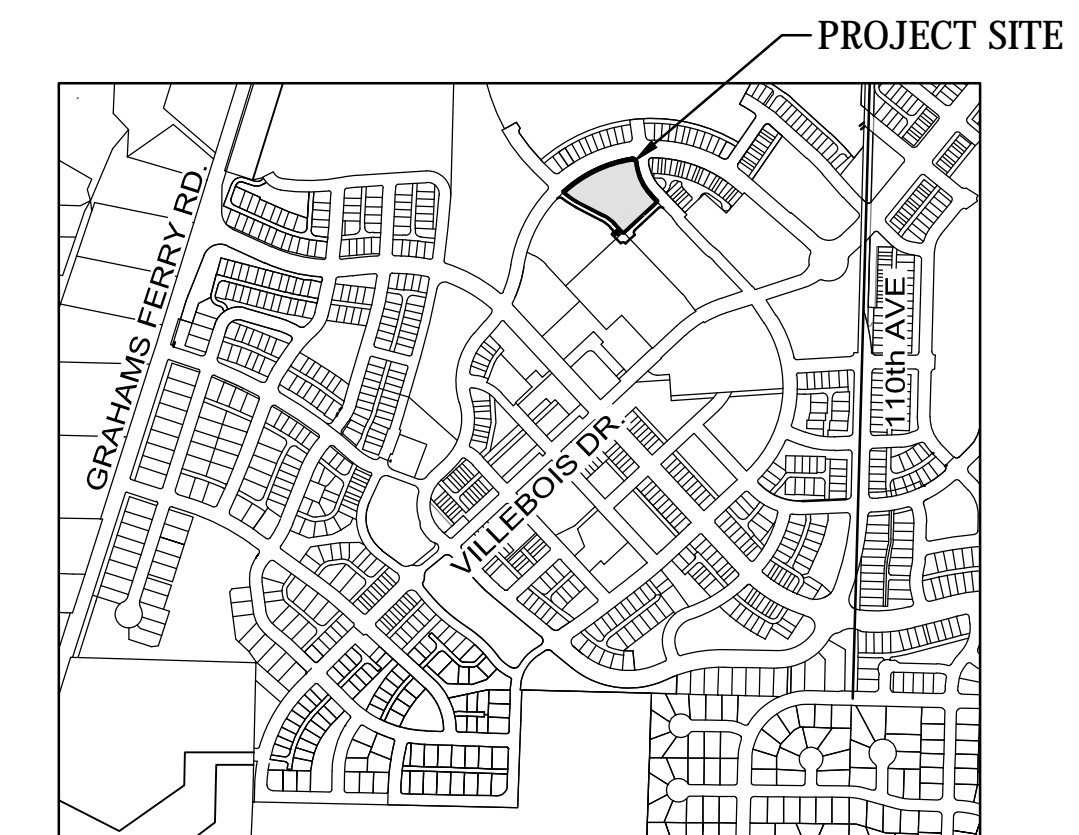
LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW Main Street
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

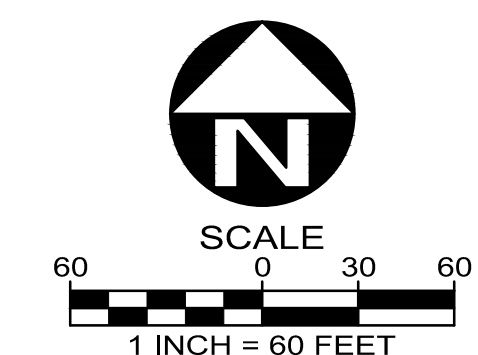
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

1	COVER SHEET
2	BUILDING SITE PLAN
L1	PLANTING PLAN
L2	PLANTING DETAILS AND NOTES
T1-T6	ARCHITECTURAL PLANS



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

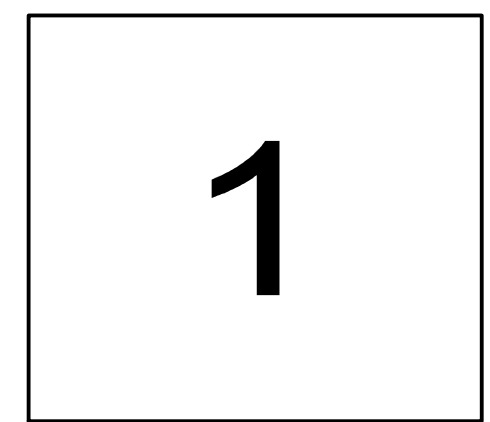
REVISIONS	
DATE	DESCRIPTION

FDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

COVER
SHEET

1ST SUBMITTAL DATE 3/23/2015





Villebois



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

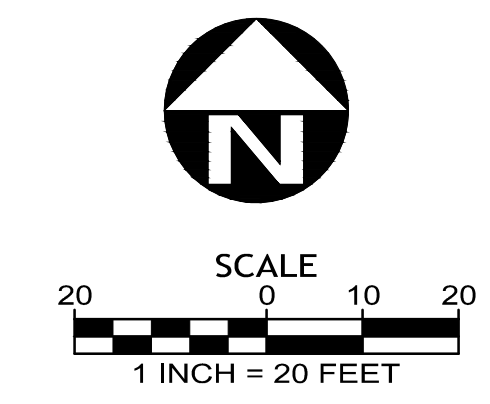
FDP 6C
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

BUILDING
SITE PLAN

1ST SUBMITTAL DATE 3/23/2015

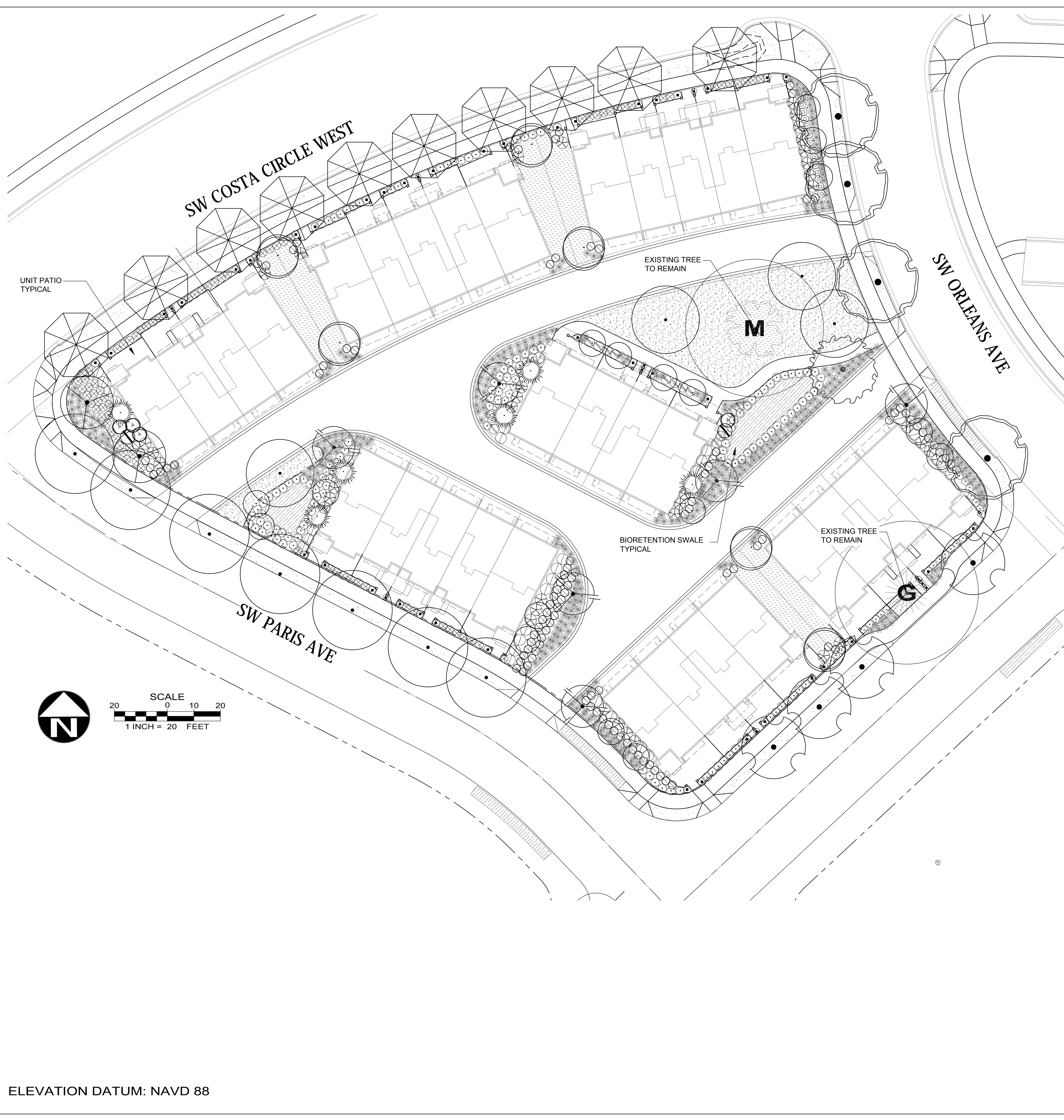
2



N:\proj\395-058-09 Drawings\03 Planning Sheets - FDP_395058 (2) BUILDING SITE.dwg - SHEET 22x34 Mar. 23. 15 - 4:36 PM brian

ELEVATION DATUM: NAVD 88

N:\proj\395-058-09 Drawings\03 Planning Sheets - FDP_395058-STREETTREE-FDP-(L1).dwg - SHEET L1 May. 5. 15 - 3:00 PM kel



ELEVATION DATUM: NAVD 88

STREET TREE LEGEND:

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	10	TULIP TREE / LIRIODENDRON TULIPIFERA	2.5" cal., B&B	25' o.c.
	4	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2.5" cal., B&B	25' o.c.
	7	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	4	CRIMEAN LINDEN / TILIA X EUCHLORA	2.5" cal., B&B	25' o.c.

- PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.
- BIORETENTION CELL

PLANTING LEGEND:

TREES

SYMBOL	COMMON NAME / BOTANICAL NAME:	SIZE AND DESCRIPTION
	RED SUNSET MAPLE / Acer rubrum 'Franksred':	2 Cal., B&B
	VINE MAPLE / Acer circinatum:	2" Cal., B&B
	JAPANESE MAPLE / ACER PALMATUM:	8' HT.
	INCENSE CEDAR / Calocedrus decurrens:	8' Ht., B&B
	CHINESE KOUSA DOGWOOD / Cornus kousa 'Chinensis':	2" Cal., B&B
	CHINESE REDBUD / Cercis chinensis:	2" Cal., B&B
	SHIROFUGEN CHERRY / Prunus serrulata 'Shirofugen':	2" Cal., B&B

SHRUBS

SYMBOL	COMMON NAME / BOTANICAL NAME:	SIZE AND DESCRIPTION
	'NIKKO BLUE' HYDRANGEA / HYDRANGEA MACROPHYLLA 'NIKKO BLUE':	3 GAL.
	DAVID VIBURNUM / VIBURNUM DAVIDII:	2 GAL.
	DOUBLEFILE VIBURNUM / VIBURNUM PLICATUM 'TOMENTOSUM':	3 GAL.
	COMPACT JAPANESE HOLLY / ILEX CRENATA 'COMPACTA':	3 GAL.
	DWARF BURNING BUSH / EUONYMUS ALATA 'COMPACTA':	3 GAL.
	ANTHONY WATERER SPIREA / SPIREA BUMALDA 'ANTHONY WATERER':	3 GAL.
	RHODODENDRON 'PJM':	24"-30", B&B, 5' O.C.
	RHODODENDRON 'JEAN MARIE DE MONTEGUE':	3 Gal
	CAROL MACKIE DAPHNE / DAPHNE BURKWOODII 'CAROL':	3 GAL.
	REEVES SKIMMIA / SKIMMIS REEVESIANA:	3 GAL.
	ISANTI REDOSER DOGWOOD / CORNUS SERICEA 'ISANTI':	3 Gal.
	HOOGENDORN JAPANESE HOLLY / ILEX CRENATA 'HOOGENDORN':	3 GAL., 3' O.C.

ORNAMENTAL GRASSES AND GROUNDCOVERS

SYMBOL	COMMON NAME / Botanical name:	Size and Description
	DWARF FOUNTAIN GRASS / Pennisetum alopecuroides 'Hamlen':	1 Gal.
	MULCH	3" MIN. DEPTH. MEDIUM TO FINE GROUND DOUGLAS FIR
	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD.	AT A RATE OF 8 LBS/1000 SQUARE FEET.

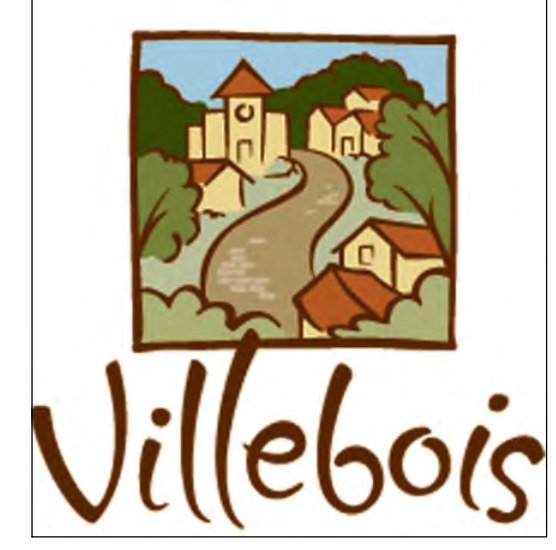
NOTE:
 1. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

BIORETENTION CELL PLANTING LEGEND

TREES/SHRUBS

SYMBOL	COMMON NAME / Botanical name:	Size and Description
	WEeping ALASKAN CEDAR / Chamaecyparis nootkatensis 'Pendula':	7-8' Ht., B&B
	PACIFIC DOGWOOD / Cornus nuttallii:	2" Cal., B&B
	NOOTKA ROSE / Rosa nutkana:	#1 CONTAINER
	RED TWIG DOGWOOD / Cornus sericea:	#1 CONTAINER
	KELSEY DOGWOOD / Cornus sericea 'Kelsey':	#1 CONTAINER
	SNOWBERRY / Symphoricarpos alba:	#1 CONTAINER
	"WET/MOIST" AREA PLUGS: (4" PLUGS @ 12" O.C.)	

SLOUGH SEDGE / Carex obnupta	34%
SOFT RUSH / Juncus tenuis	33%
SMALL FRUITED BULRUSH / Scirpus microcarpus	33%



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
 GEODESIGN, INC

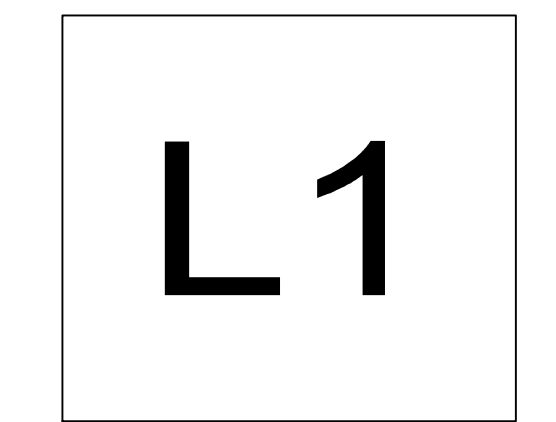
REVISIONS	
DATE	DESCRIPTION

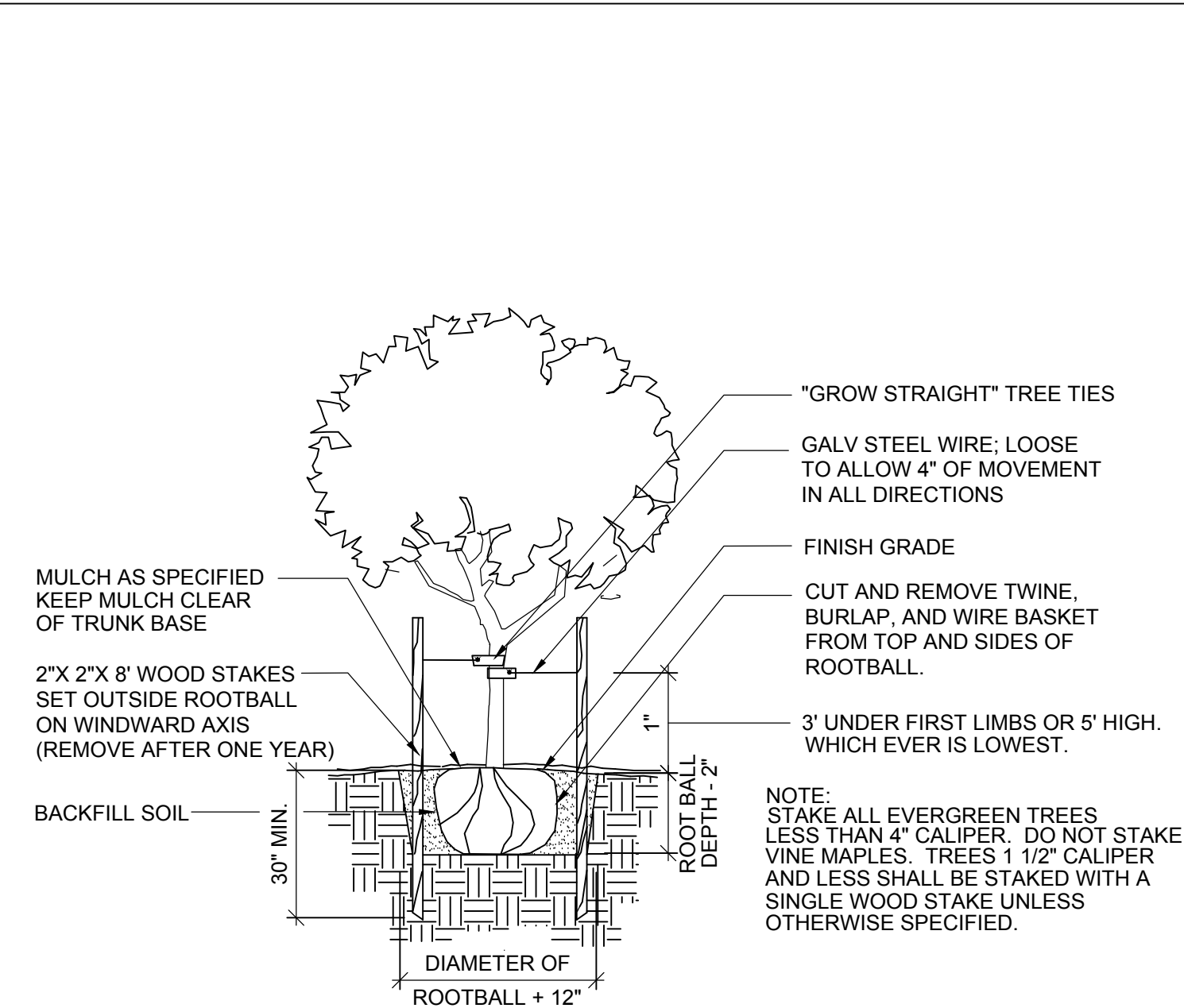
**FDP 6C
 VILLEBOIS
 ROW HOMES**

Preliminary Development Plan
 &
 Final Development Plan

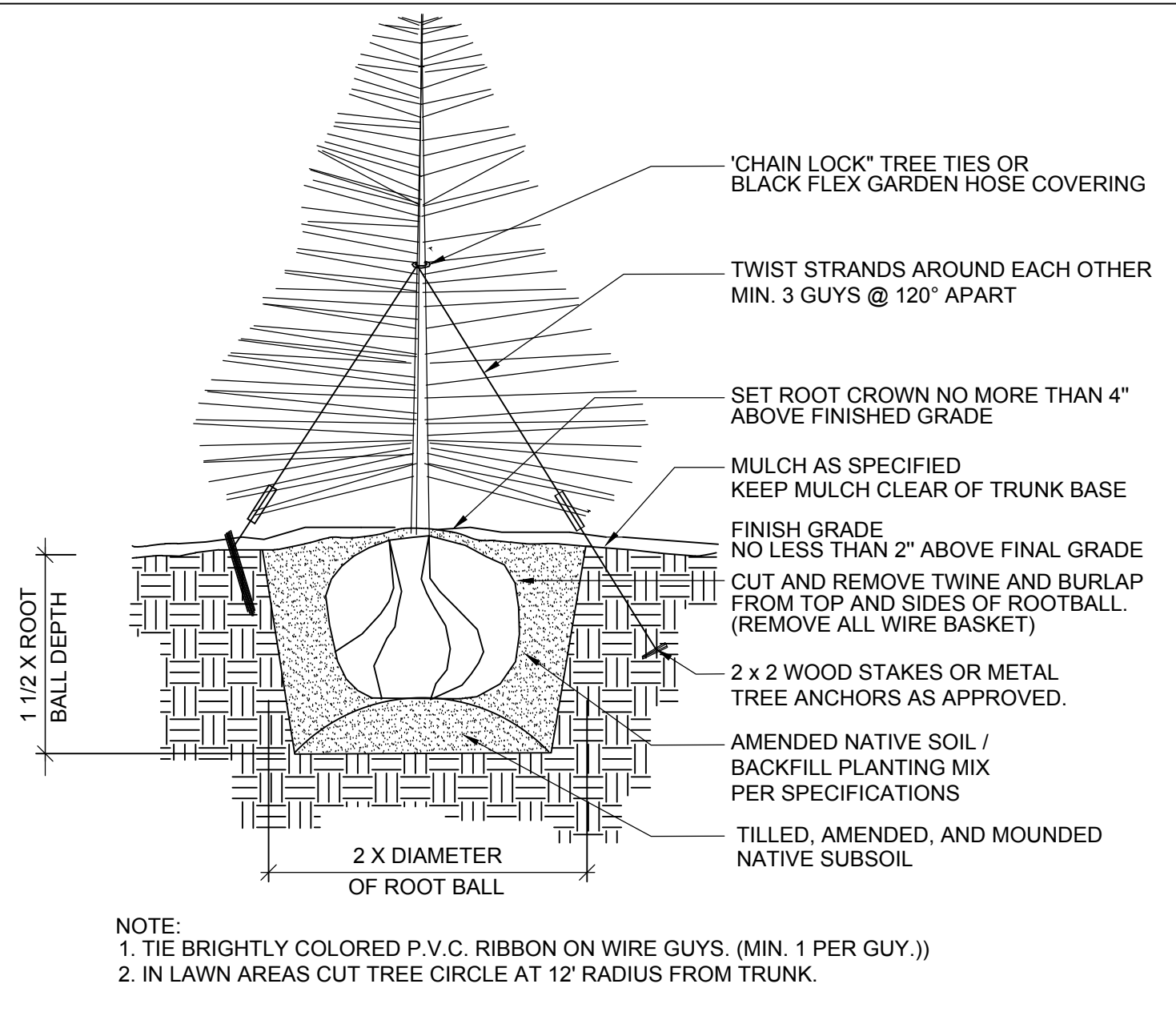
PLANTING PLAN

1ST SUBMITTAL DATE 3/23/2015

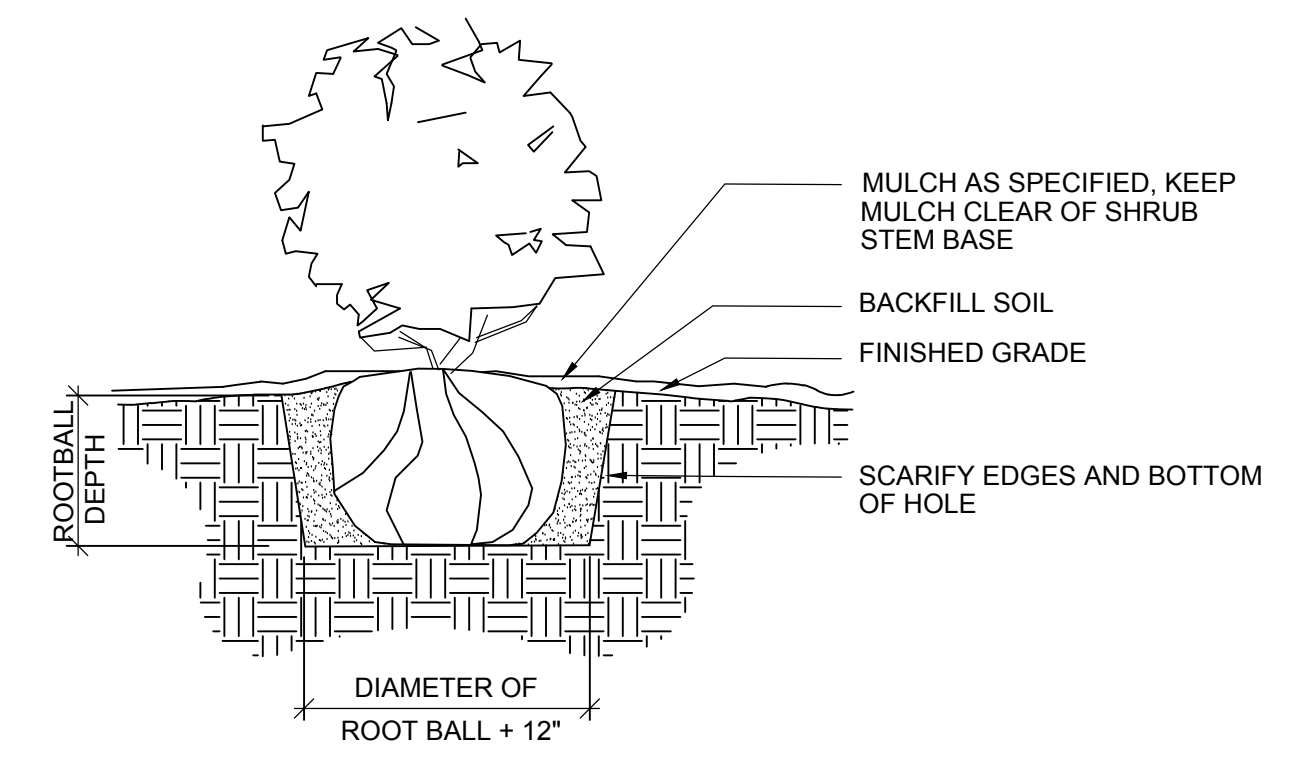




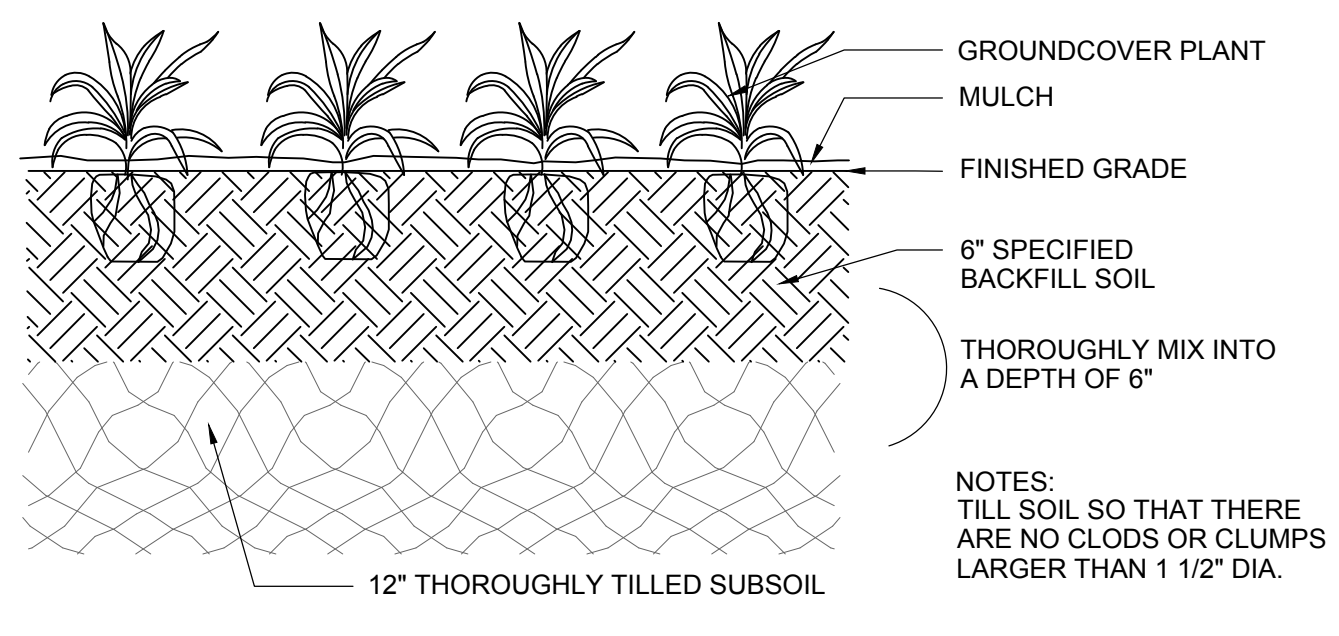
TREE STAKING DETAIL
SCALE: N.T.S.



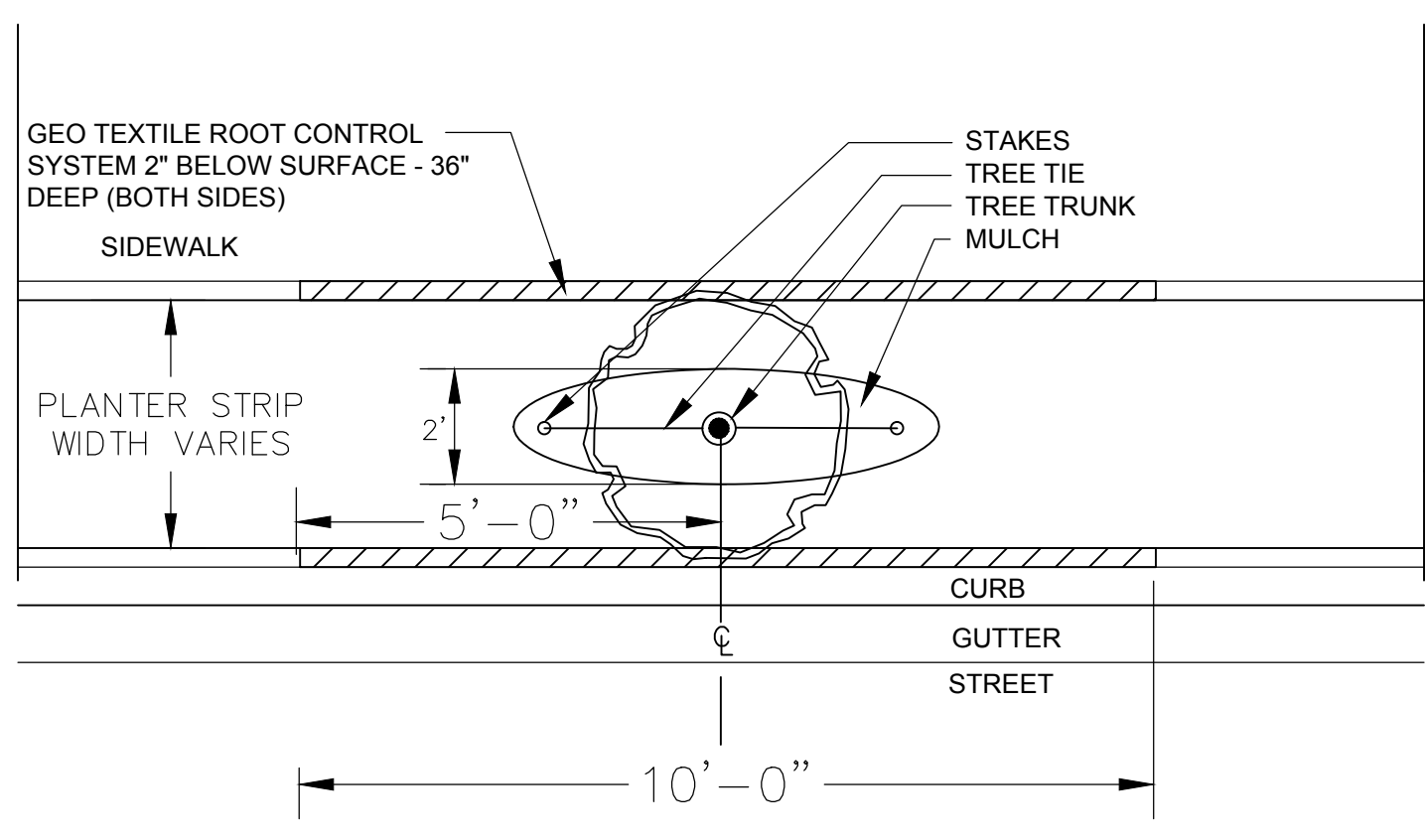
CONFIER TREE GUYING DETAIL
SCALE: N.T.S.



SHRUB PLANTING DETAIL
SCALE: N.T.S.



GROUNDCOVER PLANTING DETAIL
SCALE: N.T.S.



TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY
SCALE: N.T.S.

GENERAL NOTES: LANDSCAPE PLAN

1. THE CONTRACTOR SHALL VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO ODR.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN A BARK MULCH BED, UNLESS NOTED OTHERWISE.
5. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
7. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEIOUS MATERIAL OR DEBRIS.
8. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT TAG AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
9. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
10. WITH THE EXCEPTION OF THOSE TREES INDICATED ON THE TREE REMOVAL PLAN, CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ODR. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE ODR.
11. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY ODR TO ADJUST TREE LOCATIONS.
12. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE ODR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
13. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
14. BACK FILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO ONE PART TOPSOIL BY VOLUME, BONE MEAL PER MANUFACTURE'S RECOMMENDATION, AND SLOW RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATION.
15. GROUND COVERS AND PERENNIALS SHALL BE PLANTED WITH A MAXIMUM 2 INCH COVER OF BARK MULCH WITH NO FOLIAGE COVERED.
16. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
17. ALL PLANT MATERIALS SHALL BE NURSERY GROWN WITH HEALTHY ROOT SYSTEMS AND FULL BRANCHING, DISEASE AND INSECT FREE AND WITHOUT DEFECTS SUCH AS SUN SCALD, ABRASIONS, INJURIES AND DISFIGUREMENT.
18. ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE AND QUANTITY SPECIFIED. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SUB-STANDARD RESULTS CAUSED BY REDUCTION IN SIZE AND/OR QUANTITY OF PLANT MATERIALS.

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



OTTEN LANDSCAPE ARCHITECTS, INC
GEODESIGN, INC

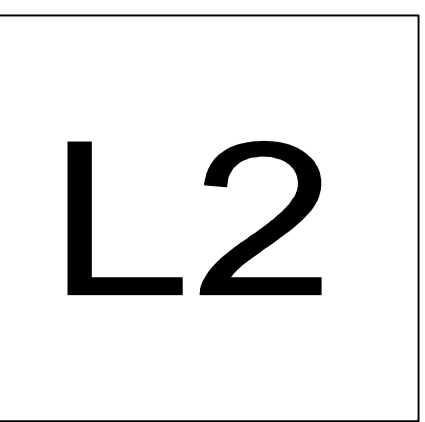
REVISIONS	
DATE	DESCRIPTION

**FDP 6C
VILLEBOIS
ROW HOMES**

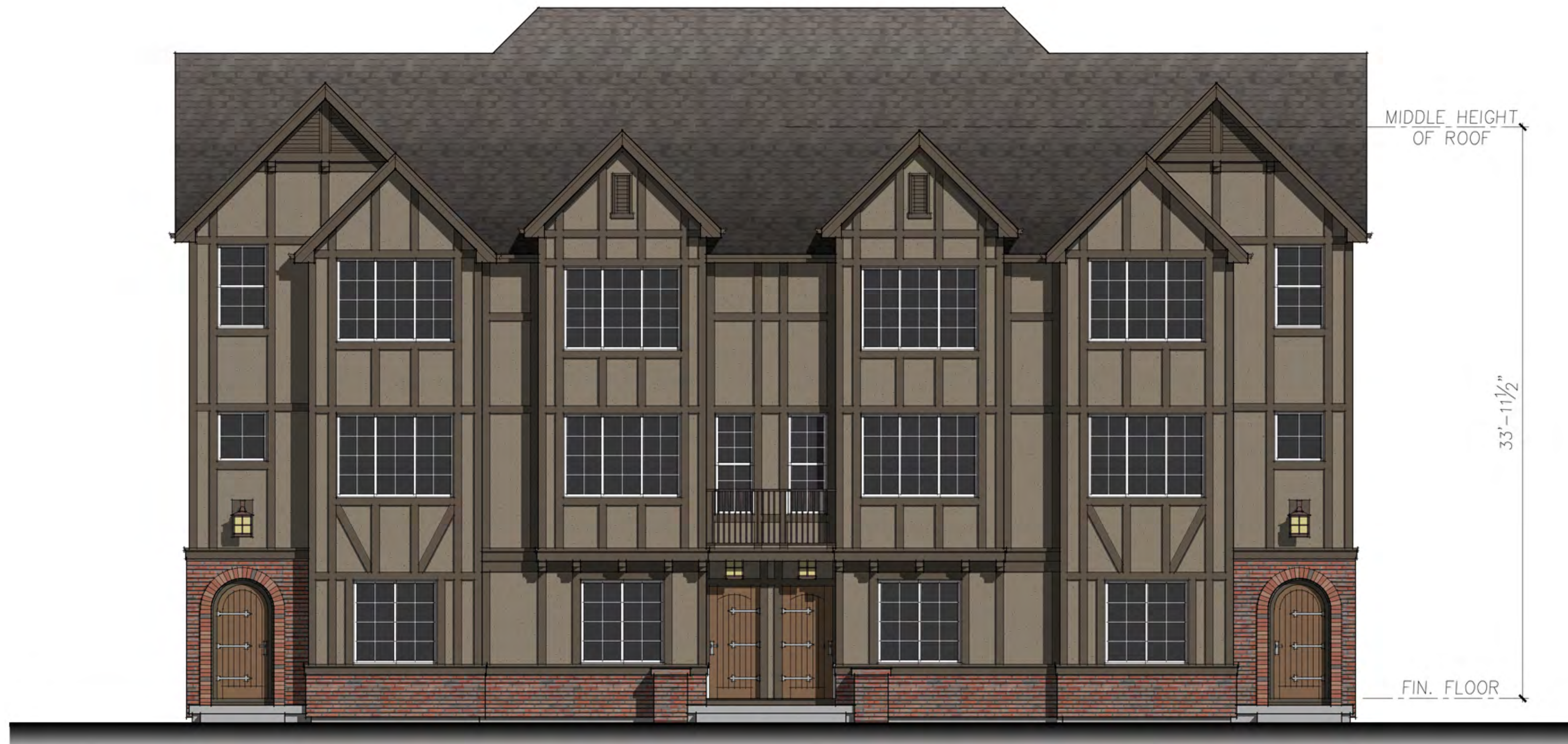
Preliminary Development
Plan
&
Final Development Plan

**PLANTING
DETAILS &
NOTES**

1ST SUBMITTAL DATE 3/23/2015



N:\proj\395-058_09 Drawings\03 Planning Sheets - FDP_395058.STREETREE-FDP-(L2).dwg - SHEET: 12 May, 5, 15 - 1:42 PM .kel



4-PLEX

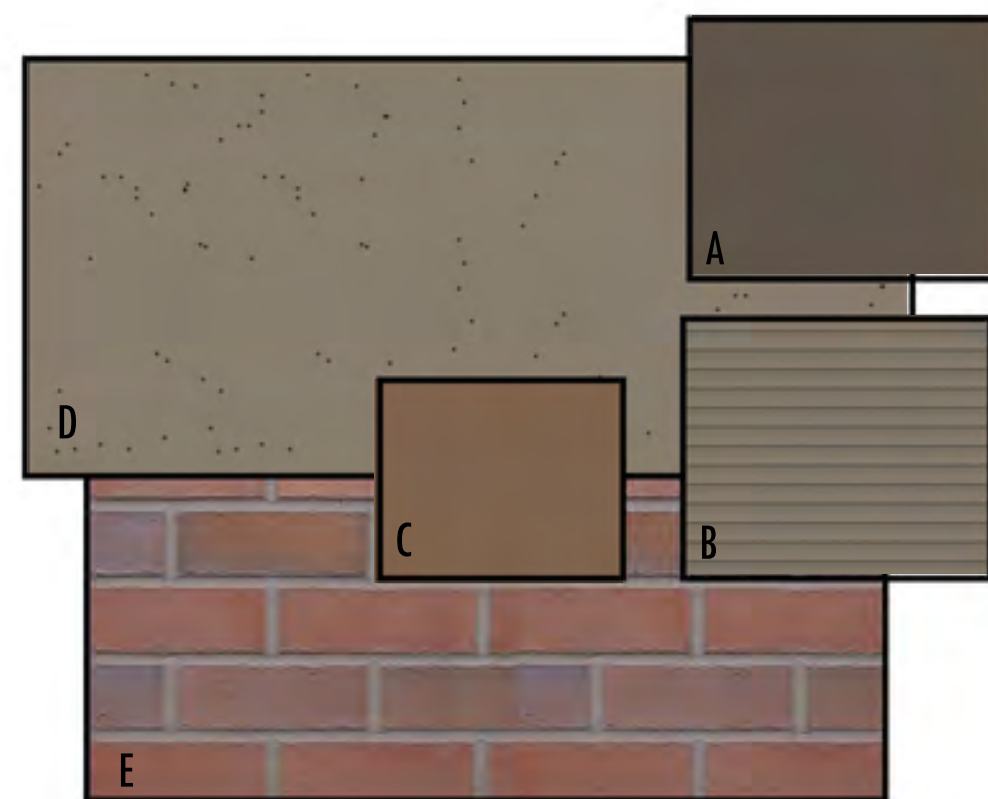
1/4" = 1'-0"

FRONT ELEVATION

ENGLISH REVIVAL

Color Legend

- (A) ACCENT 1
TRIM & COLUMNS
ENDURING BRONZE (S.W 7055)
- (B) ACCENT 2
5" LAP SIDING
BACKDROP (S.W 7025)
- (C) ACCENT 3
DOORS
BURNISHED BRANDY (S.W 7523)
- (D) BODY
STUCCO SIDING
BACKDROP (S.W 7025)
- (E) BASE
BRICK VENEER
AUTUMN BLEND - SMOOTH



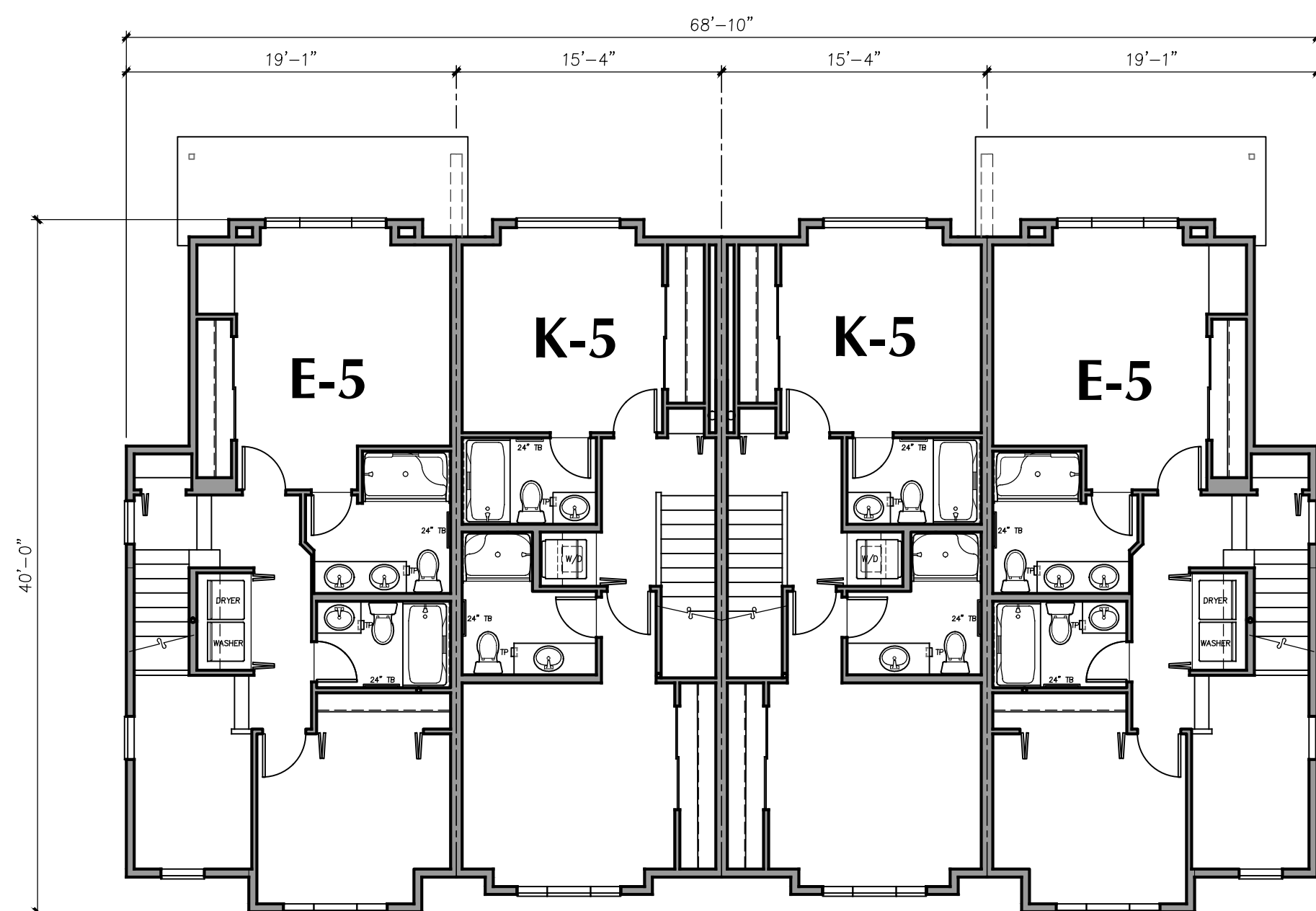


4-PLEX

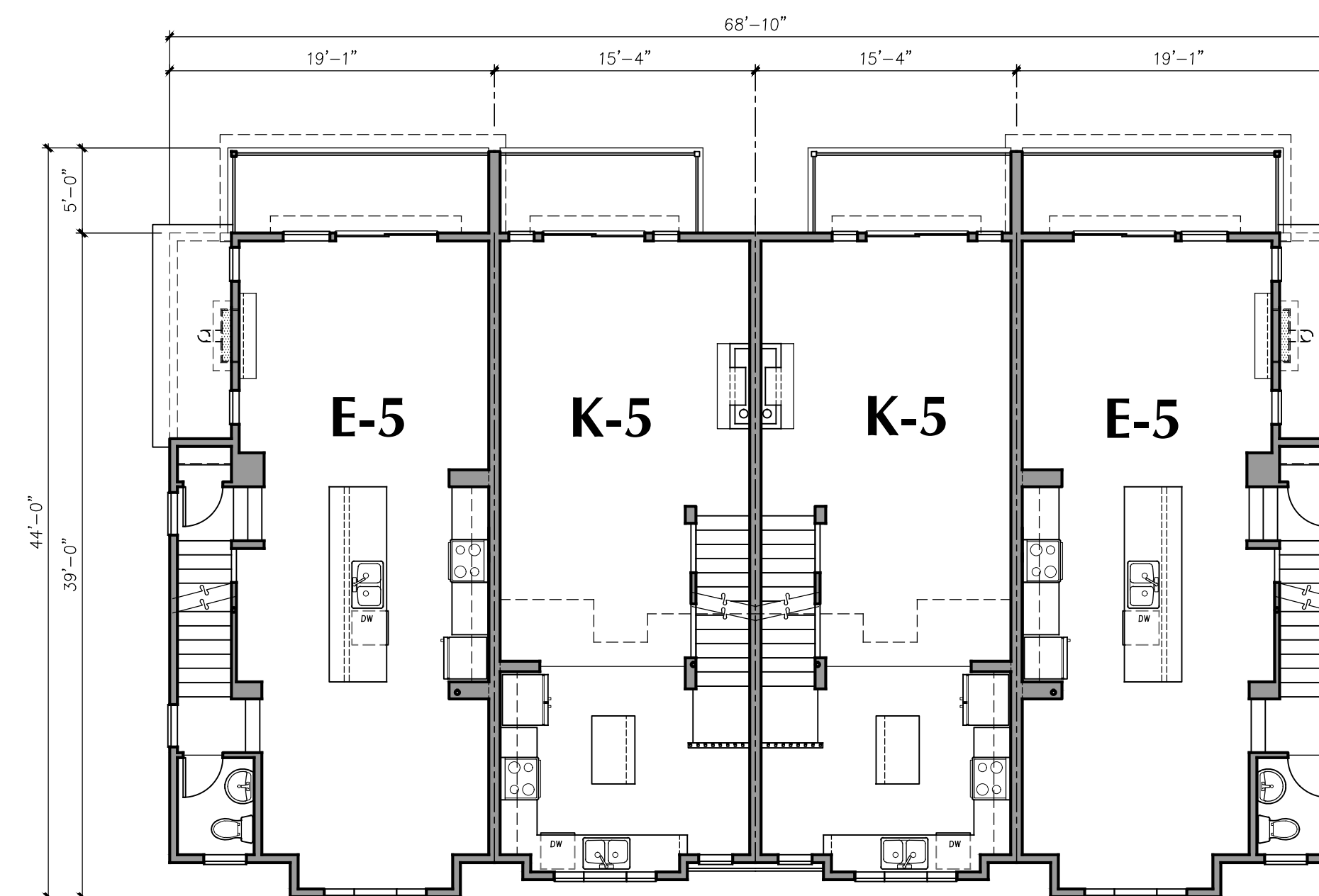
1/4" = 1'-0"

REAR ELEVATION

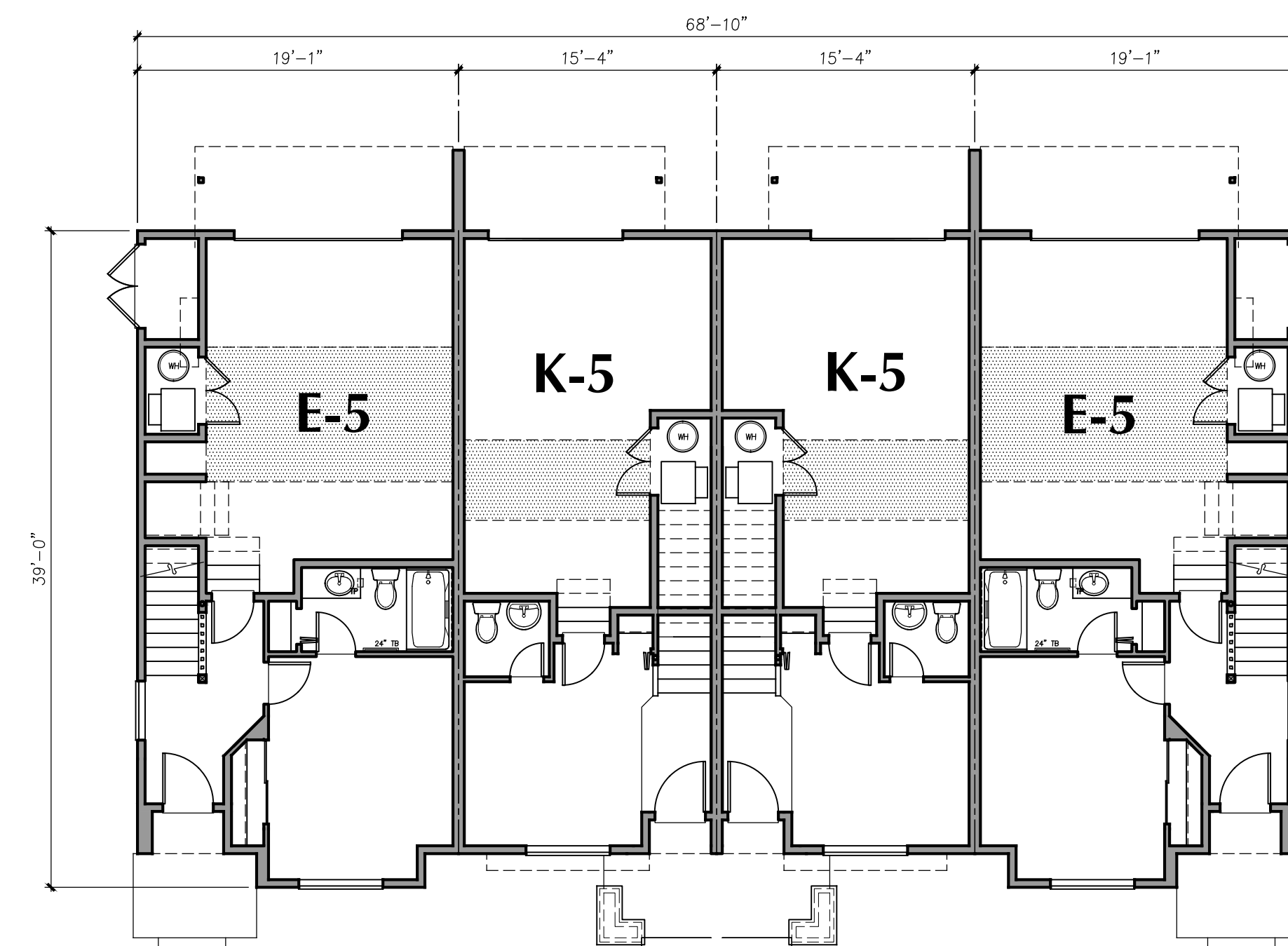
ENGLISH REVIVAL



4-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



4-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



4-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



4-PLEX

1/4" = 1'-0"

FRONT ELEVATION

FRENCH REVIVAL

HE:\1517\ROWHOMES\4-PLEX FRNT FRENCH REVIVAL.DWG



Milbrandt Architects, Inc., P.S.

25 Central Way, Suite 210, Kirkland, Washington 98033 Phone: 425-454-7130 Fax: 425-658-1208 Website: <http://www.milbrandtarch.com>

Polygon at Villebois

Villebois Central PDP 6C

Wilsonville, Oregon

Polygon Northwest Company

Villebois Rowhomes French Revival

Scale: 1/4" = 1'-0"

Drawn By: JDP, AJC

Date: 6-30-15

Date Plotted: 6-30-15

Sheet No.:

T5

Job No.: 1509



Color Legend

- (A) ACCENT 1
TRIM
BACKDROP (S.W 7025)
- (B) ACCENT 2
5" LAP SIDING
AVENUE TAN (S.W 7543)
- (C) ACCENT 3
DOORS AND SHUTTERS
SECRET GARDEN (S.W 6181)
- (D) BODY
STUCCO SIDING
AVENUE TAN (S.W 7543)
- (E) BASE
STONE VENEER
GLACIER VALLEY





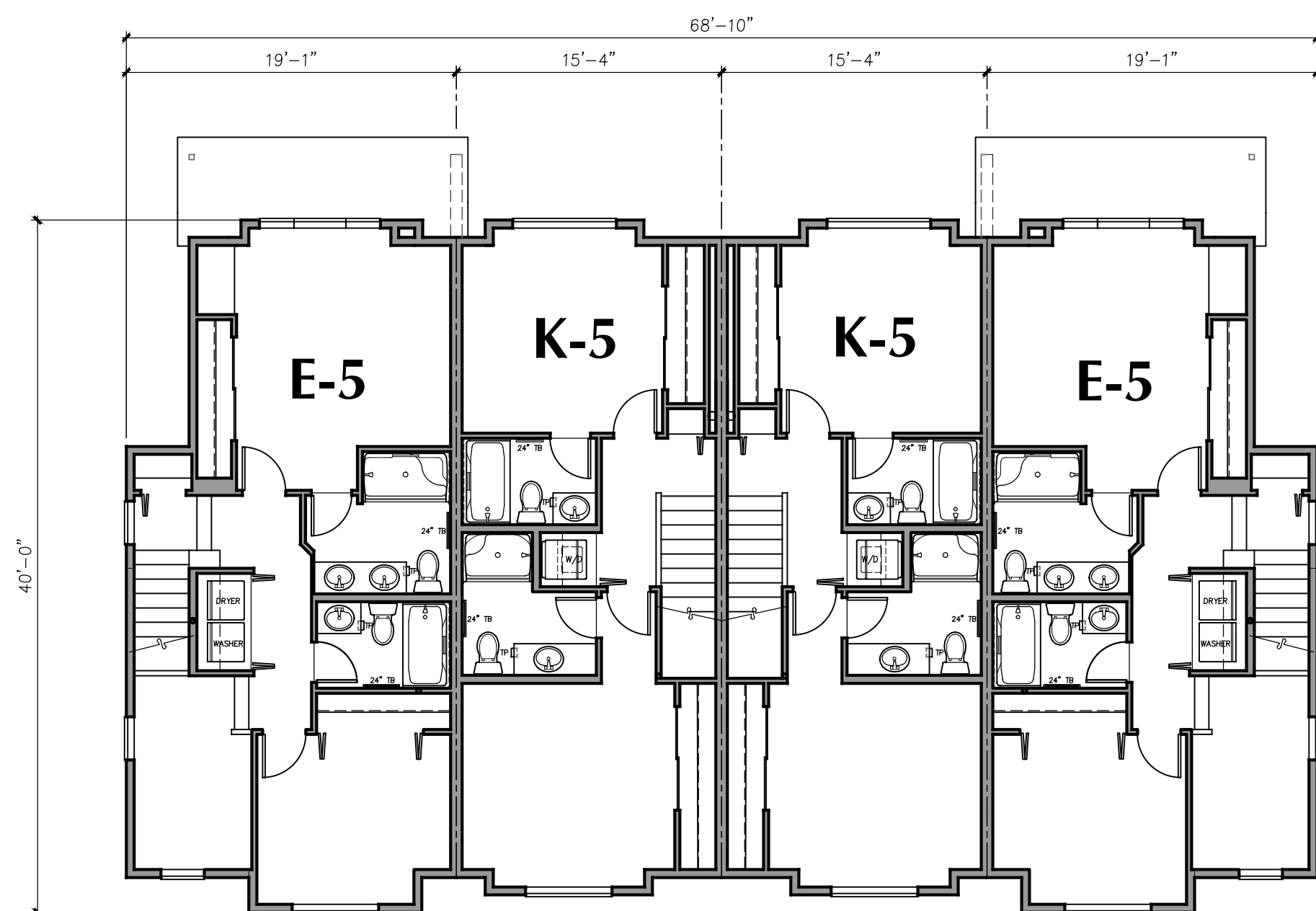
4-PLEX

1/4" = 1'-0"

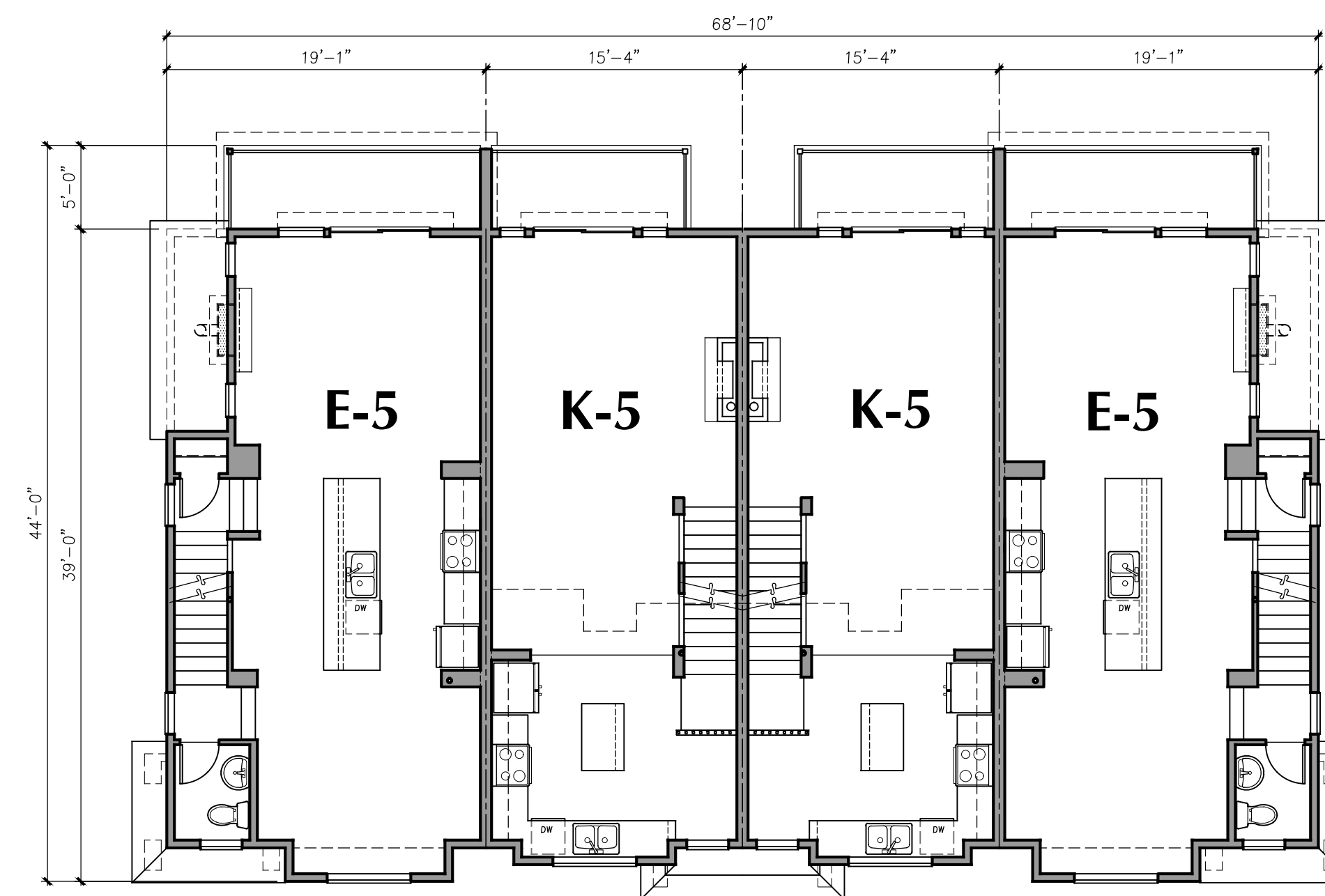
REAR ELEVATION

FRENCH REVIVAL

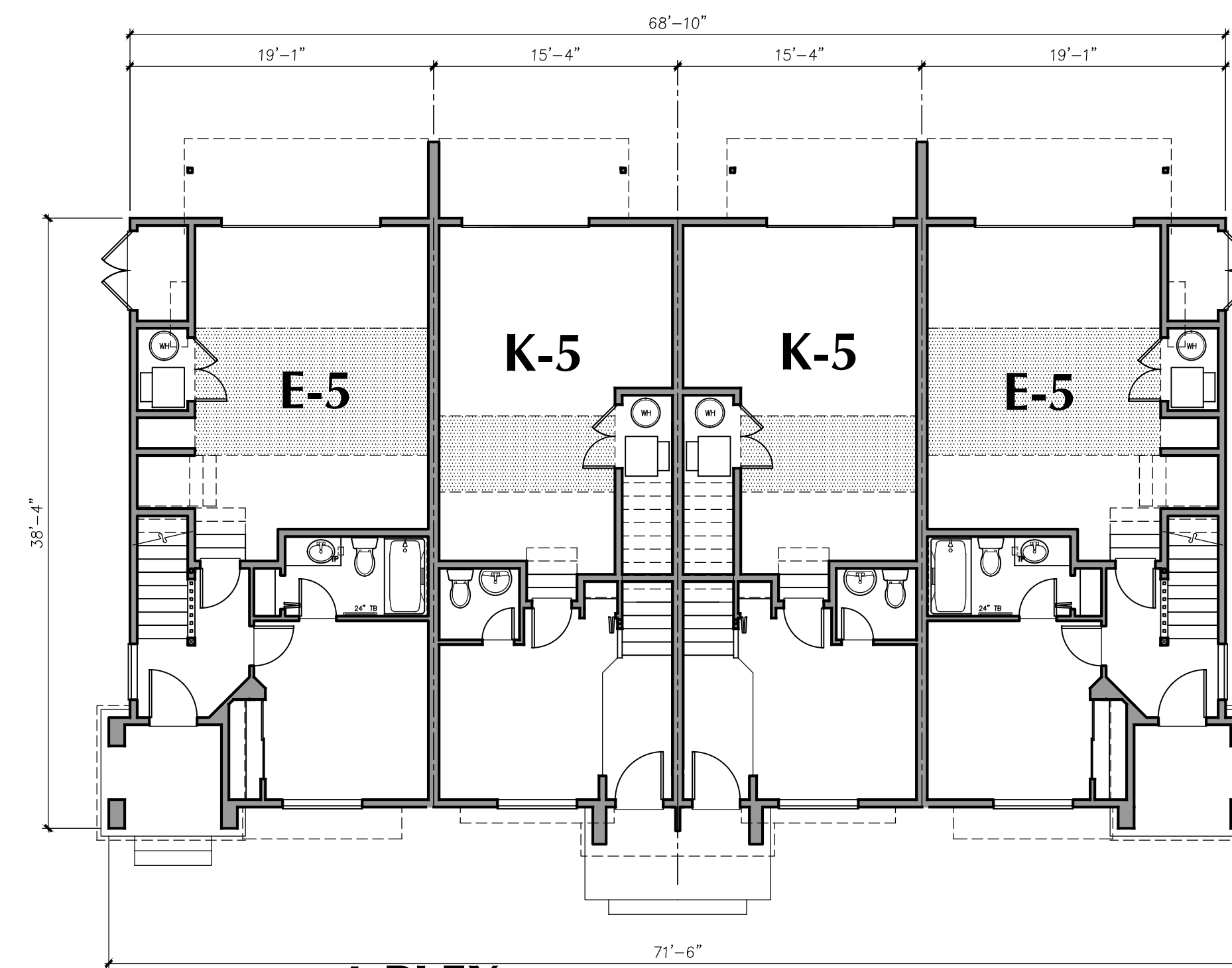
H:\1517\ROWHOMES\4-PLEX REAR ELEVATION.DWG



4-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



4-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



4-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL

H:\1517\ROWHOMES\4-PLEX FLAT FRENCH REVIVAL.DWG

Polygon at Villebois

Wilsonville, Oregon

Polygon Northwest Company

Villebois Rowhomes Building Plans French Revival

Scale: 1/8" = 1'-0" Drawn By: EE Date: 3-19-15 Date Plotted: 6-29-15

Sheet No.:

T8

Job No.: 1509



5-PLEX

1/4" = 1'-0"

REAR ELEVATION

ENGLISH REVIVAL

H:\1517\ROWHOMES\5-PLEX FLAT ENGLISH REVIVAL.DWG



Milbrandt Architects, Inc., P.S.
 25 Central Way, Suite 210, Kirkland, Washington 98033 Phone: 425-454-7130 Fax: 425-658-1208 Website: <http://www.milbrandtarch.com>

Polygon at Villebois
 Villebois Central PDP 6C
 Wilsonville, Oregon

Polygon Northwest Company

Villebois Rowhomes
 English Revival

Scale: 1/4" = 1'-0"

Drawn By: JDP, AJC

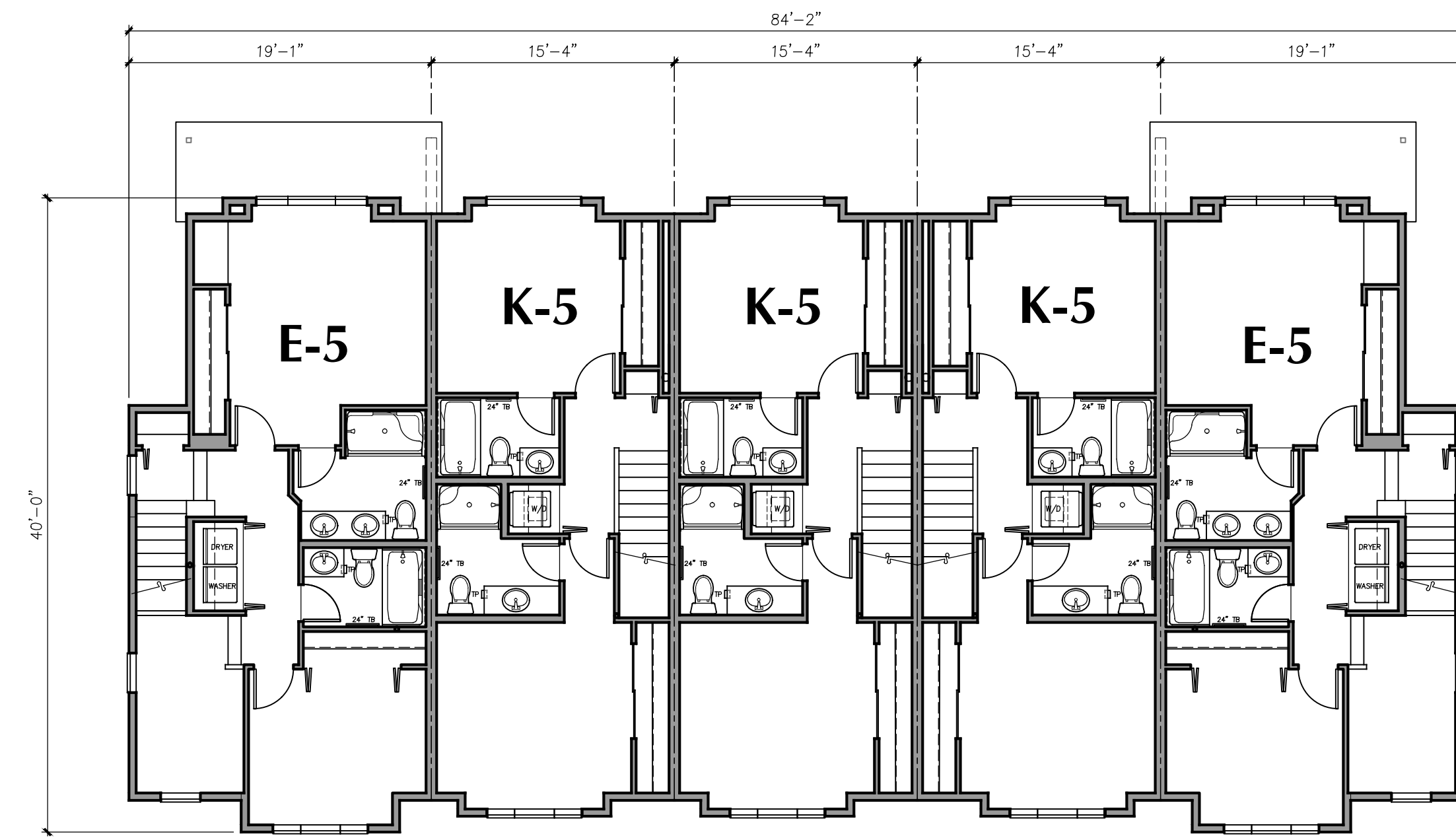
Date: 6-30-15

Date Plotted: 6-30-15

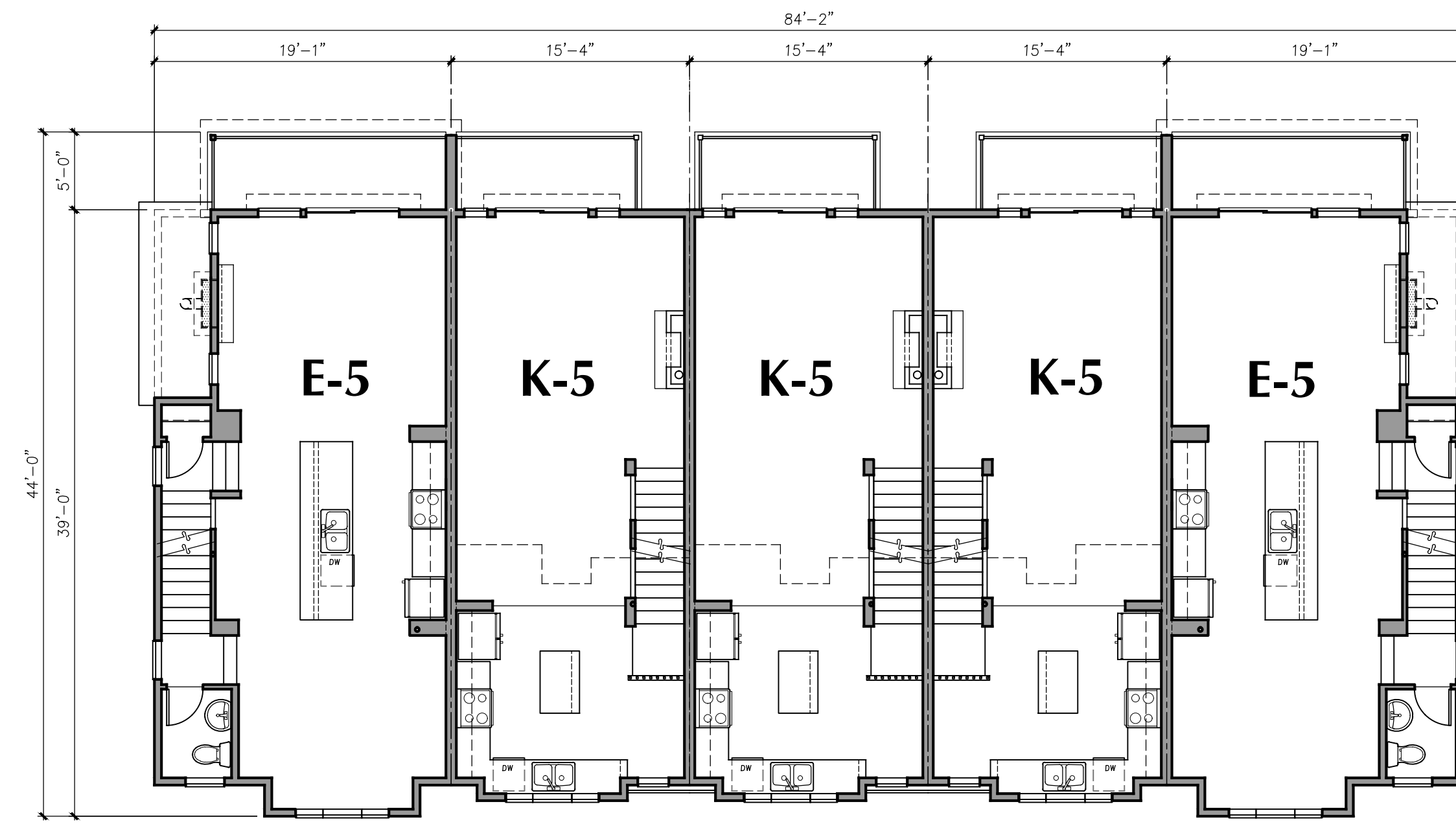
Sheet No.:

T10

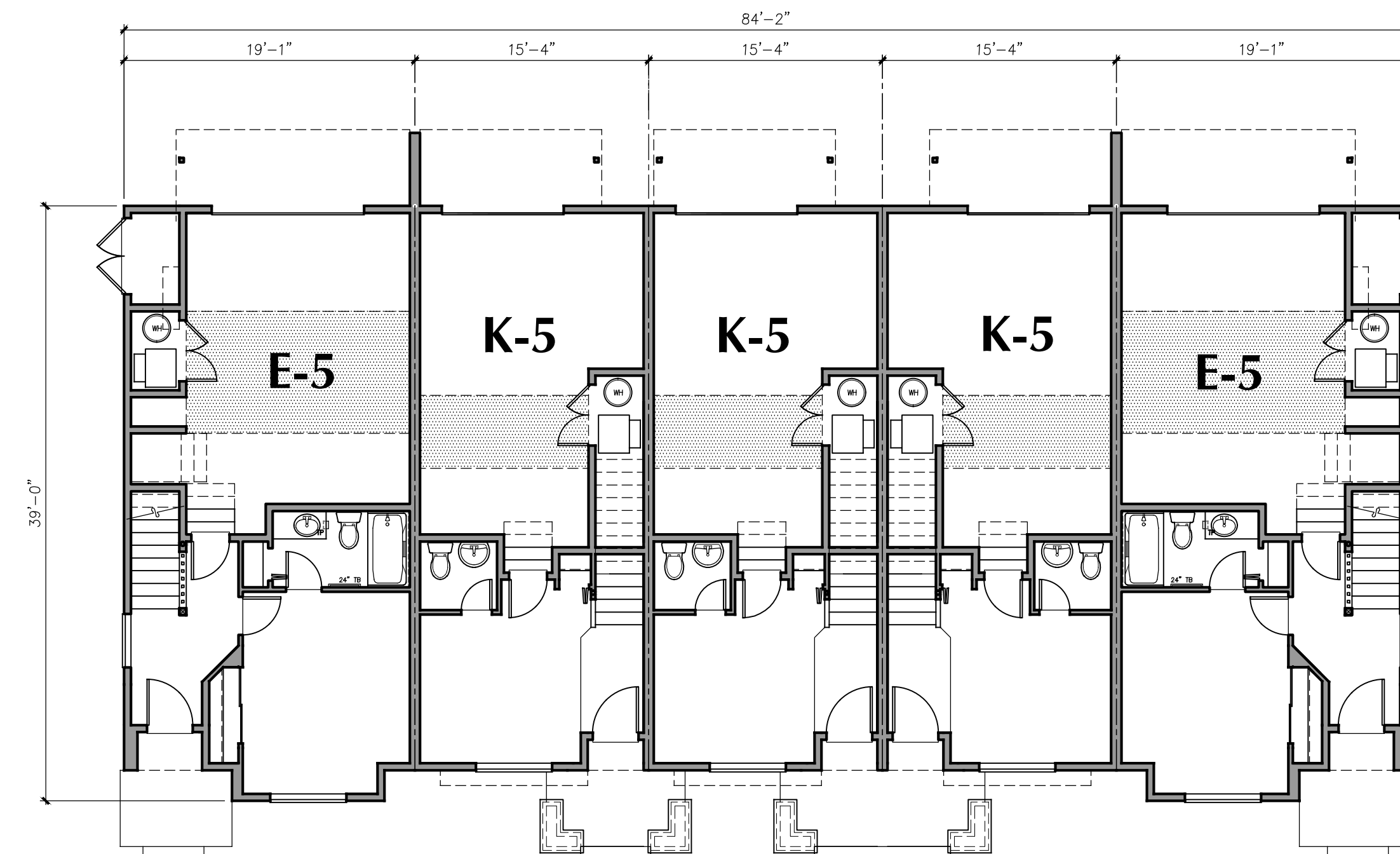
Job No.: 1509



5-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



5-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL



5-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" ENGLISH REVIVAL

Polygon at Villebois

Wilsonville, Oregon

Polygon Northwest Company

Villebois Rowhomes Building Plans English Revival

Scale: 1/8" = 1'-0"

Drawn By: EE

Date: 3-19-15

Date Plotted: 6-29-15

Sheet No.:

T11

Job No.: 1509

H:\1517\ROWHOMES\5-PLEX FLAT ENGLISH REVIVAL.DWG



5-PLEX

1/4" = 1'-0"

FRONT ELEVATION

FRENCH REVIVAL

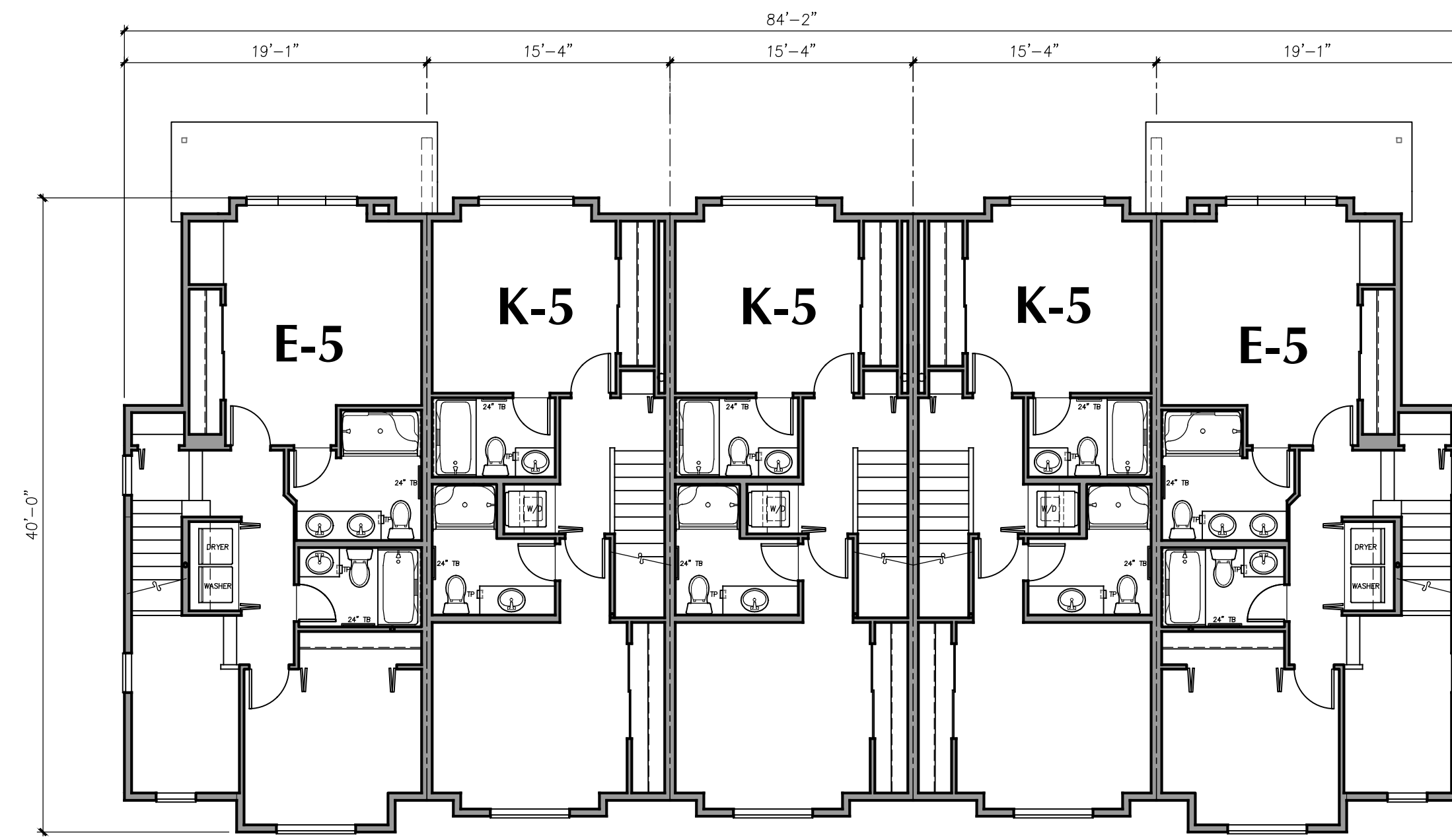


5-PLEX

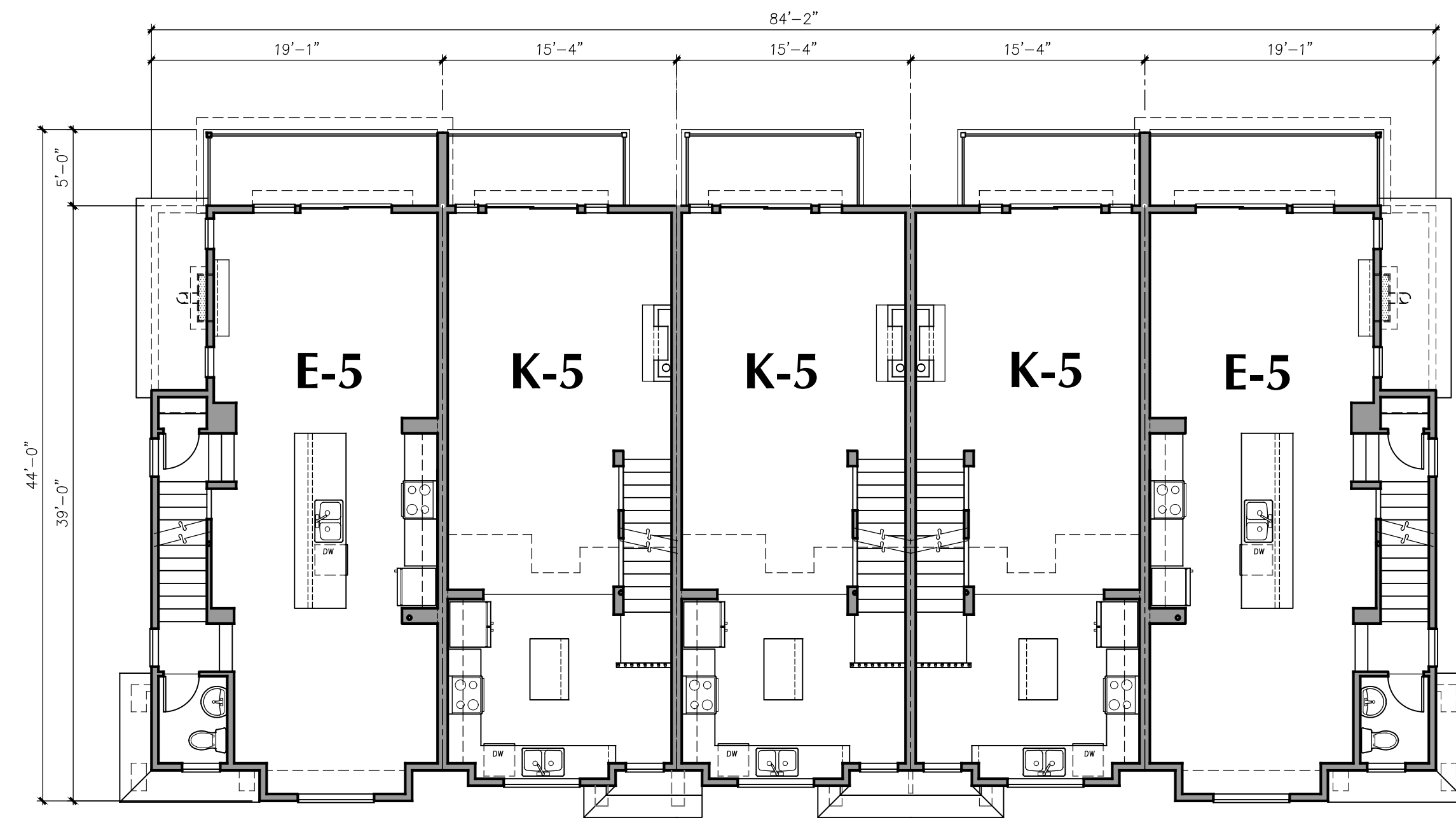
1/4" = 1'-0"

REAR ELEVATION

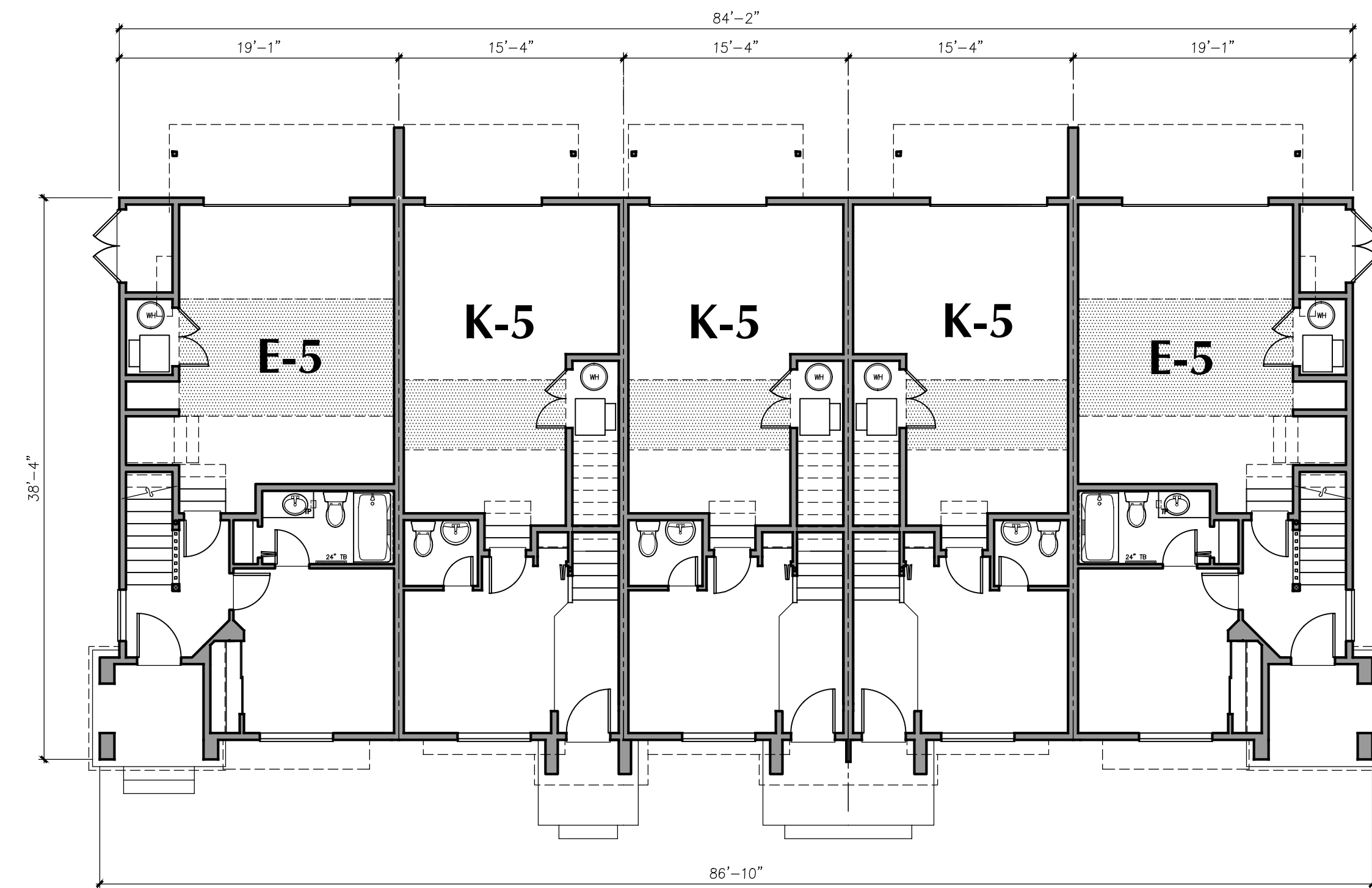
FRENCH REVIVAL



5-PLEX UPPER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



5-PLEX MIDDLE LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL



5-PLEX LOWER LEVEL PLAN
1/8" = 1'-0" FRENCH REVIVAL

Polygon at Villebois

Wilsonville, Oregon

Polygon Northwest Company

Villebois Rowhomes Building Plans French Revival

Scale: 1/8" = 1'-0"

Drawn By: EE

Date: 3-19-15

Date Plotted: 6-30-15

Sheet No.:

T14

Job No.: 1509

H:\1517\ROWHOMES\5-PLEX FLAT FRENCH REVIVAL.DWG

Milbrandt Architects, Inc., P.S.
25 Central Way, Suite 210, Kirkland, Washington 98033 Phone: 425-454-7130 Fax: 425-658-1208 Website: <http://www.milbrandtarch.com>

DEVELOPMENT REVIEW BOARD MEETING

MONDAY, JULY 13, 2015

6:30 PM

VII. Public Hearing:

B. Resolution No. 307. Villebois PDP-7 Central Row Homes: Polygon WLH, LLC– Applicant. The applicant is requesting approval of a Zone Map Amendment from Public Facility (PF) Zone to Village (V) Zone, Specific Area Plan – Central refinements, Preliminary Development Plan, Tentative Subdivision Plat, Final Development Plan and Type ‘C’ Tree Removal and Preservation Plan for the development of row houses in Phase 7 of SAP-Central. The subject property is located on Tax Lot 2700 of Section 15AC, T3S, R1W, Clackamas County, Oregon Staff: Blaise Edmonds

Case Files: DB15-0029 Villebois SAP Central Preliminary
Development Plan (PDP-7C Row Homes)
DB15-0030 Zone Map Amendment
DB15-0031 Tentative Subdivision Plat
DB15-0033 PDP-7C Final Development Plan
DB15-0034 SAP Refinements
DB15-0035 Type ‘C’ Tree Plan

The DRB action on the Zone Map Amendment is a recommendation to the City Council.

**DEVELOPMENT REVIEW BOARD
RESOLUTION NO. 307**

A RESOLUTION ADOPTING FINDINGS RECOMMENDING APPROVAL TO CITY COUNCIL OF A ZONE MAP AMENDMENT FROM PUBLIC FACILITY (PF) ZONE TO VILLAGE (V) ZONE, AND ADOPTING FINDINGS AND CONDITIONS APPROVING SPECIFIC AREA PLAN – CENTRAL REFINEMENTS, PRELIMINARY DEVELOPMENT PLAN, TENTATIVE SUBDIVISION PLAT, FINAL DEVELOPMENT PLAN AND TYPE ‘C’ TREE REMOVAL AND PRESERVATION PLAN FOR THE DEVELOPMENT OF ROW HOUSES IN PHASE 7 OF SAP-CENTRAL. THE SUBJECT PROPERTY IS LOCATED ON TAX LOT 2700 OF SECTION 15AC, T3S, R1W, CLACKAMAS COUNTY, OREGON. POLYGON WLH, LLC, APPLICANT.

RECITALS

WHEREAS, an application, together with planning exhibits for the above-captioned development, has been submitted in accordance with the procedures set forth in Section 4.008 of the Wilsonville Code, and

WHEREAS, the Planning Staff has prepared a staff report on the above-captioned subject dated July 6, 2015, and

WHEREAS, said planning exhibits and staff reports were duly considered by the Development Review Board at a regularly scheduled meeting conducted on July 13, 2015, at which time exhibits, together with findings and public testimony were entered into the public record, and

WHEREAS, the Development Review Board considered the subject and the recommendations contained in the staff report, and

WHEREAS, interested parties, if any, have had an opportunity to be heard on the subject.

NOW, THEREFORE, BE IT RESOLVED that the Development Review Board of the City of Wilsonville does hereby adopt the staff report dated July 6, 2015, attached hereto as Exhibit A1, with findings and recommendations contained therein, and authorizes the Planning Director to issue permits consistent with said recommendations, subject to, as applicable, City Council approval of the Zone Map Amendment (DB15-0030) for:

DB15-0029 Villebois SAP Central Preliminary Development Plan (PDP-7C Row Houses)
DB15-0031 Tentative Subdivision Plat
DB15-0033 PDP-7C Final Development Plan
DB15-0034 SAP Refinements
DB15-0035 Type ‘C’ Tree Plan

ADOPTED by the Development Review Board of the City of Wilsonville at a regular meeting thereof this 13th day of July 2015 and filed with the Planning Administrative Assistant on _____. This resolution is final on the 15th calendar day after the postmarked date of the written notice of decision per *WC Sec 4.022(.09)* unless appealed per *WC Sec 4.022(.02)* or called up for review by the council in accordance with *WC Sec 4.022(.03)*.

Mary Fierros Bower, Chair
Development Review Board, Panel A

Attest:

Shelley White, Planning Administrative Assistant

Exhibit A1

**STAFF REPORT
WILSONVILLE PLANNING DIVISION
Mont Blanc
PDP-7C, 68 Row House Units and Future Development on Lot 42
DEVELOPMENT REVIEW BOARD
Quasi-judicial Hearing**

Public Hearing Date: July 13, 2015

Date of Report: July 6, 2015

Applicant: Polygon WHL, LLC

Property Owner: RCS – Villebois Development, LLC

Applicant’s Representative: Stacy Connery, AICP, Pacific Community Design, Inc.

Request: Pacific Community Design Inc., acting as applicant for Polygon WLH, LLC proposes the development of 68 row house units within 9 buildings, and Lot No. 42 for future mixed-use development.

Request A: DB15-0029 Villebois SAP Central Preliminary Development Plan (PDP-7C Row Houses)

Request B: DB15-0030 Zone Map Amendment

Request C: DB15-0031 Tentative Subdivision Plat

Request D: DB15-0033 PDP-7C Final Development Plan

Request E: DB15-0034 SAP Refinements

Request F: DB15-0035 Type ‘C’ Tree Plan

Staff Reviewers: Blaise Edmonds, Manager of Current Planning; Steve Adams, Development Engineering Manager and Kerry Rappold, Natural Resources Program Manager.

Applicant’s Project Narrative is found on pages 4 through 7, Section IA of Exhibit B1.

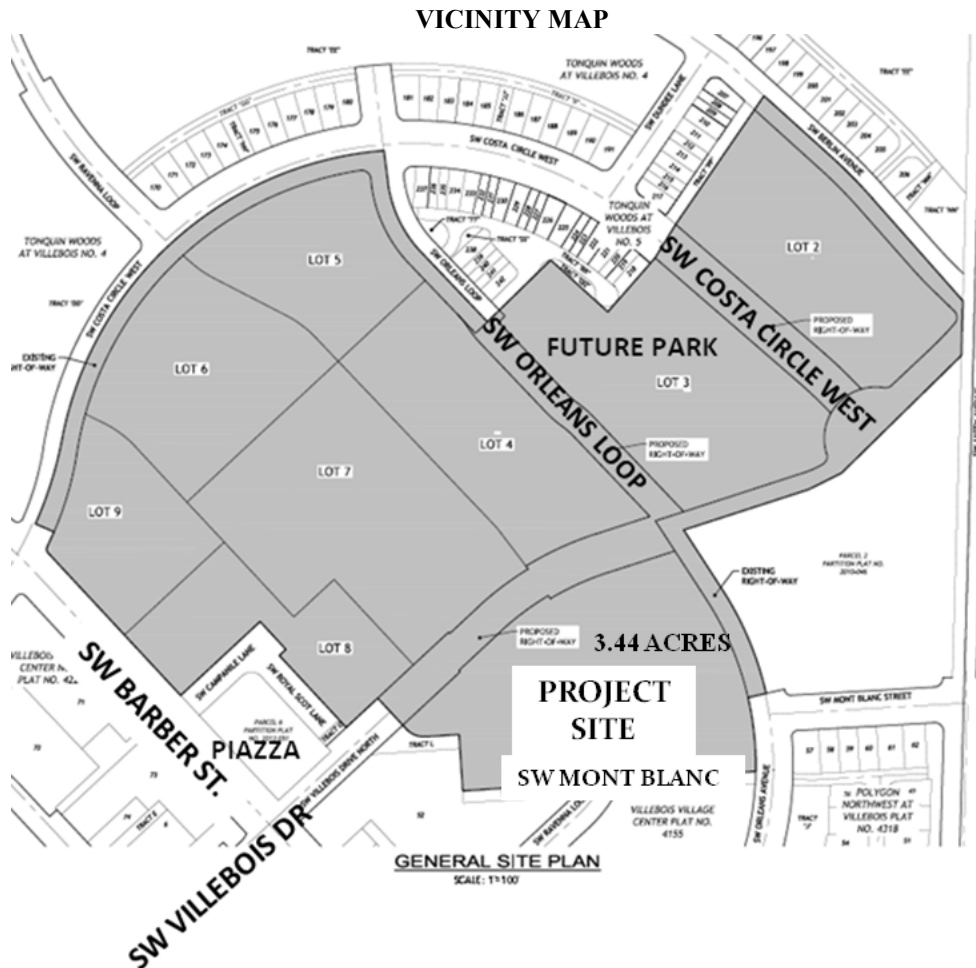
Comprehensive Plan Designation: Residential-Village (R-V)

Zone Map Designation: Public Facility (PF) proposed re-zoning to Village (V)

Size: 3.44 gross acres.

Recommended Action: Approve Requests A through F with proposed conditions of approval beginning on page 6. Recommend approval of the requested Zone Map Amendment to City Council.

Legal Description: The project site is specifically described as being Tax Lot 2700 in Section 15AC, 1S, 3W, Wilsonville, Clackamas County, Oregon.



SUMMARY:

Request A – Preliminary Development Plan (PDP-7 Central):

The proposed Preliminary Development Plan for Specific Area Plan Central (PDP 7 Central) comprises 3.44 gross acres. The applicant proposes 68 row house units within 9 buildings, and a future mixed-use development on Lot 42 (.11 acres); .32 acres of linear green space; .10 acres of public streets; 2.32 acres in lots and alleys and .59 acres in private streets and associated infrastructure improvements.

Traffic Impact: The proposed project meets the city concurrency criteria in Subsection 4.140.09(J)(2) for traffic.

Public Utilities: The proposed project with Engineering Division PF conditions of approval referenced therein, meets the City’s public works standards for public utilities for streets, water, sanitary sewer and storm drainage.

As demonstrated in findings A1 through A43, the proposed Preliminary Development Plan meets all applicable requirements in Section 4.125.01 through .07 and of Specific Area Plan – Central.

Request B – Zone Map Amendment:

The proposal is to change the Public Facility (PF) zone to the Village (V) zone. The proposed row house residential use is permitted under Wilsonville Code Section 4.125. The proposed Zone Map Amendment would enable the development permitting process.

As demonstrated in findings B1 through B12, the proposed Zone Map Amendment meets all applicable requirements in Section 4.197 subject to compliance with proposed conditions of approval.

Request C - Tentative Subdivision Plat:

The applicant is proposing the subdivision of property into 68 residential lots for attached row houses, one future development lot (Lot 42), along with alleys, open space, and street rights-of-way. The name of the proposed subdivision is “PDP-7C Villebois Row Homes.”

As demonstrated in findings C1 through C43, Staff is recommending that the proposed Tentative Subdivision Plat be approved and it meets the City criteria in Section 4.200 4.270 and 4.300 through 4.320 Land Division Standards.

Request D – Final Development Plan (FDP):

The row house buildings proposed along SW Villebois Drive North and SW Orleans Avenue are subject to Village Center Architectural Standards (VCAS). The row house buildings proposed along SW Mont Blanc Street are subject to Village Center Architectural Standards (VCAS) and with the Woonerf Address standards, and the row houses proposed along SW Villebois Drive North are subject to the VCAS standards and the Villebois Drive Address standards. All the other row houses are subject to the VCAS standards. The primary intent of the Address approach is to establish unique to its location within Villebois.

As demonstrated in findings D1 through D97, with conditions of approval referenced therein, the proposed Final Development Plan should be approved subject to compliance with proposed conditions of approval.

Request E - SAP Refinements:

Except for the request to delete pervious pavers along SW Villebois Drive North, as demonstrated in findings E1 through E21, the proposed SAP refinements meet all applicable requirements in Section 4.197 subject to compliance with proposed conditions of approval.

Proposed refinements:

1. Street network – SW Ravenna Loop
2. Parks, trails and open space
3. Location and mix of land uses

4. Housing density
5. Rainwater Management Plan - pervious pavers

See the discussion under “Discussion Topics” regarding the proposed refinement to the Rainwater Management Plan.

Request F – Type ‘C’ Tree Plan:

As demonstrated in findings F1 through F7, with conditions of approval referenced therein, the proposed Type ‘C’ Tree Plan should be approved subject to compliance with proposed conditions of approval.

DISCUSSION TOPICS:

Refinement: Pervious Pavers at SW Villebois Drive. The applicant is proposing to construct bio retention cells along SW Villebois Drive North from SW Mont Blanc Street to SW Orleans Avenue. A revised rainwater memorandum is included in Exhibit B1 which details the percentage of treatment achieved as shown on Plan Sheet 6, Composite Utility Plan. The project engineer indicates that the proposed rainwater management program will treat 80% of the impervious area created on site. However, the applicant is proposing to not install pervious pavers along SW Villebois Drive North between SW Mont Blanc Street and SW Paris Avenue. Thus the applicant is proposing a refinement from the Rainwater Management Plan, shown in Figure A, of Section IIC, Exhibit B1 to remove the pervious paver roadway with impervious pavement. In the professional opinion of staff this refinement does not set the “tone for a more urban experience” envisioned in the Villebois Drive Address. Villebois Area Plan – Central. Village Center Architectural Standards (VCAS) Narrative 1.1. VCAS Narrative 1.1 states:

“Villebois Drive is a front door to the Village Center. Though predominantly residential, it sets the tone for a more urban experience. The architectural components of this address, therefore, are similar to that of the Plaza.”

Staff is recommending that the refinement to not construct pervious pavers on the public street, SW Villebois Drive North located between SW Mont Blanc Street and SW Paris Avenue be modified to require pervious pavers up through the frontage of proposed Lot 42 (future site of mixed use development). In the professional opinion of staff this would be the logical transition for street surface types between the “urban experience” commercial and residential along SW Villebois Drive North. Staff further points out that on Final Development Plan Sheet L1 of Section VIB of Exhibit B1 “Permeable Concrete Pavers” are proposed for street surface, street parking and sidewalks on the private street, SW Mont Blanc. Plan Sheet note 12/15 of Plan Sheet L1 specifies the manufacture, model, color, finish and size of the paver units. This is consistent with the Rainwater Management Plan. “Pervious pavement” (underline emphasis added by staff) referenced by the project engineer in his May 19th memorandum, Section IIC of Exhibit B1 must not be allowed.

Applicable Review Criteria: Planning and Land Development Ordinance:

Section 4.008	Application Procedures-In General
Section 4.009	Who May Initiate Application
Section 4.010	How to Apply
Section 4.011	How Applications are Processed
Section 4.014	Burden of Proof
Section 4.031	Authority of the Development Review Board
Subsection 4.035 (.04)	Site Development Permit Application
Subsection 4.035 (.05)	Complete Submittal Requirement
Section 4.113	Residential Development in Any Zone
Section 4.125	V-Village Zone
Section 4.154	Bicycle, Pedestrian, and Transit Facilities
Section 4.155	Parking, Loading, and Bicycle Parking
Section 4.167	Access, Ingress, and Egress
Section 4.175	Public Safety and Crime Prevention
Section 4.176	Landscaping
Section 4.177	Street Improvement Standards
Section 4.179	Multi-Unit Residential and Non-Residential Buildings.
Section 4.197	Zone Map Amendment
Sections 4.200 through 4.220	Land Divisions
Section 4.121	Site Design Review
Sections 4.236 through 4.270	Land Division Standards
Sections 4.300 through 4.320	Underground Utilities
Sections 4.600 through 4.640.20 as applicable	Tree Preservation and Protection
OTHER CITY PLANNING DOCUMENTS:	
Villebois Village Master Plan	
Villebois Rainwater Management Plan	
VCAS standards and including The Villebois Drive Address and Woonerf Address.	
SAP Central Approval Documents	
Comprehensive Plan	

PROPOSED CONDITIONS OF APPROVAL FOR DB15-0029 – DB15-0031 and DB15-0033 – DB15-0034:

Based on the applicant’s findings, findings of fact, analysis and conclusionary findings, staff recommends that the Development Review Board approve the application with the following conditions of approval:

<p>PD = Planning Division conditions BD – Building Division Conditions PF = Engineering Conditions. NR = Natural Resources Conditions TR = SMART/Transit Conditions FD = Tualatin Valley Fire and Rescue Conditions PW = Public Works</p>
--

The following Conditions of Approval are provided by the Engineering, Natural Resources, or Building Divisions of the City’s Community Development Department or Tualatin Valley Fire and Rescue, all of which have authority over development approval. A number of these conditions of approval are not related to land use regulations under the authority of the Development Review Board or Planning Director. Only those conditions of approval related to criteria in Chapter 4 of Wilsonville Code and the Comprehensive Plan, including but not limited to those related to traffic level of service, site vision clearance, recording of plats, and concurrency, are subject to the Land Use review and appeal process defined in Wilsonville Code and Oregon Revised Statutes and Administrative Rules. Other conditions of approval are based on City Code chapters other than Chapter 4, state law, federal law, or other agency rules and regulations. Questions or requests about the applicability, appeal, exemption or non-compliance related to these other conditions of approval should be directed to the City Department, Division, or non-City agency with authority over the relevant portion of the development approval.

REQUEST A: PRELIMINARY DEVELOPMENT PLAN – PDP 7C

PDA1.	Approval of the Preliminary Development Plan is contingent upon City Council approval of the Zone Map Amendment from Public Facility (PF) to Village (V).
PDA2.	Street lighting types and spacing shall be as shown in the Community Elements Book and as approved by the Engineering Division during the Public Works permitting process. See Finding A15.
PDA3.	All park and open space improvements approved by the Development Review Board, including associated improvements, shall be completed prior the issuance of the thirty-fifth (35th) house permit for PDP 7 Central. If weather or other special circumstances prohibit completion, bonding for the improvements will be permitted. See Finding A38.
PDA4.	The Applicant/ Owner shall waive the right of remonstrance against any local improvement district that may be formed to provide public improvements serve the subject site. Before the start of construction, a waiver of right to remonstrance shall be submitted to the City Attorney.

PDA5.	The Applicant/Owner shall install pervious pavers within the street, street parking and sidewalks on SW Villebois Drive North between SW Mont Blanc Street and up to the alley driveway of proposed Lot 42. The City Engineering Division will review the street design during the public works permit review. See Finding E13.
PDA6.	In the Central SAP, parks shall be constructed within each PDP and that pro rata portion of the estimated cost of Central SAP parks not within the PDP, calculated on a dwelling unit basis, shall be bonded or otherwise secured to the satisfaction of the City

BDA1. RETAINING WALLS. As part of the grading permit submittal any retaining walls shown shall be clearly identified as requiring or not requiring a building permit from the Building Division.

A permit from the Building Division is required for retaining walls that:

- Retain material which in turn supports a regulated building, accessory parking, a required accessible route or the means of egress.
- Retain materials which, if not restrained, could impact buildings, accessory parking, a required accessible route or the means of egress.

No permit is required for retaining walls that:

- Retain materials solely for landscaping purposes.

The Engineering Division may require a permit for a retaining wall that affects work within the scope of their jurisdiction.

Standard Comments:																					
PFA 1.	All construction or improvements to public works facilities shall be in conformance to the City of Wilsonville Public Works Standards - 2014.																				
PFA 2.	Applicant shall submit insurance requirements to the City of Wilsonville in the following amounts: <table style="margin-left: 40px;"> <thead> <tr> <th style="text-align: left;"><i>Coverage (Aggregate, accept where noted)</i></th> <th style="text-align: right;"><i>Limit</i></th> </tr> </thead> <tbody> <tr> <td>Commercial General Liability</td> <td></td> </tr> <tr> <td style="padding-left: 20px;">General Aggregate (per project)</td> <td style="text-align: right;">\$ 3,000,000</td> </tr> <tr> <td style="padding-left: 20px;">General Aggregate (per occurrence)</td> <td style="text-align: right;">\$ 2,000,000</td> </tr> <tr> <td style="padding-left: 20px;">Fire Damage (any one fire)</td> <td style="text-align: right;">\$ 50,000</td> </tr> <tr> <td style="padding-left: 20px;">Medical Expense (any one person)</td> <td style="text-align: right;">\$ 10,000</td> </tr> <tr> <td>Business Automobile Liability Insurance</td> <td></td> </tr> <tr> <td style="padding-left: 20px;">Each Occurrence</td> <td style="text-align: right;">\$ 1,000,000</td> </tr> <tr> <td style="padding-left: 20px;">Aggregate</td> <td style="text-align: right;">\$ 2,000,000</td> </tr> <tr> <td>Workers Compensation Insurance</td> <td style="text-align: right;">\$ 500,000</td> </tr> </tbody> </table>	<i>Coverage (Aggregate, accept where noted)</i>	<i>Limit</i>	Commercial General Liability		General Aggregate (per project)	\$ 3,000,000	General Aggregate (per occurrence)	\$ 2,000,000	Fire Damage (any one fire)	\$ 50,000	Medical Expense (any one person)	\$ 10,000	Business Automobile Liability Insurance		Each Occurrence	\$ 1,000,000	Aggregate	\$ 2,000,000	Workers Compensation Insurance	\$ 500,000
<i>Coverage (Aggregate, accept where noted)</i>	<i>Limit</i>																				
Commercial General Liability																					
General Aggregate (per project)	\$ 3,000,000																				
General Aggregate (per occurrence)	\$ 2,000,000																				
Fire Damage (any one fire)	\$ 50,000																				
Medical Expense (any one person)	\$ 10,000																				
Business Automobile Liability Insurance																					
Each Occurrence	\$ 1,000,000																				
Aggregate	\$ 2,000,000																				
Workers Compensation Insurance	\$ 500,000																				
PFA 3.	No construction of, or connection to, any existing or proposed public utility/improvements will be permitted until all plans are approved by Staff, all fees have been paid, all necessary permits, right-of-way and easements have been obtained and Staff is notified a minimum of 24 hours in advance.																				
PFA 4.	All public utility/improvement plans submitted for review shall be based upon a 22"x 34" format and shall be prepared in accordance with the City of Wilsonville Public Work's Standards.																				

PFA 5. Plans submitted for review shall meet the following general criteria:

- a. Utility improvements that shall be maintained by the public and are not contained within a public right-of-way shall be provided a maintenance access acceptable to the City. The public utility improvements shall be centered in a minimum 15-ft. wide public easement for single utilities and a minimum 20-ft wide public easement for two parallel utilities and shall be conveyed to the City on its dedication forms.
- b. Design of any public utility improvements shall be approved at the time of the issuance of a Public Works Permit. Private utility improvements are subject to review and approval by the City Building Department.
- c. In the plan set for the PW Permit, existing utilities and features, and proposed new private utilities shall be shown in a lighter, grey print. Proposed public improvements shall be shown in bolder, black print.
- d. All elevations on design plans and record drawings shall be based on NAVD 88 Datum.
- e. All proposed on and off-site public/private utility improvements shall comply with the State of Oregon and the City of Wilsonville requirements and any other applicable codes.
- f. Design plans shall identify locations for street lighting, gas service, power lines, telephone poles, cable television, mailboxes and any other public or private utility within the general construction area.
- g. As per City of Wilsonville Ordinance No. 615, all new gas, telephone, cable, fiber-optic and electric improvements etc. shall be installed underground. Existing overhead utilities shall be undergrounded wherever reasonably possible.
- h. Any final site landscaping and signing shall not impede any proposed or existing driveway or interior maneuvering sight distance.
- i. Erosion Control Plan that conforms to City of Wilsonville Ordinance No. 482.
- j. Existing/proposed right-of-way, easements and adjacent driveways shall be identified.
- k. All engineering plans shall be printed to PDF, combined to a single file, stamped and digitally signed by a Professional Engineer registered in the State of Oregon.
- l. All plans submitted for review shall be in sets of a digitally signed PDF and three printed sets.

PFA 6. Submit plans in the following general format and order for all public works construction to be maintained by the City:

- a. Cover sheet
- b. City of Wilsonville construction note sheet
- c. General construction note sheet
- d. Existing conditions plan.
- e. Erosion control and tree protection plan.
- f. Site plan. Include property line boundaries, water quality pond boundaries, sidewalk improvements, right-of-way (existing/proposed), easements (existing/proposed), and sidewalk and road connections to adjoining properties.
- g. Grading plan, with 1-foot contours.
- h. Composite utility plan; identify storm, sanitary, and water lines; identify storm and sanitary manholes.
- i. Detailed plans; show plan view and either profile view or provide i.e's at all utility crossings; include laterals in profile view or provide table with i.e's at crossings; vertical scale 1"= 5', horizontal scale 1"= 20' or 1"= 30'.

	<ul style="list-style-type: none"> j. Street plans. k. Storm sewer/drainage plans; number all lines, manholes, catch basins, and cleanouts for easier reference l. Water and sanitary sewer plans; plan; number all lines, manholes, and cleanouts for easier reference. m. Detailed plan for storm water detention facility (both plan and profile views), including water quality orifice diameter and manhole rim elevations. Provide detail of inlet structure and energy dissipation device. Provide details of drain inlets, structures, and piping for outfall structure. Note that although storm water detention facilities are typically privately maintained they will be inspected by engineering, and the plans must be part of the Public Works Permit set. n. Detailed plan for water quality facility (both plan and profile views). Note that although storm water quality facilities are typically privately maintained they will be inspected by Natural Resources, and the plans must be part of the Public Works Permit set. o. Composite franchise utility plan. p. City of Wilsonville detail drawings. q. Illumination plan. r. Striping and signage plan. s. Landscape plan.
PFA 7.	Design engineer shall coordinate with the City in numbering the sanitary and stormwater sewer systems to reflect the City’s numbering system. Video testing and sanitary manhole testing will refer to City’s numbering system.
PFA 8.	The applicant shall install, operate and maintain adequate erosion control measures in conformance with the standards adopted by the City of Wilsonville Ordinance No. 482 during the construction of any public/private utility and building improvements until such time as approved permanent vegetative materials have been installed.
PFA 9.	Applicant shall work with City’s Natural Resources office before disturbing any soil on the respective site. If 5 or more acres of the site will be disturbed applicant shall obtain a 1200-C permit from the Oregon Department of Environmental Quality. If 1 to less than 5 acres of the site will be disturbed a 1200-CN permit from the City of Wilsonville is required.
PFA 10.	A storm water analysis prepared by a Professional Engineer registered in the State of Oregon shall be submitted for review and approval by the City.
PFA 11.	The applicant shall be in conformance with all water quality requirements for the proposed development per the Public Works Standards. If a mechanical water quality system is used, prior to City acceptance of the project the applicant shall provide a letter from the system manufacturer stating that the system was installed per specifications and is functioning as designed.
PFA 12.	Storm water quality facilities shall have approved landscape planted and/or some other erosion control method installed and approved by the City of Wilsonville prior to streets and/or alleys being paved.
PFA 13.	The applicant shall contact the Oregon Water Resources Department and inform them of any existing wells located on the subject site. Any existing well shall be limited to irrigation purposes only. Proper separation, in conformance with

	applicable State standards, shall be maintained between irrigation systems, public water systems, and public sanitary systems. Should the project abandon any existing wells, they shall be properly abandoned in conformance with State standards.
PFA 14.	All survey monuments on the subject site or that may be subject to disturbance within the construction area, or the construction of any off-site improvements shall be adequately referenced and protected prior to commencement of any construction activity. If the survey monuments are disturbed, moved, relocated or destroyed as a result of any construction, the project shall, at its cost, retain the services of a registered professional land surveyor in the State of Oregon to restore the monument to its original condition and file the necessary surveys as required by Oregon State law. A copy of any recorded survey shall be submitted to Staff.
PFA 15.	Sidewalks, crosswalks and pedestrian linkages in the public right-of-way shall be in compliance with the requirements of the U.S. Access Board.
PFA 16.	No surcharging of sanitary or storm water manholes is allowed.
PFA 17.	The project shall connect to an existing manhole or install a manhole at each connection point to the public storm system and sanitary sewer system.
PFA 18.	A City approved energy dissipation device shall be installed at all proposed storm system outfalls. Storm outfall facilities shall be designed and constructed in conformance with the Public Works Standards.
PFA 19.	The applicant shall provide a ‘stamped’ engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways.
PFA 20.	All required pavement markings, in conformance with the Transportation Systems Plan and the Bike and Pedestrian Master Plan, shall be completed in conjunction with any conditioned street improvements.
PFA 21.	Street and traffic signs shall have a hi-intensity prismatic finish meeting ASTM 4956 Spec Type 4 standards.
PFA 22.	The applicant shall provide adequate sight distance at all project driveways by driveway placement or vegetation control. Specific designs to be submitted and approved by the City Engineer. Coordinate and align proposed driveways with driveways on the opposite side of the proposed project site.
PFA 23.	Access requirements, including sight distance, shall conform to the City's Transportation Systems Plan (TSP) or as approved by the City Engineer. Landscaping plantings shall be low enough to provide adequate sight distance at all street intersections and alley/street intersections.
PFA 24.	Applicant shall design interior streets and alleys to meet specifications of Tualatin Valley Fire & Rescue and Allied Waste Management (United Disposal) for access and use of their vehicles.
PFA 25.	The applicant shall provide the City with a Stormwater Maintenance and Access Easement (on City approved forms) for City inspection of those portions of the storm system to be privately maintained. Stormwater or rainwater LID facilities may be located within the public right-of-way upon approval of the City Engineer. Applicant shall maintain all LID storm water components and private conventional

	storm water facilities; maintenance shall transfer to the respective homeowners association when it is formed.				
PFA 26.	The applicant shall “loop” proposed waterlines by connecting to the existing City waterlines where applicable.				
PFA 27.	All water lines that are to be temporary dead-end lines due to the phasing of construction shall have a valved tee with fire-hydrant assembly installed at the end of the line.				
PFA 28.	Applicant shall provide a minimum 6-foot Public Utility Easement on lot frontages to all public right-of-ways. An 8-foot PUE shall be provided along Collectors. A 10-ft PUE shall be provided along Minor and Major Arterials.				
PFA 29.	For any new public easements created with the project the Applicant shall be required to produce the specific survey exhibits establishing the easement and shall provide the City with the appropriate Easement document (on City approved forms).				
PFA 30.	<p>Mylar Record Drawings:</p> <p>At the completion of the installation of any required public improvements, and before a 'punch list' inspection is scheduled, the Engineer shall perform a record survey. Said survey shall be the basis for the preparation of 'record drawings' which will serve as the physical record of those changes made to the plans and/or specifications, originally approved by Staff, that occurred during construction. Using the record survey as a guide, the appropriate changes will be made to the construction plans and/or specifications and a complete revised 'set' shall be submitted. The 'set' shall consist of drawings on 3 mil. Mylar and an electronic copy in AutoCAD, current version, and a digitally signed PDF.</p>				
Specific Comments:					
PFA 31.	<p>At the request of Staff, DKS Associates completed a Transportation Study, dated May 28, 2015. The project is hereby limited to no more than the following impacts.</p> <table border="0"> <tr> <td>Estimated New PM Peak Hour Trips</td> <td>35</td> </tr> <tr> <td>Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area</td> <td>8</td> </tr> </table>	Estimated New PM Peak Hour Trips	35	Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area	8
Estimated New PM Peak Hour Trips	35				
Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area	8				
PFA 32.	<p>The initial approval of SAP Central consisted of 9 single family units, 500 townhome/condo units, and 501 apartment units for a total of 1,010 residential units, along with 20,000 sq. ft. of commercial space. Based on assumed trip generation rates, these land uses were estimated to generate 616 p.m. peak hour trips.</p> <p>Previous changes to housing types in SAP Central created a land use that included 74 single family units, 392 townhome/condo units, and 533 apartment units for a total of 999 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 670 p.m. peak hour trips. This is 54 p.m. peak hour trips above what was initially approved for SAP Central.</p> <p>The currently proposed land use includes 74 single family units, 423</p>				

townhome/condo units, and 515 apartment units for a total of 1,012 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 675 p.m. peak hour trips. This is 5 P.M. peak hour trips above what was previously expected and 59 p.m. peak hour trips above what was initially approved for SAP Central.

Many of the changes from townhome/condo units to single family units occur with this proposed development. The applicant may be required to pay Street SDC fees for these additional 5 PM Peak Hour Trips, unless applicant can show evidence of other arrangements with the City having been made.

PFA 33. Consistent with other development within Villebois Village, the applicant shall be required to complete design and construction for full street improvements through the far curb and gutter for the extension of Villebois Drive North northwest of the proposed development. Design and improvements shall include street lighting on both sides of the streets. Note that the configuration of the Paris Avenue connection to Villebois Drive North is likely to change from the off-set roundabout circle shown on Villebois Village Master Plans. Applicant shall work with City engineering to determine a preferred alignment of Paris Ave. and connection to Villebois Drive North.

PFA 34. Engineering supports City Planning staff's alternative of constructing Villebois Drive North as a full width paver stone street only adjacent to proposed mixed use Lot 42. Northeast of this area Villebois Drive North can be constructed with Asphaltic Pavement

PFA 35. Development of the land northwest of Villebois Drive North is unknown at this time. Therefore this segment of Villebois Drive North (northeast of the paver stone section) will be allowed to be designed for a 5" section of asphalt and shall be paved with a single 3" base lift; 2" top lift to be completed by adjacent development when it occurs. Streets shall be designed in conformance to the applicable street type as shown in the Villebois Village Master Plan.

PFA 36. The Villebois Master Plan shows Ravenna Loop bisecting the proposed development connecting Mont Blanc to Villebois Drive North. City Engineering views this connection as redundant with traffic being able to use Orleans Avenue through Villebois Central. Engineering has already worked with the developer in eliminating this street connection and renaming Ravenna Loop north of the development to Paris Avenue; the name change has been recorded with Clackamas County and new street signs have been installed. Ravenna Loop south of the proposed development shall be renamed Ravenna Lane. City staff will handle the paperwork and notification to citizens of the name change, applicant shall purchase and install new street signage for Ravenna Lane after the name change has been authorized.

PFA 37. To maintain pedestrian and bicycle north/south connectivity with the removal of Ravenna Loop, the applicant shall construct a minimum 12-foot wide multi-use path between Mont Blanc Street and Villebois Drive North and provide a public ingress/egress easement over the pathway. Applicant shall align this multi-use path with the ADA ramp across Villebois Drive North as best possible. Note that the

	configuration of the Paris Avenue connection to Villebois Drive North is likely to change from the off-set roundabout circle shown on Villebois Village Master Plans. Applicant shall align this ADA ramp as best possible to be opposite the future ADA ramp on the north side of Villebois Drive North.
PFA 38.	Mont Blanc Street is shown as a privately owned and maintained street in the Villebois Village Master Plan. Applicant shall provide easements for public storm lines, sanitary lines and water lines, and for public ingress and egress for vehicles, pedestrians and bicyclists.
PFA 39.	Alleyways shall connect to the public right-of-way at as near 90° as possible, per the 2014 Public Works Standards.
PFA 40.	Pedestrian Links - sidewalk connections shall be provided between alleys and roadways where alleys do not intersect with the local road network. City of Wilsonville guidelines recommend that the distance between pedestrian access points along a roadway not exceed 300 feet.
PFA 41.	At the northwest corner of Orleans Avenue and Mont Blanc Street, the applicant is allowed to meander the public sidewalk to limit impact to the existing tree that is to be saved.
PFA 42.	The applicant shall provide a ‘stamped’ engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways. Secondly, the street lighting style shall be in conformance to the current edition of the Villebois SAP Central Community Elements Book Lighting Master Plan.
PFA 43.	Per the Villebois Village SAP Central Master Signage and Wayfinding plan all regulatory traffic signage in Villebois Central shall be finished black on the back sides.
PFA 44.	The proposed subdivision lies within two storm drainage basins – Coffee Lake and Arrowhead Creek. The split lies on what was the approximate alignment of Ravenna Loop through the site. Those portions of the subdivision lying within the Coffee Lake basin are exempt from stormwater detention requirements as established per City Ordinance No. 608; however applicant shall be in conformance with water quality requirements. For those portions of the subdivision lying within Arrowhead Creek basin, Pond F has been sized to provide required storm water quality and detention requirements are presently. No net interbasin transfer of stormwater is allowed.
PFA 45.	Applicant shall install a looped water system in Villebois Drive North and Mont Blanc Street by connecting to the existing water lines in Orleans Avenue, Ravenna Lane and Villebois Drive North. The water system in Villebois Drive North has been changed from the Villebois Village Master Plan. Applicant shall install a 12” water line in Villebois Drive North.
PFA 46.	The Villebois Sanitary Sewer (SS) Master Plan shows the proposed development serviced by the south SS trunk line. Applicant shall connect the proposed development to existing SS line(s) that are part of the south SS trunk line service area.

PFA 47.	Applicant shall provide sufficient mail box units for the proposed phasing plan; applicant shall construct mail kiosk at locations coordinated with City staff and the Wilsonville U.S. Postmaster.
PFA 48.	All construction traffic shall access the site via Grahams Ferry Road to Barber Street to Costa Circle or via Tooze Road to Villebois Drive N. No construction traffic will be allowed on Brown Road or Barber Street east of Costa Circle West, or on other residential roads.
PFA 49.	SAP Central PDP 6 consists of 68 lots. All construction work in association with the Public Works Permit and Project Corrections List shall be completed prior to the City Building Division issuing a certificate of occupancy, or a building permit for the housing unit(s) in excess of 50% of total (35 th lot).

This memorandum includes staff conditions of approval. The conditions are based on the Preliminary and Final Development Plans for PDP 7C. The conditions of approval apply to the applicant's submittal of construction plans (i.e., engineering drawings).

Rainwater Management

- NR1.** All rainwater management components and associated infrastructure located in public areas shall be designed to the Public Works Standards.
- NR2.** All rainwater management components in private areas shall comply with the plumbing code.
- NR3.** Pursuant to the City of Wilsonville Public Works Standards, access shall be provided to all areas of the proposed rainwater management components. At a minimum, at least one access shall be provided for maintenance and inspection.
- NR4.** Plantings in rainwater management components located in public areas shall comply with the Public Works Standards.
- NR5.** Plantings in rainwater management components located in private areas shall comply with the Plant List in the Rainwater Management Program or Community Elements Plan.
- NR6.** The rainwater management components shall comply with the requirements of the Oregon DEQ UIC (Underground Injection Control) Program.

Other

- NR7.** The applicant shall comply with all applicable state and federal requirements for the proposed construction activities and proposed facilities (e.g., DEQ NPDES #1200-CN permit).

Tualatin Valley Fire & Rescue Condition:

FD1. TURNING RADIUS: The inside turning radius and outside turning radius shall be not less than 28 feet and 48 feet respectively, measured from the same center point. (OFC 503.2.4 & D103.3)

REQUEST B: ZONE MAP AMENDMENT:

On the basis of findings B1 through B12 this action approves the Zone Map Amendment from Public Facility (PF) to Village (V), and forwards this recommendation to the City Council with no proposed conditions of approval.

REQUEST C: TENTATIVE SUBDIVISION PLAT – PDP 7C

PDC1. Approval of the Tentative Subdivision Plat is contingent upon City Council approval of the Zone Map Amendment from Public Facility (PF) to Village (V).

PDC2. Assure that construction and site development shall be carried out in substantial conformance with the Tentative Subdivision Plat as approved by the Development Review Board, and as amended by these conditions, except as may be subsequently altered by Board approval, or with minor revisions approved by the Planning Director under a Class I administrative review process.

PDC3. Alleyways shall remain in private ownership and be maintained by the Homeowner's Association established by the subdivision's CC&Rs. The CC&Rs shall be reviewed and approved by the City Attorney prior to recordation.

PDC4. All tracts shall include a public access easement across their entirety.

PDC5. The Applicant/Owner shall submit subdivision bylaws, covenants, and agreements to the City Attorney prior to recordation. See Finding C6.

PDC6. Prior to approval of the Final Subdivision Re-Plat, the Applicant/Owner shall:

- a. Assure that the parcels shall not be sold or conveyed until such time as the final plat is recorded with Clackamas County.
- b. Submit an application for Final Plat review and approval on the Planning Division Site Development Application and Permit form. In this case, the County Surveyor may require up to three (3) separate final plats to record which would require up to three (3) Final Plat applications to the Planning Division. The Applicants/Owner shall also provide materials for review by the City's Planning Division in accordance with Section 4.220 of City's Development Code. Prepare the Final Plat in substantial accord with the Tentative Partition Plat as approved by the Development Review Board, and as amended by these conditions, except as may be subsequently altered by Board approval, or by minor revisions approved by the Planning Director.
- c. Submit final construction plans, to be reviewed and approved by the Planning Director, the Engineering Division, the Tualatin Valley Fire and Rescue District, Natural Resources Manager, and the City Building Official, prior to the project's construction.
- d. Submit final drawings and construction plans for the water quality/detention facilities and their outfalls for review and approval of the City Engineer, the

	Natural Resources Manager and the Environmental Services Division.
e.	Supply the City with a performance bond, or other security acceptable to the Community Development Director, for any capital improvement required by the project.
f.	Illustrate existing and proposed easements, on the Final Plat.
g.	Dedicate all rights-of-way and easements necessary to construct all private and public improvements required for the project.
h.	Provide the City with a recordable instrument guaranteeing the City the right to enter the site and plant, remove, or maintain approved street trees that are located on private property.
i.	The Final Subdivision Plat shall indicate dimensions of all lots, lot area, minimum lot size, easements, proposed lot and block numbers, and any other information that may be required as a result of the hearing process.
PDC7. The Applicant/Owner shall enter into an Operations and Maintenance Agreement for the subdivision that clearly identifies ownership and maintenance where applicable for parks, open space, and paths. Such agreements shall ensure maintenance in perpetuity and shall be recorded with the subdivision re-plats. Such agreement shall be reviewed and approved by the City Attorney prior to recordation.	

<u>Engineering Division Conditions:</u>	
PFB 1.	Paper copies of all proposed subdivision/partition plats shall be provided to the City for review. Once the subdivision/partition plat is approved, applicant shall have the documents recorded at the appropriate County office. Once recording is completed by the County, the applicant shall be required to provide the City with a 3 mil Mylar copy of the recorded subdivision/partition plat.
PFB 2.	All newly created easements shown on a subdivision or partition plat shall also be accompanied by the City's appropriate Easement document (on City approved forms) with accompanying survey exhibits that shall be recorded immediately after the subdivision or partition plat.
PFB 3.	Consistent with other development within Villebois Village the applicant shall dedicate full right-of-way full street improvements through the far curb and gutter for the extension of Villebois Drive North northwest of the proposed development.

Public Works Department Condition:

PW1. Plans show water meters for Lots 64-69 located in a park. Also, there is a water main going from Mont Blanc Street north to the park area by lots 64-69.

Water line shall be run in the alley access and the meters shall be in the alley, bank of two meters for lots 68 and 69, and bank of four meters for lots 64-67

REQUEST D – FINAL DEVELOPMENT PLAN

<p>PDD1. Approval of the Final Development Plan is contingent upon City Council approval of the Zone Map Amendment from Public Facility (PF) to Village (V).</p>
<p>PDD2. Construction, site development, and landscaping shall be carried out in substantial accord with the plans, drawings, sketches, and other documents approved by the Board, unless altered with Board approval. Minor amendments to the project that are to be conducted by Planning Staff may be processed by the Planning Director through a Class I Administrative Review process.</p>
<p>PDD3. All roof mounted and ground mounted HVAC equipment shall be inconspicuous and designed to be screened from off-site view. This includes, to the greatest extent possible, private utilities such as natural gas and electricity. The City reserves the right to require further screening of the equipment and utilities if they should be visible from off-site after occupancy is granted.</p>
<p>PDD4. All landscaping required and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City will be returned to the applicant.</p>
<p>PDD5. All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered as allowed by Wilsonville's Development Code.</p>
<p>PDD6. The following requirements for planting of shrubs and ground cover shall be met:</p> <ul style="list-style-type: none">• All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10" to 12" spread.• Shrubs shall reach their designed size for screening within three (3) years of planting.• Ground cover shall be equal to or better than the following depending on the type of plant materials used: gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 inch on center minimum.• No bare root planting shall be permitted.• Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting.• Appropriate native plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.

PDD7. Plant materials shall be installed to current industry standards and be properly staked to ensure survival. Plants that die shall be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City.
PDD8. Prior to issuance of a Building Permit the Applicant/Owner shall submit an irrigation plan to the Building Division. The irrigation plan must be consistent with the requirements of Section 4.176(.07)c.
PDD9. All landscaping and fencing on corner lots meet the vision clearance standards of Section 4.177. Clear vision areas must be maintained consistent with Public Works Standards.
PDD10. All street trees shall comply with the Street Tree Master Plan of Specific Area Plan – Central Vol. V: Community Elements Book. See Finding D45.
PDD11. All front, side and rear building elevations shall be constructed according to the elevations illustrated in Section VIC of Exhibit B1 date stamped approved by the Planning Division.

REQUEST E: SAP-CENTRAL REFINEMENTS:

Approve the following refinements with no conditions of approval are proposed.

- 1. Street network – SW Ravenna Loop.**
- 2. Revised, parks and open space,**
- 3. Location and ix of residential uses.**
- 4. Housing density.**

Modify the proposed refinement for pervious pavers along SW Villebois Drive North between SW Mont Blanc Lane to SW Paris Avenue. See Condition of Approval PDA5.

REQUEST F – TYPE ‘C’ TREE PLAN

PDF1. This approval is for tree removal for the trees listed in the Tree Report found in Section VB of Exhibit B1 (notebook) and the Tree Removal Plan compliance report in Section VA.
PDF2. Replacement trees shall be state Department of Agriculture Nursery Grade No. 1 or better. The permit grantee or the grantee’s successors-in-interest shall cause the replacement trees to be staked, fertilized and mulched, and shall guarantee the trees for two (2) years after the planting date. A “guaranteed” tree that dies or becomes diseased during the two (2) years after planting shall be replaced.
PDF3. All trees to be planted shall consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade. Tree shall be approximately two inch (2”) caliper.
PDF4. Solvents, building material, construction equipment, soil, or irrigated landscaping, shall not be placed within the drip line of any preserved tree, unless a plan for such construction activity has been approved by the Planning Director or Development Review Board based upon the recommendations of an arborist.
PDF5. Before and during development, land clearing, filling or any land alteration the Applicant/Owner shall erect and maintain suitable tree protective barriers which shall include the following: <ul style="list-style-type: none"> • 6’ high fence set at tree drip lines.

<ul style="list-style-type: none"> • Fence materials shall consist of 2 inch mesh chain links secured to a minimum of 1 ½ inch diameter steel or aluminum line posts. • Posts shall be set to a depth of no less than 2 feet in native soil. • Protective barriers shall remain in place until the City authorizes their removal or issues a final certificate of occupancy, whichever occurs first. • Tree protection fences shall be maintained in a full upright position.
<p>PDF6. Fence posts placement within drip lines and root zones of preserved trees shall be hand dug and supervised by the project arborist. If roots are encountered alternative fence post placement is required as determined by the project arborist.</p>
<p>PDF7. Utilities, including franchise utilities, public utilities, and private utilities and service lines shall be directionally bored as necessary to avoid the root zone of preserved trees. All work within the root zone of preserved trees shall be supervised by and follow the recommendation of the project arborist.</p>

MASTER EXHIBITS LIST:

A. Staff’s Written and Graphic Materials:

- A1. STAFF REPORT:
 - Findings of Fact
 - Proposed Conditions of Approval
 - Conclusionary Findings
- A2. PowerPoint Presentation
- A3. DKS Traffic Report, dated May 28, 2015.

Applicant’s Written and Graphic Materials:

- B1. Notebook titled Preliminary Development Plan, Tentative Plat, Zone Change, Tree Removal Plan & Final Development Plan which includes Development Permit Application, Title Report, Supporting Compliance Report in Sections I through VI, introductory narrative, reduced plans, application fees, mailing list, conceptual building elevations, Utility and Drainage Reports, Arborist Report, storm water report, revised copy received May 29, 2015. DKS traffic report dated May 28, 2015.

B2. PLAN DRAWINGS (Reduced size and full size):

Plan Sheet No.

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 PRELIMINARY DEVELOPMENT PLAN - SITE/LAND USE PLAN
- 4 PRELIMINARY PLAT
- 5 GRADING & EROSION CONTROL PLAN
- 6 COMPOSITE UTILITY PLAN
- 7. CIRCULATION PLAN & STREET SECTIONS
- 8 TREE PRESERVATION PLAN
- 9. SAP CENTRAL PHASING PLAN
- L1. STREE TREE PLAN
- Figure A: RAINWATER MANAGEMENT PLAN
- A2. RAINWATER MANAGEMENT PLAN
- A3. DEVELOPED DRAINAGE PLAN

PROPOSED ZONE MAP

- L1. LAYOUT PLAN – FINAL DEVELOPMENT PLAN
- L2. STREET TREE PLAN
- L3. PLANTING PLAN
- L4. PLANTING DETAILS & NOTES
- L5. LANDSCAPE DETAILS & MATERIALS

ELEVATIONS & FLOOR PLANS:

- BROWNSTONE 3-PLEX FRONT ELEVATION
 - BROWNSTONE 3-PLEX REAR ELEVATION
 - 3-PLEX LOWER LEVEL PLAN
 - 3-PLEX MIDDLE LEVEL PLAN
 - 3-PLEX UPPER LEVEL PLAN
- BROWNSTONE 4-PLEX FRONT ELEVATION
 - BROWNSTONE 4-PLEX REAR ELEVATION
 - 4-PLEX LOWER LEVEL PLAN
 - 4-PLEX MIDDLE LEVEL PLAN
 - 4-PLEX UPPER LEVEL PLAN
- BROWNSTONE 5-PLEX FRONT ELEVATION
 - BROWNSTONE 5-PLEX REAR ELEVATION
 - 5-PLEX LOWER LEVEL PLAN
 - 5-PLEX MIDDLE LEVEL PLAN
 - 5-PLEX UPPER LEVEL PLAN
- BROWNSTONE 6-PLEX FRONT ELEVATION
 - BROWNSTONE 6-PLEX REAR ELEVATION
 - 6-PLEX LOWER LEVEL PLAN
 - 6-PLEX MIDDLE LEVEL PLAN
 - 6-PLEX UPPER LEVEL PLAN
- BROWNSTONE STYLE SIDE ELEVATION
- LONDON 3-PLEX FRONT ELEVATION
 - LONDON 3-PLEX REAR ELEVATION
 - 3-PLEX LOWER LEVEL PLAN
 - 3-PLEX MIDDLE LEVEL PLAN
 - 3-PLEX UPPER LEVEL PLAN
- LONDON 4-PLEX FRONT ELEVATION
 - LONDON 4-PLEX REAR ELEVATION
 - 4-PLEX LOWER LEVEL PLAN
 - 4-PLEX MIDDLE LEVEL PLAN
 - 4-PLEX UPPER LEVEL PLAN
- LONDON 5-PLEX FRONT ELEVATION
 - LONDON 5-PLEX REAR ELEVATION
 - 5-PLEX LOWER LEVEL PLAN
 - 5-PLEX MIDDLE LEVEL PLAN
 - 5-PLEX UPPER LEVEL PLAN
- LONDON DUPLEX FRONT ELEVATION
 - LONDON DUPLEX REAR ELEVATION
 - DUPLEX LOWER LEVEL PLAN
 - DUPLEX MIDDLE LEVEL PLAN
 - DUPLEX UPPER LEVEL PLAN
- LONDON STYLE SIDE ELEVATION

Development Review Team Correspondence:

- C1.** Memo from Steve Adams, Development Engineering Manager, dated June 25, 2015
- C2.** Memo from Kerry Rappold, Natural Resources Program Manager; dated June 26, 2015
- C3.** Memo from Don Walters, Plans Examiner, Building Division, dated June 29, 2015.
- C4.** E-mail from Jason Arn, TVFR, dated June 23, 2015.
- C5.** Memo from Public Works Department, dated June 30, 2105.

D. General Correspondence:

- D1.** Letters (neither For nor Against): None submitted
- D2.** Letters (In Favor): None submitted
- D3.** Letters (Opposed): None submitted

GENERAL INFORMATION

Section 4.008 Application Procedures-In General: This section lists general application procedures applicable to a number of types of land use applications and also lists unique features of Wilsonville’s development review process.

The application is being processed in accordance with the applicable general procedures of this Section. These criteria are met.

Section 4.009 Who May Initiate Application: Except for a Specific Area Plan (SAP), applications involving specific sites may be filed only by the owner of the subject property, by a unit of government that is in the process of acquiring the property, or by an agent who has been authorized by the owner, in writing, to apply.

Signed application forms have been submitted for the subject property owners, Polygon WHL, LLC. This criterion is satisfied.

Subsection 4.010 (.02) Pre-Application Conference:

A pre-application conference was held in March, 2015 in accordance with this subsection. These criteria are satisfied.

Subsection 4.011 (.02) B. Lien Payment before Application Approval: City Council Resolution No. 796 precludes the approval of any development application without the prior payment of all applicable City liens for the subject property. Applicants shall be encouraged to contact the City Finance Department to verify that there are no outstanding liens. If the Planning Director is advised of outstanding liens while an application is under consideration, the Director shall advise the applicant that payments must be made current or the existence of liens will necessitate denial of the application.

No applicable liens exist for the subject property. The application can thus move forward. This criterion is satisfied.

Subsection 4.035 (.04) A. General Site Development Permit Submission Requirements: An application for a Site Development Permit shall consist of the materials specified as follows, plus any other materials required by this Code.” Listed 1. through 6. j.

The applicant has provided all of the applicable general submission requirements contained in this subsection. These criteria are satisfied.

Section 4.110 Zoning-Generally: The use of any building or premises or the construction of any development shall be in conformity with the regulations set forth in this Code for each Zoning District in which it is located, except as provided in Sections 4.189 through 4.192. The General Regulations listed in Sections 4.150 through 4.199 shall apply to all zones unless the text indicates otherwise.

This proposed development is in conformity with Village zoning district and general development regulations listed in Sections 4.150 through 4.199 have been applied in accordance with this Section. These criteria are satisfied.

FINDINGS OF FACT

1. The statutory 120-day time limit applies to this application. The application was received on May 1, 2015. On May 18 2015, staff conducted a completeness review within the statutorily allowed 30-day review period. On May 29th, the applicant submitted new material. The application was deemed complete on June 1 2015. The City must render a final decision for the request, including any appeals, by September 28, 2015.

2. Prior SAP-Central land use actions include:
Villebois Village Ordinances, and Resolutions
Legislative:
02PC06 Villebois Village Concept Plan
02PC07A Villebois Comprehensive Plan Text
02PC07C Villebois Comprehensive Plan Map
02PC07B Villebois Village Master Plan
02PC08 Village Zone Text
04PC02 Adopted Villebois Village Master Plan
LP-2005-02-00006 Revised Villebois Village Master Plan
LP-2005-12-00012 Revised Villebois Village Master Plan (Parks and Recreation)

Quasi Judicial:
DB06-0005:
 - Specific Area Plan (SAP) – Central.
 - Village Center Architectural Standards.
 - SAP-Central Architectural Pattern Book.
 - Master Signage and Wayfinding Plan.
 - Community Elements Book Rainwater Management Program and PlanDB06-0012: DB06-0012-Tentative Subdivision Plat (Large Lot)
LP09-0003 Zone text amendment to allow for detached row houses.
DB09-0037 & 0038 Modification to the Village Center Architectural Standards (VCAS) to change/add provisions for detached row houses.

3. The applicant has complied with Sections 4.013-4.031 of the Wilsonville Code, said sections pertaining to review procedures and submittal requirements. The required public notices have been sent and all proper notification procedures have been satisfied.

CONCLUSIONARY FINDINGS

The Applicant's compliance findings to the applicable land development criteria and Comprehensive Plan goals, policies and implementation measures are found in Exhibit B1 and are hereby incorporated into this staff report as findings for approval.

REQUEST A: SAP-CENTRAL, PRELIMINARY DEVELOPMENT PLAN 7C

Village Zone

Subsection 4.125 (.02) Permitted Uses in Village Zone. This subsection lists the uses typically permitted in the Village Zone, including single-family detached dwellings, row houses, and non-commercial parks, playgrounds, and recreational facilities.

- A1.** Proposed are sixty-eight (68) row houses in nine (9) buildings and one (1) mixed-use future building are permitted in the Village Zone. In Request E of this application includes several SAP refinements. This criterion is satisfied.

Subsection 4.125 (.05) Development Standards Applying to All Development in the Village Zone

“All development in this zone shall be subject to the V Zone and the applicable provisions of the Wilsonville Planning and Land Development Ordinance. If there is a conflict, then the standards of this section shall apply. The following standards shall apply to all development in the V zone:”

Subsection 4.125 (.05) A. Block, Alley, Pedestrian, and Bicycle Standards This subsection lists the block, alley, pedestrian, and bicycle standards applicable in the Village Zone.

- A2.** The proposed Preliminary Development Plan drawings and refinements on Plan Sheet 3 shows blocks, alleys, pedestrian, and bicycle paths consistent with this subsection and SAP Central. These criteria are satisfied.

Subsection 4.125 (.05) B. Access

- A3.** All proposed lots shown in the proposed Tentative Subdivision Plat have driveway access to an alley and will take vehicular access from the alley to a garage. This criterion is satisfied.
- A4.** Table V-1, Development Standards: These criteria will be reviewed at the time row house building plans are submitted for building permits.

Subsection 4.125 (.07) Table V-2 Off-Street Parking, Loading & Bicycle Parking

- A5.** One (1) parking space is provided for each row house unit, meeting the minimum of one (1) space. On street parking will also be provided throughout the development. Bicycle parking will be provided within the Woonerf (SW Mont Blanc Street). This criterion is satisfied.

Subsection 4.125 (.08) Parks & Open Space This subsection prescribes the open space requirement for development in the Village Zone.

A6. Figure 5 Parks & Open Space Plan of the Villebois Village Master Plan states that there are a total of 159.73 acres within Villebois, which is approximately 33% of Villebois. This criterion is satisfied.

Subsection 4.125 (.09) Street Alignment and Access Improvements

Subsection 4.125 (.09) A. 1. a. Street Alignment and Access Improvements Conformity with Master Plan, etc. “All street alignment and access improvements shall conform to the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan . . .”

A7. Proposed, existing streets and access improvements conform to SAP Central which has been found to be in compliance with the Villebois Village Master Plan. This criterion is satisfied.

Subsection 4.125 (.09) A. 1. a. i. Street Improvement: Conformity with Public Works Standards and Continuation of Streets. “All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.”

A8. Except for SW Ravenna Loop which is proposed to be deleted through a SAP refinement the proposed street improvements within this PDP must comply with the applicable Public Works Standards and make the connections to adjoining properties and phases as shown in the Villebois Village Master Plan. SW Mount Blanc Street is a private street. These criteria are satisfied.

Subsection 4.125 (.09) A. 1. a. ii. Streets Developed According to Master Plan. “All streets shall be developed according to the Master Plan.”

A9. All the streets proposed within this PDP that are adjacent to the subject property will have curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways which are consistent with the cross sections shown in the Master Plan. This criterion is satisfied.

Subsection 4.125 (.09) A. 6. Access Drives. Access drives are required to be 16 feet for two-way traffic. Otherwise, pursuant to subsection (.09) A. above, the provisions of 4.177 applies for access drives as no other provisions are noted.

A10. Proposed are alleys to be paved at least 16-feet in width within a 20-foot tract. In accordance with Section 4.177, all access drives will be hard surface capable of carrying a 23-ton load. Easements for fire access are dedicated as required by the TVFR fire department. All access drives will be built to provide a clear travel lane free from any obstructions. These criteria are satisfied.

Subsection 4.125 (.11) Landscaping, Screening and Buffering. : “Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:

- **Streets in the Village Zone shall be developed with street trees as described in the Community Elements Book.”**

A11. Plan Sheets L3, L4 and L5 are the proposed Landscape Plan. Landscaping is reviewed in detail in Request D of this staff report.

Subsection 4.125 (.13) Design Principles Applying to the Village Zone

A12. The Village Center Architectural Standards (VCAS) and Community Elements Book ensure site designs meets the fundamental design concepts and support the objectives of the Villebois Village Master Plan. A FDP application for the proposed architecture and the proposed site plans are reviewed in detail in Request D of this staff report.

Subsection 4.125 (.14) A. 2. g. Landscape Plans

A13. See Finding A11.

Subsection 4.125 (.14) A. 2. f. Protection of Significant Trees

A14. Twenty-three (23) trees measuring 6-inches and larger in diameter would be removed to accommodate row house buildings of the proposed development. Three (3) Pin Oaks are proposed to be retained. See Plan Sheet 8. The Arborist Report is found in Section V1 of Exhibit B1. A Type ‘C’ application is reviewed in detail in Request F of this staff report.

Subsection 4.125 (.14) A. 3. Lighting and Site Furnishings.

A15. Park plans show furnishings consistent with the Community Elements Book. A condition of approval ensures the final street lighting installation is consistent with the Community Elements Book. See Plan Sheets L1, L2 and L3. This criterion is satisfied or will be required to do so by Condition of Approval PDA2.

Subsection 4.125 (.18) G. Preliminary Development Plan Approval Process

Subsection 4.125 (.18) G. 1. a. Preliminary Development Plan: Submission Timing. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall be filed with the City Planning Division for the entire SAP, or when submission of the SAP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.”

A16. This addresses PDP 7 Central on the SAP Central Phasing Plan. This criterion is satisfied.

Subsection 4.125 (.18) G. 1. b. Preliminary Development Plan: Owners’ Consent. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall be made by the owner of all affected property or the owner’s authorized agent;”

A17. This application was submitted by Polygon WLH, LLC. The PDP application has been signed by the property owners. This criterion is satisfied.

Subsection 4.125 (.18) G. 1. c. Preliminary Development Plan Permit Process: Proper Form & Fees. “An application for approval of a Preliminary Development Plan for a development in an approved

SAP shall be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution;”

A18. The applicant has used the prescribed form and paid the required application fees. These criteria are satisfied.

Subsection 4.125 (.18) G. 1. d. Preliminary Development Plan Permit Process: Professional Coordinator. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall set forth the professional coordinator and professional design team for the project;”

A19. A professional design team is working on the project with Stacy Connery AICP from Pacific Community Design. as the professional coordinator. This criterion is satisfied.

Subsection 4.125 (.18) G. 1. e. Preliminary Development Plan Permit Process: Mixed Uses. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall state whether the development will include mixed land uses, and if so, what uses and in what proportions and locations.”

A20. The proposed PDP includes only residential uses with supporting recreational amenities and utilities. This criterion is satisfied.

Subsection 4.125 (.18) G. 1. f. Preliminary Development Plan Permit Process: Land Division. “An application for approval of a Preliminary Development Plan for a development in an approved SAP shall include a preliminary land division (concurrently) per Section 4.400, as applicable.”

A21. A Tentative Subdivision Plat has been submitted concurrently with this request. See Request C. This criterion is satisfied.

Subsection 4.125 (.18) G. 2. a. – c. Preliminary Development Plan Permit Process: Information Required

A22. All of the listed information has been provided. See Exhibits B1. These criteria are satisfied.

Subsection 4.125 (.18) G. 2. d. Preliminary Development Plan Permit Process: Land Area Tabulation. “A tabulation of the land area to be devoted to various uses, and a calculation of the average residential density per net acre.”

A23. Following is a tabulation of land area devoted to the various uses and a calculation of net residential density:

Gross Acreage	3.44 Acres
Parks and Open Space	.32Acres
Streets Paving	.10 Acres
Lots and Alleys	2.32 Acres
Future Development Lot	.11 Acres

Net Residential Density: 28 units per net acre. These criteria are satisfied.

Subsection 4.125 (.18) G. 2. e. Preliminary Development Plan Permit Process: Streets, Alleys, and Trees. “The location, dimensions and names, as appropriate, of existing and platted streets and alleys on and within 50 feet of the perimeter of the PDP, together with the location of existing and planned easements, sidewalks, bike routes and bikeways, trails, and the location of other important features such as section lines, section corners, and City boundary lines. The plan shall also identify all trees 6 inches and greater d.b.h. on the project site only.”

A24. The information on the proposed alleys and streets are provided on Plan Sheet 4. Easements, sidewalks, bike routes and bikeways, trails, and other relevant features are shown. Proposed street trees are shown on Plan Sheet L2. These criteria are satisfied.

Subsection 4.125 (.18) G. 2. f. Preliminary Development Plan Permit Process: Building Drawings. “Conceptual drawings, illustrations and building elevations for each of the listed housing products and typical non-residential and mixed-use buildings to be constructed within the Preliminary Development Plan boundary, as identified in the approved SAP, and where required, the approved Village Center Design.”

A25. The proposed PDP includes row houses. Building elevations have been provided. See the proposed building elevations of applicant’s notebook, Exhibit B1. The proposed row house building elevations are reviewed in the Final Development Plan in Request D of this staff report.

Subsection 4.125 (.18) G. 2. g. Preliminary Development Plan Permit Process: Utility Plan. “A composite utility plan illustrating existing and proposed water, sanitary sewer, and storm drainage facilities necessary to serve the SAP.”

A26. A composite utility plan has been provided. See applicant’s Plan Sheet 6. This criterion is satisfied.

Subsection 4.125 (.18) G. 2. j. Preliminary Development Plan Permit Process: Traffic Report. “At the applicant’s expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the SAP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with build-out of the entire SAP, and it shall meet Subsection 4.140(.09)(J)(2).”

A27. The DKS Traffic Analysis Report has been reviewed and approved by the City Development Engineering Manager and he found that the proposed road network, the maximum projected average daily trips and the maximum parking demand associated with build-out of this PDP meets the above criterion and Subsection 4.140(.09)(J)(2).

Subsection 4.125 (.18) H. PDP Application Submittal Requirements

Subsection 4.125 (.18) H. 1. PDP Application Submittal Requirements: General

A28. The proposed PDP with the proposed refinements in Request E includes all of the requested information. These criteria are satisfied.

Subsection 4.125 (.18) H. 2. PDP Application Submittal Requirements: Traffic Report

A29. A Transportation Impact Study was prepared by DKS Associates for the project. This criterion is satisfied.

Subsection 4.125 (.18) H. 3. PDP Application Submittal Requirements: Level of Detail. “The Preliminary Development Plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the phase of development. However, approval of a Final Development Plan is a separate and more detailed review of proposed design features, subject to the standards of Section 4.125(.18)(L) through (P), and Section 4.400 through Section 4.450.”

A30. The required level of detail has been shown similar to other PDP’s approved throughout Villebois. This criterion is satisfied.

Subsection 4.125 (.18) H. 4. PDP Application Submittal Requirements: Copies of Legal Documents. “Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner’s association, shall also be submitted.”

A31. The required legal documents for review have been provided. See Section IIIC in the applicant’s notebook, Exhibit B1. This criterion is satisfied.

Subsection 4.125 (.18) I. PDP Approval Procedures.

“An application for PDP approval shall be reviewed using the following procedures:

- Notice of a public hearing before the Development Review Board regarding a proposed PDP shall be made in accordance with the procedures contained in Section 4.012.
- A public hearing shall be held on each such application as provided in Section 4.013.
- After such hearing, the Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.”

A32. This request is being reviewed according to this subsection. These criteria are satisfied.

Subsection 4.125 (.18) K. PDP Approval Criteria

Subsection 4.125 (.18) K. 1. a. PDP Approval Criteria: Consistent with Standards of Section 4.125

A33. As shown elsewhere in this request, the proposed Preliminary Development Plan is consistent with the standards of Section 4.125. These criteria are satisfied.

Subsection 4.125 (.18) K. 1. b. PDP Approval Criteria: Complies with the Planning and Land Development Ordinance. “Complies with the applicable standards of the Planning and Land Development Ordinance, including Section 4.140(.09)(J)(1)-(3).”

A34. Findings are provided showing compliance with applicable standards of the Planning and Land Development Ordinance. Specifically findings addressing Subsections 4.140(.09) J. 1 through 3. This criterion is satisfied.

Subsection 4.125 (.18) K. 1. c. PDP Approval Criteria: Consistent with Approved SAP. “Is consistent with the approved Specific Area Plan in which it is located.”

A35. The requested PDP is consistent with SAP Central, as requested to be amended. This criterion is satisfied.

Subsection 4.125 (.18) K. 1. d. PDP Approval Criteria: Consistent with Approved Pattern Book. “Is consistent with the approved Pattern Book and, where required, the approved Village Center Architectural Standards.”

A36. No buildings are proposed with this Preliminary Development Plan. Subsequent Building Permit applications for the proposed row houses in this Preliminary Development Plan will document compliance with the Village Center Architectural Standards. However, proposed lots are sized to accommodate proposed row house buildings in a manner consistent with Table V-1.

Subsection 4.125 (.18) K. 2. PDP Approval Criteria: Reasonable Phasing Schedule. : “If the PDP is to be phased, that the phasing schedule is reasonable and does not exceed two years between commencement of development of the first, and completion of the last phase, unless otherwise authorized by the Development Review Board.”

A37. The proposed PDP will be completed in one development. This criterion is satisfied.

Subsection 4.125 (.18) K. 3. PDP Approval Criteria: Parks Concurrency. “Parks within each PDP or PDP Phase shall be constructed prior to occupancy of 50% of the dwelling units in the PDP or PDP phase, unless weather or other special circumstances prohibit completion, in which case bonding for such improvements shall be permitted.”

A38. Condition of approval PDA3 will ensure the parks within PDP 7C completed prior to occupancy of 50% of the housing units of the phase or bonding will be provided if special circumstances prevent completion.

Subsection 4.125 (.18) K. 5. PDP Approval Criteria: DRB Conditions. “The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.”

A39. No additional conditions of approval are recommended. This criterion is satisfied.

Subsection 4.140 (.09) J. Planned Development Permit Review Criteria

“A planned development permit may be granted by the Development Review Board only if it is found that the development conforms to all the following criteria, as well as to the Planned Development Regulations in Section 4.140:”

Subsection 4.140 (.09) J. 1. Consistency with Comprehensive Plan and Other Plans, Ordinances. “The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.”

A40. The applicant’s findings demonstrate the location, design, size, and uses proposed with the proposed PDP are both separately and as a whole consistent with SAP Central as proposed to be amended and thus the Villebois Village Master Plan, the City’s Comprehensive Plan designation of Residential – Village for the area, and any other applicable ordinance of which staff is aware. These criteria are satisfied.

Subsection 4.140 (.09) J. 2. Meeting Traffic Level of Service D. “That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City’s adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.”

A41. See Finding A27. These criteria are satisfied.

Subsection 4.140 (.09) J. 3. Concurrency for Other Facilities and Services. “That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.”

A42. As shown on the Composite Utility Plan, Sheet 6, existing or immediately planned facilities and services are sufficient to serve the planned row house development. These criteria are satisfied.

Section 4.178 Sidewalk and Pathway Standards.

- **Sidewalks.** All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.
- **Bicycle facilities** shall be provided using a bicycle lane as the preferred facility design. The other facility designs listed will only be used if the bike lane standard cannot be constructed due to physical or financial constraints. The alternative standards are listed in order of preference.
- **Bike lane.** This design includes 12-foot minimum travel lanes for autos and paved shoulders, 5-6 feet wide for bikes that are striped and marked as bicycle lanes. This shall be the basic standard applied to bike lanes on all arterial and collector streets in the City, with the exception of minor residential collectors with less than 1,500 (existing or anticipated) vehicle trips per day.”

A43. With the proposed refinements reviewed in Request E, the proposed PDP generally matches the SAP Central approval. These criteria are satisfied.

REQUEST B
ZONE MAP AMENDMENT

This request is for approval of a Zone Map Amendment from the Public Facility zone to the Village (V) zone for 3.44 acres. Because the service levels vary throughout the City, the zoning process allows for a case-by-case analysis of the availability of public facilities and services and to determine specific conditions related to needed public facilities improvements. All land development proposals are reviewed for conformity with the Comprehensive Plan and specific standards set forth in the zoning ordinance.

As set forth in Subsection 4.197(.02) of the Wilsonville Code, in recommending approval or denial of a proposed zone map amendment, the Board must at a minimum, adopt findings addressing Criteria A-G, below.

Criterion ‘A’

“That the application before the Commission or Board was submitted in accordance with the procedures set forth in Section 4.008 or, in the case of a Planned Development, Section 4.140.”

B1. The applicant has provided findings in Exhibit B1 addressing the Zone Map Amendment criteria, which are included in this staff report as findings for approval. Approval of the proposed Zoning Map Amendment is contingent on approval by the City Council by a City Ordinance.

Criterion ‘B’

“That the proposed amendment is consistent with the Comprehensive Plan map designation and substantially complies with the applicable goals, policies and objectives, set forth in the Comprehensive Plan text.”

Proposed Comprehensive Plan Designation: Village

B2. The subject site is currently zoned Public Facility (PF). The applicant proposes to change the Public facility (PF) Zone to the Village (V) zone on 3.44 acres and including the adjacent public streets. On the basis of Section 4.125 the applicant is seeking the appropriate V zone based on the ‘Village’ Comprehensive Plan Map designation.

B3. The proposed Comprehensive Plan Map designation is ‘Village’. The gross site area is 3.44 acres. The proposed Preliminary Development Plan is reviewed in Request A of this staff report.

B4. The applicant’s zone change proposal would enable the development of the row houses, which is located in the center of Villebois Village. The applicant’s response findings in Exhibit B1 speak to the providing for residential houses in the City, meeting these measures.

Area of Special Concern

B5. The subject property is not located in an area of special concern by the Comprehensive Plan.

Criterion ‘D’ – Public Facilities: “That the existing primary public facilities, i.e., roads and sidewalks, water, sewer and storm sewer are available and are of adequate size to serve the proposed development; or, that adequate facilities can be provided in conjunction with project development. The Planning Commission and Development Review Board shall utilize any and all means to insure that all primary facilities are available and are adequately sized.”

B6. The Development Engineering Manager recommended Public Facility (PF) conditions impose further performance upon the Preliminary Development Plan application, which requires the applicant to provide adequate water and storm sewer infrastructure to serve the subject property. As currently configured, the subject property with the proposed PF conditions of approval will satisfy all design requirements regarding needed infrastructure improvements.

Criterion ‘E’ – Significant Resource Overlay Zone: “That the proposed development does not have a significant adverse effect upon Significant Resource Overlay Zone areas, an identified natural hazard, or an identified geologic hazard. When Significant Resource Overlay Zone areas or natural hazard, and/or geologic hazard are located on or abut the proposed development, the Planning Commission or Development Review Board shall use appropriate measures to mitigate and significantly reduce conflicts between the development and identified hazard or Significant Resource Overlay Zone.”

B7. The subject property is not designated within the Significant Resource Overlay Zone (SROZ).

Criterion ‘F’ “That the applicant is committed to a development schedule demonstrating that development of the property is reasonably expected to commence within two (2) years of the initial approval of the zone change.”

B8. The applicant’s submittal documents indicate the intent to develop the subject property soon after final approvals are obtained from the City within years 2015 - 2016 meeting code.

Criterion ‘G’ “That the proposed development and use(s) can be developed in compliance with the applicable development standards or appropriate conditions are attached that insure that the project development substantially conforms to the applicable development standards.”

B9. The applicant’s proposal, together with the Preliminary Development Plan conditions of approval will bring it into compliance with all applicable development standards.

Subsection 4.197(.03) provides that “If affirmative findings cannot be made for all applicable criteria listed above the Planning Commission or Development Review Board shall recommend that the proposed text or map amendment, as the case may be, be denied.”

B10. The applicant has made affirmative findings in Exhibit B1 to Subsection 4.197.02(A)-(G) meeting Subsection 4.197(.03).

Subsection 4.197(.04) stipulates that the “City Council action approving a change in zoning shall be in the form of a Zoning Order.”

B11. Staff recommends approval of the proposed Zone Map Amendment with no conditions of approval being proposed. A City Council Zoning Order and Ordinance regarding the proposed Zone Map Amendment is required subsequent to contingent approval of the requested companion applications.

Subsection 4.197(.05) provides “In cases where a property owner or other applicant has requested a change in zoning and the City Council has approved the change subject to conditions, the owner or applicant shall sign a statement accepting, and agreeing to complete the conditions of approval before the zoning shall be changed.”

B12. Staff recommends adoption of these findings to the Development Review Board in review of the application to modify the Zone Map designation from PF to V. Upon recommendation of approval by the Board, these will be forwarded to the City Council for final action.

REQUEST C: TENTATIVE SUBDIVISION PLAT
--

The applicant’s findings in Section III of their notebook, Exhibit B1, respond to the majority of the applicable criteria.

Subsection 4.125 (.02) Permitted Uses in the Village Zone. This subsection lists the permitted uses in the Village Zone.

C1. The proposed Tentative Subdivision Plat is for uses including row houses and one lot for future mix-use, which are permitted in the Village Zone. These criteria are satisfied.

**Subsection 4.125 (.05) Development Standards Applying to All Development in Village Zone
Subsection 4.125 (.05) A. Block, Alley, Pedestrian, and Bicycle Standards. This subsection lists the block, alley, pedestrian, and bicycle standards applicable in the Village Zone.**

C2. The proposed Tentative Subdivision Plat shows blocks, alleys, pedestrian, and bicycle paths consistent with this subsection and the proposed PDP. These criteria are satisfied.

Subsection 4.125 (.05) B. Access Standards “All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.”

C3. The proposed row houses are designed with garage access at alleys so there is no need for a reservation strip on the street side of lots.

Table V-1: Development Standards in the Village Zone. This table shows the development standards, including setback for different uses in the Village Zone.

C4. The proposed lots facilitate row house construction that meets relevant standards of the Table V1. These criteria are satisfied.

Subsection 4.125 (.07) Off-Street Parking, Loading and Bicycle Parking. “Except as required by

Subsections (A) through (D), below, the requirements of Section 4.155 shall apply within the Village zone.”

C5. Nothing concerning the proposed Tentative Subdivision Plat would prevent the required parking from being built. These criteria are satisfied.

Subsection 4.125 (.08) Open Space Requirements. This subsection establishes the open space requirements for the Village Zone.

C6. The proposed Tentative Subdivision Plat shows the open space consistent with the requirements of the Village Zone. Consistent with the requirements of (.08)C. the condition of approval requires the City Attorney to review and approve pertinent bylaws, covenants, or agreements prior to recordation. These criteria are satisfied or will be satisfied by Condition of Approval PDC5.

Subsection 4.125 (.09) A. 1. Street and Improvement Standards: General Provisions. “Except as noted below, the provisions of Section 4.177 shall apply within the Village zone:

Review Criteria:

- **General Provisions:**
- **All street alignment and access improvements shall conform to Figures 7, 8, 9A, and 9B of the Villebois Village Master Plan, or as refined in an approved Specific Area Plan, Preliminary Development Plan, or Final Development Plan, and the following standards:**
- **All street improvements shall conform to the Public Works Standards and the Transportation Systems Plan, and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.**
- **All streets shall be developed according to the Master Plan.”**

C7. The proposed Tentative Subdivision Plat shows street alignments, improvements, and access improvements consistent with the approved SAP Central, with the Master Plan and Transportation Systems Plan. These criteria are satisfied.

Subsection 4.125 (.09) A. 2. Street and Improvement Standards: Intersection of Streets

Review Criteria:

“Intersections of streets:

- **Angles: Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.**
- **Intersections: If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of a thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety 90 degrees shall require approval by the City Engineer after consultation with the Fire District.**
- **Offsets: Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:**
 - **1000 ft. for major arterials**
 - **600 ft. for minor arterials**

- 100 ft. for major collector
- 50 ft. for minor collector
- **Curb Extensions:**
 - **Curb extensions at intersections shall be shown on the Specific Area Plans required in Subsection 4.125(.18)(C) through (F), below, and shall: Not obstruct bicycle lanes on collector streets.**
 - **Provide a minimum 20 foot wide clear distance between curb extensions at all local residential street intersections, meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.”**

C8. The proposed Tentative Subdivision Plat shows street intersections consistent with these standards. These criteria are satisfied.

Subsection 4.125 (.09) A. 4. Street and Improvement Standards: Centerline Radius Street Curves.

Review Criteria:

“The minimum centerline radius street curves shall be as follows:

- **Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by the City Engineer.**
- **Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.**
- **Local streets: 75 feet”**

C9. The proposed Tentative Subdivision Plat shows streets meeting these standards. These criteria are satisfied.

Subsections 4.125 (.09) A. 5. and 4.177 (.01) C. Street and Improvement Standards: Rights-of-way

Review Criteria:

- **“Prior to issuance of a Certificate of Occupancy Building permits or as a part of the recordation of a final plat, the City shall require dedication of rights-of-way in accordance with the Street System Master Transportation Systems Plan. All dedications shall be recorded with the County Assessor's Office.**
- **The City shall also require a waiver of remonstrance against formation of a local improvement district, and all non-remonstrances shall be recorded in the County Recorder’s Office as well as the City's Lien Docket, prior to issuance of a Certificate of Occupancy Building Permit or as a part of the recordation of a final plat.**
- **In order to allow for potential future widening, a special setback requirement shall be maintained adjacent to all arterial streets. The minimum setback shall be 55 feet from the centerline or 25 feet from the right-of-way designated on the Master Plan, whichever is greater.”**

C10. Public rights-of-ways are already dedicated to the city meeting the above criteria.

Subsections 4.125 (.09) A. 6.and 4.177 (.01) E. Street and Improvement Standards: Access Drives

Review Criteria:

- **Access drives are required to be 16 feet for two-way traffic.**

- An access drive to any proposed development shall be designed to provide a clear travel lane free from any obstructions.
- Access drive travel lanes shall be constructed with a hard surface capable of carrying a 23-ton load.
- Secondary or emergency access lanes may be improved to a minimum 12 feet with an all-weather surface as approved by the Fire District. All fire lanes shall be dedicated easements.
- Minimum access requirements shall be adjusted commensurate with the intended function of the site based on vehicle types and traffic generation.
- Where access drives connect to the public right-of-way, construction within the right-of-way shall be in conformance to the Public Works Standards.

C11. The proposed Tentative Subdivision Plat shows alleys of sufficient 16 foot width to meet the width standards. Easements for fire access were dedicated as required. These criteria are satisfied.

Subsections 4.125 (.09) A. 7. and 4.177 (.01) F. Street and Improvement Standards: Clear Vision Areas. “A clear vision area which meets the Public Works Standards shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. However, the following items shall be exempt from meeting this requirement:” Listed 1. a.-f.

C12. The proposed Tentative Subdivision Plat shows streets meeting these standards. These criteria are satisfied.

Subsections 4.125 (.09) A. 8. and 4.177 (.01) G. Street and Improvement Standards: Vertical Clearance. “a minimum clearance of 12 feet above the pavement surface shall be maintained over all streets and access drives.”

C13. Nothing is shown on the proposed Tentative Subdivision Plat that would preclude the required clearance from being provided. This criterion is satisfied.

Subsections 4.125 (.09) A. 9. and 4.177 (.01) H. Street and Improvement Standards: Interim Improvement Standards.

Review Criteria: “It is anticipated that all existing streets, except those in new subdivisions, will require complete reconstruction to support urban level traffic volumes. However, in most cases, existing and short-term projected traffic volumes do not warrant improvements to full Master Plan standards. Therefore, unless otherwise specified by the Planning Commission, the following interim standards shall apply.

- Arterials - 24 foot paved, with standard sub-base. Asphalt overlays are generally considered unacceptable, but may be considered as an interim improvement based on the recommendations of the City Engineer, regarding adequate structural quality to support an overlay.
- Half-streets are generally considered unacceptable. However, where the Development Review Board finds it essential to allow for reasonable development, a half-street may be approved. Whenever a half-street improvement is approved, it shall conform to the requirements in the Public Works Standards:
- When considered appropriate in conjunction with other anticipated or scheduled street improvements, the City Engineer may approve street improvements with a

single asphalt lift. However, adequate provision must be made for interim storm drainage, pavement transitions at seams and the scheduling of the second lift through the Capital Improvements Plan.

- C14. The area covered by the proposed Tentative Subdivision Plat does not include any interim improvements addressed by this subsection. These criteria are satisfied.

Subsection 4.202 (.01) through (.03) Plats Reviewed by Planning Director or DRB

Review Criteria: “Pursuant to ORS Chapter 92, plans and plats must be approved by the Planning Director or Development Review Board (Board), as specified in Sections 4.030 and 4.031, before a plat for any land division may be filed in the county recording office for any land within the boundaries of the City, except that the Planning Director shall have authority to approve a final plat that is found to be substantially consistent with the tentative plat approved by the Board.

The Development Review Board and Planning Director shall be given all the powers and duties with respect to procedures and action on tentative and final plans, plats and maps of land divisions specified in Oregon Revised Statutes and by this Code.

Approval by the Development Review Board or Planning Director of divisions of land within the boundaries of the City, other than statutory subdivisions, is hereby required by virtue of the authority granted to the City in ORS 92.”

- C15. The proposed Tentative Subdivision Plat is being reviewed by the Development Review Board according to this subsection. The final plat will be reviewed by the Planning Division under the authority of the Planning Director to ensure compliance with the DRB review of the tentative subdivision plat. These criteria are satisfied.

Subsection 4.202 (.04) A. Lots must be Legally Created for Issuing Development Permit. “No person shall sell any lot or parcel in any condominium, subdivision, or land partition until a final condominium, subdivision or partition plat has been approved by the Planning Director as set forth in this Code and properly recorded with the appropriate county.”

- C16. It is understood that no lots will be sold until the final plat has been approved by the Planning Director and recorded. This criterion is satisfied.

Subsection 4.202 (.04) B. Prohibition of Creating Undersized Lots. “It shall be a violation of this Code to divide a tract of land into a parcel smaller than the lot size required in the Zoning Sections of this Code unless specifically approved by the Development Review Board or City Council. No conveyance of any portion of a lot, for other than a public use, shall leave a structure on the remainder of the lot with less than the minimum lot size, width, depth, frontage, yard or setback requirements, unless specifically authorized through the Variance procedures of Section 4.196 or the waiver provisions of the Planned Development procedures of Section 4.118.”

- C17. No lots will be divided into a size smaller than allowed by the proposed Village “V” zoning designation. This criterion is satisfied.

Subsection 4.210 (.01) Pre-Application Conference. “Prior to submission of a tentative condominium, partition, or subdivision plat, a person proposing to divide land in the City shall

contact the Planning Department to arrange a pre-application conference as set forth in Section 4.010.”

C18. A pre-application conference was held in March, 2015 in accordance with this subsection. This criterion is satisfied.

Subsection 4.210 (.01) A. Preparation of Tentative Plat. “The applicant shall cause to be prepared a tentative plat, together with improvement plans and other supplementary material as specified in this Section. The Tentative Plat shall be prepared by an Oregon licensed professional land surveyor or engineer. An affidavit of the services of such surveyor or engineer shall be furnished as part of the submittal.”

C19. Plan Sheet 4 of Exhibit B1 is the proposed Tentative Subdivision Plat prepared in accordance with this subsection. This criterion is satisfied.

Subsection 4.210 (.01) B. Tentative Plat Submission. “The design and layout of this plan plat shall meet the guidelines and requirements set forth in this Code. The Tentative Plat shall be submitted to the Planning Department with the following information:”

C20. The proposed Tentative Subdivision Plat has been submitted with the required information. These criteria are satisfied.

Subsection 4.210 (.01) D. Land Division Phases to Be Shown. “Where the applicant intends to develop the land in phases, the schedule of such phasing shall be presented for review at the time of the tentative plat. In acting on an application for tentative plat approval, the Planning Director or Development Review Board may set time limits for the completion of the phasing schedule which, if not met, shall result in an expiration of the tentative plat approval.”

C21. The land is intended to be developed in a single phase. These criteria are satisfied.

Subsection 4.210 (.01) E. Remainder Tracts. “Remainder tracts to be shown as lots or parcels. Tentative plats shall clearly show all affected property as part of the application for land division. All remainder tracts, regardless of size, shall be shown and counted among the parcels or lots of the division.”

C22. The affected property has been incorporated into the proposed Tentative Subdivision Plat. These criteria are satisfied.

Subsection 4.236 (.01) Conformity to the Master Plan or Map. “Land divisions shall conform to and be in harmony with the Transportation Master Plan (Transportation Systems Plan), the Bicycle and Pedestrian Master Plan, the Parks and Recreation Master Plan, the Official Plan or Map and especially to the Master Street Plan.”

C23. The proposed Tentative Subdivision Plat is consistent with applicable plans including the Transportation Systems Plan and Villebois Village Master Plan. These criteria are satisfied.

Subsection 4.236 (.02) Relation to Adjoining Street System

Review Criteria:

- A land division shall provide for the continuation of the principal streets existing in the adjoining area, or of their proper projection when adjoining property is not developed, and shall be of a width not less than the minimum requirements for streets set forth in these regulations. Where, in the opinion of the Planning Director or Development Review Board, topographic conditions make such continuation or conformity impractical, an exception may be made. In cases where the Board or Planning Commission has adopted a plan or plat of a neighborhood or area of which the proposed land division is a part, the subdivision shall conform to such adopted neighborhood or area plan.
- Where the plat submitted covers only a part of the applicant's tract, a sketch of the prospective future street system of the un-submitted part shall be furnished and the street system of the part submitted shall be considered in the light of adjustments and connections with the street system of the part not submitted.
- At any time when an applicant proposes a land division and the Comprehensive Plan would allow for the proposed lots to be further divided, the city may require an arrangement of lots and streets such as to permit a later re-subdivision in conformity to the street plans and other requirements specified in these regulations.

C24. The proposed Tentative Subdivision Plat shows streets meeting these standards. These criteria are satisfied.

Subsection 4.236 (.03) Streets: Conformity to Standards Elsewhere in the Code. “All streets shall conform to the standards set forth in Section 4.177 and the block size requirements of the zone.”

C25. The proposed Tentative Subdivision Plat shows streets consistent with the proposed PDP and SAP Refinement under Requests B and C which meets Section 4.177 and the block requirements of the zone. These criteria are satisfied.

Subsection 4.236 (.04) Creation of Easements. “The Planning Director or Development Review Board may approve an easement to be established without full compliance with these regulations, provided such an easement is the only reasonable method by which a portion of a lot large enough to allow partitioning into two (2) parcels may be provided with vehicular access and adequate utilities. If the proposed lot is large enough to divide into more than two (2) parcels, a street dedication may be required.”

C26. No specific easements are requested pursuant to this subsection. These criteria are satisfied.

Subsection 4.236 (.05) Topography. “The layout of streets shall give suitable recognition to surrounding topographical conditions in accordance with the purpose of these regulations.”

C27. The proposed Tentative Subdivision Plat shows street alignments recognizing topographic conditions. This criterion is satisfied.

Subsection 4.236 (.06) Reserve Strips. “The Planning Director or Development Review Board may require the applicant to create a reserve strip controlling the access to a street. Said strip is to be placed under the jurisdiction of the City Council, when the Director or Board determine that a strip is necessary.”

C28. No reserve strips are being required for the reasons listed in this subsection. These criteria are satisfied.

Subsection 4.236 (.07) Future Expansion of Street. “When necessary to give access to, or permit a satisfactory future division of, adjoining land, streets shall be extended to the boundary of the land division and the resulting dead-end street may be approved without a turn-around. Reserve strips and street plugs shall be required to preserve the objective of street extension.”

C29. No Streets are required to be being extended. These criteria are satisfied.

Subsection 4.236 (.08) Additional Right-of-Way for Existing Streets. “Whenever existing streets adjacent to or within a tract are of inadequate width, additional right-of-way shall conform to the designated width in this Code or in the Transportation Systems Plan.”

C30. All necessary rights-of-ways were previously dedicated. These criteria are satisfied.

Subsection 4.236 (.09) Street Names. “No street names will be used which will duplicate or be confused with the names of existing streets, except for extensions of existing streets. Street names and numbers shall conform to the established name system in the City, and shall be subject to the approval of the City Engineer.”

C31. Street names have been established. These criteria are satisfied.

Subsection 4.237 (.01) Blocks

Review Criteria:

- **The length, width, and shape of blocks shall be designed with due regard to providing adequate building sites for the use contemplated, consideration of needs for convenient access, circulation, control, and safety of pedestrian, bicycle, and motor vehicle traffic, and recognition of limitations and opportunities of topography.**
- **Sizes: Blocks shall not exceed the sizes and lengths specified for the zone in which they are located unless topographical conditions or other physical constraints necessitate larger blocks. Larger blocks shall only be approved where specific findings are made justifying the size, shape, and configuration.**

C32. The proposed Tentative Subdivision Plat shows blocks consistent with those in the approved “Large Lot Subdivision.”. These criteria are satisfied.

Subsection 4.237 (.02) Easements

Review Criteria:

- **Utility lines. Easements for sanitary or storm sewers, drainage, water mains, electrical lines or other public utilities shall be dedicated wherever necessary. Easements shall be provided consistent with the City's Public Works Standards, as specified by the City Engineer or Planning Director. All of the public utility lines within and adjacent to the site shall be installed within the public right-of-way or easement; with underground services extending to the private parcel constructed in conformance to the City’s Public Works Standards. All franchise utilities shall be**

installed within a public utility easement. All utilities shall have appropriate easements for construction and maintenance purposes.

- **Water courses.** Where a land division is traversed by a water course, drainage way, channel or stream, there shall be provided a storm water easement or drainage right-of-way conforming substantially with the lines of the water course, and such further width as will be adequate for the purposes of conveying storm water and allowing for maintenance of the facility or channel. Streets or parkways parallel to water courses may be required.

C33. Proposed PF Condition of Approvals ensures all easements dealing with utilities are on the final plat. These criteria are satisfied or will be satisfied by Conditions of Approval.

Subsection 4.237 (.03) Mid-block Pedestrian and Bicycle Pathways

Review Criteria: “An improved public pathway shall be required to transverse the block near its middle if that block exceeds the length standards of the zone in which it is located.

- **Pathways shall be required to connect to cul-de-sacs or to pass through unusually shaped blocks.**
- **Pathways required by this subsection shall have a minimum width of ten (10) feet unless they are found to be unnecessary for bicycle traffic, in which case they are to have a minimum width of six (6) feet.**

C34. Pathways are proposed within the Woonerf Address and Villebois Drive Address consistent with the Village Zone requirements and the Villebois Village Master Plan. These criteria are satisfied.

Subsection 4.237 (.04) Tree Planting & Tree Access Easements. “Tree planting plans for a land division must be submitted to the Planning Director and receive the approval of the Director or Development Review Board before the planting is begun. Easements or other documents shall be provided, guaranteeing the City the right to enter the site and plant, remove, or maintain approved street trees that are located on private property.”

C35. Street trees are proposed public right-of-ways. See Request E of this staff report for a detailed analysis of the proposed street tree program.

Subsection 4.237 (.05) Lot Size and Shape. “The lot size, width, shape and orientation shall be appropriate for the location of the land division and for the type of development and use contemplated. Lots shall meet the requirements of the zone where they are located.”

C36. Proposed lot sizes, widths, shapes and orientations are appropriate for the proposed row house development and are in conformance with the Village Zone requirements. These criteria are satisfied.

Subsection 4.237 (.06) Access. “The division of land shall be such that each lot shall have a minimum frontage on a street or private drive, as specified in the standards of the relative zoning districts. This minimum frontage requirement shall apply with the following exceptions:” Listed A. and B.

C37. Each lot has the minimum frontage on a street or greenbelt. These criteria are satisfied.

Subsection 4.237 (.07) Through Lots. “Through lots shall be avoided except where essential to provide separation of residential development from major traffic arteries or adjacent non-residential activity or to overcome specific disadvantages of topography and orientation.”

C38. No through lots are proposed. These criteria are satisfied.

Subsection 4.237 (.08) Lot Side Lines. “The side lines of lots, as far as practicable for the purpose of the proposed development, shall run at right angles to the street or tract with a private drive upon which the lots face.”

C39. Proposed side lot lines are at right angles with the front lot line. These criteria are satisfied.

Subsection 4.237 (.09) Large Lot Land Divisions. “In dividing tracts which at some future time are likely to be re-divided, the location of lot lines and other details of the layout shall be such that re-division may readily take place without violating the requirements of these regulations and without interfering with the orderly development of streets. Restriction of buildings within future street locations shall be made a matter of record if the Development Review Board considers it necessary.”

C40. No future divisions of the lots included in the tentative subdivision plat. These criteria are satisfied.

Subsection 4.237 (.10) and (.11) Building Line and Built-to Line

Review Criteria: The Planning Director or Development Review Board may establish special:

- **Building setbacks to allow for the future re-division or other development of the property or for other reasons specified in the findings supporting the decision. If special building setback lines are established for the land division, they shall be shown on the final plat.**
- **Build-to lines for the development, as specified in the findings and conditions of approval for the decision. If special build-to lines are established for the land division, they shall be shown on the final plat.**

C41. No building lines or built-to lines are proposed or recommended. These criteria are satisfied.

Subsection 4.237 (.12) Land for Public Purposes. “The Planning Director or Development Review Board may require property to be reserved for public acquisition, or irrevocably offered for dedication, for a specified period of time.”

C42. No property reservation is recommended as described in this subsection. This criterion is satisfied.

Subsection 4.237 (.13) Corner Lots. “Lots on street intersections shall have a corner radius of not less than ten (10) feet.”

C43. All proposed corner lots meet the minimum corner radius of ten (10) feet. This criterion is satisfied.

**REQUEST D: FINAL DEVELOPMENT PLAN (FDP)
CONCLUSIONARY FINDINGS**

Section 4.125 V – Village Zone

(.02) Permitted Uses. Examples of principle uses that are typically permitted:

D. Row Houses

D1. All the proposed row house buildings are subject to Village Center Architectural Standards (VCAS). The row house buildings proposed along SW Mont Blanc Street are also subject to the Woonerf Address standards and the propose row houses along SW Villebois Drive North are subject to the Villebois Drive Address. The primary intent of the Address approach is to establish unique to its location within Villebois.

B. Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

D2. Vehicular access to the proposed units is provided via public, private street and private alleys.

D. Fencing:

D3. Regarding the above criteria, the applicant is proposing wrought iron style fencing between the main doorway entries for the London row house buildings. No other fencing is being proposed. Furthermore, the Land Development Ordinance of the Wilsonville Code does not regulate locations and screening of trash, yard debris and recyclables containers for single family residences. Republic Services containers comprise of trash, yard debris and recyclables.

F. Fire Protection:

1. All structures shall include a rated fire suppression system (i.e., sprinklers), as approved by the Fire Marshal.

D4. The proposed row houses in this FDP application will have fire suppression sprinklers installed as approved by the Fire Marshall thereby meeting this criterion. The Building Division will assure compliance with this provision through review of submitted plans at the time of application for Building Permits.

Table V-1: Development Standards

D5. Proposed setbacks are delineated on Plan Sheet 3 – Site/Land Plan of Section IIB, Exhibit B1. The following is an analysis of the appropriate setbacks.

B. Minimum and Maximum Off-Street Parking Requirements:

1. Table V-2, Off-Street Parking Requirements, below, shall be used to determine the minimum and maximum parking standards for noted land uses. The

minimum number of required parking spaces shown in Table V-2 shall be determined by rounding to the nearest whole parking space. For example, a use containing 500 square feet, in an area where the standard is one space for each 400 square feet of floor area, is required to provide one off-street parking space. If the same use contained more than 600 square feet, a second parking space would be required.

Table V-2: Off Street Parking Requirements				
Permitted or Conditional Use	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short-term (Spaces)	Bicycle Long-term (Spaces)
Permitted Uses				
Single-Family Detached Dwellings	1.0/DU	NR	NR	NR
Single-Family Accessory Dwelling Units	1.0/DU	NR	NR	NR
Duplex	1.0/DU	NR	NR	NR
Row Houses	1.0/DU	NR	NR	NR

2. Minimum parking requirements may be met by dedicated off-site parking, including surfaced parking areas and parking structures.
3. Except for detached single-family dwellings and duplexes, on-street parking spaces, directly adjoining and on the same side of the street as the subject property, may be counted towards meeting the minimum off-street parking requirements.
4. Minimum parking requirements may be reduced under the following conditions:
 - a. When complimentary, shared parking availability can be demonstrated, or;
 - b. Bicycle parking may substitute for up to 25% of required Mixed-Use or Multi-Family Residential parking. For every five non-required bicycle parking spaces that meet the short or long-term bicycle parking standards, the motor vehicle parking requirement for compact spaces may be reduced by one space.

D6. As indicated in the excerpt of Table V-2 above (emphasis added) the requirement for a row house is 1.0/dwelling unit. Proposed are sixty-eight (68) row houses. Based upon the requirement of 1.0/dwelling unit, the applicant is required to provide minimum sixty-eight (68) parking spaces. In this case, each row house will have 1-car garage. Most residents would have close access to public off-street parking at SW Mont Blanc Street, SW Villebois Drive North and SW Orleans Avenue. The proposed garage parking meets the requirements of Table V-2.

D7. Open Space Requirement: See the applicant’s findings on page 7, Section IIA of Exhibit B1 of the submittal notebook. Staff finds that this project meets the SAP approval and provides adequate open space.

(.09) Street and Access Improvement Standards

D8. Streets, sidewalks and access improvement standards are proposed as a part of the Preliminary Development Plan, Specific Area Plan – Central. Driveway intersections meet the clear vision requirements of Section 4.177.

(.11) Landscaping, Screening and Buffering

A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:

1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

D9. See the Findings in Request F for the detailed discussion about street trees.

(.13) Design Principles Applying to the Village Zone

A. The following design principles reflect the fundamental concepts, and support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities of the built environment within the Village zone.

D10. The Villebois Village Center has a number of specific address overlays to support the creation of outdoor rooms. The overlays, as described in the Village Center Architectural Standards (VCAS) include Barber Street, Linear Green, The Woonerf, Villebois Drive, Courtyard, and The Plaza. For each address the VCAS provides additional details and standards to define the “distinct place” of each specific address. According to Section 2.2 of the VCAS, “distinct places in the Village Center are created through consistency of materials, building heights and massing, roof forms, orientation to the street, and functions of building elements.” The VCAS describes the distinctive character and context of the Woonerf Address and the Villebois Drive Address in the following findings of this report.

One of the three guiding design principles stated in the Villebois Village Master Plan is diversity. This diversity includes diversity of architectural style. The proposed row house buildings are American or English style. Row house consistency have been designed by a licensed architect and were reviewed by the City consultant architect, Mr. Steve Coyle.

The proposed PDP and FDP comply with the form and function supported by the standards of this subsection. Staff finds that the proposed FDP does not affect the projects ability to comply with the design principles, but rather seeks to enhance it by providing architectural diversity and variety in its built form. This criterion is met.

(.14) Design Standards Applying to the Village Zone

A. The following Design Standards implement the Design Principles found in Section 4.125(.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. General Provisions:

- a. **Flag lots are not permitted.**
- D11.** The proposal does not include flag lots. This criterion is met.
- b. **The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.**
- D12.** This criterion is not applicable to row houses with no accessory dwelling units.
- c. **Village Center lots may have multiple front lot lines.**
- D13.** No lots in the FDP areas have multiple front lot lines. This criterion is therefore not applicable.
- d. **For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.**
- D14.** The proposed row house buildings are sited to their setback line and are in conformance with this standard.
- e. **Neighborhood Centers shall only be located within a Neighborhood Commons.**
 - f. **Commercial Recreation facilities shall be compatible with surrounding residential uses.**
 - g. **Convenience Stores within the Village zone shall not exceed 4,999 sq. ft., and shall provide pedestrian access.**
 - h. **Specialty Grocery Stores within the Village zone shall not be more 19,999 square feet in size.**
 - i. **A Grocery Store shall not be more than 40,000 square feet in size.**
- D15.** Lot #42 is set aside for future mixed-use building which is not part of this Final Development Plan review. These criteria are therefore not applicable.
- 2. **Building and site design shall include:**
 - a. **Proportions and massing of architectural elements consistent with those established in an approved Architectural Pattern Book or Village Center Architectural Standards.**
 - b. **Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Architectural Pattern Book, Community Elements Book or approved Village Center Architectural Standards.**
- D16.** A detailed discussion regarding the Community Elements Book and Village Center Architectural Standards can be found in Finding D99 of this staff report.
- c. **Protective overhangs or recesses at windows and doors.**
 - d. **Raised stoops, terraces or porches at single-family dwellings.**
 - e. **Exposed gutters, scuppers, and downspouts, or approved equivalent.**

D17. The proposed row house buildings must include protective overhangs, and recesses at windows and doors and exposed gutters and downspouts. The row house units each have a raised stoop at the front entrance. This criterion is met.

f. The protection of existing significant trees as identified in an approved Community Elements Book.

D18. See the detailed review in Request F of this staff report relative to the proposed Type 'C' Tree Plan. This criterion is met.

g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

D19. The applicant has provided Planting Plans in compliance with Sections 4.125(.07) and (.11) (See Exhibit B1, Plan Sheets L1, L2, L3 and L4).

h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.

i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.

D20. The proposed row house buildings shown along SW Mont Blanc Street are within the Woonerf Address and at SW Villebois Drive North within the Villebois Drive Address which encourages building façades to be identical or similar in proportion and configuration which is accomplished with the Final development Plan.

j. A porch shall have no more than three walls.

D21. Porches are not proposed..

k. A garage shall provide enclosure for the storage of no more than three motor vehicles, as described in the definition of Parking Space.

D22. Each garage will provide space for one motor vehicle. This criterion is met.

3. Lighting and site furnishings shall be in compliance with the approved Architectural Pattern Book, Community Elements Book, or approved Village Center Architectural Standards.

D23. Plan Sheet L5 shows landscape details and materials which are reflective of the approved lighting, bike racks, tree grates, pavers trash receptacles, bollards and benches of the approved Community Elements Book meeting code.

4. Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein. Design creativity is encouraged. The LEED Building Certification Program of the U.S. Green Building Council may be used as a guide in this regard.

D24. The row house building systems of the FDP comply with the materials, applications, and configurations as required in Tables V-3 and V-4. This criterion is met.

(.15) Village Center Design Principles

- A. In addition to the design principles found in Section 4.125(.13), above, the following principles reflect the fundamental concepts, support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities within the Village Center:**
- 1. The buildings, streets and open spaces of the Village Center are intended to relate in such a way as to create an identifiable and related series of public and private spaces.**

D25. Staff finds that through coordinated planting plans the applicant has provided formal design that creates open space. (See Exhibit B1, Plan Sheets L1, L2, L3 and L4). This criterion is met.

(.16) Village Center Design Standards

- A. In addition to the design standards found in Section 4.125(.14), above, the following Design Standards are applicable to the Village Center, exclusive of single-family detached dwellings and row houses.**

D26. The proposal is for attached row houses. This is not applicable.

(.18) Village Zone Development Permit Process. Except as noted below, the provision of Sections 4.140(.02) through (.06) shall apply to development in the Village zone.

- B. Unique Features and Processes of the Village (V) Zone: To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural, landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:**

- 2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Sections 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a Zone Change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists. Final Development Plan (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.**

D27. The applicant is seeking Preliminary and Final Development Plan approvals for the proposed row house buildings. Pursuant to Section 4.125 (.20) the proposed FDP is being processed subject to the same procedural requirements.

L. Final Development Plan Approval Procedures (Equivalent to Site Design Review):

- 1. Unless an extension has been granted by the Development Review Board as enabled by Section 4.023, an application for FDP approval on lands within the Central SAP or multi-family dwellings outside of the Central SAP shall be filed within two (2) years after the approval of a PDP. All applications for approval of a FDP shall:**
 - a. Be filed with the City Planning Division for the entire FDP, or when submission of the PDP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.**
 - b. Be made by the owner of all affected property or the owner's authorized agent.**
 - c. Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution.**
 - d. Set forth the professional coordinator and professional design team for the project. [Section 4.125(.18)(L) amended by Ord. No. 587, 5/16/05]**

D28. The subject property is located in the Phase 7C area of SAP Central. The applicant has provided an application submitted by the property owner's authorized agent. Included in this application package is the required application form and FDP application fee. Also included in the submittal package are the names and contact information of the professional coordinator and design team for the proposed project. This provision is therefore satisfied.

M. FDP Application Submittal Requirements:

- 1. An application for approval of a FDP shall be subject to the provisions of Section 4.034.**

D29. Section 4.034(.08) requires that applications for development approvals within the Village zone be reviewed in accordance with the standards and procedures of Section 4.125. A detailed discussion on Section 4.125 can be found throughout this staff report.

N. FDP Approval Procedures

- 1. An application for approval of a FDP shall be subject to the provisions of Section 4.125.**

D30. A detailed discussion can be found in the following findings of this staff report.

O. FDP Refinements to an Approved Preliminary Development Plan

- 1. In the process of reviewing a FDP for consistency with the underlying Preliminary Development Plan, the DRB may approve refinements, but not amendments, to the PDP. Refinements to the PDP may be approved by the Development Review Board, upon the applicant's detailed graphic demonstration of compliance with the criteria set forth in Section 4.125(.18)(O)(2), below.**

- a. Refinements to the PDP are defined as:
 - i. Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.
 - ii. Changes to the nature or location of park type, trails, or open space that do not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the PDP.
 - iii. Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.
 - iv. Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the affected PDP. For purposes of this subsection, “land uses” or “uses” are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.
[Section 4.125(.18)(O)(1)(a)(iv) amended by Ord. No. 587, 5/16/05.]
 - v. Changes that are significant under the above definitions, but necessary to protect an important community resource or substantially improve the functioning of collector or minor arterial roadways.
- b. As used herein, “significant” means:
 - i. More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(O)(1)(a), above, or,
 - ii. That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(F)(1)(a), above.

D31. For purposes of this subsection, “land use” is defined in the aggregate as specialty condos, mixed use condos, urban apartments, condos village apartments, neighborhood apartments and row houses. The applicant does not propose to modify the land use housing category but rather to develop sixty-eight (68) row house units within nine (9) buildings. Except for the SAP refinements discussed in Request E, the nature or location of utilities is not changed with the FDP.

P. FDP Approval Criteria

- 1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

D32. A detailed discussion on Section 4.421 can be found in Findings D100 – D106 of this staff report.

- 2. An application for an FDP shall demonstrate that the proposal conforms to the applicable Architectural Pattern Book, Community Elements Book, Village Center Architectural Standards and any conditions of a previously approved PDP. [Section 4.125(.18)(P)(2) amended by Ord. No. 595, 9/19/05.]

D33. Findings and the check list for conformance regarding the Community Elements Book and Village Center Architectural Standards can be found beginning on Finding D50 of this staff report.

Village Center Architectural Standards – All Row House Buildings Within This Project

D34. A detailed discussion of the *Village Center Architectural Standards* can be found can be found beginning on page D50 of this staff report.

Rainwater Program

D35. The proposed PDP requires a system of rainwater swales and pervious pavers throughout the project. Rainwater swales and pervious pavers are an approved stormwater/rainwater components in the approved Specific Area Plan – Central Rainwater Management Program. This criterion is met.

D36. Pursuant to Section 4.125(.18)B.2, a FDP application is the equivalent of Site Design Review. Staff finds that the applicant has submitted the required documents (See Exhibit B1). This provision is therefore satisfied.

D37. Section 4.420(.01) Jurisdiction and Powers of the Board. Section 4.420(.01) exempts row houses in the Village zone from Site Design Review in Sections 4.400 – 4.450WC.

Sections 4.154 – 4.199, General Development Regulations

Section 4.155. General Regulations - Parking, Loading and Bicycle Parking.

D38. Section 4.155 provides requirements for parking lots and loading areas. There are no off-street parking lots or loading areas associated with the proposed development. Provisions specific to the design of parking lot and loading areas are therefore not applicable.

D39. In addition to requirements for parking lot and loading area design, Section 4.155 provides parking requirements specific to use, however, within the Village zone Section 4.125(.07), specifically Table V-2, shall be used to determine the minimum and maximum parking standards for noted land uses. The required parking for Row Houses is 1.0/dwelling unit. The applicant is proposing to build 68 detached row houses. Based upon the requirement of 1.0/dwelling unit, the applicant is required to provide 68 parking spaces. The applicant has submitted plans to demonstrate proposed parking that each row home includes 1-car garages, which provides 2 off-street parking spaces per dwelling. With no expressed maximum number of spaces for detached row houses, the proposed parking meets the requirements of Table V-2.

Section 4.176. Landscaping, Screening, and Buffering.

(.02) Landscaping and Screening Standards.

A. Subsections “C” through “I,” below, state the different landscaping and screening standards to be applied throughout the City. The locations where the landscaping

and screening are required and the depth of the landscaping and screening is stated in various places in the Code.

- B. All landscaping and screening required by this Code must comply with all of the provisions of this Section, unless specifically waived or granted a Variance as otherwise provided in the Code. The landscaping standards are minimum requirements; higher standards can be substituted as long as fence and vegetation-height limitations are met. Where the standards set a minimum based on square footage or linear footage, they shall be interpreted as applying to each complete or partial increment of area or length (e.g., a landscaped area of between 800 and 1600 square feet shall have two trees if the standard calls for one tree per 800 square feet.
- C. General Landscaping Standard.
 - 1. Intent. The General Landscaping Standard is a landscape treatment for areas that are generally open. It is intended to be applied in situations where distance is used as the principal means of separating uses or developments and landscaping is required to enhance the intervening space. Landscaping may include a mixture of ground cover, evergreen and deciduous shrubs, and coniferous and deciduous trees.
 - 2. Required materials. Shrubs and trees, other than street trees, may be grouped. Ground cover plants must fully cover the remainder of the landscaped area (see Figure 21: General Landscaping). The General Landscaping Standard has two different requirements for trees and shrubs:
 - a. Where the landscaped area is less than 30 feet deep, one tree is required for every 30 linear feet.
 - b. Where the landscaped area is 30 feet deep or greater, one tree is required for every 800 square feet and two high shrubs or three low shrubs are required for every 400 square feet.

D40. As demonstrated in the submitted plans (See Exhibit B1), the proposed row house units will have zero (0) feet side yard building lines meeting code. Landscaping is proposed in common areas and small parks within the project.

(.03) Landscape Area. Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.

D41. The applicant has provided graphic representation that more than 15% of the common open space property will be landscaped. .32 acres is dedicated to Linear Green Space or 9% of PDP 7C. The Parks Master Plan for Villebois states that there are 57.87 acres pf parks and 101.46 acres of open space for a total 159.33 acres within Villebois, approximately 33% exceeding the 15% landscaping requirement. This criterion is satisfied.

- (.04) Buffering and Screening.** Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.
- A.** All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.
 - B.** Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.

D42. Additional buffering and screening is not required. Private yards are not proposed for additional screening. This criterion is therefore not applicable.

- C.** All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.
- D.** All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.
- E.** In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.
- F.** In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.

D43. All exterior, roof, and ground mounted equipment will be screened from ground level off-site views. No outdoor storage areas exist in the subject areas, nor do any loading areas, docks, truck parking or fences over 6 feet in height. Staff finds this criterion to be met.

(.06) Plant Materials.

A. Shrubs and Ground Cover.

D44. The applicant has provided graphic representation showing proposed trees, shrubs and ground covers (See Exhibit B1, Plan Sheets L1, L2 and L3). All shrubs must be well branched and typical of their type as described in current AAN standards. All shrubs will be equal to or better than 2-gallon size with a 10 to 12 inch spread and all ground cover will be at least 1 gallon containers and spaced appropriately.

B. Trees.

D45. Proposed street trees are shown on Plan Sheet L2. All proposed street trees must meet the minimum 2" caliper code requirement for primary trees. Any small deciduous ornamental or flowering trees must meet the minimum 1¾" caliper code requirement for secondary or accent trees. Proposed along SW Mont Blanc Street is Chinese Kousa Dogwood. This tree is not on the approved list in the Community Elements Book. Proposed along SW Villebois Drive North is Greenspire Linden. This tree is also not on the approved list in the Community Elements Book. Another tree symbol is shown along SW Orleans Avenue but it is not on the Planting Legend.

- C. Where a proposed development includes buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area, the Development Review Board may require larger or more mature plant materials:
1. At maturity, proposed trees shall be at least one-half the height of the building to which they are closest, and building walls longer than 50 feet shall require tree groups located no more than fifty (50) feet on center, to break up the length and height of the façade.
 2. Either fully branched deciduous or evergreen trees may be specified depending upon the desired results. Where solar access is to be preserved, only solar-friendly deciduous trees are to be used. Where year-round sight obscuring is the highest priority, evergreen trees are to be used.
 3. The following standards are to be applied:
 - a. Deciduous trees:
 - i. Minimum height of ten (10) feet; and
 - ii. Minimum trunk diameter (caliper) of 2 inches (measured at four and one-half [4 1/2] feet above grade).
 - b. Evergreen trees: Minimum height of twelve (12) feet.

D46. Each proposed row house building would be far below 50,000 sq. ft. See Finding D45 for street tree requirements.

D. Street Trees.

D47. See Finding D45.

(.08) Landscaping on Corner Lots.

All landscaping on corner lots shall meet the vision clearance standards of Section 4.177. If high screening would ordinarily be required by this Code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

D48. Condition of approval PDD9 requires that all landscaping on corner lots meet the vision clearance standards of Section 4.177.

Section 4.177. Street Improvement Standards.

(.01) Except as specifically approved by the Development Review Board, all street and access improvements shall conform to the Transportation Systems Plan and the Public Works Standards, together with the following standards:

E. Access drives and travel lanes.

1. An access drive to any proposed development shall be designed to provide a clear travel lane free from any obstructions.
2. Access drive travel lanes shall be constructed with a hard surface capable of carrying a 23-ton load.
3. Secondary or emergency access lanes may be improved to a minimum 12 feet with an all-weather surface as approved by the Fire District. All fire lanes shall be dedicated easements.
4. Minimum access requirements shall be adjusted commensurate with the intended function of the site based on vehicle types and traffic generation.

5. Where access drives connect to the public right-of-way, construction within the right-of-way shall be in conformance to the Public Works Standards.

D49. SW Villebois Drive North and SW Orleans Avenue fronting the subject lots for the row house buildings must be built to public road standard. SW Mont Blanc Street is a private street. Garages will have vehicle access from private alleys (Track F) according to Preliminary Plat, Plan Sheet 4. The alleys are 20 feet wide with 16 foot wide travel lanes to accommodate 2-way traffic. These criteria are met.

F. Corner or clear vision area.

1. A clear vision area which meets the Public Works Standards shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. However, the following items shall be exempt from meeting this requirement:
 - a. Light and utility poles with a diameter less than 12 inches.
 - b. Trees less than 6" d.b.h., approved as a part of the Stage II Site Design, or administrative review.
 - c. Except as allowed by b., above, an existing tree, trimmed to the trunk, 10 feet above the curb.
 - d. Official warning or street sign.
 - e. Natural contours where the natural elevations are such that there can be no cross-visibility at the intersection and necessary excavation would result in an unreasonable hardship on the property owner or deteriorate the quality of the site.

D50. Condition of approval PDD9 will require that corner or clear vision areas are maintained consistent with this provision and the Public Works Standards.

Section 4.178. Sidewalk and Pathway Standards.

(.01) Sidewalks. All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.

D51. Sidewalks must be concrete or brick pavers and at least 5 feet in width and wider. The proposed Brownstone row house buildings along SW Mont Blanc Street are within the Woonerf Address and brick paver sidewalks are required. The proposed London row house buildings along SW Villebois Drive are within the Villebois Drive Address. Staff is recommending that paver sidewalks be constructed up through the frontage of the future lot of Lot 42 (mixed-use site) and concrete sidewalks installed further north.

(.03) Bicycle and pedestrian paths shall be located to provide a reasonably direct connection between likely destinations. A reasonably direct connection is a route which minimizes out-of-direction travel considering terrain, physical barriers, and safety. The objective of this standard is to achieve the equivalent of a 1/4 mile grid of routes.

D52. In Request E the applicant is proposing a refinement to delete SW Ravenna and replace it with a linear park including bicycle and pedestrian route. This criterion is met.

(.04) Pathway Clearance.

A. Vertical and horizontal clearance for bicycle and pedestrian paths is specified in the Public Works Standards. The clearance above equestrian trails shall be a minimum of ten feet.

D53. As shown in the submittal plans, all potential obstructions are at least one foot from the edge of the pathway surfaces, and vertical clearance will be maintained. Equestrian trails are not required and none is proposed. This criterion is met.

Village Center Standards Applying to all Buildings

A: Standards Applying to All Buildings

1.1 Building Types

The Building Type, as per Table V-1: Development Standards (Village Zone) sets the building height and setback requirements. Additionally, the character of each Address is derived, in part, from assumptions about the types of products that will be developed. Therefore, this document establishes the appropriate Building Type(s) for each Address. For example, the Architectural Standards for The Courtyard Address assumes that a Row House building type is most appropriate to the intended character of the space. Whether the dwelling units are apartments, condominiums, or fee-simple is beyond the scope of this document.

All buildings outside the Address overlays shall meet the development standards of the Village Zone per the proposed Building Type. Row houses outside of an Address overlay may be detached or attached and are subject to ‘Row Houses – Village Center’ in Table V-1: Development Standards (Village Zone).

D54. The numerous separations of the proposed row house buildings allows for breaks in roof forms which further articulate the vertical proportion of the facades. This criterion is met.

1.2 Building Height and Roof Form

Intent: Strengthen the perception of streets and open spaces as public rooms by establishing a consistency of façade heights and roof forms.

Required Standards:

1. Maximum Building Height shall be as required by Table V-1: Development Standards (Village Zone).

D55. The maximum building height for row house buildings in the Village Center, as required by Table V-1, is 45 feet. The maximum building height as measured from finished grade to midpoint of highest pitched roof of the proposed 3 stories, row house buildings is approximately 32’. This does not exceed the allowed maximum; therefore, this criterion is met.

2. See Address for other height limitations, such as number of stories or Average Façade Height.

D56. Forty-one (41) row houses are located within the Woonerf Address, the standards of which can be found beginning on page 63 of this report.

3. **Building Height measurement is defined in Section 4.001 Definitions (Village Zone).**

D57. The maximum building height was measured from finished grade to midpoint of highest pitched roof per the definition of building or structure height. This is consistent with Section 4.001; therefore, this criterion is met.

4. **Rooftop equipment shall be screened from view of taller buildings, whether existing or future, to the extent feasible.**

D58. No rooftop equipment is proposed on the subject row house buildings. This criterion is therefore not applicable.

5. **At least two roof gardens within SAP Central shall be provided where appropriate to desired roof from (i.e. flat roofs)**

D59. The subject property is within SAP-Central 7. The proposal is for row houses with pitched roofs. Roof gardens are not appropriate for the row house buildings.

Optional:

- **Buildings are encouraged to approach the maximum allowable height or number of stories.**
- **Building design should minimize the impact of shading of public and private outdoor areas from mid-morning and mid-afternoon hours.**

D60. Proposed row house buildings are three (3) stories meeting code.

1.3 Horizontal Façade Articulation

Intent: Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. **Horizontal articulation: Horizontal facades shall be articulated into smaller units. Appropriate methods of horizontal façade articulation include two or more of the following elements: change of facade materials, change of color, facade planes that are vertical in proportion, bays and recesses, breaks in roof elevation, or other methods as approved. (See individual Address for allowed and encouraged methods of horizontal articulation.)**

D61. Row houses are typically vertical in nature. Horizontal articulation is achieved by creating 15 to 24' wide facade planes that are vertical in proportion. The brick veneer exteriors reinforces the vertical proportion of the facades. Staff further finds that the use

front door stoops, wide window and door trim further define the façade. This criterion is met.

2. Building facades should incorporate design features such as offsets, projections, reveals, and/or similar elements to preclude large expanses of uninterrupted building surfaces.

D62. The proposed row house buildings are in groups of 2 to 11 attached row house units serve to prevent large expanses of building surfaces. The use front door stoops, wide window and door trim further define the façade. This criterion is met.

Optional:

- **Articulation should extend to the roof. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.**

D63. The proposed row house buildings allows for breaks in the roof form which further articulate the vertical proportion of the facades. This criterion is met.

1.1 Vertical Façade Articulation for All Mixed Use Buildings

D64. The PDP proposal is for 68 row house units and 1 mixed use building. The proposed FDP for the mixed-use building is not part of this review.

3.1 Exterior Building Materials and Color

Intent: Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1. When multiple materials are used on a façade, visually heavier and more massive materials shall occur at the building base, with lighter materials above the base. A second story, for example, shall not appear heavier or demonstrate greater mass than the portion of the building supporting it. Generally, masonry products and concrete are considered “heavier” than other façade materials.**

D65. The applicant is proposing combinations of brick veneer, cement panels and wood trim. The applicant is proposing to utilize brick veneer or cement panels with large grid pattern at the base. This criterion is met.

- 2. Bright, intense colors shall be reserved for accent trim. However, a color palette that includes more intense color may be considered upon review of a fully colored depiction of the building.**

D66. Most of the building facades will have brick veneer and concrete panels. The proposed color palettes is limited to window and door trim in off-white color. This criterion is met.

- 3. Bright colors shall not be used for commercial purposes to draw attention to a building.**

D67. The proposal is for residential, row houses and one mixed-use building. However, live/work life style is encouraged.

4. Concrete block shall be split-faced, ground-faced, or scored where facing a street or public way. Concrete block is discouraged around the plaza.

D68. The proposal does not include a request for concrete block; therefore, this criterion is not applicable.

5. Exteriors shall be constructed of durable and maintainable materials that have texture, pattern, or lend themselves to quality detailing.

D69. The applicant is proposing concrete and brick. These materials have proven to be durable and maintainable materials that have texture, pattern and can be utilized in varying patterns to provide quality detailing. This criterion is met.

Optional:

- **Exterior materials should have an integral color, patterning, and/or texture.**
- **Sustainable building materials and practices are strongly encouraged. Programs such as the Portland General Electric Earth Advantage and the LEED Building Certification Program of the U.S. Green Building Council may be used as guides in this regard.**

D70. At building permit review the applicant will coordinate with the Building Division about sustainable construction techniques.

3.2 Architectural Character

Intent: Encourage creative expression through diversity of architectural character. Ensure consistency and accuracy of architectural styles.

Required Standards:

1. Each building shall have a definitive, consistent Architectural character (see glossary). All primary facades of a building (those facades that face a public street) shall be designed with building components and detail features consistent with the architectural character of the building.

D71. The front elevations of the proposed row house buildings including materials and architectural details have been designed by a licensed architect. Colors are appropriate for the given architecture. Landscaping meets the Community Elements Book.

D72. “Architectural Character” is the combination of qualities that distinguish one design from another. Architectural character is intentionally open-ended to allow for contemporary interpretations of historic character. A row house in and of itself is a row of identical, or nearly identical, houses situated side by side. Staff finds that through the use of similar materials and massing the proposed revised architecture meets this criterion.

2. **Mixing of various Architectural Styles (see glossary) on the same building dilutes the character and is therefore not allowed. If a historic architectural style is selected, then all detail and trim features must be consistent with the architectural style.**
- D73. “Architectural Style” is the combination of distinct features particular to a person, school, or era of architecture. The approved Architectural Pattern Book for SAP-Central provides appropriate Architectural Styles for this area which are met by the applicant.
3. **Secondary facades attached to a primary façade (such as a side wall not facing a public street) shall wrap around the building by incorporating building material features to the primary façade for a minimum of 25 percent of the overall wall length measured from the primary façade.**
- D74. The side elevations of the row houses incorporate concrete and detailing as the front elevation. Staff finds that the applicant has continued the use of board and batten, horizontal lap siding and rock veneer. This criterion is met.
4. **All visible sides of buildings should display a similar level of quality and visual interest. The majority of a building’s architectural features and treatments should not be restricted to a single façade.**
- D75. As stated previously, most sides of the row house buildings will face small private parks or streets, horizontal lap siding and rock veneer. In addition to the building materials, the applicant will continue detailing trim and window patterns on all elevations facing public view sheds. This criterion is met.
5. **Accessory buildings should be designed and integrated with the primary building. Exterior facades of an accessory building should employ architectural, site, and landscaping design elements that are integrated with and common to those used on the primary structure.**
- D76. Accessory buildings are not proposed as a part of this application. This criterion is therefore not applicable.
6. **Applicants are encouraged to consult an architect or architectural historian regarding appropriate elements of architectural style.**
- D77. The Supporting Compliance Report (Exhibit B1) lists the name of architectural designer. This criterion is met.
7. **In areas not within an address, building elevations of block complexes shall not repeat an elevation found on an adjacent block.**
- D78. Forty-one (41) row house buildings are within the Woonerf Address and are, therefore, subject to the standards of said Address. A review of the Woonerf Address standards can be found in Finding D97. 16 row house buildings are within the Villebois Drive Address and are, therefore, subject to the standards of said Address. A review of the Villebois Drive Address standards can be found in Finding D98.

3.3 Ground Level Building Components

Intent: Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Section 4.125 Table VI Row Houses Required Standards:

1. **Building setbacks and frontage widths shall be as required by Table V-1: Development Standards unless specifically noted otherwise by an Address requirement. Detached row houses shall not be separated at front façade by more than 10 feet, except as necessary to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, open space requirements, or as otherwise approved by the Development Review Board.**
- D79.** The proposed side yards between the row house units is 0 feet meeting Villebois zoning code.
2. **Retail shall be oriented toward the adjacent street or public way and have direct access from sidewalks through storefront entries. Secondary entry from the parking lot side is allowed, however the street side shall have the primary entrance.**
- D80.** The proposal is for 68 row house units and one mixed-use building on proposed Lot 42. Lot 42 faces SW Villebois Drive North and will have direct access to public sidewalk.
3. **Mixed use buildings: residential entries, where opening to streets and public ways, shall be differentiated from adjacent retail entries and provide secure access through elevator lobbies, stairwells, and/or corridors.**
- D81.** The proposal is for 68 row house units and one mixed use building. The mixed use building will be reviewed in a separate Final Development Plan application.
4. **All entries, whether retail or residential, shall have a weatherproof roof covering, appropriate to the size and importance of the entry but at least 4 feet deep and 4 feet wide.**
- D82.** The proposal includes provisions for covered stoops on all Brownstone and London row house buildings at least 4 feet deep and 4 feet wide. This criterion is met.
- Building lighting, when provided, shall be indirect or shielded.**
- D83.** All exterior building lighting will consist of shielded fixtures.
- D84.** The proposed architecture for the row house buildings in groups serves to reduce large expanses of building surfaces. Entry stoops and door pilaster projections serve to further break down the scale of the row house buildings. This criterion is met.

5. **Parking structures shall be screened from streets using at least two of the following methods:**
 - a) **Residential or commercial uses, where appropriate;**
 - b) **Decorative grillwork (plain vertical or horizontal bars are not acceptable);**
 - c) **Decorative artwork, such as metal panels, murals, or mosaics; and/or**
 - d) **Vegetation, such as trees, shrubs, ground cover and/or vines, adjacent to the wall surface.**

D85. The proposal does not include a request for parking structures; therefore, this criterion is not applicable.

6. **For mixed-use buildings, within the plaza address every storefront window shall have a canopy or awning.**

D86. The proposal is for 68 row house units and one mixed-use building. The mixed use building will be reviewed in a separate Final Development Plan application.

7. **Reflective, heavily tinted, or other sight-obscuring glass is strongly discouraged in commercial spaces and on windows larger than four square feet.**

D87. The proposal is for 68 row house units and one mixed-use building. The mixed use building will be reviewed in a separate Final Development Plan application

9. **Landscaping or other form of screening shall be provided when parking occurs between buildings and the street.**

D88. The proposal does not include parking between the building and street. The submitted drawings indicate that all garages will be alley loaded. This criterion is therefore not applicable.

Optional:

- **Create indoor/outdoor relationships by opening interior spaces onto walkways and plazas and bring the “outdoors” into the building by opening interior spaces to air and light. Overhead garage doors, telescoping window walls, and low window sill heights are good strategies for creating indoor/outdoor relationships.**
- **The primary function of canopies and awnings is weather protection. Signage requirements are found in the Signage and Wayfinding Plan.**

D89. While these provisions are optional, all of the proposed row house buildings include front stoops off the front living spaces with window and doors to bring the outdoors in to the living spaces. In addition to providing entry stoops the applicant is proposing low window sill heights to further enhance the indoor/outdoor relationships. No canopies, awnings or signage is proposed. This criterion is met.

4.1 Façade Components

Intent: **Maintain a lively and active street face. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.**

Required Standards:

1. **Windows and doors shall be recessed 3 inches (i.e., into the façade) to provide shadowing. Windows and doors recessed less than 3 inches are allowed, provided they also incorporate at least one of the following:**
 - a. **Shutters, appearing operable and sized for the window opening;**
 - b. **Railing, where required at operable doors and windows (i.e. French balcony); and/or**
 - c. **Visible and substantial trim. Trim is considered visible and substantial when it is of a contrasting material, color, or it creates shadowing. Stucco trim on a stucco façade is not acceptable.**

D90. The applicant has provided drawings to support that all windows and doors incorporate visible and substantial trim of a uniform color. Should the windows and doors be recessed less than 3 inches, this provision can still be met through the incorporation of substantial trim.

2. **Balconies shall extend no more than 36 inches beyond the furthest adjacent building face. Balconies are encouraged to extend into the building façade to achieve greater depth than 36 inches.**

D91 The proposal does not include plans for porches. Balconies are proposed at rear elevations This criterion is met.

3. **Shutters, where provided, shall be sized to appear operable at window or door openings.**

D92. Shutters are not proposed therefore, this criterion is not applicable.

4. **Except in the Plaza Address, balconies shall be at least 5 feet deep. Porches shall have a minimum four foot covered depth and provide a usable area a minimum of six feet by six feet.**

D93. The proposal does not include plans for porches. Balconies are proposed at rear elevations. The applicant has provided graphic representation that the Brownstone row houses include a covered stoops.

Optional:

- **Individual residential windows should be square or vertical in proportion. An assembly of windows, however, may have an overall horizontal proportion.**
- **Material changes should occur at a horizontal line or at an inside corner of two vertical planes.**
- **Every residential unit is encouraged to have some type of outdoor living space: balcony, deck, terrace, stoop, etc.**
- **Expression of the rainwater path (conveyance or rainwater from the building roof to the ground) should be expressed at street-facing facades. Expression of the rainwater path includes the use of scuppers and exposed gutters and downspouts. Some of the Village Center streets feature surface rainwater drainage; where applicable, buildings shall have downspouts connected to the drainage system.**
- **Building fronts are encouraged to take on uneven angles as they accommodate the shape of the street.**

- Encourage wide opening windows. Install small window panes where the style of the architecture dictates.
- The use of high window sill is discouraged.
- The use of finishing touches and ornament is encouraged on buildings.

D94. The preceding elements are not required; however, the applicant is proposing several optional items. All windows are either square or vertical in proportion. All row house units have front stoops off main front living spaces. These criteria are met.

5.1 Fencing

Intent: Ensure that fencing is compatible with the building design and consistent throughout the Village Center.

D95. See Finding D3.

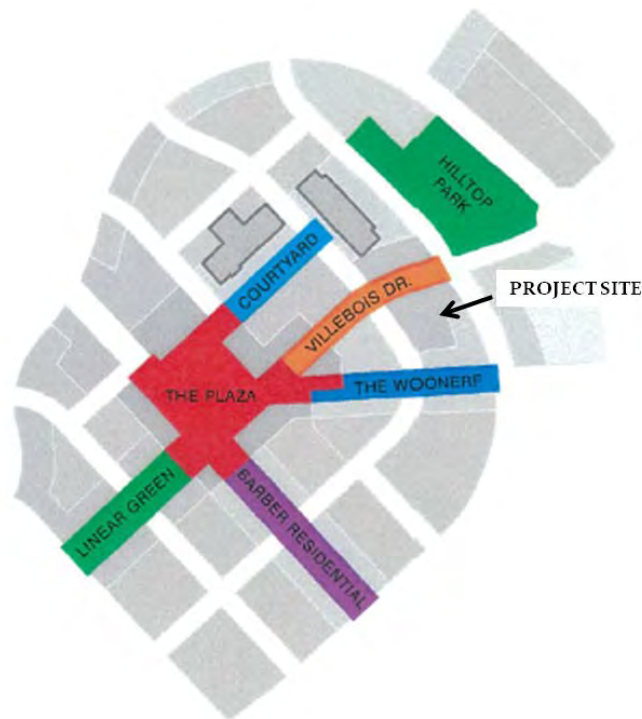
D96. 0:4 Village Center Architectural Standards – Compliance Checklist, Standards Applying to All Buildings:

Standard	Compliant	Notes
A1.2 Building Height & Roof Form		
Required Standards		
0.1 Max. building height according to Table V-1	<input checked="" type="checkbox"/>	Row house buildings at 3 stories or 32 feet high are below 45' maximum height meeting Table V-1.
0.2 Other height limitations	<input checked="" type="checkbox"/>	Row house buildings are below 45' maximum height meeting Table V-1.
0.3 Check building height measurement method – V Zone 4.001.	<input checked="" type="checkbox"/>	Row house buildings are measured correctly.
0.4 Rooftop equipment screening	<input checked="" type="checkbox"/>	No rooftop equipment proposed
0.5 Roof gardens	<input checked="" type="checkbox"/>	No rooftop garden areas are proposed.
Optional		
0.6 Maximum allowable height encouraged	<input checked="" type="checkbox"/>	The row house buildings are not designed to exceed the allowable height.
0.7 Minimize shading of outdoor areas	<input checked="" type="checkbox"/>	There is no private open space between the row house units as they are attached with 0 foot setbacks.
A1.3 Horizontal Façade Articulation		
Required Standards		
0.1 Horizontal Facades articulated into smaller units	<input checked="" type="checkbox"/>	Row house uses change with materials, change of brick veneer, vertical façade planes, stoops, recesses, and breaks in roof elevations to articulate the horizontal façade.
0.2 Incorporate offsets, projections, reveals, and/or	<input checked="" type="checkbox"/>	Offsets, covered stoops, and other elements are used to prevent a large expanse of

similar elements		uninterrupted building surfaces.
Optional		
0.3 Articulation extended to the roof	<input checked="" type="checkbox"/>	The articulation of the row house buildings does extend to the roof.
A2.1 Vertical Façade Articulation for All Mixed Use Buildings	N/A	Not applicable. The row houses are not mixed use buildings.
A3.1 Exterior Building Materials & Color		
Required Standards		
0.1 Heavier and more massive materials at the building base	<input checked="" type="checkbox"/>	Brick veneer and concrete panels are considered a heavier material, is applied at the base of the row houses.
0.2 Bright, intense colors reserved for accent trim	<input checked="" type="checkbox"/>	Bright, intense colors are not proposed.
0.3 Bright colors not used for commercial purposes	N/A	The mixed use lot #42 for future commercial requires separate FDP review.
0.4 Acceptable concrete block at a public way	<input checked="" type="checkbox"/>	Concrete block is not proposed.
0.5 Exteriors constructed of durable and maintainable materials	<input checked="" type="checkbox"/>	Brick veneers and concrete hardi-board panel siding are all durable materials with texture.
Optional		
0.1 Exterior materials with integral color, patterning, and/or texture	<input checked="" type="checkbox"/>	The exterior materials have integral color, patterning, or texture.
0.2 Sustainable building materials and practices are strongly encouraged	<input checked="" type="checkbox"/>	The proposed brick veneers and cement panel siding materials could be considered sustainable to different extents.
3.2 Architectural Character		
Required		
0.1 Definitive, consistent architectural character	<input checked="" type="checkbox"/>	The row house buildings have two defined and consistent architectural styles: Brownstone and London styles.
0.2 Detail and trim features consistent with the architectural style	<input checked="" type="checkbox"/>	The row house buildings are consistently in Brownstone and London styles.
0.3 Secondary façade design includes min. 25% of wall length of primary façade details and materials	<input checked="" type="checkbox"/>	All facades full integrate the designed architectural style
0.4 All visible sides of buildings display a similar level of quality and visual interest	<input checked="" type="checkbox"/>	All visible sides of the row houses maintain a consistent and similar level of quality and visual interest
0.5 Accessory buildings designed and integrated into primary building	<input checked="" type="checkbox"/>	No accessory buildings are proposed
0.6 Architect consultation regarding architectural style	<input checked="" type="checkbox"/>	The row house buildings have been professionally designed by a licensed architect.
0.7 Building elevations not	<input checked="" type="checkbox"/>	The row house buildings (9 Brownstone and

repeated on adjacent blocks.		London styles) would not repeat other elevations on adjacent blocks.
A3.3 Ground Level Building Components		
Required Standards		
0.1 Building setbacks and horizontal widths per Table V-1. Detached row house max. 10' separation at front.	☒	Standards of Table V-1 are met for setback and frontage widths.
0.2 Retail orientated toward street or public way	N/A	Not proposed, future mixed use building on proposed Lot 42.
0.3 Mixed use buildings: residential entries differentiated from adjacent retail entries	N/A	Not proposed, future mixed use building on proposed Lot 42.
0.4 Weatherproof roof covering at entries	☒	Appropriately sized covered stoops.
0.5 Indirect or shielded building lighting	☒	Lighting will be indirect or shielded.
0.6 Parking structures screened from street.	☒	Garages are proposed at alleys which are partially visible to public view.
0.7 Storefront windows with a canopy or awning	N/A	Not applicable, future mixed use building on proposed Lot 42.
0.8 Discourage use of sight obscuring glass	☒	Proposed glass is not sight obscuring.
0.9 Landscaping or screening of parking between buildings and the street	N/A	Not proposed.
Optional		
0.10 Create indoor/outdoor relationships	☒	Doors and windows bring light and air and the outdoors into the individual living spaces.
0.11 Canopies and Awnings for weather protection	N/A	Not proposed.
A4.1 Façade Components		
Required		
0.1 Windows and doors recessed 3 inches	☒	Windows and doors include substantial and visible trim.
0.2 Balconies 36" max. projection	☒	Balconies are proposed at rear elevations.
0.3 Shutters sized for operable appearance	N/A	Shutters are not proposed.
0.4 Balconies and porches at least 5 feet deep. Porches min. 4. Covered depth and min. useable area 6' x 6'	☒	Balconies are proposed at rear elevations.
Optional		
0.4 (<i>Note: Duplicate numbers in published VCAS</i>) Windows square or vertical in proportion.	☒	All visible individual windows are square or vertical in proportion.

0.5 Materials changes at a horizontal line or inside corner of two vertical planes.	☒	Materials change at horizontal lines or corners
0.6 Residential units with outdoor living space.	☒	Balconies are proposed at rear elevations.
0.7 Expression of rainwater path	N/A	Not proposed
0.8 Building fronts taking on uneven angles to accommodate street	☒	Streets are straight along frontage, no angles needed.
0.9 Encourage wide opening windows	☒	The applicant has indicated details of window opening.
a. Discourage use of high window sills	☒	High window sills are not proposed.
b. Finishing touches and ornament	☒	The applicant is providing some level of finishing ornamentation.
A5.1 Fencing		
Required Standards		
0.1 See applicable sections of the Village Zone	☒	



VILLAGE CENTER OUTDOOR ROOM ADDRESSES
DIAGRAM

1.1 Woonerf Address Narrative

“The Woonerf Address is a special and deliberate deviation from the Village Center street grid. Aligned to the view of Mt. Hood, the public way connects the heart of Villebois, the

Plaza, to its regional context. Additionally, the Woonerf is part of the pedestrian connection between East Park and the Plaza.”

“Woonerf is a Dutch word meaning “living street.” A woonerf is common space shared equally by pedestrians, cyclists, and low speed vehicles. Raising the street to the same grade as sidewalks, and placing trees, planters, parking areas, and other obstacles in the street slows vehicles to walking speed. This makes the street available for social use of the local residents while maintaining connectivity and the parking needs of vehicles”

“Because of its proximity to the Plaza and its pedestrian emphasis, the Woonerf Address has specific design characteristics to complement the streetscape. The lifestyle is urban, with a compressed outdoor living spaces. These components encourage interaction between neighbors as well as pedestrians going to and from the Plaza.”

“To reinforce the spirit of urban living and strengthen the uniqueness of this outdoor room, the Woonerf Address emphasizes consistency of massing, façade design, and materials. The homes will have similar heights and materials, with encouraged minor variation of façade elements.”

D97. The Woonerf Address Compliance Checklist:

Applicable Requirements	Compliant	Notes
E2.1 Building types, must be attached.	<input checked="" type="checkbox"/>	All proposed town house units are attached a - 9-plex, 10-plex or 11-plexes.
E2.2 Building Height & Form		
Required Standards:		
1) Buildings have minimum two stories or greater in height	<input checked="" type="checkbox"/>	The proposed row house buildings are 3 – stories meeting the Woonerf Address.
2) Roof forms in a set of row houses shall be substantially similar in character.	<input checked="" type="checkbox"/>	Roof forms are substantially similar in character for the Brownstone row house buildings.
Optional		
3) Building facades in a set of row houses are encouraged to be similar in height similar in height.	<input checked="" type="checkbox"/>	Roof heights are substantially similar in character for the Brownstone row house buildings.
E2.3 Horizontal Façade Articulation		
Required Standards		
1) Each row house shall be articulated as an individual unit. Two or more of the following methods of horizontal articulation shall be used: a) Prominent entry, bay, or similar component for each dwelling unit; b) Reveal trim between major façade planes; c) Change of color, texture, or pattern of similar materials; d) Breaks in roof elevation per	<input checked="" type="checkbox"/>	These criteria are satisfied.

dwelling unit; and e) Offsets of major façade planes.		
Optional		
2) Change of material per dwelling unit is not a preferred method of Horizontal Articulation as it detracts from the consistency of the streetscape.	<input checked="" type="checkbox"/>	Brick masonry and wood is consistent along the row house building elevations.
E:3.1 Exterior Building Materials		
Required Standards		
1) The requirements of this Section supersede Table V-4	<input checked="" type="checkbox"/>	
2) Req. Materials at min. 40% of each façade shall be finished in one or more of the following materials: a) Brick, stone, or cast stone. b) Stucco or plaster; c) Poured-in-place concrete, or pre-cast veneer; and/or Metal panel systems.	<input checked="" type="checkbox"/>	More than 40% of each row house building façade is finished brick masonry.
3) The following additional materials may be used up to the remaining percentages of each façade: a) Wood; b) Cellulose fiber-reinforced cement products. (i.e. Hardi-Board) or other cement building products. c) Rock, glass block, tile; and/or d) Concrete block; split faced-faced, ground-faced, or scored. 4) The percentage calculation applies only to the facades facing a public or private street. 5) Doors and windows and their associated trim shall be excluded from the percentage calculation. 6) Glass shall have less that 20% reflectance. 7) Brick, when used, should match or be compatible with the street pavers.	<input checked="" type="checkbox"/>	Wood window trim, door trim and ledges are incorporated.
E3.2 Façade Components		
1) Scuppers and downspouts at the Woonerf Address shall be metal or clay. Downspouts shall connect with the street's drainage	<input checked="" type="checkbox"/>	Scuppers and downspouts are proposed. Projected balconies are proposed at rear elevations. Façade components in each set of row houses are substantially similar in proportion and

<p>as per the Rainwater Management Plan.</p> <p>2) Projection balconies and decks are not allowed above the first floor on street facing facades. French balconies two feet or less are allowed.</p> <p>3) Wood or simulated wood railing or fencing is prohibited.</p>		<p>configuration.</p>
<p>Optional</p>		
<p>4) Small punched openings in a thick wall is the preferred window expression. Large expanses of contiguous windows should be limited to bay windows.</p> <p>5) French balconies and bay windows two feet or less in depth are encouraged as predominate outdoor living space components of the Woonerf Address.</p> <p>6) Façade components in each set of row houses are encouraged to be substantially similar in proportion and configuration.</p>	<input checked="" type="checkbox"/>	
<p>E4.1 Ground Level Building Components</p>		
<p>Required Standards</p>		
<p>1) Each row house shall have a stoop or terrace.</p> <p>2) The stoop or terrace shall be 30 inches or greater in elevation above grade.</p> <p>3) Each row house shall have a private outdoor living space at the entry façade. The space shall meet the following requirements:</p> <p>a) The useable space shall measure 5 feet or greater in depth and 7 feet or greater in length along the façade;</p> <p>b) The required space may be sunken no more than 24 inches below grade.</p> <p>c) The required space may be elevated no higher than the stoop/terrace elevation.</p> <p>d) The required space may be screened from the street, but fences and railing may be no more than 50% opaque and no taller than</p>	<input checked="" type="checkbox"/>	<p>These criteria are satisfied.</p>

4 feet; and e) The required space must have direct access from the front entry, or direct access from a secondary entrance, such as a sliding patio door.		
Optional		
4) Stoops and terraces in each set of row houses should be substantially similar in height and configuration.	☒	These criteria are satisfied.

1.1 “Villebois Drive is a front door to the Village Center. Though predominantly residential, it sets the tone for a more urban experience. The architectural compments of this address, therefore, are similar to that of the Plaza.

Villebois Drive is envisioned as a potential growth corridor for future commercial uses. Accordingly, this Address has specific requirements to accommodate and encourage these possible transitions. Most of these Standards apply to the ground level buffer between the public way and private zones. The intent is for ground units not to prohibit future conversion to small commercial spaces.

See the Community Elements Book for additional ways in which the streetscape design assists the transition from residential to mixed-use characteristics.”

D98. The Villebois Drive Address Compliance Checklist:

Applicable Requirements	Compliant	Notes
C2.1 Building Types per table V-1. Building types, must be attached.	☒	All proposed town house units are attached a 7-plex and 8-plex. The future multi-use building requires a separate FDP application.
C2.2 Building Height & Roof Form		
1) Buildings have minimum two stories or greater in height	☒	The proposed row house buildings are 3 – stories meeting the Villebois Drive Address.
2) Flat or low slope roof w/ parapet	☒	Low slope roof roofs is proposed (London row house style)
3) Dormers, chimneys & light monitors.	☒	Not proposed or required.
4) Variation on roof forms are encouraged.	☒	Roof heights are substantially similar in character for the London row house buildings.
5)Variety of roof heights and configurations are encouraged.	☒	Not proposed or required.
C2.3 Horizontal Façade Articulation		
Required Standards		
1) Horizontal facades > 60’ articulated into smaller units.	☒	This criterion is satisfied.
C:2.4 Exterior Building Materials		
Required Standards		

1) The requirements of this Section supersede Table V-4	<input checked="" type="checkbox"/>	
2) Req. Materials at min. 30% of each façade.	<input checked="" type="checkbox"/>	More than 30% of each row house building façade is finished brick masonry, concrete panels.
3) Additional materials 60% of each façade. 4) % applies only to the facades facing a public street or private street. Glass shall have less than 20% reflectance. 5) Doors, windows and trim excluded from % calculation. 6) Glass with less than 20% reflectance.	<input checked="" type="checkbox"/>	Wood window trim, door trim and ledges are incorporated. Glass will be less than 20% reflectance.
C3.1 Ground Level Building Components		
Required Standards		
1) The ground level of multi-use buildings. 2) Ground level residential units utilize buffering elements.	N/A	The future multi-use building requires a separate FDP application.
Optional		
3) Row houses exempt from Flex space requirements.	N/A	The future multi-use building requires a separate FDP application.
4) Mixed use requirements for construction.	N/A	The future multi-use building requires a separate FDP application.

D99. Community Elements Book:

Applicable Requirement	Compliant	Notes
Street Lighting	<input checked="" type="checkbox"/>	See Plan Sheet L5.
Curb Extensions	<input checked="" type="checkbox"/>	Proposed along SW Mont Blanc Street and SW Villebois Drive North.
Street Trees	No	Street trees must be the preferred variety for each street as listed on page of the approved SAP Central Community Elements Book.
Landscape Elements-Site Furnishings	<input checked="" type="checkbox"/>	Listed site furnishings required are shown on Plan Sheets L1 and L5.
Tree Protection	<input checked="" type="checkbox"/>	See Request F for the Type 'C' Tree Plan
Plant List	<input checked="" type="checkbox"/>	All plant materials listed on Planting Plans. No prohibited plants are proposed

Section 4.421. Criteria and Application of Design Standards.

- (.01) The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be**

regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural styles is not included in these standards. (Even in the Boones Ferry Overlay Zone, a range of architectural styles will be encouraged.)

A. Preservation of Landscape.

D100. Staff finds that the subject site for the proposed row houses is part of the approved SAP Villebois Specific Area Plan. The project site has fairly level terrain. Numerous trees in poor to good condition will be removed.

B. Relation of Proposed Buildings to Environment.

D101. The project site is not within a Significant Resource Overlay Zone or next to any other natural feature. This criterion is not applicable.

C. Drives, Parking and Circulation.

D102. Driveways and circulation exist and serve the site adequately.

D. Surface Water Drainage.

D103. At permit review the City will require that the applicant provide storm water calculations to ensure the downstream capacity of the public storm drainage system and not adversely affect neighboring properties.

E. Utility Service.

D104. All utilities already will be extended to the project site meeting code. Engineering review of construction documents will ensure compliance with this provision.

F. Advertising Features.

D105. New signs will need to comply with the approved Villebois Center Master Sign Plan.

G. Special Features.

D106. There will be no special features associated with the proposed building expansion.

REQUEST E: REFINEMENTS

The applicant's findings in Section IIA of their notebook, Exhibit B1, respond to the majority of the applicable criteria.

Proposed refinements:

1. Street network – SW Ravenna Loop
2. Parks, trails and open space
3. Location and mix of land uses
4. Housing density
5. Rainwater Management Plan - pervious pavers

Refinements Generally

Subsection 4.125 (.18) J. 1. Refinement Process

“In the process of reviewing a PDP for consistency with the approved Specific Area Plan, the DRB may approve refinements, but not amendments, to the SAP. Refinements to the SAP may be approved by the Development Review Board, upon the applicant's detailed graphic demonstration of compliance with the criteria set forth in Section (.18)(J)(2), below.”

- E1. The applicant is requesting a number of refinements as listed below. The applicant has provided plan sheets showing sufficient information to demonstrate compliance with the applicable criteria. Except for the proposed rainwater refinement, as can be seen in the findings below the criteria set forth in Subsection 4.125 (.18) J. 2 is satisfied for each requested refinement.

Refinement Request “a”: Street Network

Subsection 4.125 (.18) J. 1. a. i. SAP Refinements: Street Network and Functional Classification

Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.

As used herein, “significant” means: More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above.



- E2. The Villebois Village Master Plan shows a road connection from SW Ravenna Loop to SW Paris Avenue. The applicant is proposing to delete the segment between SW

Villebois Drive North and SW Mont Blanc Street and replace it with linear green parks including pedestrian and bicycle route.

Quantifiable measures related to this refinement request include circulation system function and connectivity. Level of Service (LOS) is the quantifiable performance measure related to circulation system function for vehicles. No data is available nor practical to obtain regarding the circulation system function for bicycles and pedestrians. In addition, pedestrian connections will be maintained where shown in the master plan by paths. Bicycles connections will also be allowed on these paths. While the traffic study did not compare LOS at various intersections with and without the proposed refinements, LOS of service continues to be met with the proposed changes. The quantifiable measure of connectivity is number of connecting routes. To connecting routes for vehicles are lost, which is less than 10 percent of the overall number of vehicle connections provided in the SAP and PDP. These criteria are satisfied.

Subsection 4.125 (.18) J. 1. b. ii. Defining “Significant” for SAP Refinements: Qualitative

As used herein, “significant” means: That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.

E3. This subsection does not provide clear definition of what an important qualitative feature might be. Absent details in this subsection, staff interprets the primary qualitative factors to consider being the three guiding design principles of the Villebois Village Master Plan: Connectivity, Diversity, and Sustainability. The three guiding design principles are further defined by the goals, policies, and implementation measures of the Master Plan. By virtue of better or equally implementing the goals, policies, and implementation measures of the Villebois Village Master Plan, as described in Finding E4 below, the proposed refinements do not negatively affect qualitative features of the street network. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. a. SAP Refinement Review Criteria: Better or Equally Implementing Villebois Village Master Plan

The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.”

E4. The following are the relevant goals and policies from the Villebois Village Master Plan followed by discussion of how the refinements better or equally meet them: These criteria are satisfied.

Circulation System Goal: The Villebois Village shall provide for a circulation system that is designed to reflect the principles of smart growth.

Pedestrian connections are being maintained as shown in the Master Plan supporting the Smart Growth principle of creating walkable neighborhoods.

Circulations System Policy 1: The Villebois Village shall encourage alternatives to the automobile, while accommodating all travel modes, including passenger cars, trucks, buses, bicycles and pedestrians.

As demonstrated in the traffic report adequate vehicle circulation will be maintained. In addition bicycle and pedestrian connections are maintained as shown in the Villebois Village Master Plan.

Subsection 4.125 (.18) J. 2. b. SAP Refinement Review Criteria: Impact on Natural and Scenic Resources

The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area.

- E5. The proposed grading reflecting the natural contours of the site are supportive of through mid-block vehicle connections in the locations where the removal of SW Ravenna Loop is proposed. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. c. SAP Refinement Review Criteria: Effect on Subsequent PDP's and SAP's

The refinement will not preclude an adjoining or subsequent PDP or SAP areas from development consistent with the approved SAP or the Master Plan.

- E6. The proposed changes allows the area of SAP Central to develop in a manner consistent with the Master Plan and relevant SAP approvals. These criteria are satisfied.

Refinement Request “b”:Parks, Trails,and Open Space

Subsection 4.125 (.18) J. 1. a. ii. SAP Refinements: Parks, Trails, and Open Space

Changes to the nature or location of park type, trails, or open space that do not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the Preliminary Development Plan.

- E7. The changes include small private parks and new linear green. The Regional Parks and Open Space are substantially consistent with the Villebois Village Master Plan. These criteria are satisfied.

Subsection 4.125 (.18) J. 1. b. i. Defining “Significant” for SAP Refinements: Quantifiable

As used herein, “significant” means: More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above.

- E8. The performance measures, etc. being measured for the purpose of this refinement are the reduction of function, usability, connectivity, or overall distribution or availability of park uses in the Preliminary Development Plan creating no reduction in any measurable aspect of the parks. These criteria are satisfied.

Subsection 4.125 (.18) J. 1. b. ii. Defining “Significant” for SAP Refinements: Qualitative

As used herein, “significant” means: That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.

E9. This subsection does not provide clear definition of what an important qualitative feature might be. Absent details in this subsection, staff interprets the primary qualitative factors to consider be the three guiding design principles of the Villebois Village Master Plan: Connectivity, Diversity, and Sustainability. The three guiding design principles are further defined by the goals, policies, and implementation measures of the Master Plan. By virtue of better or equally implementing the goals, policies, and implementation measures of the Villebois Village Master Plan, as described in Finding E10 below, the proposed refinement would not negatively affect qualitative features of the parks. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. a. SAP Refinement Review Criteria: Better or Equally Implementing Villebois Village Master Plan

The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

E10. The following are the relevant goals and policies from the Villebois Village Master Plan followed by discussion of how the refinements better or equally meet them:

Goal stated in paragraph one under 3.1 Introduction/Proposal for Parks and Open Space:

Offer a variety of opportunities that are engaging to all senses, through the provision of programming elements that allow for a wide variety of experiences.

3.3 Parks Goal: The Parks system within Villebois Village shall create a range of experiences for its residents and visitors through an interconnected network of pathways, parks, trails, open space and other public spaces that protect and enhance the site’s natural resources and connect Villebois to the larger regional park/open space system.

Policy 2: An interconnected trail system shall be created linking the park and open spaces and key destination points within Villebois and to the surrounding neighborhoods. The trails system shall also provide loops of varying lengths to accommodate various activities such as walking, running, and rollerblading.

Policy 3: Parks shall encourage the juxtaposition of various age-oriented facilities and activities, while maintaining adequate areas of calm.

Policy 4: Park designs shall encourage opportunities for wildlife habitat, such as plantings for wildlife foraging and/or habitat, bird and/or bat boxes and other like elements.

Policy 5: Gathering spaces in parks shall generate social interaction by adding layers of activity (Power of Ten).

Policy 6: Build-out of the Villebois Village Master Plan shall comply with the City of Wilsonville SROZ regulations. Any encroachment into the SROZ will be reviewed for compliance or exemption as more detailed information is provided that will affect the SROZ areas. Adjustments in plan, street alignments, and intersections as well as rainwater facilities and pathways shall be made to comply with SROZ regulations.

Policy 9: Parks and recreation spaces shall provide for flexibility over time to allow for adaptation to the future community's park, recreation and open space needs.

Implementation Measure 1: Future and pending development applications within Villebois (Specific Area Plans, Preliminary Development Plans and Final Development Plans) shall comply with the park, trail, open space system proposed in Figure 5 – Parks and Open Space Plan, Figure 5A – Recreational Experiences Plan, and Table 1: Parks Programming. Refinements may be approved

Implementation Measure 3: Parks and open spaces shall be designed to incorporate native vegetation, landforms and hydrology to the fullest extent possible.

Implementation Measure 12: Through time, the Developers shall have a responsibility to participate in planning, implementing and securing funding sources for a wetland naturalization and enhancement plan for the Coffee Lake wetland complex. These wetlands are adjacent to Coffee Creek and within the boundary of Villebois. The wetland naturalization and enhancement plan shall be initiated and completed with the phased development of the Village.

Implementation Measure 15: Each child play area shall include uses suitable for a range of age groups.

The proposed refinement maintains all the amenities and their related variety shown in the Master Plan for the PDP 7C area.

Subsection 4.125 (.18) J. 2. b. SAP Refinement Review Criteria: Impact on Natural and Scenic Resources

The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area.

E11. The additional green space will not result in detrimental impacts to the environment or natural or scenic resources. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. c. SAP Refinement Review Criteria: Effect on Subsequent PDP's and SAP's

The refinement will not preclude an adjoining or subsequent PDP or SAP areas from development consistent with the approved SAP or the Master Plan.

- E12.** The proposed park refinement does not preclude an adjoining or subsequent PDP or SAP area from developing consistent with the approved SAP or Master Plan. These criteria are satisfied.

Refinement Request “c”: Utilities and Storm Water Facilities

Subsection 4.125 (.18) J. 1. a. iii. SAP Refinements: Utilities and Storm Water Facilities

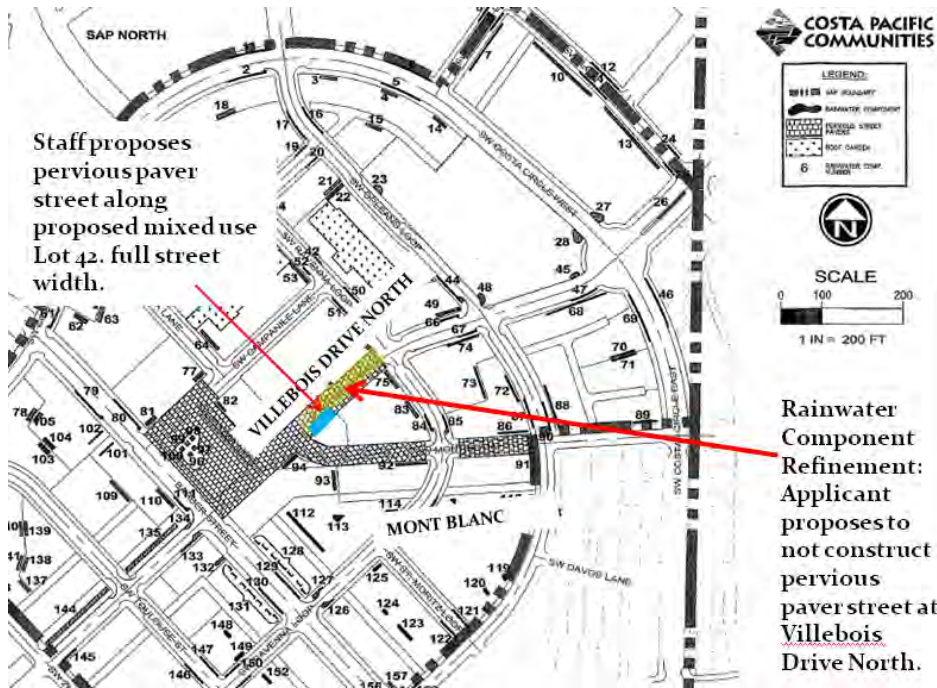
Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.

- E13. Pervious Pavers at SW Villebois Drive:** The applicant is proposing to construct bio retention cells along SW Villebois Drive North from SW Mont Blanc Street to SW Orleans Avenue. A revised rainwater memorandum is included in Exhibit B1 which details the percentage of treatment achieved as shown on Plan Sheet 6, Composite Utility Plan. The project engineer indicates that the proposed rainwater management program will treat 80% of the impervious area created on site. However, the applicant is proposing to not install pervious pavers along the public street, SW Villebois Drive North between SW Mont Blanc Street and SW Paris Avenue. Thus the applicant is proposing a refinement from the Rainwater Management Plan, shown in Figure A, of Section IIC, Exhibit B1 to remove the pervious paver roadway with impervious pavement. In the professional opinion of staff this refinement does not set the “tone for a more urban experience” envisioned in the Villebois Drive Address. Villebois Area Plan – Central. Village Center Architectural Standards (VCAS) Narrative 1.1. VCAS Narrative 1.1 states:

“Villebois Drive is a front door to the Village Center. Though predominantly residential, it sets the tone for a more urban experience. The architectural components of this address, therefore, are similar to that of the Plaza.”

Staff is recommending that the refinement to not construct pervious pavers on SW Villebois Drive North between SW Mont Blanc Street and SW Paris Avenue be modified to require pervious pavers up through the frontage of proposed Lot 42 (future site of mixed use development). In the professional opinion of staff this would be the logical transition for street surface types between the “urban experience” commercial and residential along SW Villebois Drive North. Staff further points out that on Final Development Plan Sheet L1 of Section VIB of Exhibit B1 “Permeable Concrete Pavers” are proposed for street surface, street parking and sidewalks on the private street, SW Mont Blanc. Plan Sheet note 12/15 of Plan Sheet L1 specifies the manufacture, model, color, finish and size of the paver units. This is consistent with the Rainwater Management Plan. “Pervious pavement” (underline emphasis added by staff) referenced by the project engineer in his May 19th Memorandum, Section IIC of Exhibit B1 must not be allowed.

Portion of Rainwater Management Plan showing proposed refinement:



Refinement Request “d”: Location and Mix of Land Uses

Subsection 4.125 (.18) J. 1. a. iv. SAP Refinements: Location and Mix of Land Uses

Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the Preliminary Development Plan. For purposes of this subsection, “land uses” or “uses” are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.

E14. The changes to the location and mix of land uses are illustrated in the following table. Overall, as shown in the findings below, the changes do not significantly alter the distribution or availability of uses in PDP 7C. These criteria are satisfied.

Description of Block (bounded by:)	SAP Plan	Proposed PDP 7C Plan
SW Mont Blanc Street	_____	41 Row Houses 41 Total
SW Villebois Drive N	_____	16 Row Houses 16 Total
SW Orleans Ave.	_____	5 Row Houses 5 Total
Alley	_____	6 Row Houses 6 Total
	Total: 46 Row Houses, 24 Urban Apartments	Total: 68 Row House

Subsection 4.125 (.18) J. 1. b. i. Defining “Significant” for SAP Refinements: Quantifiable

As used herein, “significant” means: More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above,”

E15. For the purpose of this refinement the quantifiable requirement is the number of lots/units under an aggregated land use category on the SAP level. The first land use category small detached, small cottage detached, and all attached housing types. The second land use category includes medium, standard, and larger single-family unit types. The table below shows the proposed changes affect the SAP Central Land Use Mix. Proposed is a 1.3 percent increase in the smaller and attached land use category. Both of these are well within the ten percent allowance. These criteria are satisfied.

	SAP Central Unit Count within MP	Proposed SAP Central Unit Count	% Change
Small/Small Cottage/Row Houses/Neighborhood Apts.	999	1,012	1.3%
Medium/Standard/Large/Estate	0	0	0%
TOTAL	999	1.012	1.3%

Subsection 4.125 (.18) J. 1. b. ii. Defining “Significant” for SAP Refinements: Qualitative

“As used herein, “significant” means: That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.”

E16. This subsection does not provide clear definition of what an important qualitative feature might be. Absent details in this subsection, staff interprets the primary qualitative factors to consider being the three guiding design principles of the Villebois Village Master Plan: Connectivity, Diversity, and Sustainability. The three guiding design principles are further defined by the goals, policies, and implementation measures of the Master Plan. By virtue of better or equally implementing the goals, policies, and implementation measures of the Villebois Village Master Plan, as described in Finding E17 below, the proposed refinement would not negatively affect qualitative features for location and mix of land uses. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. a. SAP Refinement Review Criteria: Better or Equally Implementing Villebois Village Master Plan

The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

E17. The following are the relevant goals and policies from the Villebois Village Master Plan followed by discussion of how the refinements better or equally meet them:

Land Use Policy 1: The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.

Land Use Policy 2: Future development applications within the Villebois Village area shall provide land uses and other major components of the Plan such as roadways and parks and open space in general compliance with their configuration as illustrated on Figure 1 – Land Use Plan or as refined by Specific Area Plans.

Residential Neighborhood Housing Goal: The Villebois Village shall provide neighborhoods consisting of a mix of homes for sale, apartments for rent, row homes, and single-family homes on a variety of lot sizes, as well as providing housing for individuals with special needs. The Villebois Village shall provide housing choices for people of a wide range of economic levels and stages of life through diversity in product type.

Residential Neighborhood Housing Policy 1: Each of the Villebois Village's neighborhoods shall include a wide variety of housing options and shall provide home ownership options ranging from affordable housing to estate lots.

Residential Neighborhood Housing Policy 5: The Villebois Village shall provide a mix of housing types within each neighborhood and on each street to the greatest extent practicable.

Residential Neighborhood Housing Policy 10: Natural features shall be incorporated into the design of each neighborhood to maximize their aesthetic character while minimizing impacts to said natural features.

E18. The proposed refinements will better integrate green spaces throughout PDP 7C and expand the range of housing options in the subject area. As the proposed refinements will not compromise the project's ability to comply with all other Goals, Policies and Implementation Measures of the Villebois Village Master Plan, they will equally meet all other Goals, Policies and Implementation Measures of the Villebois Village Master Plan. See the applicant's more detailed response in their compliance report in Section IIA of the applicant's notebook, Exhibit B1. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. b. SAP Refinement Review Criteria: Impact on Natural and Scenic Resources

The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area.

E19. The proposed refinement will add green space having a positive impact on the natural and scenic resources and amenities in the development. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. c. SAP Refinement Review Criteria: Effect on Subsequent PDP's and SAP's

The refinement will not preclude an adjoining or subsequent PDP or SAP areas from development consistent with the approved SAP or the Master Plan.

E20. The proposed refinements will not preclude any other SAP's or PDP's from developing consistent with the approved SAP or the Master Plan. These criteria are satisfied.

Refinement Request “e”: Density

Subsection 4.125 (.18) J. 1. a. v. SAP Refinements: Density

A change in density that does not exceed ten percent, provided such density change has not already been approved as a refinement to the underlying SAP or PDP, and does not result in fewer than 2,300 dwelling units in the Village.

E21. The proposed PDP as proposed, would result in a density increase (change in the number of overall units) in the SAP of 1.3 percent, which is well below the ten percent (10%) allowance. The proposal results in a total of 2616 units within Villebois. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. a. SAP Refinement Review Criteria: Better or Equally Implementing Villebois Village Master Plan

The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

The following is policy from the Villebois Village Master Plan followed by discussion of how the refinements better or equally meet it:

Residential Neighborhood Housing Policy 3: The mix of housing shall be such that the Village development provides an overall average density of at least 10 dwelling units per net residential acre.

E22. The change of density is small increase and continues to meet the density requirement for the Village Zone. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. b. SAP Refinement Review Criteria: Impact on Natural and Scenic Resources

The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area.

E23. The proposed minor increase in density does not create any sort of impact that can be seen being detrimental to any of the resources mentioned in this subsection. These criteria are satisfied.

Subsection 4.125 (.18) J. 2. c. SAP Refinement Review Criteria: Effect on Subsequent PDP's and SAP's

The refinement will not preclude an adjoining or subsequent PDP or SAP areas from development consistent with the approved SAP or the Master Plan.

E24. The proposed minor change in density does not affect any adjoining PDP's or SAP's.

**REQUEST F
TYPE 'C' TREE PLAN**

Subsection 4.610.40 (.02) and Subsection 4.610.30 (.02) Submittal Requirements

F1. The Arborist Report was prepared by Morgan Holen & Associates in Section VB. Twenty three (23) trees measuring 6 inches d.b.h. and larger were inventoried including four tree species. Three (3) trees in good to important will be retained. As indicated in the table below the applicant has either submitted the required documentation under Subsection 4.610.40 (02). The requirements of these subsections are thus satisfied.

F2.

Requirement	Submitted	Waiver Granted		Condition of Approval	Not Applicable	Additional findings/notes
		Info Already Available to City	Info Not Necessary for Review			
Statement why removal is necessary	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Description of trees (common name, d.b.h.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Name of person removing (if known)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Time of removal (if known)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Map showing location of tree(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Arborist's Report (health and condition, species, common name, d.b.h.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Tree protection information	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
Replacement tree description (species, size, number, cost)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

This application has been reviewed according the standards and processes referenced in this subsection. This provision is satisfied.

Section 4.620.00 Tree Relocation, Mitigation, or Replacement
Subsection 4.620.00 (.01) Tree Replacement Required within One Year

F3. This subsection requires a Type ‘C’ Tree Removal Permit grantee to replace or relocate each removed tree having six inches (6”) or greater d.b.h. within one year of removal. Twenty (20) trees are proposed for removal. See Plan Sheet 8 of the Arborist Report

Subsection 4.620.00 (.02) Basis for Determining Replacement

F4. This subsection requires that removed trees be replaced on a basis of one (1) tree replanted for each tree removed. It also requires all replacement trees measure two inches (2”) caliper. One (1) tree is being replaced for each tree removed, all of which will be two inch (2”) caliper. The provisions of this subsection will be satisfied through PDD2.

Subsection 4.620.00 (.03) A. Replacement Tree Requirements-Comparable Characteristics

F5. This subsection identifies the requirements for replacement trees including: having characteristics similar to removed trees; being appropriately chosen for the site from an approved tree species list provided by the City, and being of state Department of Agriculture Nursery Grade No. 1 or better. The applicant proposes mitigating with trees that will be more appropriate for the site.

Subsections 4.620.00 (.03) B. and C. Replacement Tree Requirements-Tree Care and Guarantee

F6. These subsections require replacement trees be staked, fertilized and mulched, and be guaranteed by the permit grantee or the grantee’s successors-in-interest for two (2) years after the planting date. A “guaranteed” tree that dies or becomes diseased during the two (2) year period is required to be replaced. A condition of approval ensures the requirements of these subsections are met.

Subsection 4.620.00 (.3) D. Replacement Tree Requirements- Encouragement of Diversity of Species

F7. This subsection encourages a diversity of tree species to be planted. A variety of trees are being removed and a variety is being planted, maintaining substantially similar diversity of species on the property. See condition PDF2.

Subsection 4.620.00 (.04) Additional Requirements for Replacement Trees

F8. This subsection requires replacement trees consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade. Condition PDF2 ensures the requirements of these subsections are met.

Subsection 4.620.00 (.05) Replacement Tree Location- Review Required.

F7. See Finding F5.



117 Commercial Street NE
 Suite 310
 Salem, OR 97301
 503.391.8773
 www.dksassociates.com

MEMORANDUM

DATE: May 28, 2015
TO: Steve Adams, P.E., City of Wilsonville
FROM: Scott Mansur, P.E., PTOE *Sm*
 Halston Tuss, EIT



SUBJECT: Villebois Urban Village SAP Central 7C Transportation Study (Lot 75)

P15018-006

This memorandum documents trip generation estimates and a site plan review for the proposed PDP 7C development of 68 rowhouses south of Villebois Drive and west of Orleans Avenue. The purpose of this memorandum is to compare the proposed land use development of Villebois Urban Village Specific Area Plan (SAP) Central (dated March 3rd, 2015) to previously analyzed SAP Central land use numbers and ensure the current proposal was adequately analyzed as part of a prior traffic impact study and that additional intersection capacity analysis will not be needed.

Villebois Land Use

When the Future Study Area was added to the *Villebois Village Master Plan*,¹ DKS performed updated traffic impact analysis for the entire Villebois area. Table 1 shows the residential land use estimates that were the basis of the updated traffic impact analysis.²

Table 1: Villebois Village Residential Land Uses Analyzed in Prior Traffic Impact Study (October 2013)

SAP	Single Family Units	Condo/Townhouse Units	Apartment Units	Total Residential Units
East	534	42	-	576
Central ^a	49	459	501	1,009
North	423	31	10	464
South	357	103	21	481

^a SAP Central also included 33,000 square feet of retail space.

¹ The most recent version of the *Villebois Village Master Plan* was adopted October 7, 2013, and included the addition of the “future study area”.

² *Villebois Future Study Area Transportation Impact Analysis*, DKS Associates, October 21, 2013, page 5.



SAP Central Residential Land Use/Trip Generation

As shown previously in Table 1, the most recent traffic impact analysis performed for Villebois assumed that SAP Central would include 49 single family units, 459 condo/townhouse units, and 501 apartment units for a total of 1,009 residential units. Now, the current SAP Central proposal (dated April 15, 2015) includes 74 single family units, 423 condo/townhouse units, and 515 apartment units for a total of 1,012 residential units.³ Table 2 shows the p.m. peak hour trip generation estimates for both land use breakdowns along with the net change.⁴ As shown, the currently planned residential land uses are estimated to generate 614 (401 in, 213 out) p.m. peak hour trips for SAP Central, which is a net increase of 16 total (9 in, 7 out) trips. This increase in project trips does not trigger additional traffic impact analysis, but will need to be coordinated with the City staff regarding transportation system development charges (SDCs) related to additional trips through the I-5/Wilsonville Road interchange area.

Table 2: SAP Central Trip Generation Comparison

Land Use (ITE Code)	Size	Average Trip Generation Rate	Number of New Trips (P.M. Peak)		
			In	Out	Total
<i>Basis of Traffic Impact Analysis (October 2013)</i>					
Single Family Units (210)	49 units	1.01 trips/unit	31	18	49
Condo/Townhome (230)	459 units	0.52 trips/unit	159	79	238
Apartments (220)	501 units	0.62 trips/unit	202	109	311
Total Trips			392	206	598
<i>Current Plans (May 2015)</i>					
Single Family Units (210)	74 units	1.01 trips/unit	47	28	75
Condo/Townhome (230)	423 units	0.52 trips/unit	147	73	220
Apartments (220)	515 units	0.62 trips/unit	207	112	319
Total Trips			401	213	614
Net New Trips			9	7	16

³ Single Family unit number provided by Stacy Connery, Pacific Community Design, May 7, 2015.

⁴ Retail land use quantities and trip generation estimates were not included in the analysis because no changes are being proposed.



SAP Central PDP 7C Lot 75 Trip Generation

SAP Central is broken into approximately 14 Planned Development Phases (PDPs). Table 3 shows the estimated trip generation for PDP 7C based on the currently proposed 68 rowhouses for Lot 75. As shown, the 68 proposed residential units planned would generate approximately 35 (23 in, 12 out) p.m. peak hour trips.

Table 3: SAP Central PDP 7C Lot 75 Trip Generation

Land Use (ITE Code)	Number of Units	Average Trip Generation Rate	Number of New Trips (P.M. Peak)		
			In	Out	Total
Lot 75 - Condo/Townhome (230)	68	0.52 trips/unit	23	12	35

Site Plan Review

The applicant’s preliminary site plan was provided with the Traffic Study Request letter and is attached to the appendix.⁵ It was reviewed to evaluate site access for vehicles and pedestrians as well as evaluate parking.

Site Access

The roadways of Villebois Drive and Orleans Avenue are planned to be extended surrounding the proposed site, with Mont Blanc Lane planned to be extended through the site running east-west. Access to the internal alley network of the site will be provided on Villebois Drive (two proposed accesses), Orleans Avenue (two accesses proposed accesses). An existing alley way located immediately south of the site will also provide access to the proposed rowhouses backing up to it.

Pedestrian Access

The site plan shows proposed sidewalks surrounding the rowhouses on the Villebois Drive North, Orleans Avenue, and Mont Blanc Lane frontages. Additionally, the site plan shows a multi-use path through the site running north-south that connects with proposed pedestrian crossings on the future Villebois Drive North and Mont Blanc Lane extension. The Village Center Plaza, the “heart of Villebois” intended to promote community activities, such as festivals, outdoor movies, music and dining, will be a major generator of pedestrian traffic west of the proposed site. Collina Park to the north of the site will also be a generator of pedestrian traffic. The project sponsor should ensure that the appropriate pathways to and from the Village Center Plaza and Collina Park are incorporated into the Villebois SAP Central PDP 7C development.

Parking

In total, the 68 rowhouse units require 1 space per dwelling unit. Therefore, the single car garages provided with each rowhouse along with eight on-street parking stalls⁶ will be sufficient to the parking demand and code requirements.

⁵ Site plan provided in email from Steve Adams, City of Wilsonville, April 15, 2015.

⁶ Based on approximately 200 feet of proposed on-street parking.



Summary

Key findings for the proposed Villebois Urban Village SAP Central PDP 7C Lot 75 development of 68 rowhouses in Wilsonville, Oregon are as follows:

- The proposed SAP Central is expected to generate 16 (9 in, 7 out) p.m. peak hour trips more than the original approved trip generation estimates.
- This increase will need to be coordinated with the City staff regarding supplemental transportation system development charges (TSDCs) related to additional trips through the I-5/Wilsonville Road interchange area.
- The proposed development of 68 rowhouses within PDP 7C are estimated to generate 35 (23 in, 12 out) p.m. peak hour trips.
- The required parking spaces (68) are provided by the project.

Please let us know if you have any questions.

**EXHIBIT A
PLANNING DIVISION
STAFF REPORT**

VILLEBOIS SAP CENTRAL PDP 7

**DEVELOPMENT REVIEW BOARD PANEL ‘ ___ ’
QUASI JUDICIAL HEARING**

Public Hearing Date:

Date of Report:

Application Numbers:

**Request A: DB15-0029 Preliminary Development Plan
Request B: DB15-0031 Tentative Subdivision Plat**

Property

Owners/Applicants:

PD = Planning Division conditions

BD – Building Division Conditions

PF = Engineering Conditions.

NR = Natural Resources Conditions

TR = SMART/Transit Conditions

FD = Tualatin Valley Fire and Rescue Conditions



City of Wilsonville

EXHIBIT C1 DB15-0029 et al

Standard Comments:

PFA 1. All construction or improvements to public works facilities shall be in conformance to the City of Wilsonville Public Works Standards - 2014.

PFA 2. Applicant shall submit insurance requirements to the City of Wilsonville in the following amounts:

<i>Coverage (Aggregate, accept where noted)</i>	<i>Limit</i>
Commercial General Liability	
General Aggregate (per project)	\$ 3,000,000
General Aggregate (per occurrence)	\$ 2,000,000
Fire Damage (any one fire)	\$ 50,000
Medical Expense (any one person)	\$ 10,000
Business Automobile Liability Insurance	
Each Occurrence	\$ 1,000,000
Aggregate	\$ 2,000,000
Workers Compensation Insurance	\$ 500,000

PFA 3. No construction of, or connection to, any existing or proposed public utility/improvements will be permitted until all plans are approved by Staff, all fees have been paid, all necessary permits, right-of-way and easements have been obtained and Staff is notified a minimum of 24 hours in advance.

PFA 4. All public utility/improvement plans submitted for review shall be based upon a 22"x 34" format and shall be prepared in accordance with the City of Wilsonville Public Work's Standards.

PFA 5. Plans submitted for review shall meet the following general criteria:

- a. Utility improvements that shall be maintained by the public and are not contained within a public right-of-way shall be provided a maintenance access acceptable to the City. The public utility improvements shall be centered in a minimum 15-ft. wide public easement for single utilities and a minimum 20-ft wide public easement for two parallel utilities and shall be conveyed to the City on its dedication forms.
- b. Design of any public utility improvements shall be approved at the time of the issuance of a Public Works Permit. Private utility improvements are subject to review and approval by the City Building Department.
- c. In the plan set for the PW Permit, existing utilities and features, and proposed new private utilities shall be shown in a lighter, grey print. Proposed public improvements shall be shown in bolder, black print.
- d. All elevations on design plans and record drawings shall be based on NAVD 88 Datum.
- e. All proposed on and off-site public/private utility improvements shall comply with the State of Oregon and the City of Wilsonville requirements and any other applicable codes.
- f. Design plans shall identify locations for street lighting, gas service, power lines, telephone poles, cable television, mailboxes and any other public or private utility within the general construction area.

- g. As per City of Wilsonville Ordinance No. 615, all new gas, telephone, cable, fiber-optic and electric improvements etc. shall be installed underground. Existing overhead utilities shall be undergrounded wherever reasonably possible.
- h. Any final site landscaping and signing shall not impede any proposed or existing driveway or interior maneuvering sight distance.
- i. Erosion Control Plan that conforms to City of Wilsonville Ordinance No. 482.
- j. Existing/proposed right-of-way, easements and adjacent driveways shall be identified.
- k. All engineering plans shall be printed to PDF, combined to a single file, stamped and digitally signed by a Professional Engineer registered in the State of Oregon.
- l. All plans submitted for review shall be in sets of a digitally signed PDF and three printed sets.

PFA 6.	Submit plans in the following general format and order for all public works construction to be maintained by the City:
	<ul style="list-style-type: none"> a. Cover sheet b. City of Wilsonville construction note sheet c. General construction note sheet d. Existing conditions plan. e. Erosion control and tree protection plan. f. Site plan. Include property line boundaries, water quality pond boundaries, sidewalk improvements, right-of-way (existing/proposed), easements (existing/proposed), and sidewalk and road connections to adjoining properties. g. Grading plan, with 1-foot contours. h. Composite utility plan; identify storm, sanitary, and water lines; identify storm and sanitary manholes. i. Detailed plans; show plan view and either profile view or provide i.e.'s at all utility crossings; include laterals in profile view or provide table with i.e.'s at crossings; vertical scale 1"= 5', horizontal scale 1"= 20' or 1"= 30'. j. Street plans. k. Storm sewer/drainage plans; number all lines, manholes, catch basins, and cleanouts for easier reference l. Water and sanitary sewer plans; plan; number all lines, manholes, and cleanouts for easier reference. m. Detailed plan for storm water detention facility (both plan and profile views), including water quality orifice diameter and manhole rim elevations. Provide detail of inlet structure and energy dissipation device. Provide details of drain inlets, structures, and piping for outfall structure. Note that although storm water detention facilities are typically privately maintained they will be inspected by engineering, and the plans must be part of the Public Works Permit set. n. Detailed plan for water quality facility (both plan and profile views). Note that although storm water quality facilities are typically privately maintained they will be inspected by Natural Resources, and the plans must be part of the Public Works Permit set. o. Composite franchise utility plan. p. City of Wilsonville detail drawings. q. Illumination plan. r. Striping and signage plan. s. Landscape plan.
PFA 7.	Design engineer shall coordinate with the City in numbering the sanitary and stormwater sewer systems to reflect the City's numbering system. Video testing and sanitary manhole testing will refer to City's numbering system.
PFA 8.	The applicant shall install, operate and maintain adequate erosion control measures in conformance with the standards adopted by the City of Wilsonville Ordinance No. 482 during the construction of any public/private utility and building improvements until such time as approved permanent vegetative materials have been installed.
PFA 9.	Applicant shall work with City's Natural Resources office before disturbing

	any soil on the respective site. If 5 or more acres of the site will be disturbed applicant shall obtain a 1200-C permit from the Oregon Department of Environmental Quality. If 1 to less than 5 acres of the site will be disturbed a 1200-CN permit from the City of Wilsonville is required.
PFA 10.	A storm water analysis prepared by a Professional Engineer registered in the State of Oregon shall be submitted for review and approval by the City.
PFA 11.	The applicant shall be in conformance with all water quality requirements for the proposed development per the Public Works Standards. If a mechanical water quality system is used, prior to City acceptance of the project the applicant shall provide a letter from the system manufacturer stating that the system was installed per specifications and is functioning as designed.
PFA 12.	Storm water quality facilities shall have approved landscape planted and/or some other erosion control method installed and approved by the City of Wilsonville prior to streets and/or alleys being paved.
PFA 13.	The applicant shall contact the Oregon Water Resources Department and inform them of any existing wells located on the subject site. Any existing well shall be limited to irrigation purposes only. Proper separation, in conformance with applicable State standards, shall be maintained between irrigation systems, public water systems, and public sanitary systems. Should the project abandon any existing wells, they shall be properly abandoned in conformance with State standards.
PFA 14.	All survey monuments on the subject site, or that may be subject to disturbance within the construction area, or the construction of any off-site improvements shall be adequately referenced and protected prior to commencement of any construction activity. If the survey monuments are disturbed, moved, relocated or destroyed as a result of any construction, the project shall, at its cost, retain the services of a registered professional land surveyor in the State of Oregon to restore the monument to its original condition and file the necessary surveys as required by Oregon State law. A copy of any recorded survey shall be submitted to Staff.
PFA 15.	Sidewalks, crosswalks and pedestrian linkages in the public right-of-way shall be in compliance with the requirements of the U.S. Access Board.
PFA 16.	No surcharging of sanitary or storm water manholes is allowed.
PFA 17.	The project shall connect to an existing manhole or install a manhole at each connection point to the public storm system and sanitary sewer system.
PFA 18.	A City approved energy dissipation device shall be installed at all proposed storm system outfalls. Storm outfall facilities shall be designed and constructed in conformance with the Public Works Standards.
PFA 19.	The applicant shall provide a ‘stamped’ engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways.
PFA 20.	All required pavement markings, in conformance with the Transportation

	Systems Plan and the Bike and Pedestrian Master Plan, shall be completed in conjunction with any conditioned street improvements.
PFA 21.	Street and traffic signs shall have a hi-intensity prismatic finish meeting ASTM 4956 Spec Type 4 standards.
PFA 22.	The applicant shall provide adequate sight distance at all project driveways by driveway placement or vegetation control. Specific designs to be submitted and approved by the City Engineer. Coordinate and align proposed driveways with driveways on the opposite side of the proposed project site.
PFA 23.	Access requirements, including sight distance, shall conform to the City's Transportation Systems Plan (TSP) or as approved by the City Engineer. Landscaping plantings shall be low enough to provide adequate sight distance at all street intersections and alley/street intersections.
PFA 24.	Applicant shall design interior streets and alleys to meet specifications of Tualatin Valley Fire & Rescue and Allied Waste Management (United Disposal) for access and use of their vehicles.
PFA 25.	The applicant shall provide the City with a Stormwater Maintenance and Access Easement (on City approved forms) for City inspection of those portions of the storm system to be privately maintained. Stormwater or rainwater LID facilities may be located within the public right-of-way upon approval of the City Engineer. Applicant shall maintain all LID storm water components and private conventional storm water facilities; maintenance shall transfer to the respective homeowners association when it is formed.
PFA 26.	The applicant shall "loop" proposed waterlines by connecting to the existing City waterlines where applicable.
PFA 27.	All water lines that are to be temporary dead-end lines due to the phasing of construction shall have a valved tee with fire-hydrant assembly installed at the end of the line.
PFA 28.	Applicant shall provide a minimum 6-foot Public Utility Easement on lot frontages to all public right-of-ways. An 8-foot PUE shall be provided along Collectors. A 10-ft PUE shall be provided along Minor and Major Arterials.
PFA 29.	For any new public easements created with the project the Applicant shall be required to produce the specific survey exhibits establishing the easement and shall provide the City with the appropriate Easement document (on City approved forms).
PFA 30.	<p>Mylar Record Drawings:</p> <p>At the completion of the installation of any required public improvements, and before a 'punch list' inspection is scheduled, the Engineer shall perform a record survey. Said survey shall be the basis for the preparation of 'record drawings' which will serve as the physical record of those changes made to the plans and/or specifications, originally approved by Staff, that occurred during construction. Using the record survey as a guide, the appropriate changes will be made to the construction plans and/or specifications and a complete revised 'set' shall be submitted. The 'set' shall consist of drawings</p>

on 3 mil. Mylar and an electronic copy in AutoCAD, current version, and a digitally signed PDF.

Specific Comments:

PFA 31. At the request of Staff, DKS Associates completed a Transportation Study, dated May 28, 2015. The project is hereby limited to no more than the following impacts.

Estimated New PM Peak Hour Trips	35
Estimated Weekday PM Peak Hour Trips Through Wilsonville Road Interchange Area	8

PFA 32. The initial approval of SAP Central consisted of 9 single family units, 500 townhome/condo units, and 501 apartment units for a total of 1,010 residential units, along with 20,000 sq. ft. of commercial space. Based on assumed trip generation rates, these land uses were estimated to generate 616 p.m. peak hour trips.

Previous changes to housing types in SAP Central created a land use that included 74 single family units, 392 townhome/condo units, and 533 apartment units for a total of 999 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 670 p.m. peak hour trips. This is 54 p.m. peak hour trips above what was initially approved for SAP Central.

The currently proposed land use includes 74 single family units, 423 townhome/condo units, and 515 apartment units for a total of 1,012 residential units, along with 33,000 of commercial space. Based on these counts, it is estimated that SAP Central will generate 675 p.m. peak hour trips. This is 5 P.M. peak hour trips above what was previously expected and 59 p.m. peak hour trips above what was initially approved for SAP Central.

Many of the changes from townhome/condo units to single family units occur with this proposed development. The applicant may be required to pay Street SDC fees for these additional 5 PM Peak Hour Trips, unless applicant can show evidence of other arrangements with the City having been made..

PFA 33. Consistent with other development within Villebois Village, the applicant shall be required to complete design and construction for full street improvements through the far curb and gutter for the extension of Villebois Drive North northwest of the proposed development. Design and improvements shall include street lighting on both sides of the streets. Note that the configuration of the Paris Avenue connection to Villebois Drive North is likely to change from the off-set roundabout circle shown on Villebois Village Master Plans. Applicant shall work with City engineering to determine a preferred alignment of Paris

	Ave. and connection to Villebois Drive North.
PFA 34.	Engineering supports City Planning staff's alternative of constructing Villebois Drive North as a full width paver stone street only adjacent to proposed mixed use Lot 42. Northeast of this area Villebois Drive North can be constructed with Asphaltic Pavement
PFA 35.	Development of the land northwest of Villebois Drive North is unknown at this time. Therefore this segment of Villebois Drive North (northeast of the paver stone section) will be allowed to be designed for a 5" section of asphalt and shall be paved with a single 3" base lift; 2" top lift to be completed by adjacent development when it occurs. Streets shall be designed in conformance to the applicable street type as shown in the Villebois Village Master Plan.
PFA 36.	The Villebois Master Plan shows Ravenna Loop bisecting the proposed development connecting Mont Blanc to Villebois Drive North. City Engineering views this connection as redundant with traffic being able to use Orleans Avenue through Villebois Central. Engineering has already worked with the developer in eliminating this street connection and renaming Ravenna Loop north of the development to Paris Avenue; the name change has been recorded with Clackamas County and new street signs have been installed. Ravenna Loop south of the proposed development shall be renamed Ravenna Lane. City staff will handle the paperwork and notification to citizens of the name change, applicant shall purchase and install new street signage for Ravenna Lane after the name change has been authorized.
PFA 37.	To maintain pedestrian and bicycle north/south connectivity with the removal of Ravenna Loop, the applicant shall construct a minimum 12-foot wide multi-use path between Mont Blanc Street and Villebois Drive North and provide a public ingress/egress easement over the pathway. Applicant shall align this multi-use path with the ADA ramp across Villebois Drive North as best possible. Note that the configuration of the Paris Avenue connection to Villebois Drive North is likely to change from the off-set roundabout circle shown on Villebois Village Master Plans. Applicant shall align this ADA ramp as best possible to be opposite the future ADA ramp on the north side of Villebois Drive North.
PFA 38.	Mont Blanc Street is shown as a privately owned and maintained street in the Villebois Village Master Plan. Applicant shall provide easements for public storm lines, sanitary lines and water lines, and for public ingress and egress for vehicles, pedestrians and bicyclists.
PFA 39.	Alleyways shall connect to the public right-of-way at as near 90° as possible, per the 2014 Public Works Standards.
PFA 40.	Pedestrian Links - sidewalk connections shall be provided between alleys and roadways where alleys do not intersect with the local road network. City of Wilsonville guidelines recommend that the distance between pedestrian access points along a roadway not exceed 300 feet.

PFA 41.	At the northwest corner of Orleans Avenue and Mont Blanc Street, the applicant is allowed to meander the public sidewalk to limit impact to the existing tree that is to be saved.
PFA 42.	The applicant shall provide a ‘stamped’ engineering plan and supporting information that shows the proposed street light locations meet the appropriate AASHTO lighting standards for all proposed streets and pedestrian alleyways. Secondly, the street lighting style shall be in conformance to the current edition of the Villebois SAP Central Community Elements Book Lighting Master Plan.
PFA 43.	Per the Villebois Village SAP Central Master Signage and Wayfinding plan all regulatory traffic signage in Villebois Central shall be finished black on the back sides.
PFA 44.	The proposed subdivision lies within two storm drainage basins – Coffee Lake and Arrowhead Creek. The split lies on what was the approximate alignment of Ravenna Loop through the site. Those portions of the subdivision lying within the Coffee Lake basin are exempt from stormwater detention requirements as established per City Ordinance No. 608; however applicant shall be in conformance with water quality requirements. For those portions of the subdivision lying within Arrowhead Creek basin, Pond F has been sized to provide required storm water quality and detention requirements are presently. No net interbasin transfer of stormwater is allowed.
PFA 45.	Applicant shall install a looped water system in Villebois Drive North and Mont Blanc Street by connecting to the existing water lines in Orleans Avenue, Ravenna Lane and Villebois Drive North. The water system in Villebois Drive North has been changed from the Villebois Village Master Plan. Applicant shall install a 12” water line in Villebois Drive North.
PFA 46.	The Villebois Sanitary Sewer (SS) Master Plan shows the proposed development serviced by the south SS trunk line. Applicant shall connect the proposed development to existing SS line(s) that are part of the south SS trunk line service area.
PFA 47.	Applicant shall provide sufficient mail box units for the proposed phasing plan; applicant shall construct mail kiosk at locations coordinated with City staff and the Wilsonville U.S. Postmaster.
PFA 48.	All construction traffic shall access the site via Grahams Ferry Road to Barber Street to Costa Circle or via Tooze Road to Villebois Drive N. No construction traffic will be allowed on Brown Road or Barber Street east of Costa Circle West, or on other residential roads.
PFA 49.	SAP Central PDP 6 consists of 68 lots. All construction work in association with the Public Works Permit and Project Corrections List shall be completed prior to the City Building Division issuing a certificate of occupancy, or a building permit for the housing unit(s) in excess of 50% of

total (35th lot).

Engineering Division Conditions:

- | | |
|---------------|--|
| PFB 1. | Paper copies of all proposed subdivision/partition plats shall be provided to the City for review. Once the subdivision/partition plat is approved, applicant shall have the documents recorded at the appropriate County office. Once recording is completed by the County, the applicant shall be required to provide the City with a 3 mil Mylar copy of the recorded subdivision/partition plat. |
| PFB 2. | All newly created easements shown on a subdivision or partition plat shall also be accompanied by the City's appropriate Easement document (on City approved forms) with accompanying survey exhibits that shall be recorded immediately after the subdivision or partition plat. |
| PFB 3. | Consistent with other development within Villebois Village the applicant shall dedicate full right-of-way full street improvements through the far curb and gutter for the extension of Villebois Drive North northwest of the proposed development. |

COMMUNITY DEVELOPMENT MEMORANDUM

To: Blaise Edmonds, Manager of Current Planning

From: Kerry Rappold, Natural Resources Program Manager

Date: June 26, 2015

RE: Villebois Village SAP Central, PDP 7C (DB15-0029 and 0033)

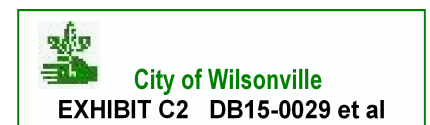
This memorandum includes staff conditions of approval. The conditions are based on the Preliminary and Final Development Plans for PDP 7C. The conditions of approval apply to the applicant's submittal of construction plans (i.e., engineering drawings).

Rainwater Management

- NR1. All rainwater management components and associated infrastructure located in public areas shall be designed to the Public Works Standards.
- NR2. All rainwater management components in private areas shall comply with the plumbing code.
- NR3. Pursuant to the City of Wilsonville Public Works Standards, access shall be provided to all areas of the proposed rainwater management components. At a minimum, at least one access shall be provided for maintenance and inspection.
- NR4. Plantings in rainwater management components located in public areas shall comply with the Public Works Standards.
- NR5. Plantings in rainwater management components located in private areas shall comply with the Plant List in the Rainwater Management Program or Community Elements Plan.
- NR6. The rainwater management components shall comply with the requirements of the Oregon DEQ UIC (Underground Injection Control) Program.

Other

- NR7. The applicant shall comply with all applicable state and federal requirements for the proposed construction activities and proposed facilities (e.g., DEQ NPDES #1200-CN permit).



Development Review Template

DATE: 6/29/15

TO: BLAISE EDMONDS, DIRECTOR OF CURRENT PLANNING

FROM: DON WALTERS

SUBJECT: DEVELOPMENT REVIEW # DB15-0029-0031, 0033-0035 VILLEBOIS
PDP-7 CENTRAL ROW HOUSES.

WORK DESCRIPTION: 68 ROW HOUSES ON INDIVIDUAL LOTS (IN 9
BUILDINGS) AND PROPOSED LOT 42 FOR FUTURE
DEVELOPMENT.

RETAINING WALLS. As part of the grading permit submittal any retaining walls shown shall be clearly identified as requiring or not requiring a building permit from the Building Division.

A permit from the Building Division is required for retaining walls that:

- Retain material which in turn supports a regulated building, accessory parking, a required accessible route or the means of egress.
- Retain materials which, if not restrained, could impact buildings, accessory parking, a required accessible route or the means of egress.

No permit is required for retaining walls that:

- Retain materials solely for landscaping purposes.

The Engineering Division may require a permit for a retaining wall that affects work within the scope of their jurisdiction.



City of Wilsonville

EXHIBIT C3 DB15-0029 et al

From: [Arn, Jason S.](#)
To: [Edmonds, Blaise](#)
Cc: [Walters, Don](#)
Subject: RE: PDP-7C
Date: Tuesday, June 23, 2015 3:35:01 PM

Hi Blaise,

I would like to ensure the turning radius of the alleys meets our requirements of 28' inside and 48' outside to access the six interior row homes. Otherwise looks good on my end.

1. **TURNING RADIUS:** The inside turning radius and outside turning radius shall be not less than 28 feet and 48 feet respectively, measured from the same center point. (OFC 503.2.4 & D103.3)

Let me know if you have any questions.

Sincerely,

Jason Arn | Deputy Fire Marshal

Tualatin Valley Fire & Rescue

Direct: 503-259-1510

www.tvfr.com

From: Edmonds, Blaise [mailto:edmonds@ci.wilsonville.or.us]
Sent: Tuesday, June 23, 2015 9:00 AM
To: Adams, Steve; Rappold, Kerry; Walters, Don; Brown, Martin; Labrie, Jason; Arn, Jason S.
Subject: PDP-7C

This is a friendly reminder that conditions of approval for Villebois PDP-7 Central are due on June 30th.

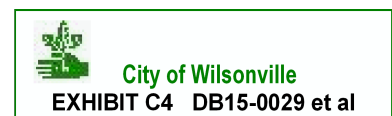
Thank you,

Blaise Edmonds

Manager of Current Planning
City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070

503-682-4960 Business
503-682-7025 Fax
edmonds@ci.wilsonville.or.us

DISCLOSURE NOTICE: Messages to and from this e-mail address may be subject to the Oregon Public Records Law.



Public Works Plan Review Comment Form

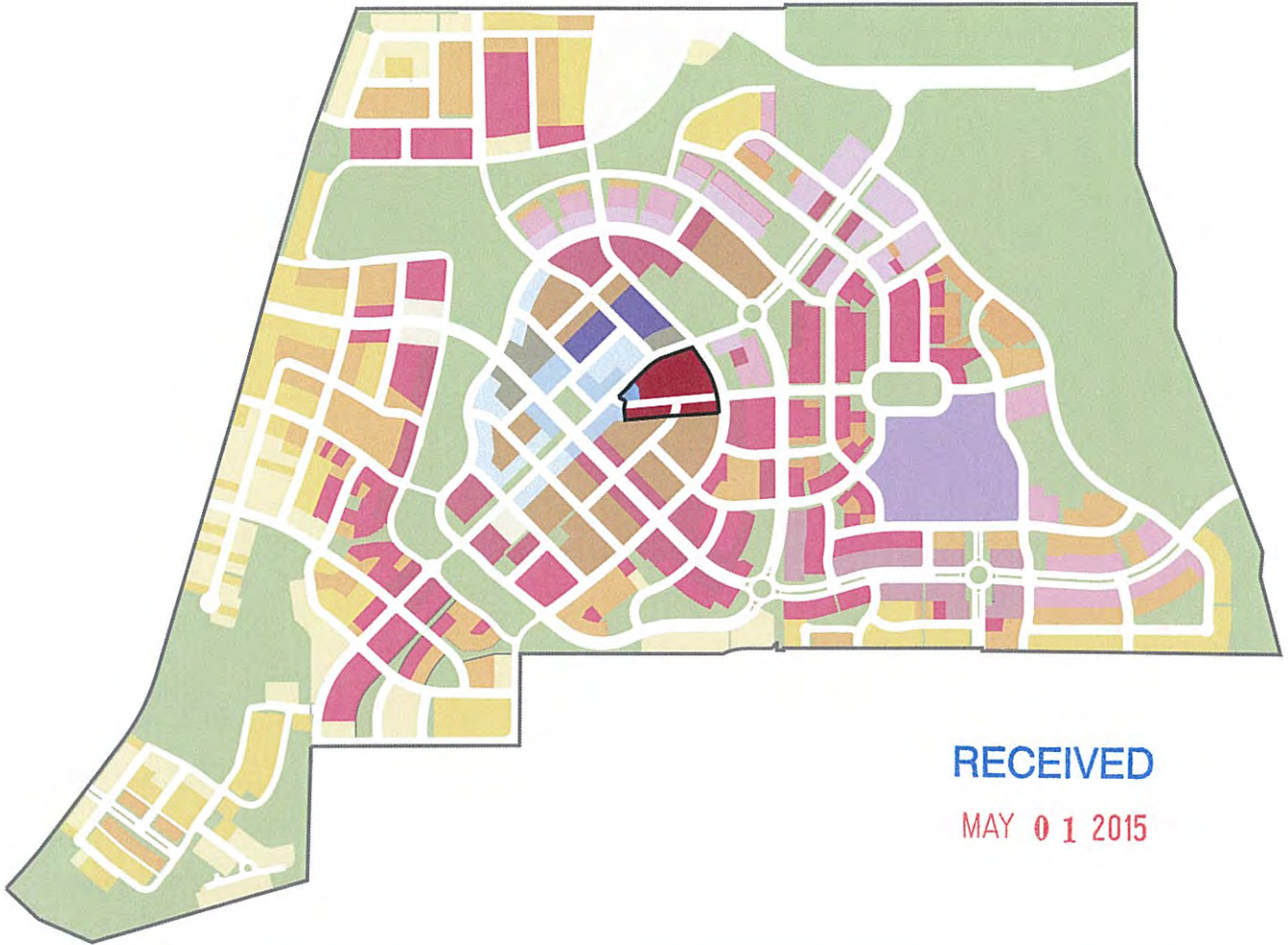
Plans for Review: Vb SAP Central 7 -Row Homes

Return All Comments To: Blaise Edmonds

Due Date: June 30, 2015

Name	Page No.	Comments	Engineering's Response
Randy Watson			
Matt Baker			
Blankenship/Reeder			
Jason Labrie		No Comments	
Arnie Gray			
Ralph Thorp			
Steve Gering		<p>Plans show water meters for Lots 64-69 located in a park. Also. There is a water main going from Mont Blanc Street north to the park area by lots 64-69.</p> <p>Water line shall be run in the alley access and the meters shall be in the alley, bank of two meters for lots 68 and 69, and bank of four meters for lots 64-67</p>	





RECEIVED

MAY 01 2015

Row Homes – PDP 7C
**Preliminary Development Plan,
Tentative Plat, Zone Change, Tree Removal
Plan & Final Development Plan**

The City of Wilsonville, Oregon April 30, 2015

POLYGON  NORTHWEST COMPANY

Please Note: Only items relevant for decision making/review purposes have been included in this digital version. The full submittal is available for viewing at City Hall.

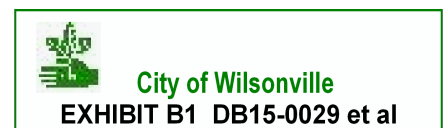


TABLE OF CONTENTS
FOR
PDP 7 - CENTRAL

SECTION I)	GENERAL INFORMATION
	IA) INTRODUCTORY NARRATIVE
	IB) FORM/OWNERSHIP DOCUMENTATION
	IC) FEE CALCULATION/COPY OF CHECK
	ID) MAILING LIST
	IE) UPDATED SAP CENTRAL PHASING & UNIT COUNTS
SECTION II)	PRELIMINARY DEVELOPMENT PLAN (INCLUDES REFINEMENTS)
	IIA) SUPPORTING COMPLIANCE REPORT
	IIB) REDUCED DRAWINGS
	IIC) UTILITY AND DRAINAGE REPORTS
	IID) TRAFFIC ANALYSIS
	IIE) TREE REPORT
SECTION III)	TENTATIVE PLAT
	IIIA) SUPPORTING COMPLIANCE REPORT
	IIIB) TENTATIVE PLAT
	IIIC) DRAFT CC&R'S
	IIID) COPY OF CERTIFICATION OF ASSESSMENTS & LIENS
	IIIE) SUBDIVISION NAME APPROVAL
SECTION IV)	ZONE CHANGE
	IVA) SUPPORTING COMPLIANCE REPORT
	IVB) ZONE CHANGE MAP
	IVC) LEGAL DESCRIPTION & SKETCH
SECTION V)	TREE REMOVAL PLAN
	VA) SUPPORTING COMPLIANCE REPORT
	VB) TREE REPORT
	VC) TREE PRESERVATION PLAN
SECTION VI)	FINAL DEVELOPMENT PLAN
	VIA) SUPPORTING COMPLIANCE REPORT
	VIB) REDUCED DRAWINGS
	VIC) ELEVATIONS & FLOOR PLANS

Section I

General Information

IA) Introductory Narrative

**INTRODUCTORY NARRATIVE
PDP 7 - CENTRAL**

**INCLUDING:
PRELIMINARY DEVELOPMENT PLAN (INCLUDES REFINEMENTS), TENTATIVE PLAT, ZONE
CHANGE, TREE REMOVAL PLAN, & FINAL DEVELOPMENT PLAN**

SECTION IA

TABLE OF CONTENTS

I. GENERAL INFORMATION.....	2
II. REQUEST	3
III. PLANNING CONTEXT	3
VILLEBOIS VILLAGE MASTER PLAN & SAP CENTRAL	3
IV. PROPOSAL DESCRIPTION.....	4
LAND USES	5
PARKS & OPEN SPACE	5
UTILITIES	5
CIRCULATION	6
PHASING	6
V. REFINEMENTS TO SAP CENTRAL	6
CIRCULATION	6
LAND USES	7
PARKS & OPEN SPACE	7
UTILITIES	8
VI. PROPOSAL SUMMARY & CONCLUSION.....	8

I. GENERAL INFORMATION

Applicant/Property Owner:

Polygon WLH, LLC
109 E. 13th Street
Vancouver, WA 98660
Tel: (360) 695-7700
Fax: (425) 455-0462
Contact: Fred Gast

Design Team:

Primary Contact:

Stacy Connery
Pacific Community Design, Inc.
Tel: (503) 941-9484
Fax: (503) 941-9485
Email: stacy@pacific-community.com

Process Planner/Civil
Engineer/Surveyor/
Landscape Architect:

Pacific Community Design, Inc.
12564 SW Main Street
Tigard, OR 97223
Tel: (503) 941-9484
Fax: (503) 941-9485
Contact: **Stacy Connery, AICP**
Jessie King, PE
Travis Jansen, PLS/PE
Kerry Lankford, RLA

Arborist:

Morgan Holan
Morgan Holan & Associates, LLC
3 Monroe Parkway, Suite P 220
Lake Oswego, OR 97035
Tel: (971) 409-9354

Site and Proposal Information:

Site: 3S 1W 15AC, Tax Lot 2700

Size: 3.44 gross acres

Comprehensive Plan
Designation: City - Residential - Village (R-V)

Specific Area Plan: SAP - Central

Proposal: Preliminary Development Plan (PDP 7C)
(Includes refinements)

Tentative Plat
Zone Change to Village (V)
Tree Removal Plan
Final Development Plan

Unit Count: 68 Row Home units
Net Residential Density: 28 units/net acre
Project Name: “Mont Blanc”

II. REQUEST

This application requests approval of the following five (5) applications for the Phase 7 area of SAP Central.

- Preliminary Development Plan (PDP 7C), including refinements - Section II of Notebook
- Tentative Plat Approval (PDP 7C) - Section III of Notebook
- Zone Change to Village (V) for PDP 7C area - Section IV of Notebook
- Tree Preservation/Removal Plan for PDP 7C area - Section V of Notebook
- Final Development Plan for PDP 7C area - Section VI of Notebook

III. PLANNING CONTEXT

VILLEBOIS VILLAGE MASTER PLAN & SAP CENTRAL

The proposed PDP 7C area is located within the central portion of the *Villebois Village Master Plan* as illustrated on the Notebook Cover. The *Master Plan* and SAP Central show Row House and Urban Apartment Land Use Types for the subject area. A portion of the site is shown as mixed use, which is not proposed for development with this application. The *Master Plan* and SAP Central do not show any parks and open space areas or pathways on the subject property. The PDP 7C area is inside the Village Center and is therefore subject to the *Village Center Architectural Standards (VCAS)*. PDP 7C includes a portion of the Villebois Drive Address Overlay and the entirety of the Woonerf Address Overlay. The following description of these addresses are provided in the VCAS.

VILLEBOIS DRIVE ADDRESS

“Villebois Drive is a front door to the Village Center. Though predominantly residential, it sets the tone for a more urban experience. The architectural components of this address, therefore, are similar to that of the Plaza.

Villebois Drive is envisioned as a potential growth corridor for future commercial uses. Accordingly, this Address has specific requirements to accommodate and encourage these possible transitions. Most of these

Standards apply to the ground level buffer between the public way and private zones. The intent is for ground level units not to prohibit future conversion to small commercial spaces.”

WOONERF ADDRESS

“The Woonerf Address is a special and deliberate deviation from the Village Center street grid. Aligned to the view of Mt. Hood, the public way connects the heart of Villebois, the Plaza, to its regional context. Additionally, the Woonerf is part of the pedestrian connection between East Park and the Plaza.

Woonerf is a Dutch word meaning “living street.” A woonerf is common space shared equally by pedestrians, cyclists, and low-speed motor vehicles. Raising the street to the same grade as sidewalks, and placing trees, planters, parking areas, and other obstacles in the street slows vehicles to walking speed. This makes the street available for social use of the local residents while maintaining connectivity and the parking needs of vehicles.

Because of its proximity to the Plaza and its pedestrian emphasis, the Woonerf Address has specific design characteristics to complement the streetscape. The lifestyle is urban, with a compressed threshold between public and private zones. Row Houses will have stoops, terraces, and/or at-grade outdoor living spaces. These components encourage interaction between neighbors as well as pedestrians going to and from the Plaza.

To reinforce the spirit of urban living and strengthen the uniqueness of this outdoor room, the Woonerf Address emphasizes consistency of massing, façade design, and materials. The Homes will have similar heights and materials, with encouraged minor variation of façade elements.”

IV. PROPOSAL DESCRIPTION

Phase 7 of Specific Area Plan Central (also known as PDP 7C) includes approximately 3.44 gross acres. PDP 7C is the block located southwest of the Villebois Drive and SW Orleans Loop intersection. PDP 7C proposes 68 single family attached Row House units, a future development lot (mixed use), 0.32 acres of linear greens, and associated infrastructure improvements.

The proposed Row House units will be English Revival architectural style. Row Houses in the Villebois Drive Address Overlay will be the London Style Row Houses, as shown on the Floorplans & Elevations in Section VIC of this Notebook.

Row Houses in the Woonerf Address Overlay will be the Brownstone Style Row Houses, as shown on the Floorplans & Elevations in Section VIC of this Notebook. The Brownstone style Row Homes in PDP 7C are designed to accommodate “home office” use on the ground floor with separate outside access, but no storefront, signage, or access by general public. This use is consistent with the City’s definition of “home occupation” use, which is an accessory use permitted in the Villebois Village zone. Mont Blanc, located within the Woonerf Address Overlay Area, is designed using the placement of street trees and site furnishings and a curbless surface to calm traffic, create distinct character and encourage social interaction. A wide mid-block

pedestrian/bike path through the site will be a landscaped park area connecting Villebois Drive and Mont Blanc.

LAND USES

PDP 7C proposes 68 attached Row House units. The proposed number and type of units is compatible with adjacent land uses. The table in Section IE of this Notebook lists the residential units broken down by development phase for all of SAP Central. PDP 7C is submitted with the concurrent FDP for architecture (see Section VI of the Notebook). PDP 1C, PDP 2C and PDP 4C are approved and built (homes are in process of being built). PDP 3C is the site of the Villebois Piazza, which is approved and built. PDP 5C, the site of Montague Park, and PDP 6C, row houses on the south west corner of SW Costa Circle West and SW Orleans Loop, are currently in the review process.

PARKS & OPEN SPACE

The Master Plan and SAP Central do not show any parks within the subject area. PDP 7C proposes the addition of 0.32 acres of linear greens including a wide pedestrian/bike tract through the middle of the block and smaller linear greens throughout the project. One of the smaller linear greens includes a large Pin Oak tree to be retained. A concurrent Final Development Plan (FDP) for the linear green parks is included with this submittal.

UTILITIES

Sanitary Sewer

The sanitary sewer system for Phase 7 Central is shown on the Composite Utility Plan in Section IIB of this Notebook. The Sanitary Sewer Master Plan shows this site draining to both the Tooze Main and the Barber Main via a gravity system portion of the site. The proposed sanitary sewer will be a gravity system that will redirect the entire site to the Tooze main. This main will then discharge to the Kinsman main via the connection installed in 2006. Sanitary sewer service can adequately be provided to this area in compliance with the Villebois Village Master Plan and the City's Wastewater Collection System Master Plan, as demonstrated in the Utility Analysis Memorandum prepared by Jessie King, PE (see Exhibit IIC).

Water

The proposed water system for Phase 7 Central is shown on the Composite Utility Plan in Section IIB of this Notebook. The proposed public water system will be an 8" system with some 6" lines for fire hydrant connections. The system will be looped throughout the development to maximize flows. Water service can adequately be provided to this area in compliance with the Villebois Village Master Plan and the City's Water System Master Plan.

Stormwater

The proposed site drains to the east to the Coffee Lake Creek drainage basin (CLC Basin). The City's Stormwater Master Plan for Coffee Lake Creek specifies that detention will not be required for the portion of Villebois Village that drains to the CLC Basin. Stormwater runoff will be collected by a series of catch basins leading to

an underground piping system previously constructed with the PDP 4C infrastructure. As shown within the attached plans (see Section IIB of this Notebook), the system will ultimately connect with the system in PDP 3E where the runoff will drain to an existing regional water quality facility. A Utility Analysis Memorandum prepared by Jessie King, PE (see Exhibit IIC) demonstrates that the proposed system will provide adequate sizing and treatment.

Rainwater

A Rainwater Management Plan is included with the Supporting Utility Reports in Section IIC of this Notebook. Rainwater management within PDP 7C will be provided through street trees and bio-retention cells located in landscape tracts and planter strips in rights-of-way, as shown within the attached plans (Section IIB of this Notebook).

CIRCULATION

The transportation infrastructure proposed for PDP 7 Central will provide convenient neighborhood circulation and a range of transportation options. The *Circulation Plan* (see Exhibit IIB) illustrates the circulation system within this Preliminary Development Plan area, including residential streets and private alleys. SW Mont Blanc Street is a private street designed consistent with the Woonerf Street Address and SW Villebois Drive North is designed consistent with the Villebois Drive Address. Mont Blanc Street is designed to be a space that can be equally shared by pedestrians, cyclists, and low-speed motor vehicles. Additionally, PDP 7C includes a Linear Green pathway connection through the middle of the block from SW Mont Blanc Street to SW Villebois Drive to improve pedestrian and bicycle connectivity.

PHASING

Construction of PDP 7C will be completed in one phase. PDP 7C is planned to be built later in 2015-2016.

V. REFINEMENTS TO SAP CENTRAL

The following sections of this Narrative describe the proposed refinements to SAP Central that are included in the PDP application. The narrative provided for this Preliminary Development Plan in Section IIA of the application notebook details how the proposed refinements will equally or better meet the following Goals, Policies and Implementation Measures of the Villebois Village Master Plan than the SAP Central plan.

CIRCULATION

The PDP includes a refinement to the street network approved with SAP Central. The proposed refinement eliminates the public street connection of SW Ravenna Loop through the PDP area, replacing this street connection with a Linear Green pathway connection through the block from SW Mont Blanc Street to SW Villebois Drive. The proposed refinement improves pedestrian and bicycle connectivity by providing a dedicated linear green space for connection north and south through the property

between Villebois Drive and Mont Blanc Street. Mont Blanc Street is designed as a private Woonerf street, “Woonerf” being a Dutch word meaning “living street.” Mont Blanc Street, as it comes through this PDP Area, is designed to be a space that can be equally shared by pedestrians, cyclists, and low-speed motor vehicles. The proposed north/south linear green space connecting Villebois Drive to this Woonerf street will increase the pedestrian and bicycle friendly nature of the area by providing additional dedicated pedestrian and bicycle connectivity.

LAND USES

The total density approved for the subject area in SAP Central is 40-70 units, all of which are grouped into the smaller land use group, and included 28-46 Row House lots and 12-24 Urban Apartment units. PDP 7C proposes 68 Row House units, within the approved density range. The refinement providing Row Homes instead of a mix of Row Homes and Urban Apartments reflects current market demand and city-wide goals of providing for a variety of home ownership options. Additionally, the provision of Row Homes will better meet the design intent of the “Woonerf Address” and “Villebois Drive Address” of the *Village Center Architectural Standards*.

The table below shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinement as well as the percent change in each aggregate land use category.

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/ Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	999	1,012	1.3%
Total	999	1,012	1.3%

NOTE: The Current Unit Count for SAP Central reflects the final approved unit counts for PDP 1C, PDP 2C, PDP 3C (Piazza), and PDP 4C and proposed unit counts for PDP 5C (Montague Park) and PDP 6C. Figures also account for recent Modifications to PDP 1C and PDP 2C.

The proposed refinements do not exceed the 10% standard. This proposal results in a total of 2,616 units within Villebois. This is above the density of 2,300 units required to be obtained across Villebois, meeting the refinement criteria.

PARKS & OPEN SPACE

The Villebois Village Master Plan and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP area. A new linear green connection has been added through the middle of the block, as well as several smaller linear greens throughout the project. A total of 0.23 acres of linear greens is added. The proposed refinement increases the amount of parks and open space while providing a

dedicated pedestrian and bicycle connection between Mont Blanc Street (the private “living street” designed roadway), and Villebois Drive.

UTILITIES

A comparison of the *Composite Utility Plan* of the proposed PDP (see Section IIB of this Notebook) with the *Utility Plan* in SAP Central (Volume II) shows that the proposed utility system is consistent. The only refinement proposed is to rainwater components, which have been updated in the context of an actual development proposal and is described below.

RAINWATER

The SAP Central Rainwater Management Plan includes the provision of pervious pavers along Villebois Drive North between SW Mont Blanc Street and SW Ravenna Lane. The applicant is requesting a refinement to the approved rainwater management plan for SAP Central to remove the pervious pavers in this section and replace that rainwater feature with bio retention cells along Villebois Drive.

VI. PROPOSAL SUMMARY & CONCLUSION

This ‘Introductory Narrative,’ in conjunction with the referenced sections, describes the proposed Preliminary Development Plan, Tentative Plat, Zone Change, Tree Preservation/Removal Plan, and Final Development Plan. The Supporting Compliance Reports located in Sections II through VII, respectively, support these requests for approval of the subject applications and demonstrate compliance with the applicable standards of the Wilsonville Planning and Land Development Ordinance.

IB) Ownership Documentation

CITY OF WILSONVILLE

29799 SW Town Center Loop East
Wilsonville, OR 97070
Phone: 503.682.4960
Fax: 503.682.7025

Web: www.ci.wilsonville.or.us

Pre-Application meeting date:

TO BE COMPLETED BY APPLICANT:

Please PRINT legibly

Planning Division Development Permit Application

Final action on development application or zone change is required within 120 days in accordance with provisions of ORS 227-175.

A pre application conference is normally required prior to submittal of an application. Please visit the City's website for submittal requirements.

Incomplete applications will not be scheduled for public hearing until all of the required materials are submitted.

Applicant:

Polygon WLH LLC (Fred Gast)

Address: 109 E 13th St. Vancouver, WA 98660

Phone: (503) 314-0807

Fax: (360) 693-4442

E-mail: fred.gast@polygonhomes.com

Property Owner:

RCS - Villebois Development, LLC

Address: 371 Centennial Pkwy. Louisville, CO

Phone: (503) 535-1615

Fax: (503) 466-4202

E-mail:

Authorized Representative:

Pacific Community Design (Stacy Connery)

Address: 12564 SW Main St. Tigard, OR 97223

Phone: (503) 941-9484

Fax: (503) 941-9485

E-mail: stacy@pacific-community.com

Applicant's
Property Owner's Signature:



Printed Name: _____ Date: _____

Applicant's Signature (if different from Property Owner):

Printed Name: Fred Gast Date: 4/21/15

Site Location and Description:

Project Address if Available: South Side of Villebois Drive, West of Orleans Ave along Mont Blanc Suite/Unit _____

Project Location: Lot 75 of Villebois Village Center No. 3

Tax Map #(s): 31W15AC Tax Lot #(s): 2700 County: Washington Clackamas

Request: PDP 7C (including SAP refinements, Tentative Plat, Zone Change, Tree Removal,

FDP for 68 Rowhome units.

Project Type: Class I Class II Class III

Residential Commercial Industrial Other (describe below)

Application Type:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Appeal | <input type="checkbox"/> Comp Plan Map Amend | <input type="checkbox"/> Conditional Use |
| <input type="checkbox"/> Final Plat | <input type="checkbox"/> Major Partition | <input type="checkbox"/> Minor Partition | <input type="checkbox"/> Parks Plan Review |
| <input type="checkbox"/> Plan Amendment | <input type="checkbox"/> Planned Development | <input checked="" type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Request to Modify Conditions |
| <input type="checkbox"/> Request for Special Meeting | <input type="checkbox"/> Request for Time Extension | <input type="checkbox"/> Signs | <input type="checkbox"/> Site Design Review |
| <input type="checkbox"/> SROZ/SRIR Review | <input type="checkbox"/> Staff Interpretation | <input type="checkbox"/> Stage I Master Plan | <input type="checkbox"/> Stage II Final Plan |
| <input checked="" type="checkbox"/> Type C Tree Removal Plan | <input type="checkbox"/> Tree Removal Permit (B or C) | <input type="checkbox"/> Temporary Use | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Villebois SAP | <input checked="" type="checkbox"/> Villebois PDP | <input checked="" type="checkbox"/> Villebois FDP | <input type="checkbox"/> Waiver |
| <input checked="" type="checkbox"/> Zone Map Amendment | <input type="checkbox"/> Other (SAP Refinements) | | |

CITY OF WILSONVILLE

29799 SW Town Center Loop East
Wilsonville, OR 97070
Phone: 503.682.4960
Fax: 503.682.7025

Web: www.ci.wilsonville.or.us

Pre-Application meeting date:

Planning Division Development Permit Application

Final action on development application or zone change is required within 120 days in accordance with provisions of ORS 227.175

A pre application conference is normally required prior to submittal of an application. Please visit the City's website for submittal requirements

Incomplete applications will not be scheduled for public hearing until all of the required materials are submitted.

TO BE COMPLETED BY APPLICANT:

Please PRINT legibly

Applicant:

Polygon WLH LLC (Fred Gast)

Address: 109 E 13th St. Vancouver, WA 98660

Phone: (503) 314-0807

Fax: (360) 693-4442

E-mail: fred.gast@polygonhomes.com

Authorized Representative:

Pacific Community Design (Stacy Connery)

Address: 12564 SW Main St. Tigard, OR 97223

Phone: (503) 941-9484

Fax: (503) 941-9485

E-mail: stacy@pacific-community.com

Property Owner:

RCS - Villebois Development, LLC

Address: 371 Centennial Pkwy. Louisville, CO

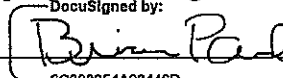
Phone: (503) 535-1615

Fax: (503) 466-4202

E-mail: _____

Property Owner's Signature:

DocuSigned by:



6C008354A93446D...

Printed Name: _____ Date: 4/16/2015

Applicant's Signature (if different from Property Owner):

Printed Name: _____ Date: _____

Site Location and Description:

Project Address if Available: South Side of Villebois Drive, West of Orleans Ave along Mont Blanc Suite/Unit _____

Project Location: Lot 75 of Villebois Village Center No. 3

Tax Map #(s): 31W15AC Tax Lot #(s): 2700 County: Washington Clackamas

Request: PDP 7C (including SAP refinements, Tentative Plat, Zone Change, Tree Removal,

FDP for 68 Rowhome units.

Project Type: Class I Class II Class III

Residential Commercial Industrial Other (describe below)

Application Type:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Appeal | <input type="checkbox"/> Comp Plan Map Amend | <input type="checkbox"/> Conditional Use |
| <input type="checkbox"/> Final Plat | <input type="checkbox"/> Major Partition | <input type="checkbox"/> Minor Partition | <input type="checkbox"/> Parks Plan Review |
| <input type="checkbox"/> Plan Amendment | <input type="checkbox"/> Planned Development | <input checked="" type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Request to Modify Conditions |
| <input type="checkbox"/> Request for Special Meeting | <input type="checkbox"/> Request for Time Extension | <input type="checkbox"/> Signs | <input type="checkbox"/> Site Design Review |
| <input type="checkbox"/> SROZ/SRIR Review | <input type="checkbox"/> Staff Interpretation | <input type="checkbox"/> Stage I Master Plan | <input type="checkbox"/> Stage II Final Plan |
| <input checked="" type="checkbox"/> Type C Tree Removal Plan | <input type="checkbox"/> Tree Removal Permit (B or C) | <input type="checkbox"/> Temporary Use | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Villebois SAP | <input checked="" type="checkbox"/> Villebois PDP | <input checked="" type="checkbox"/> Villebois FDP | <input type="checkbox"/> Waiver |
| <input checked="" type="checkbox"/> Zone Map Amendment | <input checked="" type="checkbox"/> Other (SAP Refinements) | | |

Omitted

IC) Fee Calculation/ Copy of Check

Omitted

ID) Mailing List

IE) Updated SAP Central Phasing & Unit Counts

Villebois (updated 4/15/15)

Land Use Table

LAND USE	SAP NORTH	SAP SOUTH	SAP EAST	SAP CENTRAL	TOTAL
Estate	22	0	0	0	22
Large	43	104	0	0	147
Standard	20	68	49	0	137
Medium	89	127	112	0	328
subtotal	174	299	161	0	634
Small Detached	214	158	226	8	606
Small Attached / Cottage	49	0	147	9	205
Rowhouse	0	103	42	203	348
Nbhd Apartments	10	21	0	0	31
Village Apartments	0	0	0	385	385
Condos	0	0	0	46	46
Urban Apartments	0	0	0	130	130
Mixed Use Condos	0	0	0	104	104
Specialty Condos	0	0	0	127	127
subtotal	273	282	415	1,012	1,982
TOTAL UNITS	447	581	576	1,012	2,616

SAP Central (updated 04/15/15)

LAND USE	Proposed***											Total		
	Existing Count	SAP CENTRAL	PDP 1C*	PDP 2C**	PDP 4C	PDP 6C	7C	8C	9C	10C	11C		12C	13C
Estate	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Large	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Standard	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Medium	0	0	0	0	0	0	0	0	0	0	0	0	0	0
subtotal	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Small Detached	8	0	0	8	0	0	0	0	0	0	0	0	0	8
Small Attached/Cottage	9	0	0	9	0	0	0	0	0	0	0	0	0	9
Rowhouse	172	56	13	40	31	68	0	0	0	0	0	0	0	208
Village Apartments	385	304	52	0	0	0	(4-8)	(6-14)	0	0	0	(66-98)	0	356 + (76-120)
Condos	46	3	0	0	0	0	0	0	0	(13-26)	(24-36)	0	0	3 + (52-92)
Urban Apartments	148	0	58	0	0	0	(10-18)	0	0	0	(18-32)	0	0	58 + (28-50)
Mixed Use Condos	104	(8-12)	(24-30)	0	0	0	0	0	0	0	0	0	(24-96)	(56-138)
Specialty Condos	127	0	0	0	0	0	(40-70)	(34-60)	0	0	0	0	0	(74-130)
subtotal	999	363+(8-12)	123 + (24-30)	57	31	68	(54-96)	(40-74)	(15-30)	(13-26)	(42-68)	(66-98)	(24-96)	642+ (286-530)
TOTAL UNITS	999							928 - 1,172						

(#-) indicates range approved with either PDP or SAP, but no building or refined unit count yet defined

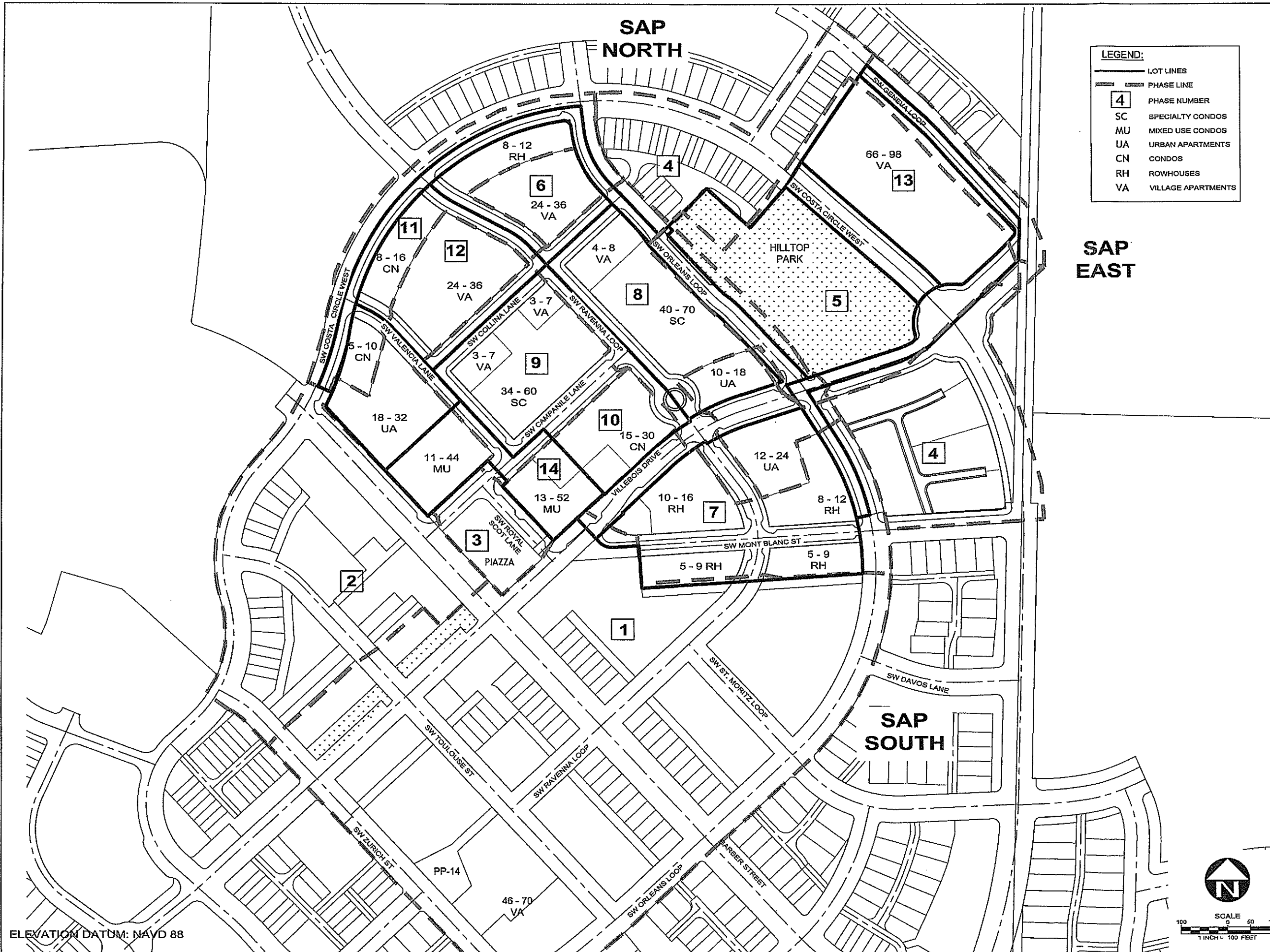
* PDP 1C Approved & Built; FDP's Approved for The Alexan - 274 Apts (built), 39 RH w/ Polygon 2013 MOD (31 built), 3 Carvalho Condos (built), and 30 Rainwater Garden Apts (built) + 2014 PDP Mod to change 30 condos to 18 RH & 8 RH to 7 RH

**PDP 2C Approved & Built; FDP's Approved for The Chariston - 52 Apts (built), 13 RH w/ Polygon MOD (built), Carvalho Carriage Homes - 6 Apts approved 2014 (0 built) + 2014 PDP Mod to change 39 Condo's (Trafalgar Flats) to 49 Urban Apts + 3 Condo's (Carriage Homes) to 3 Urban Apts

***PDP 3C = Piazza & PDP 5C = Montague Park; no residential density (not included in table); PDP 6C request is in review under separate application

LAND USE	Proposed Count	SAP CENTRAL
Estate	0	
Large	0	
Standard	0	
Medium	0	
subtotal	0	
Small Detached	8	
Small Attached/Cottage	9	
Rowhouse	203	
Nbhd Apartments	0	
Village Apartments	385	
Condos	46	
Urban Apartments	130	
Mixed Use Condos	104	
Specialty Condos	127	
subtotal	1,012	
TOTAL UNITS	1,012	

N:\proj\395-059\07 Drawings\03 Planning\Sheets - Planning\Submittal\395059\PHASE.dwg - SHEET: 2264 Mar. 18, 15 - 9:42 AM, JK



ELEVATION DATUM: NAVD 88

LEGEND:

	LOT LINES
	PHASE LINE
4	PHASE NUMBER
SC	SPECIALTY CONDOS
MU	MIXED USE CONDOS
UA	URBAN APARTMENTS
CN	CONDOS
RH	ROWHOUSES
VA	VILLAGE APARTMENTS



Villebois



POLYGON NW COMPANY



Pacific Community Design
OTTEN LANDSCAPE ARCHITECTS, INC.
GEODESIGN, INC.

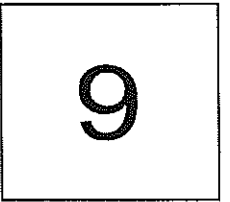
REVISIONS	
DATE	DESCRIPTION

PDP 6C/FDP
VILLEBOIS
ROW HOMES

Preliminary Development
Plan
&
Final Development Plan

SAP CENTRAL
PHASING PLAN
UPDATE

1ST SUBMITTAL DATE 3/23/2015



SCALE
0 60 100
1 INCH = 100 FEET

Section II

Preliminary Development Plan

IIA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
PRELIMINARY DEVELOPMENT PLAN 7 - CENTRAL**

SECTION IIA

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.125 VILLAGE (V) ZONE	2
	(.02) PERMITTED USES	2
	(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE	2
	(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING ...	5
	(.08) OPEN SPACE	6
	(.09) STREET & ACCESS IMPROVEMENT STANDARDS	7
	(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS	10
	(.11) LANDSCAPING, SCREENING AND BUFFERING	10
	(.12) MASTER SIGNAGE AND WAYFINDING	11
	(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE	11
	(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS	13
	COMMUNITY ELEMENTS BOOK	29
	MASTER SIGNAGE AND WAYFINDING PLAN	34
	RAINWATER PROGRAM	34
	SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE.....	35
	SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS	35
	SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES	38
	SECTION 4.172 FLOOD PLAIN REGULATIONS	41
	SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING	41
	SECTION 4.177 STREET IMPROVEMENT STANDARDS	41
	SECTION 4.178 SIDEWALK & PATHWAY STANDARDS	41
	SECTION 4.610.40 TYPE C PERMIT	42
II.	PROPOSAL SUMMARY & CONCLUSION	42

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125 VILLAGE (V) ZONE

(.02) PERMITTED USES

Examples of principle uses that are typically permitted:

- D. Row Houses
- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owners association.

(.03) PERMITTED ACCESSORY USES

- B. Home Occupations

SECTION 4.001 DEFINITIONS

123. Home Occupation: “Home Occupation” means an occupation, profession, or craft, which is customarily incidental to or carried on in a dwelling place or premises and not one in which the use of the premises as a dwelling place is largely incidental to the business use. A home occupation is carried on by an immediate member of the family residing within the dwelling place. A home occupation shall require no structural alteration or changes to the exterior of the dwelling, and shall include no display of merchandise on the premises which can be seen from the exterior of the dwelling. Any instruction shall be limited to one pupil at a time. Noise, odor, smoke, gases, fallout, vibration, heat or glare resulting from the use shall not be of the intensity as to be detected outside of the containing structure. Traffic and parking are to be such as to give no outward appearance that a business is being conducted on the premises.

Response: This Preliminary Development Plan (PDP) application proposes to create 68 lots for development of row houses, 1 lot for future development (mixed use building), as well as tracts for access ways and linear greens. The Brownstone style Row Houses are designed to accommodate “Home Occupation” use on the ground floor. All proposed uses within the subject PDP are permitted pursuant to this section.

(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE

All development in this zone shall be subject to the V Zone and the applicable provisions of the Wilsonville Planning and Land Development Ordinance. If there is a conflict, then the standards of this section shall apply. The following standards shall apply to all development in the V zone:

- A. Block, Alley, Pedestrian and Bicycle Standards:
 - 1. Maximum Block Perimeter: 1,800 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent a block perimeter from meeting this standard.

Response: The block perimeter bound by Villebois Drive, Mont Blanc Street and Orleans Avenue measures 1,628 feet in compliance with this standard.

2. **Maximum spacing between streets for local access: 530 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent street extensions from meeting this standard.**
3. **If the maximum spacing for streets for local access exceeds 530 feet, intervening pedestrian and bicycle access shall be provided, with a maximum spacing of 330 feet from those local streets, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent pedestrian and bicycle facility extensions from meeting this standard.**

Response: The spacing between Villebois Drive and Orleans Avenue measures 541 feet, exceeding the maximum block spacing for local street access as specified in this code section. The plan is providing for a linear green pathway through the middle of the site, extending from the termination of Ravenna Lane (formerly Ravenna Loop), north through the row home lots connecting to Villebois Drive. This linear green will provide bicycle and pedestrian access north and south through the site, connecting Mont Blanc Street, the private pedestrian and bicycle-oriented curbsless street, to Villebois Drive to the north and Ravenna Lane to the south. The linear green trace is less than 330 feet from the Villebois Drive and Orleans Avenue, in compliance with this standard.

- B. **Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.**

Response: All of the row houses within this development will take access from an alley to a garage or parking area.

- C. **Trailers, travel trailers, mobile coaches, or any altered variation thereof shall not be used for the purpose of conducting a trade or calling, or for storage of material, unless approved for such purpose as a temporary use.**

Response: No trailers, travel trailers, mobile coaches, or such vehicles will be used for the purpose of conducting a trade or calling or for the storage of material unless approved as a temporary use.

D. Fences:

1. General Provisions:

- a. **Fencing within the Village Zone shall be in compliance with the Master Fencing Program in the adopted Architectural Pattern Book for the appropriate SAP.**

- b. When two or more properties with different setbacks abut, the property with the largest front yard setback requirement shall be used to determine the length and height of the shared side yard fence, as required by section 4.125 above.
- c. The development Review Board may, in their discretion, require such fencing as deemed necessary to promote and provide traffic safety, noise mitigation, and nuisance abatement, and the compatibility of different uses permitted on adjacent lots of the same zone and on adjacent lots of different zones.

2. Residential:

- a. The maximum height of any fence located in the required front yard of a residential development shall not exceed three (3) feet.
- b. Fences on residential lots shall not include chain link, barbed wire, razor wire, electrically charged wire, or be constructed of sheathing material such as plywood or flake board. Fences in residential areas that protect wetlands, or other sensitive areas, may be chain link.

Response The SAP Central Master Fencing Plan does not indicate any required community fencing within the subject PDP. The *Village Center Architectural Standards (VCAS)* indicate that fencing is optional and when provided should be consistent with the architecture. The London row homes will include front yard courtyards which include fencing for ground level courtyards in accordance with the architectural style and will adhere to applicable setbacks for fencing (see also FDP compliance report in Section VIA).

E. Recreational Area in Multi-Family Residential and Mixed Use Developments

Response: The proposed PDP includes lots for the development of single family residential homes and 1 lot for future development of a mixed use building; therefore this standard does not apply.

F. Fire Protection:

- 1. All structures shall include a rated fire suppression system (i.e., sprinklers), as approved by the Fire Marshal

Response: All of the homes within the proposed PDP area will include appropriate fire suppression systems. This will be verified with review of future building permit applications.

Table V-1 Development Standards

Table V-1: Development Standards												
Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width (%age)	Max. Bldg. Height (ft.)	Front Min. (ft.)	Setbacks ^{10, 13, 18}			Alley-Loaded Garage (note)	Street-Loaded Garage (note)
								Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)		
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ¹	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹¹	NR	NR	NR	1	80	45	5 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ³	15	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5,6}	20 ⁵	5	5 ¹²	7	8,17,18
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{5,6}	20 ⁵	5	5 ¹²	7	8,17,18

Notes: NR - No Requirement
 NA - Not Allowed
 1 Lot < 8000sf: NR, Lot >8000sf: 80% (Max. Lot Coverage)
 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
 5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
 6 For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
 7 The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main façade of the associated dwelling unit.
 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
 10 For Village Center buildings with lots fronting two or more streets, at least two façades shall be subject to the minimum frontage width and front setback requirements.
 11 Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
 12 See Definitions, 4.125.01, for measurement of Minimum Frontage Width.
 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.
 15 On Estate Lots and Large Lots with frontage 70 ft. or wider, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.
 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
 17 Dwellings on lots without alley access shall be at least 36 feet wide.
 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
 20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book. [Table V-1 amended by Ord. 667 on 8/17/09, Ord. 682, 9/9/10]

Response: The *Tentative Plat* (see Section IIB in this Notebook) depicts proposed lot sizes and dimensions. All of the lots meet applicable requirements, as addressed below. All of the lots except lot 175 will be developed with single family attached row houses, with no more than ten contiguous units along a street edge. Table V-1 does not indicate a minimum lot size, width or depth for Row Houses in the Village Center. The proposed PDP 7C does not have any lots >8,000 sf, so no maximum lot coverage applies. Row house lots will have a frontage width greater than 80%, except as allowed by footnote 11 of Table V-1 (see FDP compliance report in Section VIA for further information). Row Houses will not have building heights greater than 45 ft, and will have front setbacks between 5-10 ft, except as allowed under footnote 4 above. No additional standards from Table V-1 apply.

(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING

Except as required by Subsections (A) through (D), below, the requirements of Section 4.155 shall apply within the village zone.

A. General Provisions:

1. The provision and maintenance of off-street parking spaces is a continuing obligation of the property owner. The standards set forth herein shall be considered by the Development Review Board as minimum criteria.

2. The Board shall have the authority to grant variances or refinements to these standards in keeping with the purposes and objectives set forth in this zone.

Response: The applicant acknowledges that the provision and maintenance of off-street parking is the continuing obligation of the property owner. There are no variances or refinements to the standards of this section proposed with this application.

B. Minimum and Maximum Off-Street Parking Requirements:

1. Table V-2, Off-Street Parking Requirements, below, shall be used to determine the minimum and maximum parking standards for noted land uses. The number of required parking spaces shown in Table V-2 shall be determined by rounding to the nearest whole parking space...

Table V-2: Off-Street Parking Requirements

Category	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short Term	Bicycle Long Term
Row Houses	1.0 / DU	NR	NR	NR

Response: Each of the row homes will provide a minimum of a one-car garage in compliance with this standard.

C. Minimum Off-Street Loading Requirements:

Response: The proposed PDP includes lots for development of single family homes; therefore no loading areas are required.

D. Bicycle Parking Requirements:

Response: The proposed PDP includes single family row house units. There is no bicycle parking requirement for these unit types, as noted in *Table V-2* above, therefore these standards do not apply.

(.08) OPEN SPACE

Open space shall be provided as follows:

- A. In all residential developments and in mixed-use developments where the majority of the developed square footage is to be in residential use, at least twenty-five percent (25%) of the area shall be open space, excluding street pavement and surface parking. In multi-phased developments, individual phases are not required to meet the 25% standard as long as an approved Specific Area Plan demonstrates that the overall development shall provide a minimum of 25% open space. Required front yard areas shall not be counted towards the required open space area. Required rear yard areas and

other landscaped areas that are not within required front or side yards may be counted as part of the required open space.

- B. Open space area required by this Section may, at the discretion of the Development Review Board, be protected by a conservation easement or dedicated to the City, either rights in fee or easement, without altering the density or other development standards of the proposed development. Provided that, if the dedication is for public park purposes, the size and amount of the proposed dedication shall meet the criteria of the City of Wilsonville standards. The square footage of any land, whether dedicated or not, which is used for open space shall be deemed a part of the development site for the purpose of computing density or allowable lot coverage. See SROZ provisions, Section 4.139.10.
- C. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review and approve any pertinent bylaws, covenants, or agreements prior to recordation.

Response: The Parks *Master Plan* for Villebois states that there are 57.87 acres of parks and 101.46 acres of open space for a total of 159.33 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent with the *Master Plan*. PDP 7C includes parks with the inclusion of the proposed linear green areas, not shown in the *Villebois Village Master Plan* for this area, thereby increasing park areas. This proposal provides more park areas than originally included in this phase.

(.09) STREET & ACCESS IMPROVEMENT STANDARDS

- A. Except as noted below, the provisions of Section 4.177 apply within the Village zone:
 - 1. Generally:
 - a) All street alignment and access improvements shall conform to the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan and the following standards:

Response: The street alignments and access improvements within this PDP are consistent with those approved in the *Villebois Village Master Plan* and SAP Central, however the extension of Ravenna Lane (formerly Ravenna Loop) through the site connecting to Villebois Drive has been removed and replaced with a linear green space for use by pedestrians and bicycles. This change is requested as a PDP refinement to SAP Central.

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed

developments to adjoining properties or subdivisions, according to the Master Plan.

Response: All street improvements within this PDP will comply with the applicable Public Works Standards. The street system within this PDP is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Circulation Plan* (see Section IIB of this Notebook).

- ii. All streets shall be developed with curbs, landscape strips, bikeways or pedestrian pathways, according to the Master Plan.

Response: All public streets within this PDP will be developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways as depicted on the *Circulation Plan* (Section IIB of this Notebook) and in accordance with the *Master Plan*.

2. Intersections of streets

- a) **Angles:** Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.
- b) **Intersections:** If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety (90) degrees shall require approval by the City Engineer after consultation with the Fire District.

Response: The plan sheets located in Section IIB of this Notebook demonstrate that all proposed streets will intersect at angles consistent with the above standards (see the *Tentative Plat* in Section IIB).

- c) **Offsets:** Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:
 - i. 1000 ft. for major arterials
 - ii. 600 ft. for minor arterials
 - iii. 100 ft. for major collector
 - iv. 50 ft. for minor collector

Response: The plan sheets located in Section IIB of this Notebook demonstrate that opposing intersections on public streets are offset, as appropriate, so that no danger to the traveling public is created (see the *Tentative Plat* in Section IIB).

- d) **Curb Extensions:**
 - i. Curb extensions at intersections shall be shown on the Specific Area Plans required in subsection 4.125(.18)(C) through (F) below, and shall:

- Not obstruct bicycle lanes on collector streets.
- Provide a minimum 20 foot wide clear distance between curb extensions all local residential street intersections shall have, shall meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.

Response: Curb extensions are shown on the *Circulation Plan* (see Section IIB). Curb extensions will not obstruct bicycle lanes on collector streets, as the subject property is not adjacent to collector streets. The attached drawings illustrate that all street intersections will have a minimum 20 foot wide clear distance between curb extensions on all local residential street intersections.

3. Street grades shall be a maximum of 6% on arterials and 8% for collector and local streets. Where topographic conditions dictate, grades in excess of 8%, but not more than 12%, may be permitted for short distances, as approved by the City Engineer, where topographic conditions or existing improvements warrant modification of these standards.

Response: The *Grading & Erosion Control Plan* located in Section IIB, demonstrates that proposed streets can comply with this standard.

4. Centerline Radius Street Curves:

The minimum centerline radius street curves shall be as follows:

- a) Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by City Engineer.
- b) Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.
- c) Local streets: 75 feet

Response: The *Tentative Plat* (see Section IIB) demonstrates that all streets will comply with the above standards.

5. Rights-of-way:

- a) See (.09) (A), above.

Response: Proposed rights-of-way are shown on the plan sheets located in Section IIB of this Notebook. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with recordation of a final plat in accordance with Section 4.177.

6. Access drives.
 - a) See (.09) (A), above.
 - b) 16 feet for two-way traffic.

Response: Access drives (alleys) will be paved at least 16-feet in width within a 20-foot tract, as shown on the *Circulation Plan*. In accordance with Section 4.177, all access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

7. Clear Vision Areas
 - a) See (.09) (A), above.

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177.

8. Vertical clearance:
 - a) See (.09) (A), above.

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177.

9. Interim Improvement Standard:
 - a) See (.09) (A), above.

Response: Interim improvements along Villebois Drive will provide for adequate street access until the adjacent properties on the opposite side are developed, as shown on the attached Circulation Plan (see Section IIB).

(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS

- A. The provisions of Section 4.178 shall apply within the Village zone.

Response: All sidewalks and pathways within PDP7C will be constructed in accordance with the standards of Section 4.178 and the *Villebois Village Master Plan*. Sidewalks and pathways are shown in the street cross-sections on the *Circulation Plan* (see Section IIB of this notebook).

(.11) LANDSCAPING, SCREENING AND BUFFERING

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:
 1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The *Street Tree/Lighting Plan* shows the street trees proposed within this PDP. The trees are in conformance with the Community Elements Book.

(.12) MASTER SIGNAGE AND WAYFINDING

Response: The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central *Signage & Wayfinding Plan*.

(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. Generally:
 - a. Flag lots are not permitted.

Response: No flag lots are proposed (see the *Tentative Plat* in Section IIB of this Notebook).

- b. Dwellings on lots without alley access shall be at least 36 feet wide.

Response: No lots without alley access are proposed in this PDP.

- c. The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.

Response: None of the lots include accessory dwellings; therefore this standard does not apply.

- d. For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.

Response: All lots in this PDP are in the Village Center. For lots facing two or more streets (lots 11, 12, 21, 58), the two street-facing facades will meet the minimum frontage width requirement.

2. Building and site design shall include:
 - a. Proportions and massing of architectural elements consistent with those established in an approved Pattern Book or Village Center Design.
 - b. Materials, colors and architectural details executed in a manner consistent with the methods included in an

approved Pattern Book, Community Elements Book or approved Village Center Architectural Standards.

Response: Compliance with the *Village Center Architectural Standards* is demonstrated with the FDP in Section VI of this Notebook. Compliance with the Community Elements Book is demonstrated later in this report and within the FDP compliance report in Section VIA.

- c. Protective overhangs or recesses at windows and doors.
- d. Raised stoops, terraces or porches at single-family dwellings.
- e. Exposed gutters, scuppers, and downspouts.

Response: As shown in the architectural drawings in the FDP (see Section VI of this Notebook), the buildings proposed in the FDP will include protective overhangs and recesses at windows and doors and exposed gutters and downspouts. The row homes each include a raised stoop or terrace at the front entrance.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: There are 23 existing trees in this PDP area. As described in the Tree Report attached in Section VB of the Notebook and the Tree Removal Plan compliance report in Section VA, the site contains nine (9) trees in poor condition, eight (8) of which will be removed and one (1) of which will be protected off-site. The site contains nine (9) trees in moderate condition, all of which will be removed. The site contains three (3) trees in good condition, one (1) of which will be retained with the other two (2) to be removed. The site contains two (2) trees assigned as important condition, both of which will be retained. The Tree Preservation Plan in Section VC shows the existing trees to be retained and removed on site.

- g. A landscape plan in compliance with Section (.11), above.

Response: The FDP plans (see Section VIB) comply with the requirements of Sections 4.125(.07) and (.11).

- h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.
- i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.

Response: A block complex is defined as “an assemblage of buildings bounded entirely by intersecting streets so as to form a single, comprehensive group.” The elevations fronting along Mont Blanc Street from Villebois Drive to Orleans Avenue are Brownstone style row homes. Mont Blanc Street is within the “Woonerf Address” in the *Village Center Architectural Standards*. This address emphasizes consistency of massing, façade design and materials. In order to provide consistent design along this address, Brownstone row homes are proposed on the east and west side of Ravenna Lane on the south side and east and west of the linear green tract on the north side

of Mont Blanc. This provides a consistency of style along the Woonerf address, giving a distinctive style and sense of place to strengthen the uniqueness of this outdoor room as it transitions to the urban Village Center Plaza.

The London row houses are proposed north of the Brownstone units and are located along Villebois Drive, along Orleans Avenue and fronting on the linear green. The row homes along Villebois Drive are within the “Villebois Drive Address” of the *Village Center Architectural Standards*. These standards describe an intent to strengthen Villebois Drive as a public room by establishing a consistency in façade heights and roof forms. The London style row home elevations provided along Villebois Drive are within the same block complex and the consistency defines the area as it transitions from the residential neighborhood to the west and north of the site into the Village Center. Densities increase towards and closer to the core of the Village Center (the mixed use area surrounding the Piazza). Row Homes on the subject block provide for an appropriate transitional density and building massing and height at the outer edge approaching the core of the Village Center.

- j. **A porch shall have no more than three walls.**

Response: As shown on the architectural drawings in Section VIB of this Notebook, no porches are provided that would have more than 3 walls.

- k. **A garage shall provide enclosure for the storage of no more than three vehicles.**

Response: As shown on the architectural drawings in Section VIB, each garage will provide storage for no more than three vehicles.

- 3. **Lighting and site furnishings shall be in compliance with the approved Community Elements Book.**

Response: The FDP application in Section VI of the Notebook shows site furnishings within the Linear Green tract. The *Street Tree/Lighting Plan* (see Section IIB) shows proposed street trees and lighting for this Preliminary Development Plan. These plans illustrate that lighting and site furnishings will be provided in compliance with the Community Elements Book.

- 4. **Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein.**

Response: An FDP application for approval of the row home architecture has been submitted concurrent with this PDP application. This FDP application demonstrates compliance with the criteria of *Table V-3 and V-4 - Permitted Materials and Configurations* and the *Village Center Architectural Standards* (see Section VI).

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

- B. **Unique Features and Processes of the Village (V) Zone.** To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural,

landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:

2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Section 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a zone change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists.

Final Development (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.

Response: The Applicant is requesting approval of a Preliminary Development Plan (PDP). Compliance with Sections 4.125(.18)(G) through (K) is demonstrated in the following sections of this report. This PDP addresses Phase 7 on the amended SAP Central Phasing Plan, as amended by prior application.

A request for preliminary approval of a tentative subdivision plat is submitted concurrent with this PDP application (see Section III of this Notebook). A request for a zone change to Village (V) zone is also submitted concurrent with this PDP application (see Section IV of this Notebook). A Final Development Plan is also submitted concurrent with this PDP (see Section VI of this Notebook).

G. Preliminary Development Plan Approval Process:

1. An application for approval of a Preliminary Development Plan for a development in an approved SAP shall:
 - a) Be filed with the City Planning Division for the entire SAP, or when submission of the SAP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.

Response: This PDP addresses Phase 7 on the SAP Central Phasing Plan, as amended by prior application.

- b) Be made by the owner of all affected property or the owner's authorized agent; and.

Response: This application is made by Polygon WLH, LLC, with authorization of the property owner (RCS - Villebois Development, LLC), who has signed the application form. The application form can be found in Exhibit IB along with documents of ownership.

- c) **Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution; and.**

Response: The appropriate application form and fee have been filed with this submittal. A copy of the form and fee are included in Sections IB and IC, respectively.

- d) **Set forth the professional coordinator and professional design team for the project; and.**

Response: The professional coordinator and professional design team are set forth in the Introductory Narrative, located in Section IA of this Notebook.

- e) **State whether the development will include mixed land uses, and if so, what uses and in what proportions and locations.**

Response: This PDP does not include mixed land uses. The proposed land uses are shown on the *Site/Land Use Plan*, in Section IIB of this Notebook.

- f) **Include a preliminary land division (concurrently) per Section 4.400, as applicable.**

Response: This application includes a request for preliminary land division approval. This request for approval of a Tentative Plat can be seen in Section III of this Notebook. This section includes a Supporting Compliance Report, the proposed Tentative Plat, draft CC&R's, a copy of the certification of liens & assessments form, and the subdivision name approval from the County Surveyor's Office.

- g) **Include a concurrent application for a Zone Map Amendment (i.e., Zone Change) for the subject phase.**

Response: This application includes a request for a zone map amendment to zone the subject Preliminary Development Plan area Village (V). This zone change request can be seen in Section IV of this Notebook. This section includes a Supporting Compliance Report, a Zone Change Map, and a legal description & sketch of the proposed zone change area.

- 2. **The application for Preliminary Development Plan approval shall include conceptual and quantitatively accurate representations of the entire development sufficient to demonstrate conformance with the approved SAP and to judge the scope, size and impact of the development on the community and shall be accompanied by the following information:**

- a) **A boundary survey or a certified boundary description by a surveyor licensed in the State of Oregon.**
- b) **Topographic information sufficient to determine direction and percentage of slopes, drainage patterns, and in environmentally sensitive areas, (e.g., flood plain, wetlands, forested areas, steep slopes or**

adjacent to stream banks). Contour lines shall relate to North American Vertical Datum of 1988 and be at minimum intervals as follows:

- i) One (1) foot contours for slopes of up to five percent (5%);
 - ii) Two (2) foot contours for slopes from six percent (6%) to twelve (12%);
 - iii) Five (5) foot contours for slopes from twelve percent (12%) to twenty percent (20%). These slopes shall be clearly identified, and
 - iv) Ten (10) foot contours for slopes exceeding twenty percent (20%).
- c) The location of areas designated Significant Resource Overlay Zone (SROZ), and associated 25-foot Impact Areas, within the PDP and within 50 feet of the PDP boundary, as required by Section 4.139.

Response: A certified boundary description by a surveyor licensed in the State of Oregon is provided as the legal description and sketch for the zone map amendment (see Section IVC of this Notebook). Topographic information in accordance with Section 4.125(.18)G.2.b. is shown on the *Existing Conditions*, located in Section IIB of this Notebook. The site does not include any designated SROZ areas.

- d) A tabulation of the land area to be devoted to various uses, and a calculation of the average residential density per net acre.

Response: Following is a tabulation of land area devoted to the various uses and a calculation of net residential density:

LAND AREA TABLE:

TOTAL AREA:	3.44 AC
PUBLIC STREETS:	0.10 AC
PRIVATE STREETS:	0.59 AC
LINEAR GREEN SPACE:	0.32 AC
LOTS & ALLEYS:	2.32 AC
FUTURE DEVELOPMENT LOTS:	0.11 AC
AVG. DENSITY PER NET ACRE:	
68 / 2.32 =	29.31 UNITS / AC

- e) The location, dimensions and names, as appropriate, of existing and platted streets and alleys on and within 50 feet of the perimeter of the PDP, together with the location of existing and planned easements, sidewalks, bike routes and bikeways, trails, and the location of other important features such as section lines, section corners, and City boundary lines. The plan shall also

identify all trees 6 inches and greater d.b.h. on the project site only.

Response: The above information is shown on the *Existing Conditions*, the *Tentative Plat*, and the *Circulation Plan*. The *Tree Preservation Plan* identifies all trees 6 inches and greater diameter at breast height (d.b.h.) on the project site. Tree numbers are identified on the Tree Preservation Plan Sheets which correspond with the Tree Inventory in the Tree Report (see Section VB). The plan sheets mentioned above can be found in Section IIB of this Notebook.

- f) **Conceptual drawings, illustrations and building elevations for each of the listed housing products and typical non-residential and mixed-use buildings to be constructed within the Preliminary Development Plan boundary, as identified in the approved SAP, and where required, the approved Village Center Design.**

Response: The proposed PDP includes Row House units, which are attached single-family homes. A concurrent application for the FDP for architecture is included in Section VI. The proposed elevations can be found in Exhibit VIC.

- g) **A composite utility plan illustrating existing and proposed water, sanitary sewer, and storm drainage facilities necessary to serve the SAP.**

Response: Proposed storm drainage facilities, and water and sanitary lines are shown on the *Composite Utility Plan* (see Section IIB in this Notebook).

- h) **If it is proposed that the Preliminary Development Plan will be executed in Phases, the sequence thereof shall be provided.**

Response: The PDP is proposed to be executed in one phase.

- i) **A commitment by the applicant to provide a performance bond or other acceptable security for the capital improvements required by the project.**

Response: The applicant will provide a performance bond or other acceptable security for the capital improvements required by the project.

- j) **At the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the SAP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire SAP, and it shall meet Subsection 4.140(.09)(J)(2).**

Response: A copy of the Traffic Impact Analysis is provided in Section IID.

H. PDP Application Submittal Requirements:

1. The Preliminary Development Plan shall conform with the approved Specific Area Plan, and shall include all information required by (.18)(D)(1) and (2), plus the following:
 - a) The location of water, sewerage and drainage facilities;
 - b) Conceptual building and landscape plans and elevations, sufficient to indicate the general character of the development;
 - c) The general type and location of signs;
 - d) Topographic information as set forth in Section 4.035;
 - e) A map indicating the types and locations of all proposed uses; and
 - f) A grading and erosion control plan illustrating existing and proposed contours as prescribed previously in this section.

Response: The proposed PDP generally conforms to the approved SAP Central, with the proposed refinements described in the following sections of this report. As demonstrated above, the PDP application includes all information required by 4.125(.18)(D)(1) and (2), as applicable to a PDP. The *Existing Conditions* shows the existing site features, including topographic features. Proposed lots to be created for development are shown on the *Tentative Plat*. The *Grading and Erosion Control Plan* shows the location of drainage facilities, topographic information, and a grading and erosion control facilities. The *Composite Utility Plan* indicates the proposed location of water and sanitary sewer lines and drainage facilities. The *Site/Land Use Plan* indicates the types and locations of all proposed uses in the Preliminary Development Plan. The plan sheets mentioned above can be found in Section IIB of this Notebook.

Landscape plans for the park areas are located with the FDP application materials in Section VI of the Notebook. No signs are proposed at this time, as the SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

The proposed PDP includes Row House units, which are attached single-family homes. Elevations for the row homes within the PDP are included in Exhibit VIC, along with a concurrent request for FDP approval of the architecture.

2. In addition to this information, and unless waived by the City's Community Development Director as enabled by Section 4.008(.02))B), at the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the PDP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire PDP, and it shall meet Subsection 4.140(.09)(J)(2) for the full development of all five SAPs.

Response: A copy of the Traffic Impact Analysis is provided in Section IID.

3. The Preliminary Development Plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the phase of development. However, approval of a Final Development Plan is a separate and more detailed review of proposed design features, subject to the standards of Section 4.125(.18)(L) through (P), and Section 4.400 through Section 4.450.

Response: The plan sheets for the proposed Preliminary Development Plan provide sufficient detail to show the ultimate operation and appearance of the subject phase of development. The FDP application for design of the row home architecture and park areas within the PDP area is submitted concurrent with this application (see Section VI of this Notebook).

4. Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner's association, shall also be submitted.

Response: Copies of legal documents will be provided as appropriate and required by the Development Review Board.

I. PDP Approval Procedures

1. An application for PDP approval shall be reviewed using the following procedures:
 - a) Notice of a public hearing before the Development Review Board regarding a proposed PDP shall be made in accordance with the procedures contained in Section 4.012.
 - b) A public hearing shall be held on each such application as provided in Section 4.013.
 - c) After such hearing, the Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.

Response: In accordance with the procedures contained in Section 4.012, the City shall provide notice of a public hearing before the Development Review Board on the proposed Preliminary Development Plan. This report, in conjunction with all submitted information, demonstrates that the proposal conforms to the applicable permit criteria set forth in the City's Code.

J. PDP Refinements to Approved Specific Area Plan

1. In the process of reviewing a PDP for consistency with the approved Specific Area Plan, the Development Review Board may approve refinements, but not amendments, to the SAP.

Refinements to the SAP may be approved by the Development Review Board as set forth in Section (.18)(J)(2), below.

a) Refinements to the SAP are defined as:

- i. Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.

Response: The PDP includes a refinement to the street network approved with SAP Central. The proposed refinement eliminates the public street segment of SW Ravenna Lane (formerly Ravenna Loop) through the PDP area, replacing this street segment with a Linear Green pathway connection through the block from SW Mont Blanc Street to SW Villebois Drive. The proposed refinement improves pedestrian and bicycle connectivity by providing a dedicated linear green space for connection north and south through the property between Villebois Drive and Mont Blanc Street. Mont Blanc Street is designed as a private Woonerf street, “Woonerf” being a Dutch word meaning “living street”. Mont Blanc Street, as it comes through this PDP Area, is designed to be a space that can be equally shared by pedestrians, cyclists, and low-speed motor vehicles. The proposed north/south linear green space connecting Villebois Drive to this Woonerf street will increase the pedestrian and bicycle friendly nature of the area by providing additional dedicated pedestrian and bicycle connectivity and contributing to the unique design characteristics of this space. Therefore, this refinement will not significantly reduce circulation system function or connectivity.

- ii. Changes to the nature or location of parks types, trails or open space that to not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the Preliminary Development Plan.

Response: The *Villebois Village Master Plan* and SAP Central do not show any parks, linear greens, open spaces or pathways within the proposed PDP area. A new linear green, traversing north/south through the PDP area connecting Mont Blanc to Villebois Drive has been added to the proposed design for PDP 7C. Additional areas of linear greens have been added throughout the PDP, totaling 0.32 acres of linear green space. The proposed refinement does not significantly reduce function, usability, connectivity, or overall distribution or availability of parks, trails or open space. The proposed refinement increases all of these factors.

- iii. Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.

Response: The PDP proposes a refinement to the approved SAP Central Rainwater Management Plan to remove the pervious pavers on SW Villebois Drive North between Mont Blanc Street and SW Ravenna Lane. The refinement proposes to provide a series of bioretention cells along SW Villebois Drive North which will provide treatment for

80% of impervious area created within PDP 7 Central. With the existing treatment facilities and future facilities to be located in the remainder of SAP Central, SAP Central will treat 70% of the overall impervious area created. The plan, therefore, maintains the provision of rainwater components while not compromising the overall percentage treatment throughout the SAP below acceptable levels.

- iv. Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the Preliminary Development Plan. For the purposes of this subsection, “land uses” or “uses” are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.
- v. A change in density that does not exceed ten percent, provided such density change has not already been approved as a refinement to the underlying SAP or PDP, and does not result in fewer than 2,300 dwelling units in the Village.

Response: SAP Central was approved in 2006. Since the approval of SAP Central, six separate PDP’s have been approved or submitted for approval and some modifications of original approvals have also occurred. The following analysis reflects the final and current approved unit counts in PDP 1C, PDP 2C, PDP 3C (Piazza), and PDP 4C and pending unit counts in PDP 5C (Montague Park) and PDP 6C.

For purposes of this analysis, changes to the mix/location of “land uses” are to be evaluated as described by the code - in the aggregate. The code defines one land use group as condos, apartments, row houses, and small detached uses - which will be referred to as the ‘smaller land use group’ in the following analysis. [The recent Planning Director’s Interpretation approved under Case File AR12-0021 found small attached uses to be included in this smaller land use group. Recent approvals of PDP 3E and PDP 4E, as well as modifications in PDP 5S and PDP 1N, have approved Small Cottages as a replacement for the Small Attached and Row House uses.] The code defines the second land use group as mediums, standards, large and estate uses - which will be referred to as the ‘larger land use group’ in the following analysis.

The total density approved for the subject area in SAP Central is 40-70 units, all of which are grouped into the smaller land use group, and included 28-46 Row House lots and 12-24 Urban Apartment units. No change to the mixed use area within the future development lot is proposed with this PDP. PDP 7C proposes 68 Row House units, which is within the approved density range. The table below shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinement as well as the percent change in each aggregate land use category.

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/Large/Estate	0	0	0%
Small Detached/Small Cottage/ Row Homes/ Neighborhood Apt.	999	1,012	1.3%
Total	999	1,012	1.3%

NOTE: The Current Unit Count for SAP Central reflects the final approved unit counts for PDP 1C, PDP 2C, PDP 3C (Piazza), and PDP 4C and proposed unit counts for PDP 5C (Montague Park) and PDP 6C. Figures also account for recent Modifications to PDP 1C and PDP 2C.

The proposed refinements do not exceed the 10% standard. This proposal results in a total of 2,616 units within Villebois. This is above the density of 2,300 units required to be obtained across Villebois, meeting the refinement criteria.

vi. Changes that are significant under the above definitions, but necessary to protect an important community resource or improve the function of collector or minor arterial roadways.

a. As used herein, “significant” means:

- i. More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above, or,
- ii. That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.

Response: The PDP does not include changes that are significant under the above definitions. The proposed refinements include:

- Removal of the street connection from Mont Blanc Street to Villebois Drive and replacement of street connection with new Linear Green space;
- The provision of row homes in place of urban apartments;
- A slight increase in density that does not cause a quantifiable change greater than 10%; and
- The removal of pervious pavers along SW Villebois Drive North between SW Mont Blanc Street and SW Ravenna Lane, replacing these pavers with planter boxes.

The proposed refinements do not negatively affect an important, qualitative feature of Villebois as demonstrated in the following responses. The proposed refinements continue to allow for a variety of home ownership options within the Village Center and within Villebois while better meeting the design parameters of the *Village Center Architectural Standards* for the Villebois Drive and the Woonerf address areas. The proposed refinements result in a greater amount of greenspace through the addition of the linear green space while maintaining safe and efficient vehicular, pedestrian and bicycle circulation. Additionally, the proposed plan continues to meet the goal of the Rainwater Management Plan for SAP Central with the provision of bioretention cells in replacement of pervious pavers. The refinement proposes to provide a series of bioretention cells along SW Villebois Drive North which will provide treatment for 80% of impervious area created within PDP 7 Central. With the existing treatment facilities and future facilities to be located in the remainder of SAP Central, SAP Central will treat 70% of the overall impervious area created.

2. Refinements meeting the above definition may be approved by the DRB upon the demonstration and finding that:

- a) **The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.**

Response: None of the conditions of approval for SAP Central are specific to the proposed refinements. As the proposed refinements will not compromise the project's ability to comply with SAP conditions of approval, they will equally meet the conditions of approval of SAP Central.

The proposed refinements will equally or better meet the following Goals, Policies and Implementation Measures of the *Villebois Village Master Plan* than the SAP Central plan.

- **Land Use, General Land Use Plan Goal - Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.**

The proposed PDP 7C plan better integrates natural resource elements with land uses and transportation through the addition of the linear green park area. The proposed plan removes the street segment of Ravenna Lane through the property, replacing it with a linear green space for pedestrian and bicycle connectivity. This allows for more park space within the plan that includes a design reflecting the urban and pedestrian friendly character of Mont Blanc Street (The Woonerf). This enhances the project's unique sense of place and cohesiveness.

- **Land Use, General Land Use Plan Policy 1 - The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.**

The proposed PDP 7C plan meets this Land Use Plan Policy by contributing to the range of living choices for attached single-family home ownership. This area previously included 28-46 Row House lots and 12-24 Urban Apartment

units. Now, 68 Row Houses are proposed. The area on the Master Plan and SAP Central plans which showed the provision of urban apartments was located north of Mont Blanc Street and east of Ravenna Lane, which is now a linear green connection. This area abuts Villebois Drive to the north within the Villebois Drive Address of the *Village Center Architectural Standards*. This address is noted as being an area for transition between residential across Orleans Avenue and mixed uses approaching the Piazza. With the linear green connection in place of Ravenna Lane, the replacement of Apartment units with Row House units provides for a smoother transition in this area between lower-density residential uses and higher-density mixed uses. Additionally, the replacement of Apartment units with Row House units better meets current market demand and city-wide goals of providing for a variety of home ownership options, as well as provides for greater continuity of building massing and architectural style along the Villebois Drive Address.

The site is located within a transitional area at the outer edge of the Village Center and better provides for this transitional nature in terms of density and building massing and height, both of which are intended to increase towards the core of the Village Center. This proposal maintains the project's path of exceeding the minimum density of 2,300 units across Villebois. Additionally, this plan provides for a pedestrian and bicycle linear green connection between Mont Blanc Street and Villebois Drive. This pedestrian and bicycle connection strengthens the urban and social nature of the area and provides a greater amount of park space while maintaining safe and efficient vehicular, pedestrian and bicycle circulation.

- ***Villebois Village Master Plan, Village Center Policy 1*** - *The Village Center shall be a highly pedestrian-oriented place that is the focus of a mix of residential, shopping, service, and civic and mixed-use buildings.*

The proposed PDP 7C plan meets this Land Use Plan Policy by providing Brownstone style Row Homes along Mont Blanc Street that are designed with stoops, terraces and outdoor living space at grade with the street to increase social opportunities and promote pedestrian activity. The Brownstone style Row Homes are designed to accommodate “home office” use on the ground floor with separate outside access, but no storefront, signage, or access by general public. This use is consistent with the City’s definition of “home occupation” use, which is an accessory use permitted in the Village zone.

Mont Blanc Street is designed as a “living street” with shared spaces for vehicles and pedestrians, connecting the less-dense neighborhoods on the east side of the development to the more urban Village Center area. The plan also provides a pedestrian and bicycle linear green park connecting north and south from Mont Blanc Street to Villebois Drive. This will further encourage pedestrian activity by providing a dedicated space for alternative modes of transportation and increasing total park space. As described above, PDP 7C contributes to the mix of residential options in the Village Center by providing additional ownership options and serving the transitional nature of its location at the outer edge of the Village Center.

- ***Villebois Village Master Plan, Village Center Policy 2*** - *The Village Center shall encourage multi-modal transportation system opportunities with good access by vehicular, pedestrian, bicycle and transit traffic.*

The proposed PDP 7C plan encourages multi-modal transportation system opportunities through the provision of Mont Blanc Street, a private street section that will be built as a common space shared by pedestrians, bicycles and low-speed motor vehicles. This street is provided in concert with more vehicular-oriented streets in adjacent phases such as Villebois Drive and Barber Street, which are designed to accommodate higher traffic volumes and transit traffic. Mont Blanc Street and the proposed linear green connection provide bicycles, pedestrians and slow-speed motor vehicles (only on Mont Blanc Street) safe and convenient access through the plan area connecting to the urban and pedestrian-oriented Village Center area. Alleys through the development provide safe and convenient access to individual units, connecting through the site from Villebois Drive to Orleans Avenue in the northern block and from Ravenna Lane, east and west to the edge of the plan area and to Orleans Avenue.

- **Villebois Village Master Plan, Village Center Implementation Measure 2** - *Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.*
 - *Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.*
 - *Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.*
 - *General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.*
 - *Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.*
 - *Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.*
 - *Hospitality: hotel, bed and breakfast, conference center.*
 - *Light Manufacturing/Research and Development.*
 - *Civic/Institutional: meeting hall, library, museum, churches, farmer's market, community center.*
 - *Residential: condominiums, apartments, and townhouses*

The proposed PDP 7C plan is consistent with the Village Center Implementation Measure 2 by providing single-family residential attached row houses. This use is included in the above list of intended Village Center uses. As described above, PDP 7C contributes to the mix of residential options in the Village Center by providing additional ownership options. The Brownstone style Row Homes in PDP 7C are designed to accommodate “home office” use on the ground floor with separate outside access, but no storefront, signage, or access by general public. This use is consistent with the City’s definition of “home occupation” use, which is an accessory use

permitted in the Villebois Village zone. The design of the Brownstone style Row Homes provides for more opportunity for the above listed employment activities.

- **Parks and Open Space/Off-Street Trails and Pathways Goal** - *The Parks system within Villebois Village shall create a range of experiences for its residents and visitors through an interconnected network of pathways, parks, trails, open space and other public spaces that protect and enhance the site's natural resources and connect Villebois to the larger regional park/open space system.*

The Villebois Village Master Plan and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP area. A new linear green connection has been added to this plan area, as well as smaller linear greens throughout the project, totaling 0.32 acres of linear green space. The proposed refinement increases the amount of parks and open space while providing a dedicated pedestrian and bicycle connection between Mont Blanc Street (the private “living street” designed roadway) and Villebois Drive.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Policy 1** - *Parks and open space areas shall incorporate existing trees where feasible and large shade trees shall be planted in appropriate locations in parks and open spaces.*

The proposed PDP 7C plan provides for the retention of one tree rated “important” through the provision of tract along Orleans Avenue and one tree rated “good” at the northeast corner of Mont Blanc and Villebois Drive. Large shade trees will be planted within the development where appropriate. Tree retention can be seen on the Tree Preservation Plan (Section VC) and proposed tree plantings can be seen on the proposed Landscape Plan in Section IIB of the application notebook.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 3**- *Parks and open spaces shall be designed to incorporate native vegetation, landforms and hydrology to the fullest extent possible.*

The proposed PDP 7C plan incorporates native vegetation, landforms and hydrology to the fullest extent possible with the addition of park areas for linear greens and the tree retention discussed above.

- **Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 9**- *The design of Villebois shall retain the maximum number of existing trees practicable that are six inches or more DBH in the “Important” and “Good” tree rating categories, which are defined in the Community Elements Books. Trees rated “Moderate” shall be evaluated on an individual basis as regards retention. Native species of trees and trees with historical importance shall be given special consideration for retention.*

The proposed PDP 7C plan integrates natural resource elements through the provision of an additional linear green space and provides a tract for the provision of an “important” tree. As described in the Tree Report attached in Section VB of the Notebook and the compliance report in Section VA, there are 23 existing trees in this PDP area. The site contains nine (9) trees in poor condition, eight (8) of which will be removed and one (1) of which will be

protected off-site. The site contains nine (9) trees in moderate condition, all of which will be removed. The site contains three (3) trees in good condition, one (1) of which will be retained with the other two (2) to be removed. The site contains two (2) trees assigned as important condition, both of which will be retained. The Tree Preservation Plan in Section VC shows the existing trees to be retained and removed on site.

- **Storm Drainage - Policy 2** *Villebois Village shall strive to minimize the development “footprint” on the hydrological cycle through the combination of stormwater management and rainwater management.*

The PDP 7 Central plan meets the goal of the Rainwater Management Plan for SAP Central with the provision of bioretention cells in replacement of pervious pavers. The refinement proposes to provide a series of bioretention cells along SW Villebois Drive North which will provide treatment for 80% of impervious area created within PDP 7 Central. With the existing treatment facilities and future facilities to be located in the remainder of SAP Central, SAP Central will treat 70% of the overall impervious area created.

- **Circulation - Goal**- *The Villebois Village shall provide for a circulation system that is designed to reflect the principles of smart growth.*

The PDP 7C plan promotes the principles of smart growth by providing compact building design that is oriented to promote interaction between neighbors and pedestrians. The Design of Mont Blanc Street provides a common shared space for pedestrians, bicycles and low-speed motor vehicles, connecting to the proposed linear green space running north and south connecting to Villebois Drive. These elements create a walkable, pedestrian friendly neighborhood allowing for a variety of transportation choices, in line with the principles of smart growth.

- **Circulation - Policy** *The Villebois Village Center shall encourage alternatives to the automobile, while accommodating all travel modes, including passenger cars, trucks, buses, bicycles and pedestrians.*

The proposed PDP 7C plan encourages multi-modal transportation system opportunities through the provision of Mont Blanc Street, a private street section that will be built as a common space shared by pedestrians, bicycles and low-speed motor vehicles. This street is provided in concert with more vehicular-oriented streets in adjacent phases such as Villebois Drive and Barber Street, which are designed to accommodate higher traffic volumes and transit traffic. Mont Blanc Street and the proposed linear green connection provide bicycles, pedestrians and slow-speed motor vehicles (only on Mont Blanc Street) safe and convenient access through the plan area connecting to the urban and pedestrian-oriented Village Center area.

- **Circulation - Implementation Measure 7** - *Pedestrian and bicycle connectivity shall be provided between public and private street termination points and adjacent trails/pathways at the discretion of the City Engineer.*

The PDP 7C plan refines the SAP Central plan by removing the vehicular street connection between Mont Blanc Street and Villebois Drive. This vehicular connection is replaced with a linear green space for use by pedestrian and

bicyclists. The proposed refinement improves pedestrian and bicycle connectivity by providing a dedicated linear green space for connection north and south through the property between Villebois Drive and Mont Blanc Street. Mont Blanc Street is designed as private Woonerf street, “Woonerf” being a Dutch word meaning “living street”. Mont Blanc Street, as it comes through this PDP, is designed to be a space that can be equally shared by pedestrians, cyclists, and low-speed motor vehicles. The proposed north/south linear green space connecting Villebois Drive to this Woonerf street will increase the pedestrian and bicycle friendly nature of the area by providing additional dedicated pedestrian and bicycle connectivity

- b) **The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area, and**

Response: As described above, the proposed refinements will not result in any detrimental impacts to the environment or natural or scenic resources of the PDP or village area. The plan continues to provide convenient access through the development encouraging various modes of transportation and creates an additional linear green space. The plan includes the addition of multiple linear green spaces throughout the project, including one for the retention of a large Pin Oak tree adjacent to Orleans Avenue. The plan increases home ownership opportunities within Villebois and maintains a transition between the less dense neighborhood to the east and the urban environment of the Village Center to the west. Additionally, the refinement to replace the pervious pavers along Villebois Drive with a series of bioretention cells along SW Villebois Drive North which will provide treatment for 80% of impervious area created within PDP 7 Central. With the existing treatment facilities and future facilities to be located in the remainder of SAP Central, SAP Central will treat 70% of the overall impervious area created.

- c) **The refinement will not preclude an adjoining or subsequent PDP or SAP from development consistent with the approved SAP or Master Plan.**

Response: The refinements proposed with PDP 7C do not in and of themselves effect the development potential of an adjoining or subsequent PDP. Connectivity and access to utilities are maintained. Therefore, these refinements will not preclude an adjoining or subsequent PDP or SAP from developing consistent with the approved SAP or *Master Plan*.

3. **Amendments to the SAP, not including SAP amendments for phasing, must follow the same procedures applicable to adoption of the SAP itself. Amendments are defined as changes to elements of the SAP not constituting a refinement.**
4. **Amendments to the SAP for phasing will be processed as a Class II administrative review proposal.**

Response: No amendments to the SAP are proposed with this application.

K. PDP Approval Criteria

The Development Review Board may approve an application for a PDP only upon finding that the following approval criteria are met:

1. That the proposed PDP:
 - a. Is consistent with the standards identified in this section.

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the standards of the Village zone.

- b. Complies with the applicable standards of the Planning and Land Development Ordinance, including Section 4.140(.09)(J)(1)-(3).

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the applicable standards of the Planning and Land Development Ordinance. A description of how the proposed development complies with Section 4.140(.09)J.1-3 is included in the subsequent pages of this report.

- c. Is consistent with the approved Specific Area Plan in which it is located.

Response: The proposed Preliminary Development Plan is consistent with Specific Area Plan - Central, as demonstrated by the plan sheets located in Section IIB and this report, and as refined and described earlier in this report.

- d. Is consistent with the approved Pattern Book and, where required, the approved Village Center Architectural Standards

Response: The proposed Row Homes are consistent with the *Village Center Architectural Standards (VCAS)*, as demonstrated with the concurrent FDP application in Section VI. Proposed lots are sized to accommodate the proposed Row Homes consistent with *Table V-1*.

COMMUNITY ELEMENTS BOOK

Lighting Master Plan

Response: This PDP application includes plans for street lighting within PDP 7C as illustrated on the *Street Tree/Lighting Plan*. The proposed lighting is consistent with the Community Elements Book.

Curb Extensions

Response: As shown on the *Circulation Plan*, curb extensions are proposed consistent with the Curb Extension Concept Plan Diagram in the Community Elements Book.

Street Tree Master Plan

Response: As shown on the *Street Tree/Lighting Plan*, street trees proposed along the streets in the PDP area are consistent with the respective designated street tree lists.

Site Furnishings

Response: No site furnishings are proposed with this PDP application; however, the concurrent FDP application for the proposed linear greens includes details regarding site furnishings in these areas (see Section VI of this Notebook).

Play Structures

Response: No play structures are proposed with this PDP application; however, the concurrent FDP application for the proposed linear greens includes details regarding these areas (see Section VI of this Notebook).

Tree Protection

Response: The Tree Protection component of the Community Elements Book for SAP - Central (page 15) describes the goal, policies, and implementation measures that were used to promote the protection of existing trees in the design of the PDP area. The *Tree Preservation Plan* shows the trees that are proposed for preservation. A *Tree Protection Plan* has been prepared for this PDP, consistent with Implementation Measures 1 and 2 of the Tree Protection component of the *Community Elements Book*. The *Tree Protection Plans* were based on a Tree Report prepared by Morgan E. Holan, a certified arborist (see Section V of this notebook).

Plant List

Response: The *Community Elements Book* approved with SAP - Central contains a Plant List (pages 16-18) of non-native and native trees, shrubs, and groundcovers, ferns, herbs, vines, perennials, grasses, and bulbs for species to plant throughout Villebois. Within the rights-of-way in this PDP, only street trees and rainwater components are proposed. Additional landscaping details are provided with the FDP application which is submitted concurrent with this PDP (see Section VI of this Notebook).

VILLEBOIS DRIVE ADDRESS

This section of Villebois Drive, is one of the main street entries to the Village Center. The street is mainly bordered by residential uses and shall transition from residential to urban/commercial as it meets the Plaza address. Villebois Drive is designed to accommodate future commercial uses. Therefore the sidewalk and planter areas shall be designed as “flex” space; when the building use changes so may the sidewalk/planter use. For example the northeast end of Villebois Drive will be residential, this area will have planters and street trees. As one moves through the space to the Plaza, the planters may become smaller and eventually transform to tree wells with tree grates. The migration of urban street furnishings as the commercial area grows shall be accommodated through flexible design.

SITE FURNISHINGS

Intent:

Site Furnishings for Villebois Drive serve functional and aesthetic needs and aid in defining the character and use of this outdoor room. The design of this space shall allow for the expansion of benches, and trash receptacles to accommodate future commercial expansion. The furnishings will also provide continuity as design elements that unify a space and allow for a seamless transition from one room to another. Street furnishings should be grouped together in “social pockets” to encourage social interaction.

Standards:

Required

- 1) Lighting
- 2) Seating
- 3) Trash Receptacle
- 4) Arrangement of street furnishings to create “social pockets”

Optional

- Sculpture
- Drinking Fountain
- Bike Rack
- Seating

Response: The subject FDP area contains areas located within the Villebois Drive Address Overlay Area. The areas within the Villebois Drive Address Overlay Area are designed to provide a transition between residential areas to the east and urban/commercial uses of the Plaza Address to the west. The Villebois Drive area uses flexible design, with space reserved along the sidewalk and planter areas to accommodate changes related to future mixed/commercial uses towards the Piazza. Lot 42 is intended for future mixed use development and is not proposed for development with this application. Design of the site’s frontage provides continuity with adjacent areas.

PLANT MATERIAL

Intent:

Street trees species to be planted per Street Tree Plan in the Community Elements Book. Street trees will be planted in planters or in tree wells depending on adjacent land use. As commercial area expands planters may be converted to tree wells to allow for future street furnishings as necessary.

Standards:

Required

- 1) Street Trees (see page 7, Street Tree Master Plan diagram for specifications)

Response: Proposed street trees species to be planted are consistent with the Street Tree Plan in the Community Elements Book. As shown on the Reduced Drawings in Section VIB, street trees will be planted in planter strips. The planter strips use flexible design so that they may be converted to tree wells to allow for future street furnishings as commercial area expands.

SURFACES

Intent:

The surface treatment of the sidewalk is an important element for Villebois Drive as it sets the pattern, rhythm, and hierarchy for the Village Center. This surface also allows for placement of specific site furnishings.

Standards:

Required

- 1) Concrete sidewalks with smooth finish concrete shiners at score and expansion joints

Optional

- Specialty scoring
- Paver accents, as approved by city engineer

Response: The proposed sidewalk surface will be concrete with smooth finish concrete shiners at score and expansion joints.

WOONERF ADDRESS

Woonerf is a Dutch word for “living street”. It is a concept that originated in the Netherlands during the early 1970’s and has grown rapidly throughout Europe (In the UK they are often referred to as “Home Zones”) and slowly in the United States. The primary idea is to make the two block street an outdoor space, that accommodates vehicles and pedestrians equally. By introducing a curbsless street environment with street trees, planting, street furnishings, the space becomes more appealing to pedestrians, cyclist, and residential life (social activity), yet meets the need for vehicle connectivity and parking. The Woonerf allows for the creation of a unique urban room that is unified by the consistent use of materials, connection to the Village Center and gateway to East Park (Sunset Park).

The woonerf is:

- Aligned with a view of Mt. Hood, providing a connection to the regional landscape.
- Linked to the plaza.
- A place that caters equally to all modes of transportation.
- A room of distinct character, creating a greater opportunity for social street activity for all ages.
- A private street designed to calm traffic and improve street safety.
- A room with a continuous curbsless connection to the Plaza and surrounding shared streets.

SITE FURNISHINGS

Intent:

Furnishings and street trees will create a place where vehicles feel it necessary to slow to walking speed. The placement of these elements will increase the safety

for pedestrians and cyclists and will offer opportunity for residents to create “social activities”.

Standards:

Required

- 1) Lighting
- 2) Seating
- 3) Bollards
- 4) Bike Racks

Optional

- 5) Bollards
 - a) Use of stone and seatwalls as bollards
 - b) Masonry planter boxes as design and traffic calming elements
- 6) Lighting
 - a) Architectural building lights as pedestrian lighting

Response: Mont Blanc, a private street within the subject FDP area, is located within the Woonerf Address Overlay Area. The design of this area uses the placement of street trees and site furnishings and a curbsless surface to calm traffic, create distinct character and encourage social interaction. Mont Blanc serves as a curbsless connection from surrounding shared streets to the Plaza. As shown on the Reduced Drawings in Section VIB, proposed street furnishings within the Woonerf Address area include lighting, bollards and bike racks.

PLANT MATERIAL

Intent:

Street trees are planted for environmental, aesthetic, safety purposes. Tree placement will protect the pedestrian and enhance the view corridor to Mt. Hood. Tree placement and presence will also slow traffic, widen the pedestrian walking area and “social pockets” in front of residences.

Standards:

Required

- 1) Street Trees

Optional

- Tree wells may be planted with groundcovers, shrubs, or perennial grasses
- Tree wells may have pavers

Response: Proposed street trees to be planted are shown on the Reduced Drawings in Section VIB. Street trees within the Woonerf Address will be planted in tree well grates and placement of street trees is designed to slow traffic, widen the pedestrian

walking area and enhance the view corridor to Mt. Hood. The proposed tree grates to differ from those in the *Community Elements Book*, but are consistent with what has been used in the Piazza and Phase 1C.

SURFACES

Intent:

Treatment of the woonerf “floor” is critical to the function, safety and success of this “room”. Surfaces will delineate uses, circulation, and hierarchy of space.

Standards:

Required

- 1) Woonerf shall be curbless throughout the right-of-way

Response: Mont Blanc will be curbless throughout the right-of-way and will be surfaced with two types of pavers, as shown on the Reduced Drawings in Section VIB of this Notebook. Mont Blanc is designed to cater equally to all modes of transportation, serving as a curbless connection from surrounding shared streets to the Plaza.

MASTER SIGNAGE AND WAYFINDING PLAN

Response: No signs are proposed, as the SAP Central *Signage & Wayfinding Plan* does not indicate any identifiers within the subject property.

RAINWATER PROGRAM

Response: A rainwater management plan is included with the supporting utility reports located in Section IIC of this Notebook. Rainwater management within PDP 7C will be provided through street trees and bioretention cells located in landscape tracts and planter strips in rights-of-way, as shown within the attached plans (Section IIB of this Notebook). The rainwater management plan included in this application has been refined from that approved with the SAP Central application to remove the pervious pavers from Villebois Drive, replacing this component with additional bio retention cells in the right of way along Villebois Drive. The bioretention cells will provide treatment for 80% of impervious area created within PDP 7 Central. With the existing treatment facilities and future facilities to be located in the remainder of SAP Central, SAP Central will treat 70% of the overall impervious area created.

3. If the PDP is to be phased, that the phasing schedule is reasonable and does not exceed two years between commencement of development of the first, and completion of the last phase, unless otherwise authorized by the Development Review Board.

Response: The PDP is proposed to be executed in one phase.

4. Parks within each PDP or PDP phase shall be constructed prior to occupancy of 50% of the dwelling units in the PDP or PDP phase, unless weather or special circumstances prohibit completion, in which case bonding for the improvements shall be permitted.

Response: The parks within PDP 7C will be completed prior to occupancy of 50% of the housing units, as required. Bonding will be provided if special circumstances prohibit completion.

5. In the Central SAP, parks shall be constructed within each PDP as provided above, and that pro-rata portion of the estimated cost of Central SAP parks not within the PDP, calculated on a dwelling unit basis, shall be bonded or otherwise secured to the satisfaction of the city.

Response: The proposed PDP is within SAP Central. The Applicant will provide for that pro-rata portion of the estimated cost of Central SAP parks not within the PDP through bonding or other form of security satisfactory to the City.

6. The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the *Villebois Village Master Plan*, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.

Response: This report demonstrates that the proposed Preliminary Development Plan is in conformance with Specific Area Plan - Central, and thus, the *Villebois Village Master Plan* as well as the applicable requirements and standards of the Planning and Land Development Ordinance.

SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE

Response: The PDP 7C application does not include any areas within the SROZ. Therefore, Section 4.139 does not apply.

SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS

(.09) FINAL APPROVAL (STAGE TWO)

- J. A planned development permit may be granted by the Development Review Board only if it is found that the development conforms to all the following criteria, as well as to the Planned Development Regulations in Section 4.140:
 1. The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.

Response: This Supporting Compliance Report demonstrates that the location, design, size, and uses proposed with the PDP are both separately and as a whole consistent with SAP Central, and thus the *Villebois Village Master Plan*, the City's Comprehensive Plan designation of Residential - Village for the area, and the City's Planning and Land Development Ordinance.

2. That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City's adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.

Response: The location, design, size and uses are such that traffic generated within the PDP at the most heavily used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D. The proposed uses and the circulation system are consistent with the SAP - Central application, which included an Internal Circulation Evaluation including an assessment of intersection performance by DKS Associates. A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

- a. In determining levels of Service D, the City shall hire a traffic engineer at the applicant's expense who shall prepare a written report containing the following minimum information for consideration by the Development Review Board:
 - i. An estimate of the amount of traffic generated by the proposed development, the likely routes of travel of the estimated generated traffic, and the source(s) of information of the estimate of the traffic generated and the likely routes of travel; (Amended by Ord 561, adopted 12/15/03.)
 - ii. What impact the estimate generated traffic will have on existing level of service including traffic generated by (1) the development itself, (2) all existing developments, (3) Stage II developments approved but not yet built, and (4) all developments that have vested traffic generation rights under section 4.140(.10), through the most probable used intersection(s), including state and county intersections, at the time of peak level of traffic. This analysis shall be conducted for each direction of travel if backup from other intersections will interfere with intersection

operations. (Amended by Ord 561, adopted 12/15/03.).

Response: The traffic generated by the PDP and its impact on the existing LOS will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

- b. The following are exempt from meeting the Level of Service D criteria standard:
 - i. A planned development or expansion thereof which generates three (3) new p.m. peak hour traffic trips or less;
 - ii. A planned development or expansion thereof which provides an essential governmental service.

Response: This PDP does not request an exemption from meeting the Level of Service D; therefore this criterion does not apply to this project.

- c. Traffic generated by development exempted under this subsection on or after Ordinance No. 463 was enacted shall not be counted in determining levels of service for any future applicant. (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

- d. Exemptions under 'b' of this subsection shall not exempt the development or expansion from payment of system development charges or other applicable regulations. (Added by Ord 561, adopted 12/15/03.)

Response: The subject PDP is not exempt from subsection 'b' and the system development charges will be provided as required.

- e. In no case will development be permitted that creates an aggregate level of traffic at LOS "F". (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP will be consistent with the SAP - Central application. The DKS evaluation for SAP Central showed that the development will not create an aggregate level of traffic at LOS "F". A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

- 3. That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.

Response: This Supporting Compliance Report, the Utility and Drainage Reports (see Section IIC of this notebook) and the plan sheets (see *Composite Utility Plan* in

Section IIB) show that the future residents of PDP 7C will be adequately served by the planned facilities and services.

SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES

(.02) General Terrain Preparation

- A. All developments shall be planned designed, constructed and maintained with maximum regard to natural terrain features and topography, especially hillside areas, floodplains, and other significant land forms.
- B. All grading, filling and excavating done in connection with any development shall be in accordance with the Uniform Building Code, all development shall be planned, designed, constructed and maintained so as to:
 - 1. Limit the extent of disturbance of soils and site by grading, excavation and other land alterations.
 - 2. Avoid substantial probabilities of: (1) accelerated erosion; (2) pollution, contamination or siltation of lakes, rivers, streams and wetlands; (3) damage to vegetation; (4) injury to wildlife and fish habitats.
 - 3. Minimize the removal of trees and other native vegetation that stabilize hillsides, retain moisture, reduce erosion, siltation and nutrient runoff, and preserve the natural scenic character.

Response: The plan sheets located in Section IIB demonstrate that the subject Preliminary Development Plan is designed with maximum regard to natural terrain features and topography. The subject PDP does not contain hillside areas or flood plains. The *Grading and Erosion Control Plan* shows proposed grading within the subject area and the *Tree Preservation Plan* shows proposed tree preservation.

All subsequent grading, filling and excavating will be done in accordance with the Uniform Building Code. Disturbance of soils and removal of trees and other native vegetation will be limited to the extent necessary to construct the proposed development. Construction will occur in a manner that avoids substantial probabilities of accelerated erosion; pollution, contamination or siltation of lakes, rivers, streams and wetlands; damage to vegetation; and injury to wildlife and fish habitats.

(.03) Hillsides: All developments proposed on slopes greater than 25% shall be limited to the extent that:

Response: The subject Preliminary Development Plan does not include any areas of slopes in excess of 25%. Therefore, this standard does not apply to this application.

(.04) Trees and Wooded Areas.

- A. All developments shall be planned, designed, constructed and maintained so that:
 - 1. Existing vegetation is not disturbed, injured, or removed prior to site development and prior to an approved plan for circulation, parking and structure location.
 - 2. Existing wooded areas, significant clumps/groves of trees and vegetation, and all trees with a diameter at breast height of six inches or greater shall be incorporated into the development plan and protected wherever feasible.
 - 3. Existing trees are preserved within any right-of-way when such trees are suitably located, healthy, and when approved grading allows.
- B. Trees and woodland areas to be retained shall be protected during site preparation and construction according to City Public Works design specifications, by:
 - 1. Avoiding disturbance of the roots by grading and/or compacting activity.
 - 2. Providing for drainage and water and air filtration to the roots of trees which will be covered with impermeable surfaces.
 - 3. Requiring, if necessary, the advisory expertise of a registered arborist/horticulturist both during and after site preparation.
 - 4. Requiring, if necessary, a special maintenance, management program to insure survival of specific woodland areas of specimen trees or individual heritage status trees.

Response: The *Tree Preservation Plan*, located in Section IIB, depicts existing trees within the subject area and identifies trees to be retained and to be removed. This application includes a request for approval of a Type “C” Tree Removal Plan, which can be found in Section V of this Notebook.

Section V includes the Tree Report prepared by Morgan Holan addressing existing trees and development impacts within the subject area, a tree inventory and tree mitigation details. The information contained in Section V demonstrates that the subject Preliminary Development Plan is designed to incorporate all trees with a diameter at breast height of six inches or greater into the plan where feasible. Trees rated “Important” or “Good” have been retained to the extent feasible within the area addressed by this PDP. Trees that are retained, as identified in the *Tree Preservation Plan*, will be protected during site preparation and construction in accordance with City Public Works design specifications and Section 4.171(.04).

(.05) High Voltage Power line Easements and Rights of Way and Petroleum Pipeline Easements:

- A. Due to the restrictions placed on these lands, no residential structures shall be allowed within high voltage powerline easements and rights of way and petroleum pipeline easements, and any

development, particularly residential, adjacent to high voltage powerline easements and rights of way and petroleum pipeline easement shall be carefully reviewed.

- B. Any proposed non-residential development within high voltage powerline easements and rights of way and petroleum pipeline easements shall be coordinated with and approved by the Bonneville Power Administration, Portland General Electric Company or other appropriate utility, depending on the easement or right of way ownership.

Response: This Preliminary Development Plan does not contain any high voltage powerline or petroleum pipeline easements or rights of way.

(.06) Hazards to Safety: Purpose:

- A. To protect lives and property from natural or human-induced geologic or hydrologic hazards and disasters.
- B. To protect lives and property from damage due to soil hazards.
- C. To protect lives and property from forest and brush fires.
- D. To avoid financial loss resulting from development in hazard areas.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety.

(.07) Standards for Earth Movement Hazard Areas:

- A. No development or grading shall be allowed in areas of land movement, slump or earth flow, and mud or debris flow, except under one of the following conditions.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No earth movement hazard areas have been identified within the subject PDP area.

(.08) Standards for Soil Hazard Areas:

- A. Appropriate siting and design safeguards shall insure structural stability and proper drainage of foundation and crawl space areas for development on land with any of the following soil conditions: wet or high water table; high shrink-swell capability; compressible or organic; and shallow depth-to-bedrock.
- B. The principal source of information for determining soil hazards is the State DOGAMI Bulletin 99 and any subsequent bulleting and accompanying maps. Approved site-specific soil studies shall be used to identify the extent and severity of the hazardous conditions on the site, and to update the soil hazards database accordingly.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No soil hazard areas have been identified within the subject area.

(.09) Historic Protection: Purpose:

- A. To preserve structures, sites, objects, and areas within the City of Wilsonville having historic, cultural, or archaeological significance.

Response: A Historic/ Cultural Resource Inventory was previously conducted for the property identified as SAP - Central. The inventory shows that the subject PDP does not include any sites, objects, or areas having historic, cultural, or archaeological significance. Therefore, the standards of this section are not applicable.

SECTION 4.172 FLOOD PLAIN REGULATIONS

Response: The site does not include any areas identified as flood plain.

SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING

Response: Landscaping will be provided in accordance with the standards in Section 4.176. The *Street Tree/Lighting Plan* depicts street trees along rights-of-way within the subject Preliminary Development Plan area. The plan has been developed in conformance with the Community Elements Book and the applicable standards of Section 4.176. Landscaping in the linear green areas will be reviewed with the concurrent FDP application in Section VI of this Notebook.

SECTION 4.177 STREET IMPROVEMENT STANDARDS

Response: The rights-of-way proposed within the subject PDP are shown on the plan sheets in Section IIB. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with the final plat.

The plan sheets located in Section IIB demonstrate that all proposed access drives (alleys) within the PDP area will have a minimum improvement width of 16 feet and will provide two-way travel. All access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

SECTION 4.178 SIDEWALK & PATHWAY STANDARDS

(.01) Sidewalks. All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.

(.02) Pathways

- A. Bicycle facilities shall be provided using a bicycle lane as the preferred facility design. The other facility designs listed will only be used if the bike lane standard cannot be constructed due to physical or financial constraints. The alternative standards are listed in order of preference.
1. Bike lane. This design includes 12-foot minimum travel lanes for autos and paved shoulders, 5-6 feet wide for bikes, that are striped and marked as bicycle lanes. This shall be the basic standard applied to bike lanes on all arterial and collector streets in the City, with the exception of minor residential collectors with less than 1,500 (existing or anticipated) vehicle trips per day.

Response: The PDP plan sheets located in Section IIB (see the *Circulation Plan*) depict cross-sections of the proposed sidewalks and pathways in compliance with the above standards and Specific Area Plan - Central.

SECTION 4.610.40 TYPE C PERMIT

A request for approval of the Tree Removal Plan for PDP 7C can be found in Section V of this Notebook.

II. PROPOSAL SUMMARY & CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the Village Zone and other applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Preliminary Development Plan. Therefore, the applicant requests approval of this application. Concurrent applications for a Tentative Plat, Zone Change, Tree Removal Plan, and Final Development Plan are included in this notebook as Sections III, IV, V, and VI, respectively, pursuant to City requirements.

IIB) Reduced Drawings

PHASE 7 CENTRAL VILLEBOIS ROW HOMES PRELIMINARY DEVELOPMENT PLAN

TL 2700, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

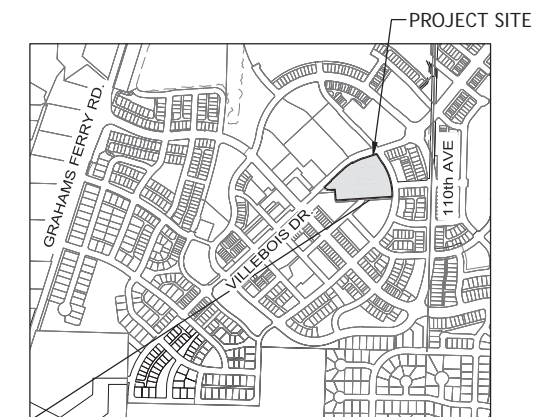
LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

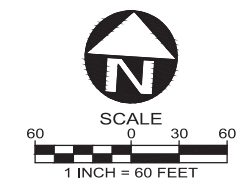
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE / LAND USE PLAN
- 4 PRELIMINARY PLAT
- 5 PRELIMINARY GRADING & EROSION CONTROL PLAN
- 6 COMPOSITE UTILITY PLAN
- 7 CIRCULATION PLAN & STREET SECTIONS
- 8 TREE PRESERVATION PLAN
- 9 SAP CENTRAL PHASING PLAN UPDATE
- L1 STREET TREE PLAN



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

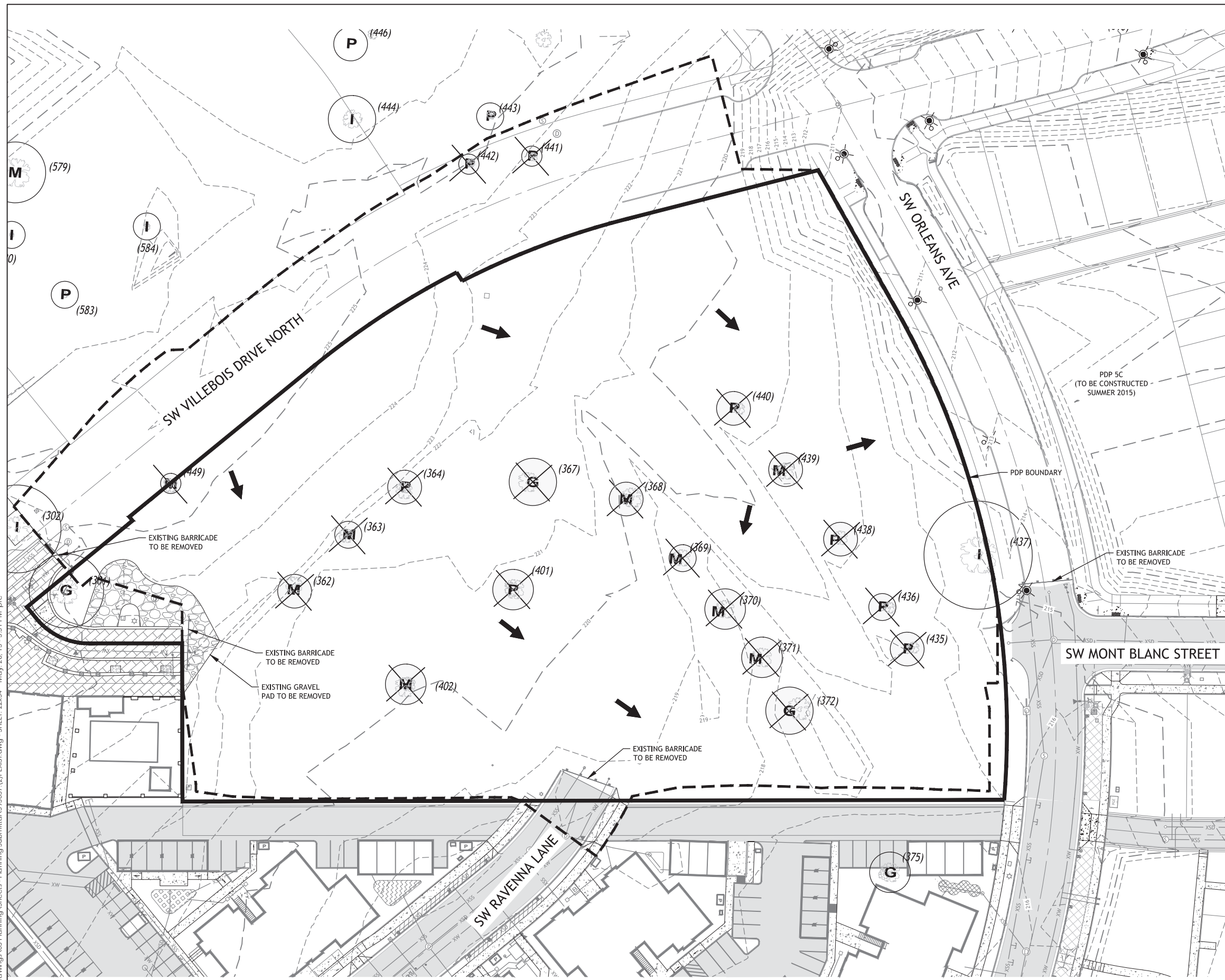
Preliminary
Development
Plan

COVER
SHEET

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

1

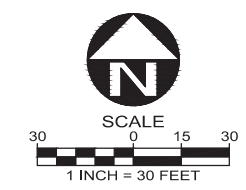
N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\395-057.dwg - SHEET: 22x34 May 26, 15 - 3:31 PM pre



LEGEND

- EASEMENT LINES
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EX 1-FOOT CONTOURS
- EX 5-FOOT CONTOURS
- EX SANITARY SEWER
- EX STORM DRAIN
- EX WATER LINE
- EX GAS LINE
- EX BURIED POWER LINE
- EX OVERHEAD POWER LINE
- EX CABLE TV LINE
- EX TELEPHONE LINE
- ⊙ EX SANITARY MANHOLE
- ⊙ EX SANITARY CLEANOUT
- ⊙ EX STORM MANHOLE
- ⊙ EX AREA DRAIN
- ⊙ EX CURB INLET
- ⊙ EX STORM CLEANOUT
- ⊙ EX FIRE HYDRANT
- ⊙ EX WATER METER
- ⊙ EX WATER VALVE
- ⊙ EX BLOW-OFF
- ⊙ EX AIR RELEASE VALVE
- ⊙ EX GAS VALVE
- ⊙ EX CABLE RISER
- ⊙ EX TELEPHONE RISER
- ⊙ EX LIGHT POLE
- EXISTING FENCE
- EXISTING ELECTRIC VAULT
- EXISTING PAVEMENT
- EX TREES
- DRAINAGE DIRECTION
- PROPOSED GRADING LIMITS

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY

REVISIONS	
DATE	DESCRIPTION

GEODESIGN, INC

**PDP 7C
VILLEBOIS
ROW HOMES**

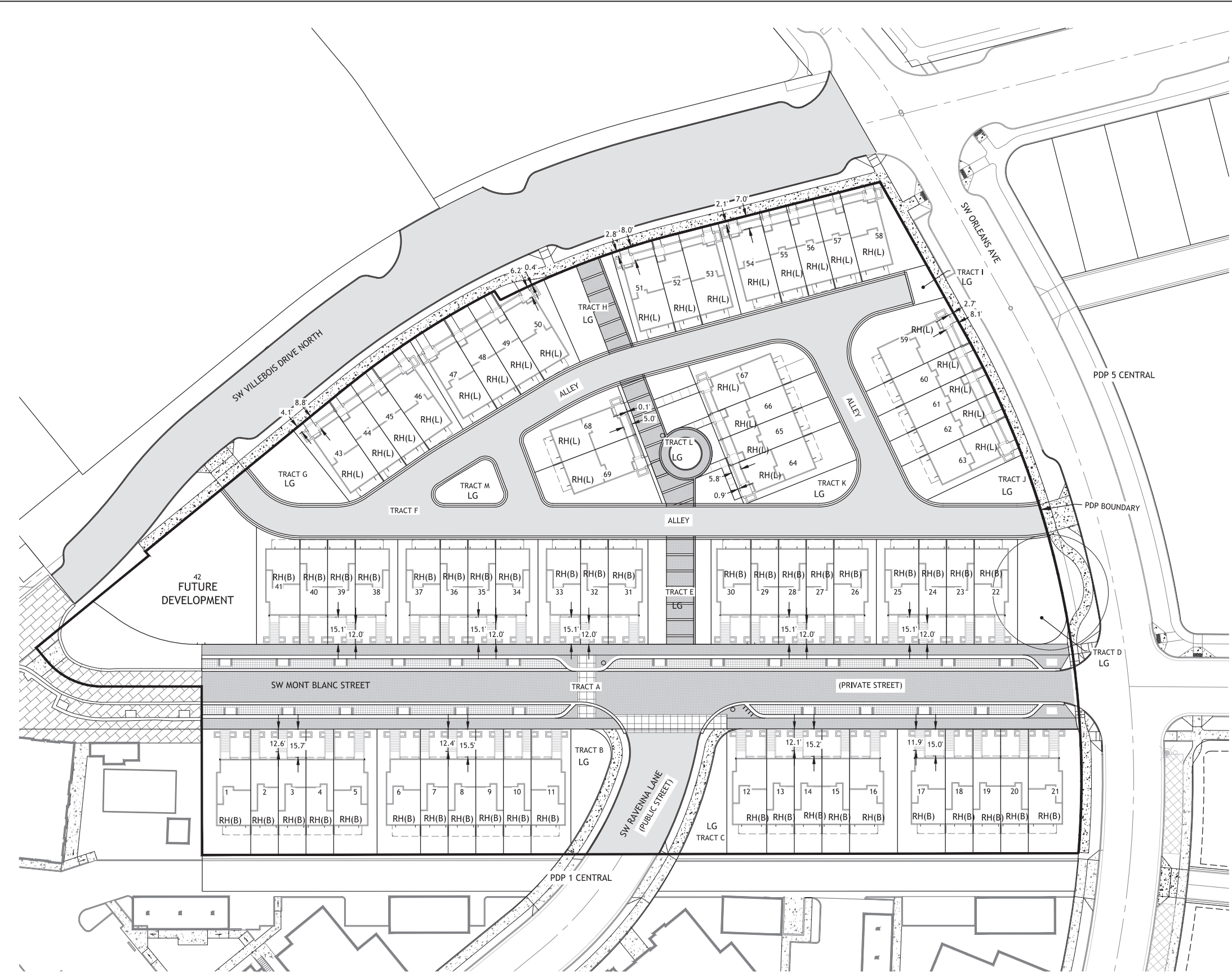
Preliminary
Development
Plan

**EXISTING
CONDITIONS**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

2

N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\395057_03PS1E.dwg - SHEET: 22X34 May 26 15:33:32 PM pre



LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PDP BOUNDARY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- EXISTING SIDEWALK

LEGEND:

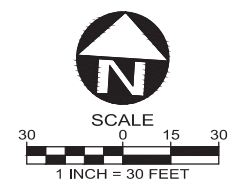
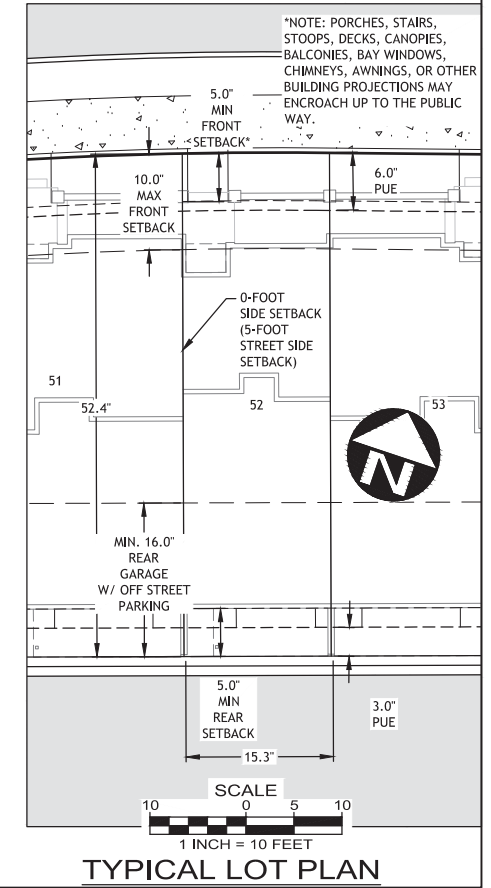
- RH(B) BROWNSTONE ROW HOUSE LOTS
- RH(L) LONDON ROW HOUSE LOTS
- LG LINEAR GREEN SPACE

LOT COUNT:

68	ROW HOUSE LOTS
1	FUTURE DEVELOPMENT LOTS
69	TOTAL

LAND AREA TABLE:

TOTAL AREA:	3.44 AC
PUBLIC STREETS:	0.10 AC
PRIVATE STREETS:	0.59 AC
LINEAR GREEN SPACE:	0.32 AC
LOTS & ALLEYS:	2.32 AC
FUTURE DEVELOPMENT LOTS:	0.11 AC
AVG. DENSITY PER NET ACRE:	68 / 2.32 = 29.31 UNITS / AC



ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**SITE / LAND
USE PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

3



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

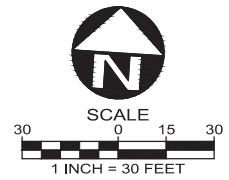
PRELIMINARY
PLAT

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

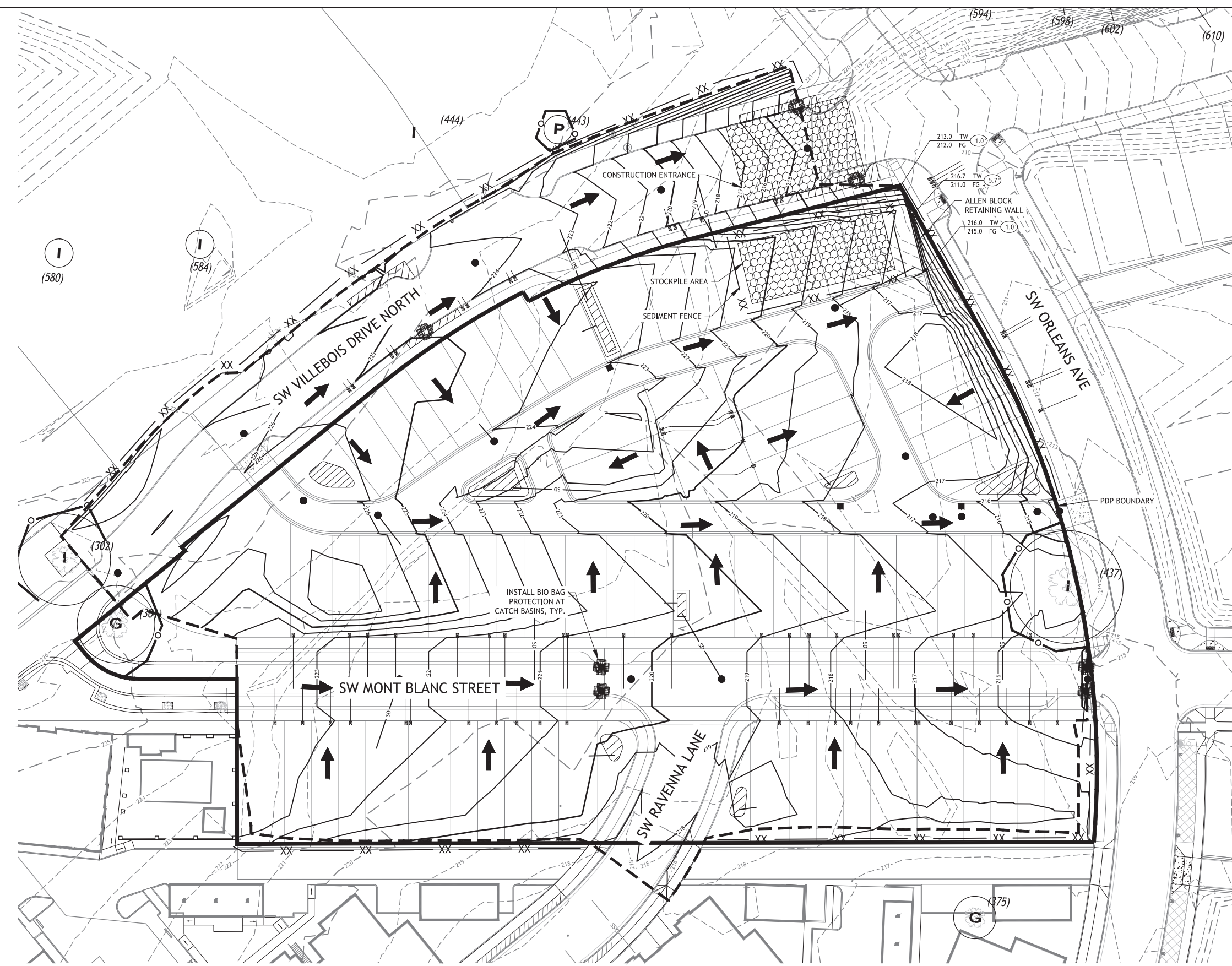


N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\Submit\395-057.dwg - SHEET: 22x34 May 26, 15 - 3:32 PM .pre

ELEVATION DATUM: NAVD 88



N:\proj\395-057\Drawings\03 Planning Sheets - Planning Submittal\395057.dwg - SHEET: 22x34 May 26, 15 - 3:33 PM, pre



LEGEND

- - - 324 EX 2-FT CONTOUR
- - - 320 EX 10-FT CONTOUR
- - - 324 FG 2-FT CONTOUR
- - - 320 FG 10-FT CONTOUR
- ▬▬▬▬ PROPOSED RETAINING WALL
- ▬▬▬▬ GRADING LIMITS
- ▬▬▬▬ EXISTING FENCE
- XX SEDIMENT FENCE
- ▬▬▬▬ TREE PROTECTION FENCING
- ▬▬▬▬ CONSTRUCTION FENCING
- ▬▬▬▬ WATTLES
- BIO-BAG PROTECTION
- ☀ EX TREES TO REMAIN
- ▨ PROPOSED RAINWATER MANAGEMENT FACILITY

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- ⊙ EXISTING TREES TO RETAIN



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

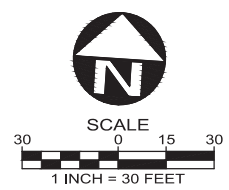
**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**GRADING &
EROSION
CONTROL
PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

ELEVATION DATUM: NAVD 88



5



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

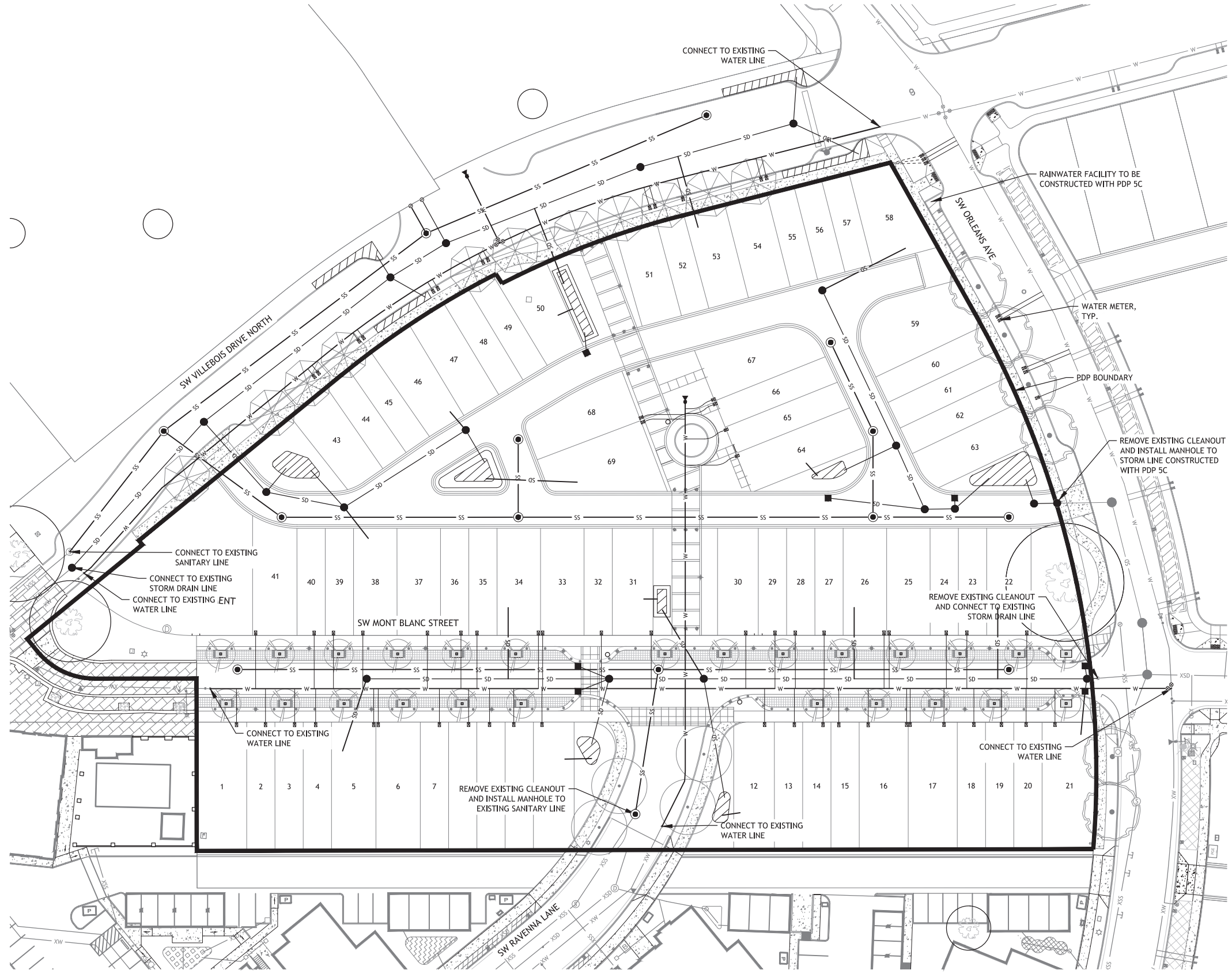
Preliminary
Development
Plan

COMPOSITE
UTILITY
PLAN

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

LEGEND:

- SS — PROPOSED SANITARY SEWER
- XSS — EX SANITARY SEWER
- SD — PROPOSED STORM DRAIN
- XSD — EX STORM DRAIN
- W — PROPOSED WATER LINE
- XW — EX WATER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FIRE HYDRANT
- ⊙ EX SANITARY MANHOLE
- ⊙ EX STORM MANHOLE
- EX AREA DRAIN
- EX CURB INLET
- EX STORM CLEANOUT
- EX FIRE HYDRANT
- EX WATER METER
- EX WATER VALVE
- EX BLOW-OFF
- EX AIR RELEASE VALVE
- EX GAS VALVE
- EX CABLE RISER
- EX TELEPHONE RISER
- EX LIGHT POLE
- X — EXISTING FENCE
- ☼ EX TREES
- ▨ PROPOSED RAINWATER MANAGEMENT FACILITY



SCALE
0 15 30
1 INCH = 30 FEET

ELEVATION DATUM: NAVD 88

N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\395-057.dwg - SHEET: 22x34 May 26 15:33:35 PM pre



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

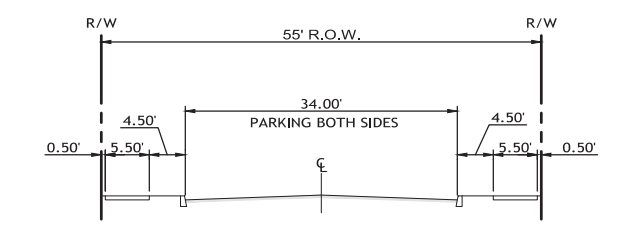
PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

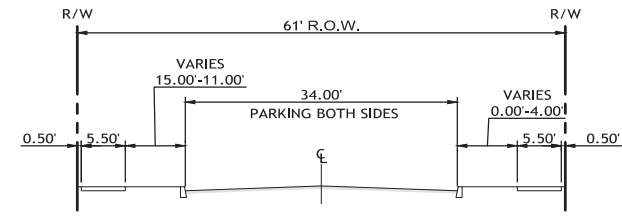
CIRCULATION
PLAN &
STREET
SECTIONS

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

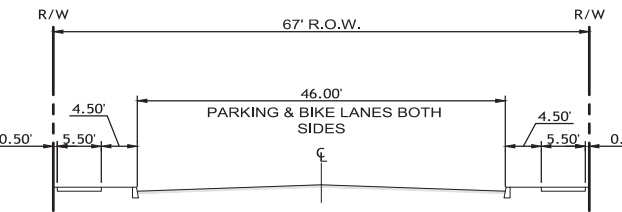
7



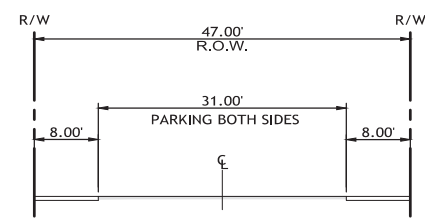
H1 RESIDENTIAL VILLAGE CENTER
NTS



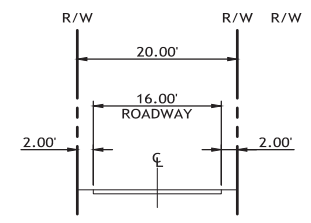
H2 RESIDENTIAL VILLAGE CENTER
NTS



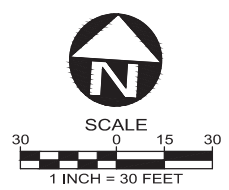
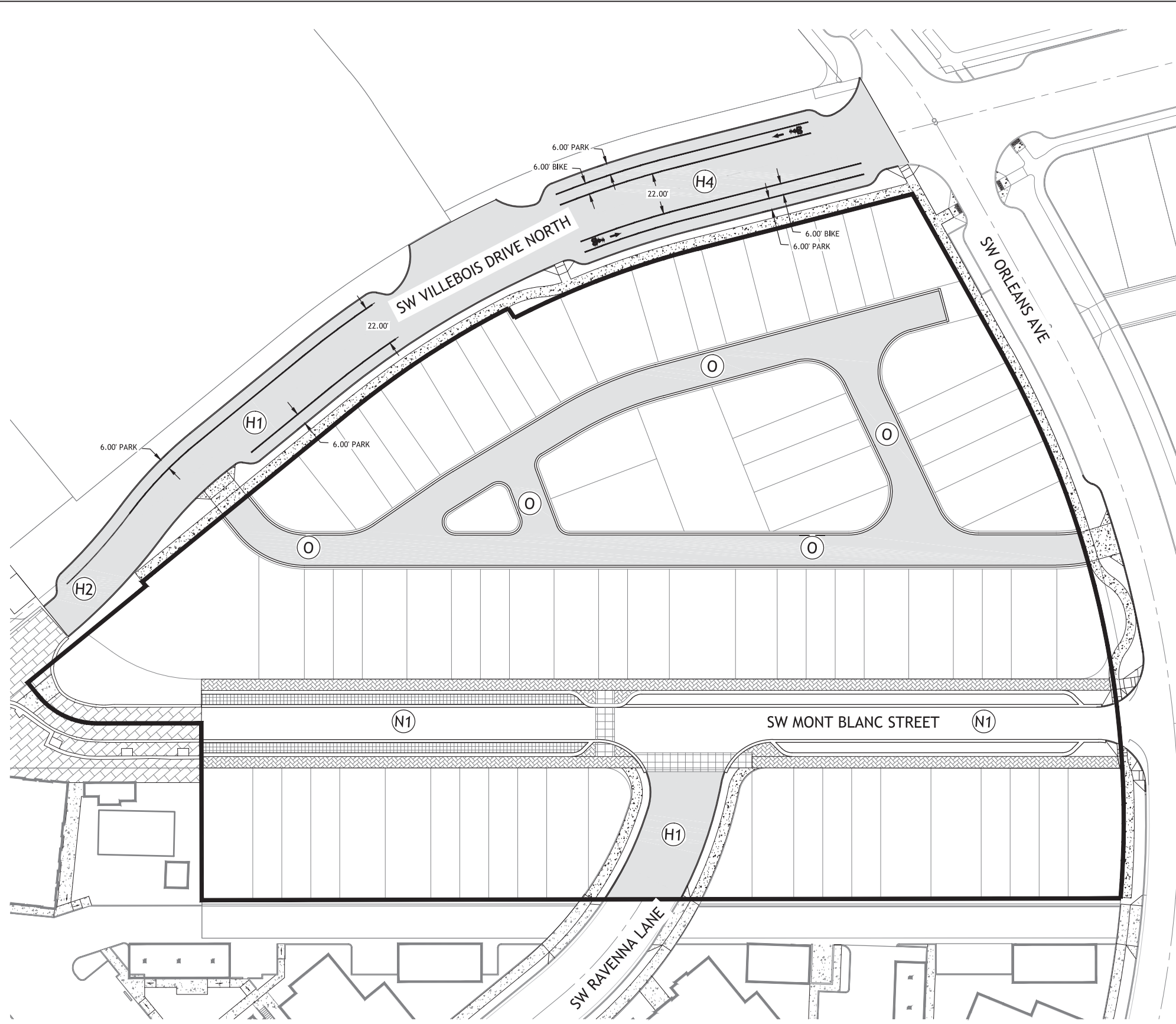
H4 RESIDENTIAL VILLAGE CENTER
NTS



N1 PRIVATE WOONERF
NTS



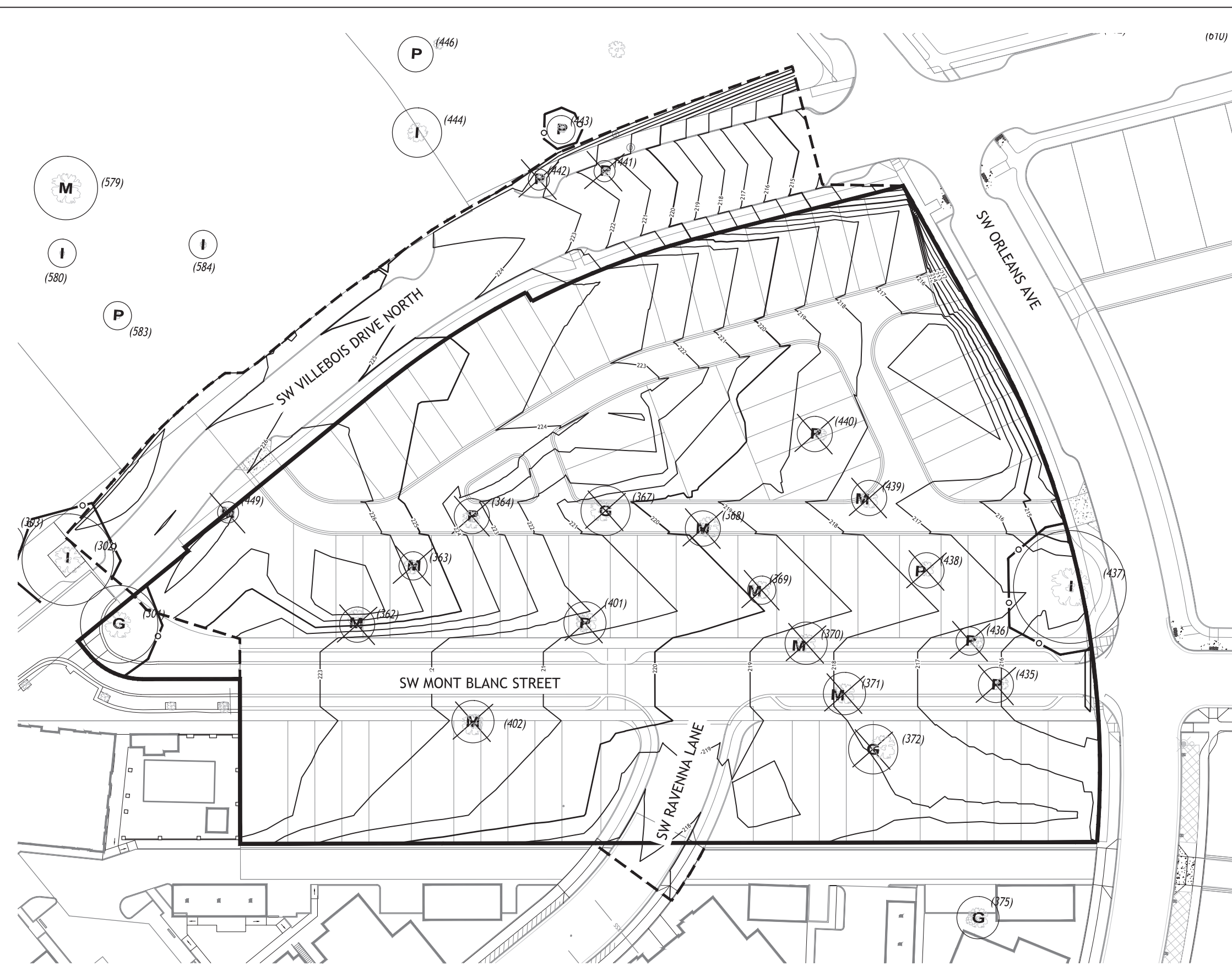
O PRIVATE LANE
NTS



N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\Submittal\395057_03 Planning.dwg - SHEET: 22x34 May, 26, 15 - 3:36 PM pre

ELEVATION DATUM: NAVD 88

N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\395-057 (8) TREEPRES.dwg - SHEET: 22x34 May, 26, 15 - 3:37 PM pre



LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (Symbol: Circle with tree) EXISTING TREES TO REMAIN
- (Symbol: Circle with diagonal lines) EXISTING TREES LIKELY TO BE REMOVED
- (Symbol: Circle with X) EXISTING TREES TO BE REMOVED
- (Symbol: Dashed line) TREE PROTECTION FENCING
- (Symbol: Dashed line) GRADING LIMITS

NOTES
 COORDINATE WITH THE PROJECT ARBORIST PRIOR TO ADJUSTING, MOVING, REMOVING, OR OPENING TREE PROTECTION FENCING FOR CONSTRUCTION. WORK BENEATH THE PROTECTED TREE DRIPLINE SHOULD BE PERFORMED ONLY UNDER THE GUIDANCE OF THE PROJECT ARBORIST. CONTACT: MORGAN HOLAN PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

- CLASSIFICATION METHOD:**
 TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:
1. HEALTH
 2. SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
 3. COMPATIBILITY WITH DEVELOPMENT
 4. FORM / VISUAL INTEREST / MATURE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

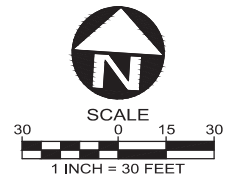
TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:
 1. THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLAN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.

ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 7C
 VILLEBOIS
 ROW HOMES**

Preliminary
 Development
 Plan

**TREE
 PRESERVATION
 PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

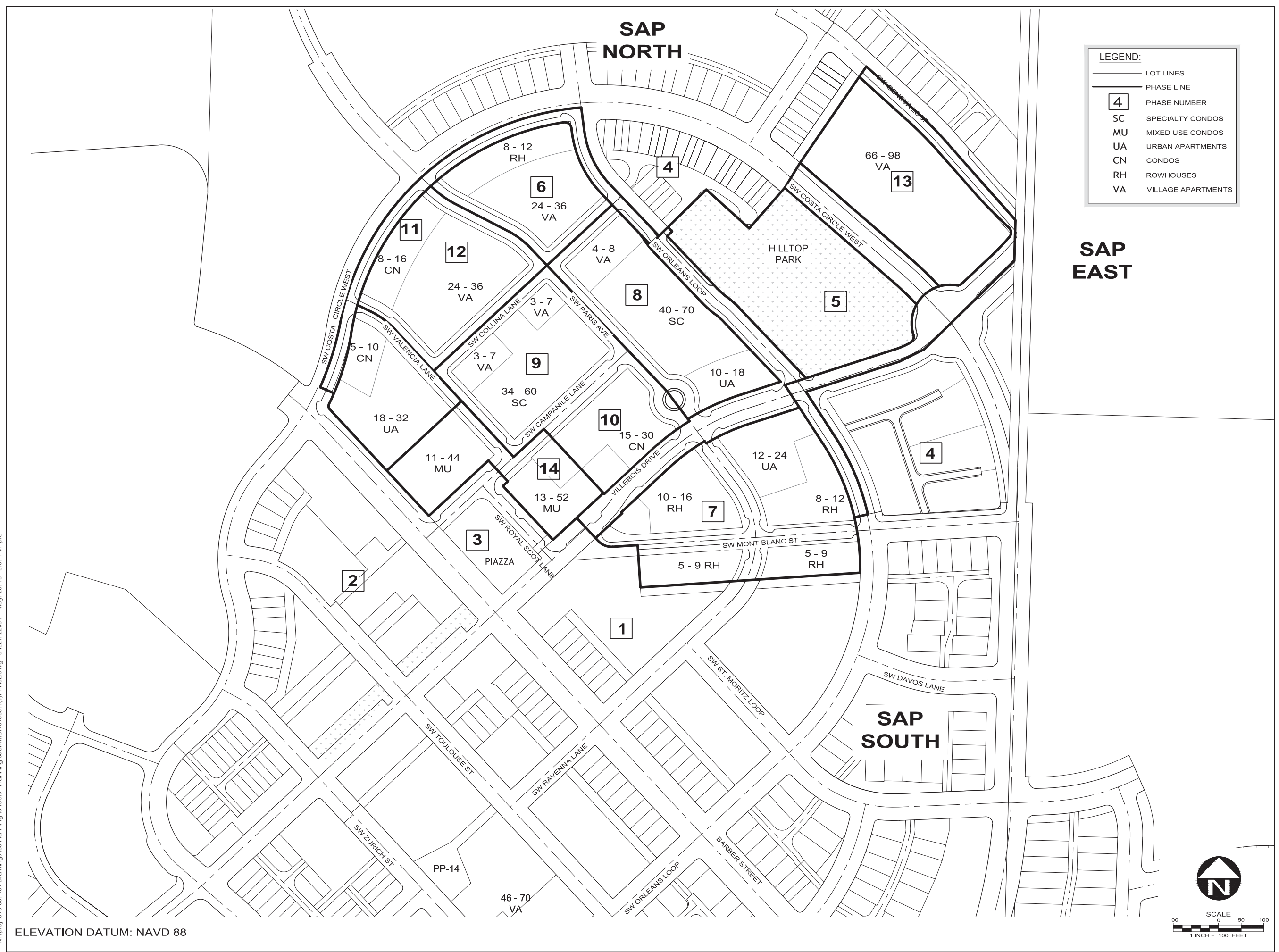
PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

SAP CENTRAL
PHASING PLAN

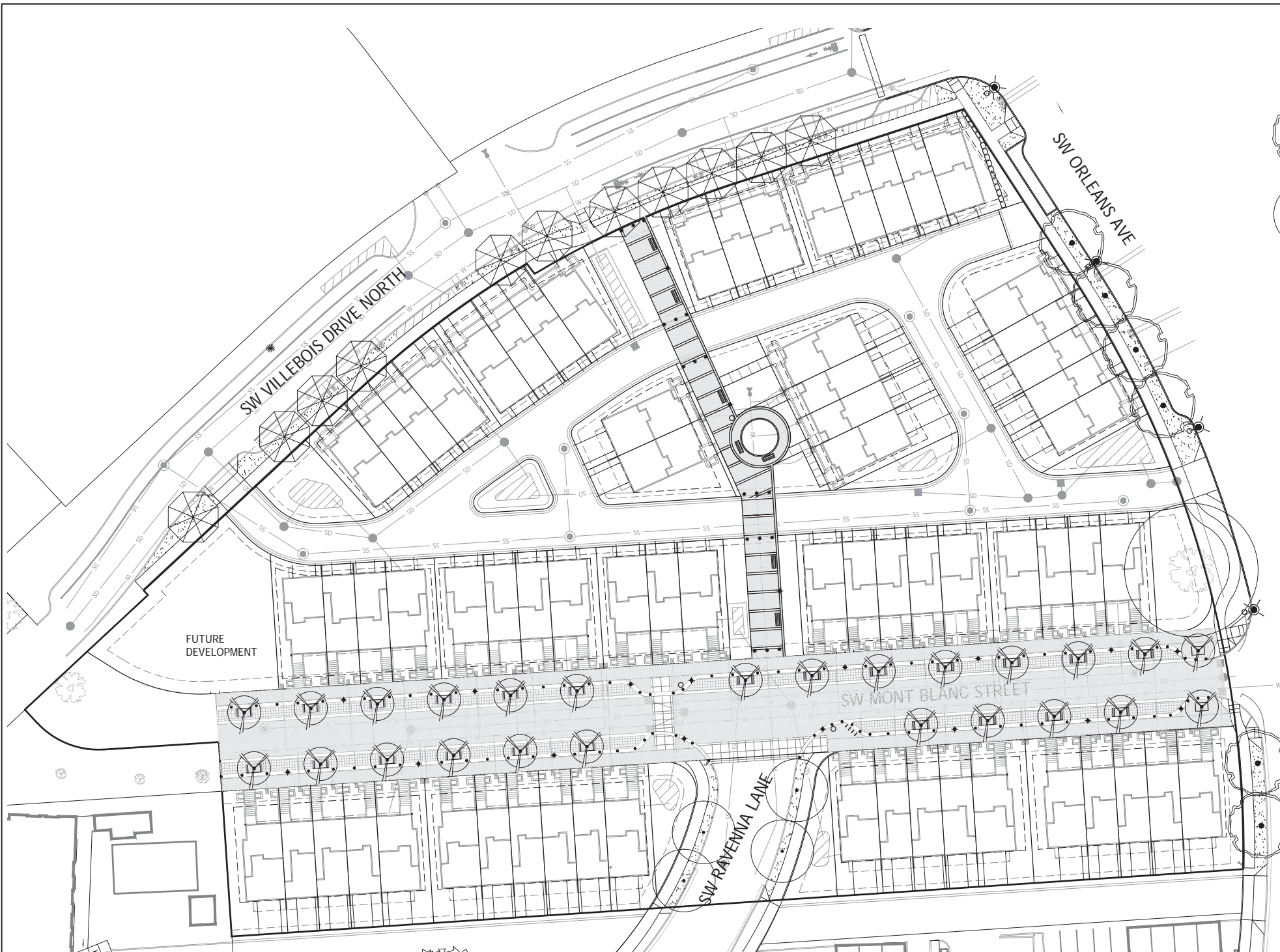
1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

9



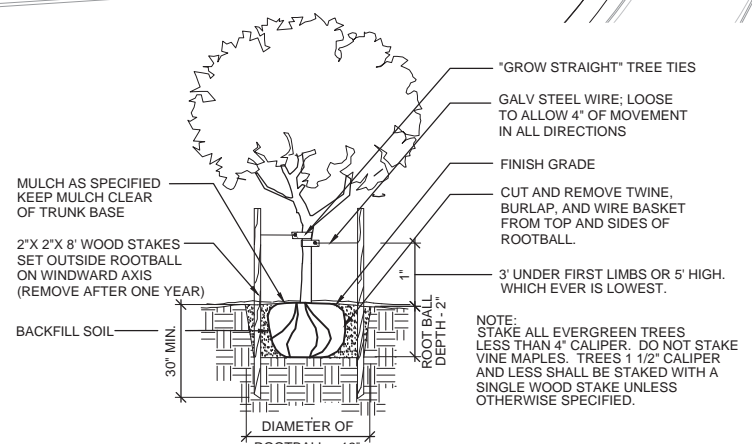
N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\Submit\395-057.dwg - SHEET: 22x34 May, 26, 15 - 3:37 PM pre

N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\Submittal\Landscape\PDP\395057 STREETREE-LA-PDP.dwg - SHEET: L1 May, 26, 15 - 3:45 PM pre



STREET TREE LEGEND:

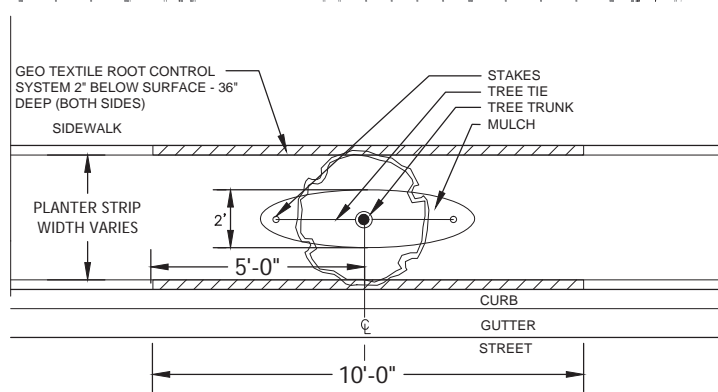
SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	11	EASY STREET MAPLE / ACER PLATANOIDES 'EZESTRE'	2" cal., B&B	25' o.c.
	6	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2" cal., B&B	30' o.c.
	25	ARMSTRONG RED MAPLE / ACER FREEMANII 'ARMSTRONG'	2.5" cal., B&B	25' o.c.
	4	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	3,898 S.F.	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		



TREE STAKING DETAIL

SCALE: N.T.S

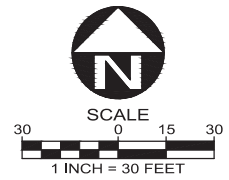
1
L1



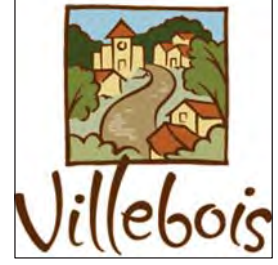
TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S

2
L1



ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

**STREET TREE
PLAN**

1ST SUBMITTAL DATE 4/29/2015
2ND SUBMITTAL DATE 5/26/2015

L1

IIC) Utility and Drainage Reports



MEMORANDUM

DATE: May 19, 2015
TO: City of Wilsonville
FROM: Patrick Espinosa, PE
Pacific Community Design
RE: Villebois Row Homes (PDP 7C) Rainwater Analysis
Job No. 395-057

This memorandum report is to demonstrate that the rainwater management program proposed for the Villebois Row Homes (PDP 7C) development portion of Villebois SAP Central is in compliance with the rainwater master plan submitted with SAP Central.

The site falls along the boundary line between the Arrowhead Creek drainage basin and the Coffee Lake Creek drainage basin. The SAP Central design intended for the site drainage to be split roughly in half with the western portion of the site flowing to Arrowhead Creek and the eastern portion flowing to Coffee Lake Creek.

The proposed development splits the site such that the northern portion will drain to Arrowhead Creek, and the southern portion will drain to Coffee Lake Creek. A small portion of SW Ravenna Loop will drain offsite to the south. Refer to the Developed Drainage Map A3.

The design intent of the proposed development is to have approximately the same amount of impervious area drain to each basin as was defined by SAP Central to ensure that all downstream facilities are adequately sized.

The SAP Central rainwater management plan showed rainwater management provided by a series of bio-retention cells located within the planter strips of the adjacent public streets, pervious pavement along Mont Blanc Street, as well as planter boxes on the lots for individual buildings. Refer to Figure A for the SAP Central Rainwater Management Plan, and Figure C for SAP Central Rainwater Management Calculations.

The proposed development will contain bio-retention cells within the planter strips to treat adjacent public street runoff, and pervious pavement will be installed along Mont Blanc Street. Every available open space, in proximity to a proposed row home, was utilized for a rainwater facility. This resulted in eight additional bio-retention cells that will treat ten of the row home buildings within the site. In addition, vegetated swales have been added to Villebois Drive so that 100% of the impervious area on this street is treated, similar to the pervious pavers

originally proposed for this street.

Refer to Figure A2 for the PDP 7C Rainwater Management Plan, and figures B1-B10 for impervious area calculations. Figure C contains a Rainwater Compliance Summary.

PDP 7C will treat 80% of the impervious area created on site. With the existing treatment facilities along with the future treatment facilities located on the remaining portion of SAP Central, SAP Central will treat 70% of the overall impervious area created. Based on this information the current facilities are adequately sized to provide treatment per the Villebois Village Rainwater Management Plan for SAP Central.

Thank you.

Attachments:

1. Figure A - SAP Central Rainwater Management Plan
2. Figure A2 - PDP 7C Rainwater Management Plan
3. Figure A3 - Developed Drainage Map
4. B1 - Composite Curve Number - Lot 75 SAP Central (F-6.1)
5. B2 - Percent Impervious - Lot 75 SAP Central (F-6.1)
6. B3 - Composite Curve Number - Lot 75 SAP Central (P-2.3C)
7. B4 - Percent Impervious - Lot 75 SAP Central (P-2.3C)
8. B5 - Composite Curve Number - Lot 75 PDP 7C (F-6.1)
9. B6 - Percent Impervious - Lot 75 PDP 7C (F-6.1)
10. B7 - Composite Curve Number - Lot 75 PDP 7C (F-6.2)
11. B8 - Percent Impervious - Lot 75 PDP 7C (F-6.2)
12. B9 - Composite Curve Number - Lot 75 PDP 7C (P-2.3C)
13. B10 - Percent Impervious - Lot 75 PDP 7C (P-2.3C)
14. C - SAP Central Rainwater Management Calculations, and Rainwater Compliance Summary



COSTA PACIFIC COMMUNITIES

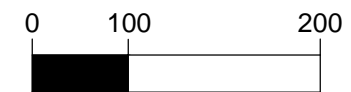
ALPHA COMMUNITY DEVELOPMENT
FLETCHER FARR AYOTTE
IVERSON ASSOCIATES
PACIFIC HABITAT SERVICES
WALT KNAPP
KITTELSON & ASSOCIATES
MAYER/REED

LEGEND:

- SAP BOUNDARY
- RAINWATER COMPONENT
- PERVIOUS STREET PAVERS
- ROOF GARDEN
- 6** RAINWATER COMP. NUMBER



SCALE



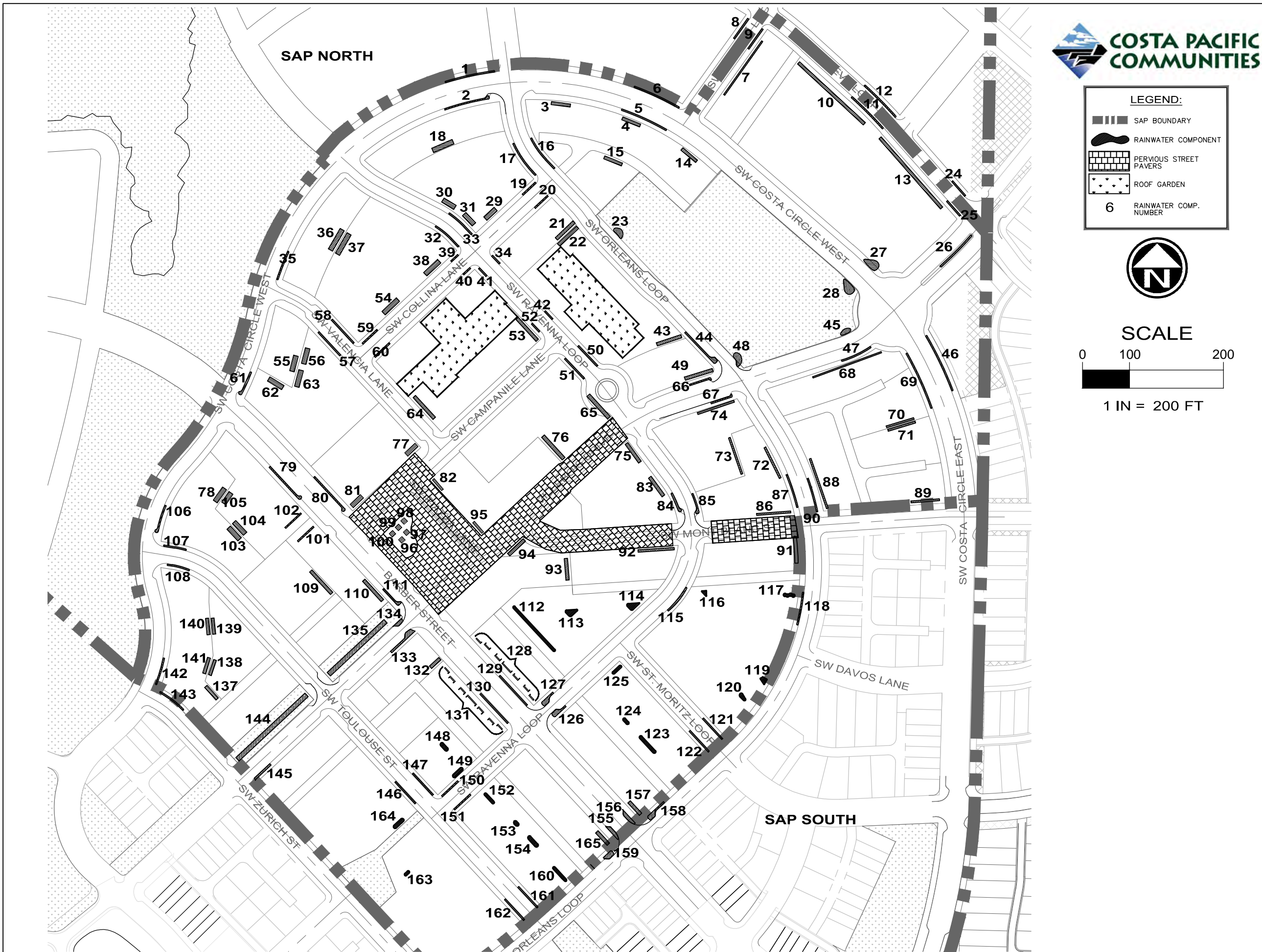
1 IN = 200 FT

VILLEBOIS
SAP CENTRAL

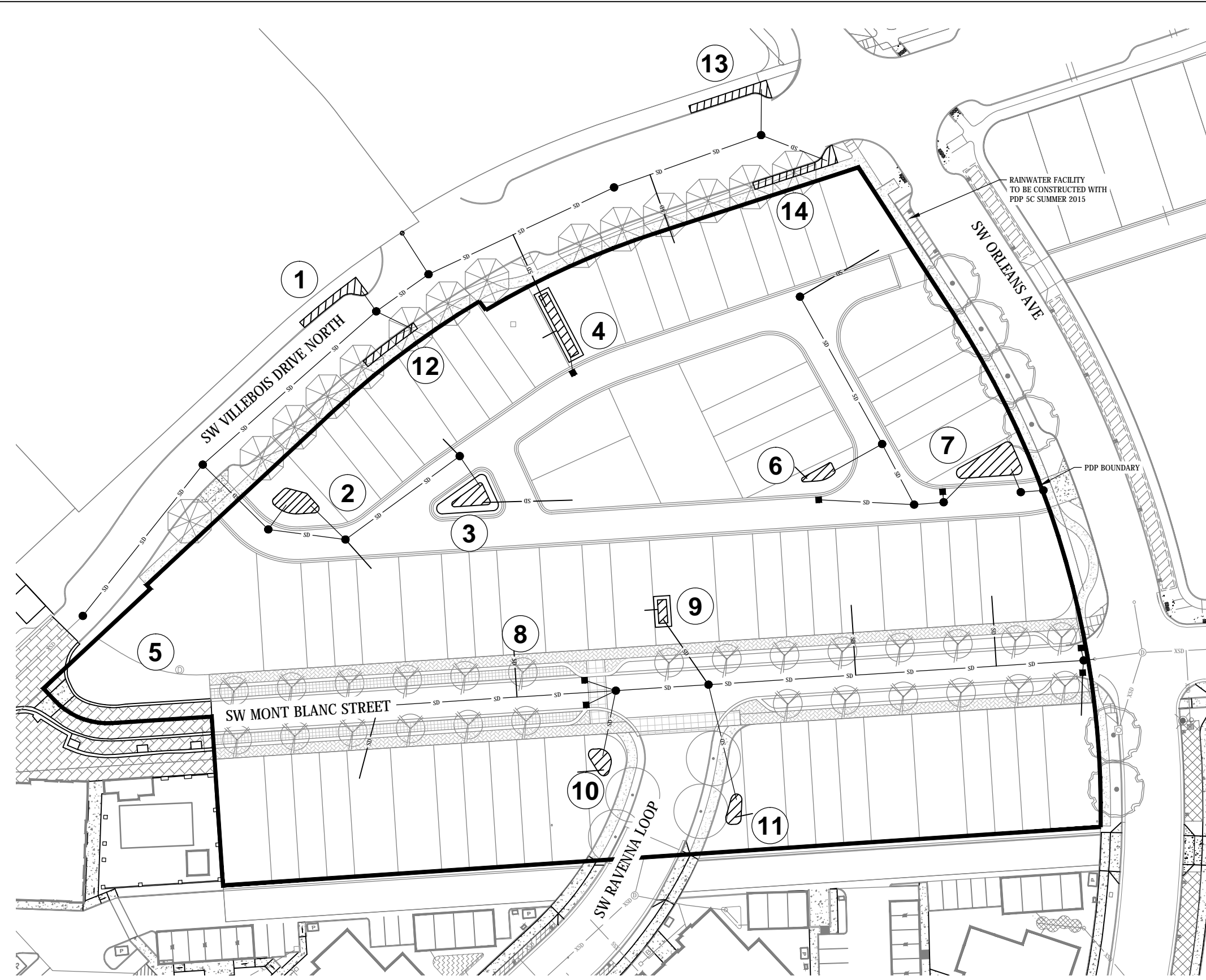
Rainwater
Management
Plan

DATE: February 24, 2006

FIGURE A

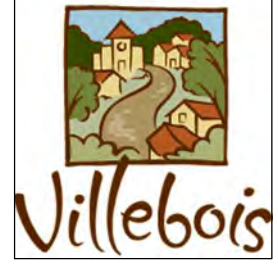


N:\proj\395-057\09 Drawings\03 Planning\Exhibits - Rainwater\395057\A2\PRIN.dwg - SHEET: 22x34 May, 19, 15 - 10:19 AM pre



LEGEND:

- SD — PROPOSED STORM DRAIN
- PROPOSED RAINWATER MANAGEMENT FACILITY



POLYGON NW COMPANY



GEODESIGN, INC

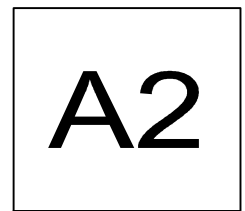
REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

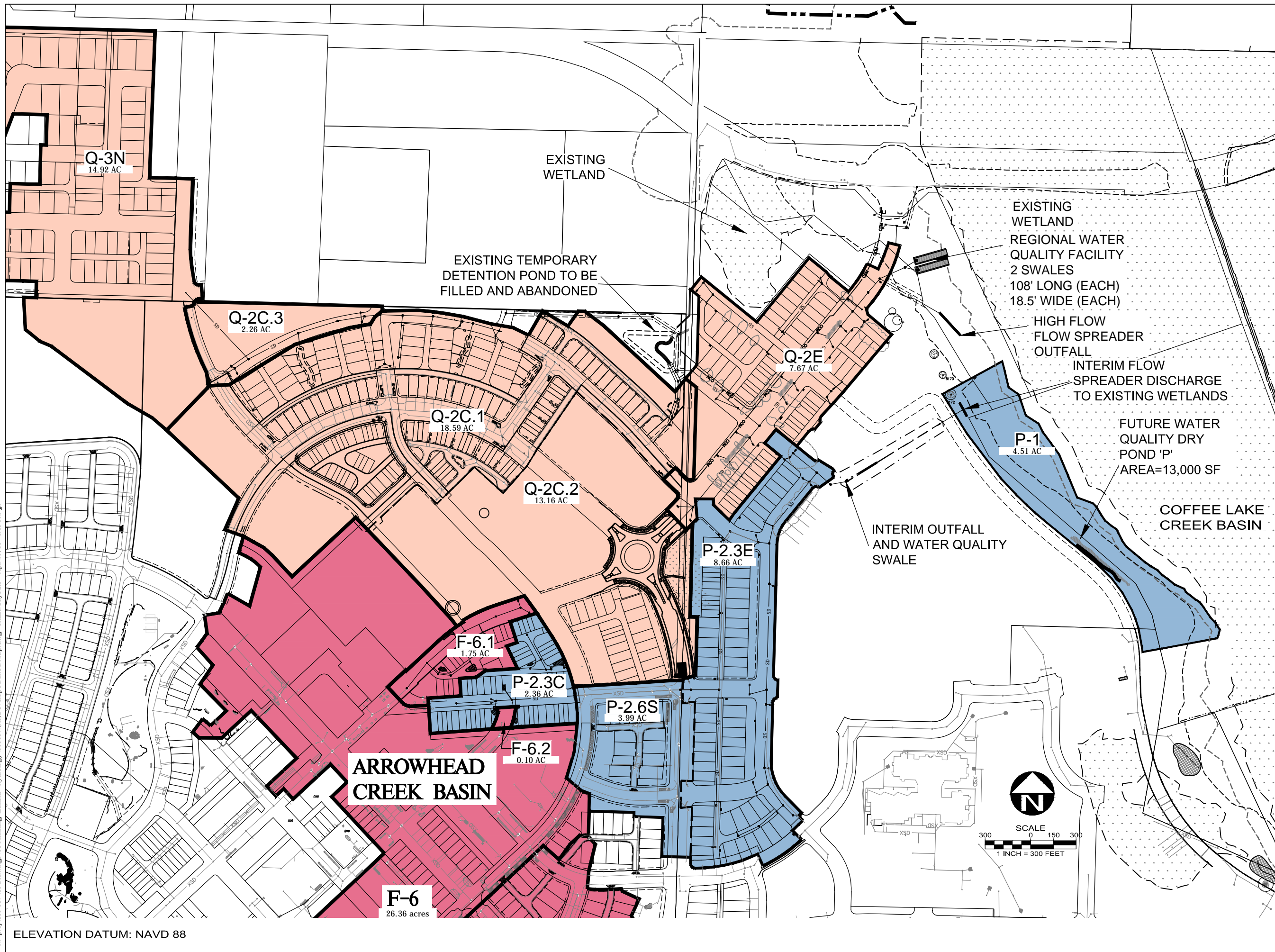
**RAINWATER
MANAGEMENT
PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/19/2015



ELEVATION DATUM: NAVD 88

N:\proj\395-057\08 Drawings\03 Planning Exhibits - Hydrology\395057 (A3)\Developed Shed Map.dwg - SHEET: Layout1 Apr. 29, 15 - 1:40 PM jlk



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

DEVELOPED
DRAINAGE
MAP

1ST SUBMITTAL DATE 4/29/2015

A3



**COMPOSITE CURVE NUMBER
LOT 75 - SAP CENTRAL
ARROWHEAD CREEK BASIN - F-6.1**

JOB NUMBER: 395-057
 PROJECT: LOT 75 - VILLEBOIS PDP 7C
 FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER
 MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	0.96	90	41.4%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.11	94	4.7%
Street and Alley ROW's	1.25	94.4	53.9%
Open Space Area	0.00	80	0.0%
TOTAL	2.32		

Composite Curve Number per COA = 92.6

FIGURE B1



**PERCENT IMPERVIOUS
LOT 75 - SAP CENTRAL
ARROWHEAD CREEK - F-6.1**

JOB NUMBER: 395-057
PROJECT: LOT 75 - VILLEBOIS PDP 7C
FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

Total Site Area 2.32 acres 100,965 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	35,512
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	4,313
ROW/Alley Impervious Area (80%)	43,515
Total	83,340
% Impervious =	83%

FIGURE B2



**COMPOSITE CURVE NUMBER
LOT 75 - SAP CENTRAL
COFFEE LAKE CREEK BASIN - P-2.3C**

JOB NUMBER: 395-057
 PROJECT: LOT 75 - VILLEBOIS PDP 7C
 FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER
 MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	1.39	90	60.8%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.00	94	0.0%
Street and Alley ROW's	0.90	94.4	39.2%
Open Space Area	0.00	80	0.0%
TOTAL	2.29		

Composite Curve Number per COA = 91.7

FIGURE B3



**PERCENT IMPERVIOUS
LOT 75 - SAP CENTRAL
COFFEE LAKE CREEK - P-2.3C**

JOB NUMBER: 395-057
PROJECT: LOT 75 - VILLEBOIS PDP 7C
FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

Total Site Area 2.29 acres 99,895 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	51,598
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	0
ROW/Alley Impervious Area (80%)	31,353
Total	82,951
% Impervious =	83%

FIGURE B4



**COMPOSITE CURVE NUMBER
LOT 75 - PDP 7C
ARROWHEAD CREEK - F-6.1**

JOB NUMBER: 395-057
 PROJECT: LOT 75 - VILLEBOIS PDP 7C
 FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER
 MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	0.45	90	25.9%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.11	94	6.5%
Street and Alley ROW's (Impervious)	0.96	94.4	55.0%
Street and Alley ROW's (Pervious)	0.06	80	3.6%
Open Space Area	0.16	80	9.1%
TOTAL	1.75		

Composite Curve Number per COA = 91.4

FIGURE B5



**PERCENT IMPERVIOUS
LOT 75 - PDP 7C
ARROWHEAD CREEK - F-6.1**

JOB NUMBER: 395-057
PROJECT: LOT 75 - VILLEBOIS PDP 7C
FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

Total Site Area 1.75 acres 76,107 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	16,754
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	4,424
ROW/Alley Impervious Area (80%)	33,498
Total	54,676

% Impervious = 72%

FIGURE B6



**COMPOSITE CURVE NUMBER
LOT 75 - PDP 7C
ARROWHEAD CREEK - F-6.2**

JOB NUMBER: 395-057
 PROJECT: LOT 75 - VILLEBOIS PDP 7C
 FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER
 MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.00	94	0.0%
Street and Alley ROW's (Impervious)	0.10	94.4	100.0%
Street and Alley ROW's (Pervious)	0.00	80	0.0%
Open Space Area	0.00	80	0.0%
TOTAL	0.10		

Composite Curve Number per COA = 94.4

FIGURE B7



**PERCENT IMPERVIOUS
LOT 75 - PDP 7C
ARROWHEAD CREEK - F-6.2**

JOB NUMBER: 395-057
PROJECT: LOT 75 - VILLEBOIS PDP 7C
FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

Total Site Area 0.10 acres 4,205 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	0
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	0
ROW/Alley Impervious Area (80%)	3,364
Total	3,364

% Impervious = 80%

FIGURE B8



**COMPOSITE CURVE NUMBER
LOT 75 - PDP 7C
COFFEE LAKE CREEK - P-2.3C**

JOB NUMBER: 395-057
 PROJECT: LOT 75 - VILLEBOIS PDP 7C
 FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER
 MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

CURVE NUMBERS PER SAP CENTRAL C.O.A. PF10

Open Space and landscape areas	80
Commercial areas	94
Impervious Area Streets, Alleys *	98
Residential Development 1/8 acre or less	90
Residential Development 1/4 acre or less	83

* Streets and Alleys are modeled as 80% impervious and 20% pervious. Utilizing a CN of 80 for the pervious area and 98 for the impervious area, the weighted CN for streets and alleys would be 94.4.

ON-SITE	(AC)	CN	% of total
Row House (1/8 acre)	1.43	90	60.9%
Single Family Detached (1/8 acre)	0.00	90	0.0%
Single Family Detached (1/4 acre)	0.00	83	0.0%
Commercial/Multi-Family areas	0.00	94	0.0%
Street and Alley ROW's (Impervious)	0.24	94.4	10.0%
Street and Alley ROW's (Pervious)	0.52	80	22.3%
Open Space Area	0.16	80	6.9%
TOTAL	2.36		

Composite Curve Number per COA = 87.5

FIGURE B9



**PERCENT IMPERVIOUS
LOT 75 - PDP 7C
COFFEE LAKE CREEK - P-2.3C**

JOB NUMBER: 395-057
PROJECT: LOT 75 - VILLEBOIS PDP 7C
FILE: N:/PROJ/395-057/05-REPORTS/RAINWATER MANAGEMENT/395057.Rainwater Analysis.2015-04-23.XLS

Total Site Area 2.36 acres 102,593 sf

	Imp. Area (sf)
ON-SITE	
Row House Lot Impervious Area (85%)	53,066
Single Family Lot Impervious Area (60%)	0
Commercial Lot Impervious Area (90%)	0
ROW/Alley Impervious Area (80%)	8,205
Total	61,271

% Impervious = 60%

FIGURE B10



JOB NUMBER: 395-057

PROJECT: LOT 75 - VILLE BOIS PDP 7 C

FILE: N:\PROJ\395-057\05-REPORTS\RAINWATER MANAGEMENT\395057.Rainwater Analysis.2015-04-23.XLS

**EXHIBIT C:
RAINWATER COMPLIANCE SUMMARY - SAP CENTRAL**

PHASE	DRAINAGE BASIN	BASIN ID	AREA (SF)	% IMPERVIOUS	IMPERVIOUS AREA (SF)	RAINWATER COMPONENT NO.	RAINWATER COMPONENT TYPE	RAINWATER COMPONENT AREA/ NO. OF TREES	SIZING FACTOR	IMPERVIOUS AREA TREATED ¹			% IMPERVIOUS AREA TREATED	
										ARROWHEAD CREEK	MILL CREEK	COFFEE LAKE CREEK		
7C	ARROWHEAD CREEK	F6.1	76,107	72%	54,676	-	-	-	-	39,199	-	53,100	-	
						1	TREES	11	0.01	1100		-		
						2	BIO-RETENTION CELL	165	0.03	5500		-		
						3	BIO-RETENTION CELL	231	0.03	7700		-		
						4	BIO-RETENTION CELL	44	0.03	1467		-		
						5	BIO-RETENTION CELL	44	0.03	1467		-		
						6	PERVIOUS PAVEMENT	2,720	1	2720		-		
						12	BIO-RETENTION CELL	138	0.03	4600		-		
						13	BIO-RETENTION CELL	222	0.03	7105		-		
						14	BIO-RETENTION CELL	228	0.03	7540		-		
7C	COFFEE LAKE CREEK	P-2.3C	102,593	60%	61,271					-		-		
						6	TREES	35	0.01	-		3500		
						7	BIO-RETENTION CELL	91	0.03	-		3033		
						8	BIO-RETENTION CELL	417	0.03	-		13900		
						9	PERVIOUS PAVEMENT	22,867	1.00	-		22867		
						10	BIO-RETENTION CELL	60	0.03	-		2000		
						11	BIO-RETENTION CELL	127	0.03	-		4233		
						11	BIO-RETENTION CELL	107	0.03	-		3567		
TOTAL PDP 1C			717,433		556,610					368,104			66%	
TOTAL PDP 2C			230,432		189,922					90,499			48%	
TOTAL PIAZZA VILLEBOIS			38,768		38,768					26,042			67%	
TOTAL PHASE 4C			354,143		251,361						165,600		66%	
TOTAL PHASE 6C			80,884		61,092						24,516		40%	
TOTAL PHASE 7C			178,700		115,947					39,199		53,100	80%	
FUTURE SAP CENTRAL PHASES ²			735,763		593,168					47,547		444,498	83%	
SAP CENTRAL TOTAL			2,336,123		1,806,868					52,484		47,547	687,714	70%

¹ COMPONENT IMPERVIOUS AREA TREATED REFLECTS ACTUAL COMPONENT CATCHMENT AREA AND MAY NOT REFLECT SIZING FACTOR

² FUTURE SAP CENTRAL PHASE TOTALS PER APPROVED SAP CENTRAL RAINWATER MANAGEMENT PLAN

IID) Traffic Analysis



117 Commercial Street NE
 Suite 310
 Salem, OR 97301
 503.391.8773
 www.dksassociates.com

MEMORANDUM

DATE: May 28, 2015
TO: Steve Adams, P.E., City of Wilsonville
FROM: Scott Mansur, P.E., PTOE *Sm*
 Halston Tuss, EIT



SUBJECT: Villebois Urban Village SAP Central 7C Transportation Study (Lot 75)

P15018-006

This memorandum documents trip generation estimates and a site plan review for the proposed PDP 7C development of 68 rowhouses south of Villebois Drive and west of Orleans Avenue. The purpose of this memorandum is to compare the proposed land use development of Villebois Urban Village Specific Area Plan (SAP) Central (dated March 3rd, 2015) to previously analyzed SAP Central land use numbers and ensure the current proposal was adequately analyzed as part of a prior traffic impact study and that additional intersection capacity analysis will not be needed.

Villebois Land Use

When the Future Study Area was added to the *Villebois Village Master Plan*,¹ DKS performed updated traffic impact analysis for the entire Villebois area. Table 1 shows the residential land use estimates that were the basis of the updated traffic impact analysis.²

Table 1: Villebois Village Residential Land Uses Analyzed in Prior Traffic Impact Study (October 2013)

SAP	Single Family Units	Condo/Townhouse Units	Apartment Units	Total Residential Units
East	534	42	-	576
Central ^a	49	459	501	1,009
North	423	31	10	464
South	357	103	21	481

^a SAP Central also included 33,000 square feet of retail space.

¹ The most recent version of the *Villebois Village Master Plan* was adopted October 7, 2013, and included the addition of the “future study area”.

² *Villebois Future Study Area Transportation Impact Analysis*, DKS Associates, October 21, 2013, page 5.



SAP Central Residential Land Use/Trip Generation

As shown previously in Table 1, the most recent traffic impact analysis performed for Villebois assumed that SAP Central would include 49 single family units, 459 condo/townhouse units, and 501 apartment units for a total of 1,009 residential units. Now, the current SAP Central proposal (dated April 15, 2015) includes 74 single family units, 423 condo/townhouse units, and 515 apartment units for a total of 1,012 residential units.³ Table 2 shows the p.m. peak hour trip generation estimates for both land use breakdowns along with the net change.⁴ As shown, the currently planned residential land uses are estimated to generate 614 (401 in, 213 out) p.m. peak hour trips for SAP Central, which is a net increase of 16 total (9 in, 7 out) trips. This increase in project trips does not trigger additional traffic impact analysis, but will need to be coordinated with the City staff regarding transportation system development charges (SDCs) related to additional trips through the I-5/Wilsonville Road interchange area.

Table 2: SAP Central Trip Generation Comparison

Land Use (ITE Code)	Size	Average Trip Generation Rate	Number of New Trips (P.M. Peak)		
			In	Out	Total
<i>Basis of Traffic Impact Analysis (October 2013)</i>					
Single Family Units (210)	49 units	1.01 trips/unit	31	18	49
Condo/Townhome (230)	459 units	0.52 trips/unit	159	79	238
Apartments (220)	501 units	0.62 trips/unit	202	109	311
Total Trips			392	206	598
<i>Current Plans (May 2015)</i>					
Single Family Units (210)	74 units	1.01 trips/unit	47	28	75
Condo/Townhome (230)	423 units	0.52 trips/unit	147	73	220
Apartments (220)	515 units	0.62 trips/unit	207	112	319
Total Trips			401	213	614
Net New Trips			9	7	16

³ Single Family unit number provided by Stacy Connery, Pacific Community Design, May 7, 2015.

⁴ Retail land use quantities and trip generation estimates were not included in the analysis because no changes are being proposed.



SAP Central PDP 7C Lot 75 Trip Generation

SAP Central is broken into approximately 14 Planned Development Phases (PDPs). Table 3 shows the estimated trip generation for PDP 7C based on the currently proposed 68 rowhouses for Lot 75. As shown, the 68 proposed residential units planned would generate approximately 35 (23 in, 12 out) p.m. peak hour trips.

Table 3: SAP Central PDP 7C Lot 75 Trip Generation

Land Use (ITE Code)	Number of Units	Average Trip Generation Rate	Number of New Trips (P.M. Peak)		
			In	Out	Total
Lot 75 - Condo/Townhome (230)	68	0.52 trips/unit	23	12	35

Site Plan Review

The applicant’s preliminary site plan was provided with the Traffic Study Request letter and is attached to the appendix.⁵ It was reviewed to evaluate site access for vehicles and pedestrians as well as evaluate parking.

Site Access

The roadways of Villebois Drive and Orleans Avenue are planned to be extended surrounding the proposed site, with Mont Blanc Lane planned to be extended through the site running east-west. Access to the internal alley network of the site will be provided on Villebois Drive (two proposed accesses), Orleans Avenue (two accesses proposed accesses). An existing alley way located immediately south of the site will also provide access to the proposed rowhouses backing up to it.

Pedestrian Access

The site plan shows proposed sidewalks surrounding the rowhouses on the Villebois Drive North, Orleans Avenue, and Mont Blanc Lane frontages. Additionally, the site plan shows a multi-use path through the site running north-south that connects with proposed pedestrian crossings on the future Villebois Drive North and Mont Blanc Lane extension. The Village Center Plaza, the “heart of Villebois” intended to promote community activities, such as festivals, outdoor movies, music and dining, will be a major generator of pedestrian traffic west of the proposed site. Collina Park to the north of the site will also be a generator of pedestrian traffic. The project sponsor should ensure that the appropriate pathways to and from the Village Center Plaza and Collina Park are incorporated into the Villebois SAP Central PDP 7C development.

Parking

In total, the 68 rowhouse units require 1 space per dwelling unit. Therefore, the single car garages provided with each rowhouse along with eight on-street parking stalls⁶ will be sufficient to the parking demand and code requirements.

⁵ Site plan provided in email from Steve Adams, City of Wilsonville, April 15, 2015.

⁶ Based on approximately 200 feet of proposed on-street parking.



Summary

Key findings for the proposed Villebois Urban Village SAP Central PDP 7C Lot 75 development of 68 rowhouses in Wilsonville, Oregon are as follows:

- The proposed SAP Central is expected to generate 16 (9 in, 7 out) p.m. peak hour trips more than the original approved trip generation estimates.
- This increase will need to be coordinated with the City staff regarding supplemental transportation system development charges (TSDCs) related to additional trips through the I-5/Wilsonville Road interchange area.
- The proposed development of 68 rowhouses within PDP 7C are estimated to generate 35 (23 in, 12 out) p.m. peak hour trips.
- The required parking spaces (68) are provided by the project.

Please let us know if you have any questions.

III E) Tree Report

**Villebois Village Center #3, Lot 75 – Wilsonville, Oregon
Tree Maintenance and Protection Plan
April 21, 2015**

MHA15025

Purpose

This Tree Maintenance and Protection Plan for the Villebois Village Center #3, Lot 75 project located in Wilsonville, Oregon, is provided pursuant to City of Wilsonville Development Code, Section 4.610.40. This arborist report describes the existing trees located on the project site, as well as recommendations for tree removal, retention, mitigation, and protection. This report is based on observations made by International Society of Arboriculture Certified Arborist (PN-6145A) and Qualified Tree Risk Assessor Morgan Holen during a site visit conducted on April 21, 2015.

Scope of Work and Limitations

Morgan Holen & Associates, LLC, was contracted by Polygon Northwest Company to visually assess existing trees measuring six inches in diameter and larger in terms of general condition and suitability for preservation with development, and to develop a tree maintenance and protection plan for the project. The site is planned for residential development. A site plan was provided by Pacific Community Design illustrating the location of trees and tree survey point numbers, and potential construction impacts.

Visual Tree Assessment (VTA¹) was performed on individual trees located on and directly adjacent to the project site. Trees were evaluated in terms species, size, general condition, and potential construction impacts, and treatment recommendations include remove, retain, or protect off-site. Following the inventory fieldwork, we coordinated with Pacific Community Design to discuss and finalize treatment recommendations based on the proposed site plan.

The client may choose to accept or disregard the recommendations contained herein, or seek additional advice. Neither this author nor Morgan Holen & Associates, LLC, have assumed any responsibility for liability associated with the trees on or adjacent to this site.

General Description

In all, 23 trees measuring 6-inches and larger in diameter were inventoried including four tree species. Table 1 provides a summary of the count of trees by species. A complete description of individual trees is provided in the enclosed tree inventory.

Table 1. Count of Trees by Species – VVC#3 Lot 75, Wilsonville, OR.

Common Name	Species Name	Total	Percent
apple	Malus spp.	3	13.0%
crabapple	Malus spp.	1	4.4%
Norway maple	Acer platanoides	12	52.2%
pin oak	Quercus palustris	3	13.0%
red maple	Acer rubrum	4	17.4%
Total		23	100%

¹ Visual Tree Assessment (VTA): The standard process of visual tree inspection whereby the inspector visually assesses the tree from a distance and up close, looking for defect symptoms and evaluating overall condition and vitality.

No Oregon white oaks (*Quercus garryana*), native yews (*Taxus brevifolia*), or any species listed by either the state or federal government as rare or endangered were found on the site.

Twelve of the inventoried trees are Norway maples (*Acer platanoides*) which is a species widely accepted as being invasive in our region. Invasive species are broadly defined as species that were introduced by humans to locations outside of their native range that spread and persist over large areas outcompeting native species. Invasive species negatively impact natural ecosystems by displacing native species, reducing biological diversity and interfering with natural succession. One of these trees is dead (#440) and the other 11 Norway maples are infected with Verticillium wilt, which is caused by the fungus *Verticillium dahlia*. These trees generally appear in decline and have dead branches and varying degrees of crown dieback.

Three of the four red maples (*Acer rubrum*) that were inventoried also exhibit Verticillium wilt symptoms, but these trees are in relatively better condition than the Norway maples.

One crabapple (*Malus* spp.) is included in the inventory and this tree is a small ornamental flowering tree that has not been maintained in recent years and has numerous branches and moderate structure.

Two small apple (*Malus* spp.) trees are located in the right-of-way and a third is located off-site on an adjacent property. These trees have moderate structure and decay and have also not been maintained in recent years.

The three most prominent trees are all pin oaks (*Quercus palustris*). One has large codominant leaders, but appears stable, and the other two have no notable defects. Each of these trees would benefit from regular maintenance pruning to remove dead and defective branches.

Tree Plan Recommendations

As described in the enclosed tree inventory data, individual trees were assigned a general condition rating as follows:

- P: Poor Condition
- M: Moderate Condition
- G: Good Condition
- I: Important Condition

Two of the three pin oaks are classified as "Important", while the other third pin oak is classified as "Good". All three pin oaks are recommended for retention, including one tree along the west side of Orleans Avenue (#437) and two bordering the north (#302) and south (#301) sides of Villebois Drive. These trees will require special protection measures during street construction; the new streets should be built up from the existing grade to avoid root zone excavation. In addition, future home construction adjacent tree #437 should be compatible with tree protection; a pier and beam foundation may be needed to avoid root zone excavation if building must occur beneath the dripline area and pruning for building clearance will likely be needed to avoid crown damage during construction.

Two of the four red maples are classified as “Good.” The other two red maples are classified as “Moderate” because they appear symptomatic of Verticillium wilt. These four trees are recommended for removal for the purposes of construction, including grading, a new street, and building lots.

All 12 invasive Norway maples with Verticillium wilt are recommended for removal for the purposes of construction, including six trees classified as “Moderate” and six trees classified as “Poor.” The difference in condition rating is due to the severity of dieback and decline caused by Verticillium wilt.

The unmaintained crabapple is classified as “Moderate” and recommended for removal for the purposes of sidewalk construction.

The three apple trees are all classified as “Poor”, two of which are located in the right-of-way along the north side of Villebois Drive and are recommended for removal for the purposes of street construction. The third apple tree is located off-site to the north and can be satisfactorily protected during construction with tree protection fencing installed at the edge of the right-of-way.

Table 2 provides a summary of the count of trees by general condition rating and treatment recommendation.

Table 2. Count of Trees by Treatment Recommendation and General Condition Rating.

Treatment Recommendation	General Condition				Total
	P	M	G	I	
Remove	8	9	2	0	19 (83%)
Retain	0	0	1	2	3 (13%)
Protect Off-Site	1	0	0	0	1 (4%)
Total	9 (39%)	9 (39%)	3 (13%)	2 (9%)	23 (100%)

Mitigation Requirements

Nineteen trees are recommended for removal and will require mitigation per Section 4.620.00; removed trees shall be replaced on a basis of one tree planted for each tree removed. Therefore, 19 trees measuring at least 2-inch in diameter shall be planted as mitigation for tree removal.

Tree Protection Standards

The four trees planned for preservation will require special consideration to assure their protection during construction. We highly recommend a preconstruction meeting with the owner, contractors, and project arborist to review tree protection measures and address questions or concerns on site. Tree protection measures include:

- **Fencing.** Trees to remain on site shall be protected by installation of tree protection fencing to prevent injury to tree trunks or roots, or soil compaction within the root protection area, which generally coincides with tree driplines. Fences shall be 6-foot high steel on concrete blocks or orange plastic construction fencing on metal stakes. The project arborist shall determine the exact location and type of tree protection fencing. Trees located more than 30-feet from construction activity shall not require fencing.

- **Tree Protection Zone.** Without authorization from the Project Arborist, none of the following shall occur beneath the dripline of any protected tree:
 1. Grade change or cut and fill;
 2. New impervious surfaces;
 3. Utility or drainage field placement;
 4. Staging or storage of materials and equipment; or
 5. Vehicle maneuvering.

Root protection zones may be entered for tasks like surveying, measuring, and, sampling. Fences must be closed upon completion of these tasks.

- **Pruning.** Pruning may be needed to provide for overhead clearance and to remove dead and defective branches for safety. The project arborist can help identify where pruning is necessary once trees recommended for removal have been removed and the site is staked and prepared for construction. Tree removal and pruning shall be performed by a Qualified Tree Service.
- **Excavation.** Excavation beneath the dripline of protected trees shall be avoided if alternatives are feasible. Otherwise, the project arborist shall provide on-site consultation during all excavation activities beneath the dripline of protected trees. Excavation immediately adjacent to roots larger than 2-inches in diameter within the root protection zone of retained trees shall be by hand or other non-invasive techniques to ensure that roots are not damaged. Where feasible, major roots shall be protected by tunneling or other means to avoid destruction or damage. Exceptions can be made if, in the opinion of the project arborist, unacceptable damage will not occur to the tree. Where soil grade changes affect the root protection area, the grade line should be meandered wherever practicable. This will require on-site coordination to ensure a reasonable balance between engineering, construction, and the need for tree protection.
- **Surfacing.** Where new surfacing is proposed beneath the dripline of protected trees, coordinate with the project arborist to provide recommendations for adjustments to protection fencing and to monitor construction beneath protected tree driplines. Avoid excavation and use a modified profile to build up from existing grade (Figure 1). The profile includes a layer of permeable geotextile fabric on the ground surface and clean crushed rock to raise the grade as needed. Surfacing may include asphalt, concrete, or other materials. If excavation is necessary, work shall be performed under arborist supervision.

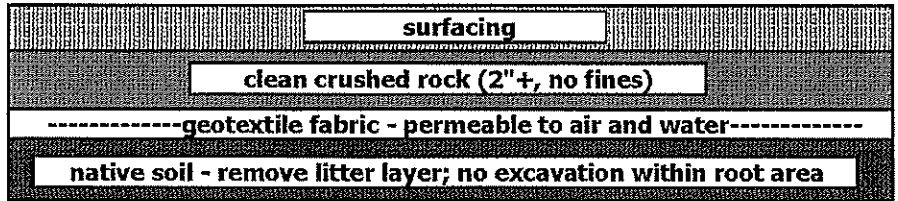


Figure 1. Sample profile for areas within Critical Root Zones. Depth of rock is dependent on grading. Technique based on best management practices.

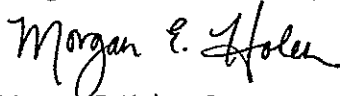
- **Landscaping.** Following construction and where landscaping is desired, apply approximately 3-inches of mulch beneath the dripline of protected trees, but not directly against tree trunks. Shrubs and ground covers may be planted within tree protection areas. If irrigation is used, use drip irrigation only beneath the driplines of protected trees.
- **Quality Assurance.** The project arborist should supervise proper execution of this plan during construction activities that could encroach on retained trees. Tree protection site inspection monitoring reports should be provided to the Client and City on a regular basis throughout construction.

Summary

In summary, four trees are recommended for retention, including one tree located off-site to the north adjacent to the right-of-way, and 19 trees are recommended for removal for the purposes of construction. Trees to be retained will require special consideration to assure their protection during construction. The 19 trees planned for removal will require mitigation on a one-for-one basis.

Thank you for choosing Morgan Holen & Associates, LLC, to provide consulting arborist services for the Villebois Village Center #3, Lot 75 project. Please contact us if you have questions or need any additional information.

Thank you,
Morgan Holen & Associates, LLC



Morgan E. Holen, Owner
ISA Certified Arborist, PN-6145A
ISA Tree Risk Assessment Qualified
Forest Biologist

Enclosures: Villebois Lot 75 – Tree Data 4-21-15



Morgan Holen
& ASSOCIATES, LLC

Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
301	pin oak	<i>Quercus palustris</i>	22	22	G	no major defects, pruning recommended	retain
302	pin oak	<i>Quercus palustris</i>	24	26	I	codominant leaders, pruning recommended	retain
362	Norway maple	<i>Acer platanoides</i>	13	14	M	invasive species, verticillium, substantial dieback	remove
363	Norway maple	<i>Acer platanoides</i>	10	14	M	invasive species, verticillium, dieback	remove
364	Norway maple	<i>Acer platanoides</i>	13	12	P	invasive species, verticillium, dead and broken branches, history of branch failure, crown decay	remove
367	red maple	<i>Acer rubrum</i>	28	22	G	multiple attachments, verticillium, dieback	remove
368	Norway maple	<i>Acer platanoides</i>	16	14	M	invasive species, verticillium, dead branches	remove
369	Norway maple	<i>Acer platanoides</i>	12	12	M	invasive species, verticillium, dead branches	remove
370	red maple	<i>Acer rubrum</i>	20	16	M	verticillium, dead branches, moderate crown structure, fair vigor	remove
371	red maple	<i>Acer rubrum</i>	22	20	M	verticillium, poor vigor	remove
372	red maple	<i>Acer rubrum</i>	26	20	G	few dead and broken branches, moderate vigor	remove
401	Norway maple	<i>Acer platanoides</i>	18	20	P	invasive species, verticillium, dead branches	remove
402	Norway maple	<i>Acer platanoides</i>	20	16	M	invasive species, verticillium, moderate structure	remove
435	Norway maple	<i>Acer platanoides</i>	11	12	P	invasive species, verticillium, dead branches	remove
436	Norway maple	<i>Acer platanoides</i>	10	10	P	invasive species, verticillium, top dieback	remove
437	pin oak	<i>Quercus palustris</i>	30	32	I	no major defects, pruning recommended	retain
438	Norway maple	<i>Acer platanoides</i>	12	14	P	invasive species, verticillium, dead branches	remove
439	Norway maple	<i>Acer platanoides</i>	17	16	M	invasive species, verticillium, dead branches	remove
440	Norway maple	<i>Acer platanoides</i>	10	10	P	dead	remove



Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
441	apple	<i>Malus</i> spp.	10	8	P	basal decay	remove
442	apple	<i>Malus</i> spp.	10	12	P	trunk decay	remove
443	apple	<i>Malus</i> spp.	8	8	P	crown decay	protect
449	crabapple	<i>Malus</i> spp.	10	12	M	flowering, poor structure, unmaintained	remove

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

^C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

#Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

Morgan Holen & Associates, LLC
 Consulting Arborists and Urban Forest Management
 3 Monroe Parkway, Suite P220, Lake Oswego, Oregon 97035
 morgan.holen@comcast.net | 971-409-9354

Section III

Tentative Plat

IIIA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
TENTATIVE PLAT
PDP 7 CENTRAL**

SECTION IIIA

TABLE OF CONTENTS

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE.....	2
SECTION 4.125. VILLAGE (V) ZONE.....	2
(.02) PERMITTED USES.....	2
(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE	2
(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING ..	4
(.08) OPEN SPACE.....	4
(.09) STREET & ACCESS IMPROVEMENT STANDARDS	5
(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS	8
SECTION 4.177. STREET IMPROVEMENT STANDARDS	8
SECTION 4.210. APPLICATION PROCEDURE.....	8
SECTION 4.236. GENERAL REQUIREMENTS - STREETS.	13
SECTION 4.237. GENERAL REQUIREMENTS - OTHER.....	15
SECTION 4.262. IMPROVEMENTS - REQUIREMENTS.	18
II. CONCLUSION.....	20

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125. VILLAGE (V) ZONE

(.02) PERMITTED USES

Examples of principle uses that are typically permitted:

- D. Row Houses
- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owners association.

Response: The proposed Tentative Plat will create lots for development of single family row houses, tracts for linear greens and a tract for future development. All proposed uses within the subject area are permitted pursuant to this section.

(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE

All development in this zone shall be subject to the V Zone and the applicable provisions of the Wilsonville Planning and Land Development Ordinance. If there is a conflict, then the standards of this section shall apply. The following standards shall apply to all development in the V zone:

- A. Block, Alley, Pedestrian and Bicycle Standards:
 - 1. Maximums Block Perimeter: 1,800 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent a block perimeter from meeting this standard.

Response: These standards are addressed within the PDP Compliance Report (see Section IIA).

- 2. Maximum spacing between streets for local access: 530 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent street extensions from meeting this standard.

Response: These standards are addressed within the PDP Compliance Report (see Section IIA).

- 3. If the maximum spacing for streets for local access exceeds 530 feet, intervening pedestrian and bicycle access shall be provided, with a maximum spacing of 330 feet from those local streets, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent pedestrian and bicycle facility extensions from meeting this standard.

Response: These standards are addressed within the PDP Compliance Report (see Section IIA).

- B. Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

Response: All of the lots within the proposed PDP that have frontage on a public street and an alley will take vehicular access from an alley to a garage or parking area.

Table V-1 Development Standards

Table V-1: Development Standards													
Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width (%)	Max. Bldg. Height (ft.)	Setbacks ^{18, 13, 20}				Alley-Loaded Garage (note)	Street-Loaded Garage (note)	
							Front Min. (ft.)	Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)			
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	5	NR	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ¹	15	NR	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ¹	8	NR	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	60	45	8 ²	15	NR	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ²	15	NR	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ²	15	NR	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5, 6}	20 ⁸	5	5 ¹³	7	7	8/728
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{5, 6}	20 ⁸	5	5 ¹³	7	7	8/728

Notes: NR: No Requirement
 NA: Not Allowed
 1 Lot < 8000sf: NR; Lot >8000sf: 80% (Max. Lot Coverage)
 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
 5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
 6 For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
 7 The garage setback from alley shall be between 3 and 5 feet or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main facade of the associated dwelling unit.
 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint, vertical encroachments shall not be habitable space.
 10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
 11 Row Houses are typically attached, but may be detached within the Village Center boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
 12 See Definitions, 8-12-07, for measurement of Minimum Frontage Width.
 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Villateos Village Master Plan for areas included within the Village Center.
 15 On State Code and large lots with frontage to the street, the minimum required one yard setbacks shall equal 15 ft. with a minimum of 5 ft. On small and medium lots, minimum one yard setback shall be 0 ft. or as required by Building Code.
 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
 17 Dwellings on lots without alley access shall be at least 36 feet wide.
 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
 20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book. [Table V-1 amended by Ord. 667 on 8/17/09, Ord. 682, 9/9/10]

Response: The *Tentative Plat* (see Section IIB in this Notebook) depicts proposed lot sizes and dimensions. All of the lots meet applicable requirements, as addressed below. Lots will be developed with single family attached row houses, with no more than ten contiguous units along a street edge. Table V-1 does not indicate a minimum lot size, width or depth for Row Houses in the Village Center. The proposed PDP 7C does not have any lots >8,000 sf, so no maximum lot coverage applies. Row House lots will have a frontage width greater than 80%, except as allowed by footnote 11 of Table V-1, as further described in the FDP compliance report in Section VIA. Row Houses will not have building heights greater than 45 ft, and will have front setbacks between 5-10 ft, except as allowed under footnote 4 above. No additional standards from Table V-1 apply. There is a concurrent final development plan application for the proposed architecture in Section VI. Lot 175 is a future development tract zoned for mixed use. Compliance with Table V-1 Development Standards for lot 175 will be addressed at the time of future development.

(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING

Table V-2: Off-Street Parking Requirements

Category	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short Term	Bicycle Long Term
Row Houses	1.0 / DU	NR	NR	NR

Response: Each of the Row Houses will provide a minimum of a one-car garage in compliance with this standard.

(.08) OPEN SPACE

Open space shall be provided as follows:

- A. In all residential developments and in mixed-use developments where the majority of the developed square footage is to be in residential use, at least twenty-five percent (25%) of the area shall be open space, excluding street pavement and surface parking. In multi-phased developments, individual phases are not required to meet the 25% standard as long as an approved Specific Area Plan demonstrates that the overall development shall provide a minimum of 25% open space. Required front yard areas shall not be counted towards the required open space area. Required rear yard areas and other landscaped areas that are not within required front or side yards may be counted as part of the required open space.
- B. Open space area required by this Section may, at the discretion of the Development Review Board, be protected by a conservation easement or dedicated to the City, either rights in fee or easement, without altering the density or other development standards of the proposed development. Provided that, if the dedication is for public park purposes, the size and amount of the proposed dedication shall meet the criteria of the City of Wilsonville standards. The square footage of any land, whether dedicated or not, which is used for open space shall be deemed a part of the development site for the purpose of computing density or allowable lot coverage. See SROZ provisions, Section 4.139.10.
- C. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review and approve any pertinent bylaws, covenants, or agreements prior to recordation.

Response: The Parks *Master Plan* for Villebois states that there are 57.87 acres of parks and 101.46 acres of open space for a total of 159.33 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent with *Master Plan*. PDP 7C includes the addition of linear greens not shown in the *Villebois Village Master Plan*, thereby increasing the amount of parks. The additional park areas are described in more detail in the PDP compliance report (see Section IIA).

(.09) STREET & ACCESS IMPROVEMENT STANDARDS

A. Except as noted below, the provisions of Section 4.177 apply within the Village zone:

1. General Provisions:

- a. All street alignment and access improvements shall conform to the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan and the following standards:

Response: The street alignments and access improvements within this PDP are generally consistent with those approved in the *Villebois Village Master Plan* and SAP Central, as refined by the PDP application (see the PDP Supporting Compliance Report for further description of refinements to the street network - Section IIA of Notebook).

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.

Response: All street improvements within this Preliminary Development Plan will comply with the applicable Public Works Standards. The street system within this Preliminary Development Plan is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Circulation Plan* located in Section IIB of this Notebook.

- ii. All streets shall be developed with curbs, landscape strips, bikeways or pedestrian pathways, according to the Master Plan.

Response: All streets within this Preliminary Development Plan will be developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways as depicted on the *Circulation Plan* (Section IIB of this Notebook) and in accordance with the *Master Plan*.

2. Intersections of streets

- a. Angles: Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.
- b. Intersections: If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety (90) degrees shall require approval by the City Engineer after consultation with the Fire District.

Response: The plan sheets located in Section IIB of this Notebook demonstrate that all proposed streets will intersect at angles consistent with the above standards (see the *Tentative Plat*).

- c. **Offsets:** Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:
 - i. 1000 ft. for major arterials
 - ii. 600 ft. for minor arterials
 - iii. 100 ft. for major collector
 - iv. 50 ft. for minor collector

Response: The plan sheets located in Section IIB of this Notebook demonstrate that opposing intersections on public streets are offset, as appropriate, so that no danger to the traveling public is created (see the *Tentative Plat* in Section IIIB).

- d. **Curb Extensions:**
 - i. Curb extensions at intersections shall be shown on the Specific Area Plans required in subsection 4.125(.18)(C) through (F), below, and shall:
 - ii. Not obstruct bicycle lanes on collector streets.
 - iii. Provide a minimum 20 foot wide clear distance between curb extensions all local residential street intersections shall have, shall meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.

Response: Curb extensions are shown on the *Circulation Plan* (see Section IIB). Curb extensions will not obstruct bicycle lanes on collector streets as the subject site is not adjacent to collector streets. The attached drawings illustrate that all street intersections will have a minimum 20 foot wide clear distance between curb extensions on all local residential street intersections.

- 3. **Street grades shall be a maximum of 6% on arterials and 8% for collector and local streets. Where topographic conditions dictate, grades in excess of 8%, but not more than 12%, may be permitted for short distances, as approved by the City Engineer, where topographic conditions or existing improvements warrant modification of these standards.**

Response: The *Grading & Erosion Control Plan* located in Section IIB, demonstrates that proposed streets can comply with this standard.

4. **Centerline Radius Street Curves:**

The minimum centerline radius street curves shall be as follows:

- a. **Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by City Engineer.**

- b. Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.
- c. Local streets: 75 feet

Response: The *Tentative Plat* (see Section IIIB) demonstrates that all streets will comply with the above standards.

5. Rights-of-way:

- a. See (.09) (A), above.

Response: Proposed rights-of-way are shown on the plan sheets located in Section IIIB of this Notebook. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with recordation of a final plat in accordance with Section 4.177.

6. Access drives.

- a. See (.09) (A), above.
- b. 16 feet for two-way traffic.

Response: Access drives (alleys) will be paved at least 16-feet within a 20-foot tract, as shown on the *Circulation Plan* in Section IIB of this Notebook. In accordance with Section 4.177, all access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions

7. Clear Vision Areas

- a. See (.09) (A), above.

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177.

8. Vertical clearance:

- a. See (.09) (A), above.

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177.

9. Interim Improvement Standard:

- a. See (.09) (A), above.

Response: Interim improvements along Villebois Drive will provide for adequate street access until the adjacent properties on the opposite side are developed, as shown on the attached Circulation Plan (see Section IIB).

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

G. Preliminary Development Plan Approval Process:

1. An application for approval of a Preliminary Development Plan for a development in an approved SAP shall:

f) Include a preliminary land division (concurrently) per Section 4.400, as applicable.

Response: This application includes a request for preliminary land division approval. This request for approval of a Tentative Plat can be seen in Section III of this Notebook. This section includes a Supporting Compliance Report, the proposed Tentative Plat, draft CC&R's, a copy of the certification of liens & assessments form, and the subdivision name approval from the County Surveyor's Office.

SECTION 4.177. STREET IMPROVEMENT STANDARDS

Response: Proposed rights-of-way are shown on the plan sheets in Section IIIB. Rights-of-way will be dedicated and a waiver of remonstrance against the formation of a local improvement district will be recorded with the final plat.

The drawings located in Section IIB demonstrate that all proposed access drives (alleys) within the Preliminary Development Plan area will have a minimum improvement width of 16 feet and will provide two-way travel. All access drives (alleys) will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

LAND DIVISIONS

SECTION 4.210. APPLICATION PROCEDURE

A. Preparation of Tentative Plat. The Planning Staff shall provide information regarding procedures and general information having a direct influence on the proposed development, such as elements of the Comprehensive Plan, existing and proposed streets, road and public utilities. The applicant shall cause to be prepared a tentative plat, together with improvement plans and other supplementary material as specified in this Section. The Tentative Plat shall be prepared by an Oregon licensed professional land surveyor or engineer. An affidavit of the services of each surveyor or engineer shall be furnished as part of the submittal.

Response: A Tentative Plat has been prepared by an Oregon licensed professional engineer as required. The Tentative Plat can be seen in Section IIIB of this Notebook. Improvement plans can be seen in Section IIB of this application Notebook. The Introductory Narrative located in Section IA includes a listing of the services provided by each design team member.

B. Tentative Plat Submission. The purpose of the Tentative Plat is to present a study of the proposed subdivision to the Planning Department and Development Review Board and to receive approval recommendations for revisions before preparation of a final Plat. The design and layout of this plan plat shall meet the guidelines and requirements set forth in this Code. The Tentative Plat shall be submitted to the Planning Department with the following information:

1. Site development application form completed and signed by the owner of the land or a letter of authorization signed by the owner. A preliminary title report or other proof of ownership is to be included with the application form.
2. Application fees as established by resolution of the City Council.

Response: Copies of the application form and the application fee are included in Sections IB and IC, respectively, of this Notebook.

3. Ten (10) copies and one (1) sepia or suitable reproducible tracing of the Tentative Plat shall be submitted with the application. Paper size shall be eighteen inch (18”) by twenty-four inch (24”), or such other size as may be specified by the City Engineer.

Response: The balance of the 10 copies of the Tentative Plat (see Section IIIB) will be provided when the application is determined complete; three (3) of which have been provided with initial submittal.

4. Name of the subdivision. No subdivision shall duplicate or resemble the name of any other subdivision in Clackamas or Washington County. Names may be checked through the county offices.

Response: The proposed name is “Mont Blanc” (see Section IIIE for documentation of subdivision name approval from the Clackamas County Surveyor’s Office).

5. Names, address, and telephone numbers of the owners and applicants, and engineer or surveyor.

Response: The names, addresses and telephone numbers of the owner, applicant, engineer and surveyor are listed in the Introductory Narrative, which can be seen in Section IA of this Notebook, and are listed on the *Cover Sheet* (see Section IIB of Notebook).

6. Date, north point and scale drawing.
7. Location of the subject property by Section, Township, and Range.
8. Legal road access to subject property shall be indicated as City, County, or other public roads.
9. Vicinity map showing the relationship to the nearest major highway or street.
10. Lots: Dimensions of all lots, minimum lot size, average lot size, and proposed lot and block numbers.

11. Gross acreage in proposed plat.

Response: The above information is provided on the plan sheets located in Section IIB of this Notebook. The location of the subject property by Section, Township and Range and the gross acreage of the proposed plat are also listed in the Introductory Narrative, located in Section IA of this Notebook, and are listed on the *Cover Sheet* (see Section IIB of Notebook).

12. Proposed uses of the property, including sits, if any, for multi-family dwellings, shopping centers, churches, industries, parks, and playgrounds or other public or semi-public uses.

Response: The proposed plat does not include any multi-family dwelling sites, shopping centers, churches, or industries. Park areas are indicated on the plan sheets located in Section IIB. Proposed uses within the subject park areas are detailed on the FDP Plans included in Section VIB of this Notebook.

13. Improvements: Statement of the improvements to be made or installed including streets, sidewalks, lighting, tree planting, and times such improvements are to be made or completed.

Response: Proposed improvements are shown on the plan sheets in Section IIB. The *Circulation Plan* shows proposed streets and sidewalks. The *Street Tree/Lighting Plan* shows proposed street trees and proposed street lights.

14. Trees. Locations, types, sizes, and general conditions of all existing trees, as required in Section 4.600.

Response: The requirements of Section 4.600 can be seen in Section V of this Notebook. The *Tree Preservation Plan* (see Section IIB) shows existing tree locations, types, sizes and general conditions, pursuant to the requirements of Section 4.600.

15. Utilities such as electrical, gas, telephone, on and abutting the tract.

Response: The *Composite Utility Plan* shows existing and proposed utilities. These sheets can be seen in Section IIB of this Notebook.

16. Easements: Approximate width, location, and purpose of all existing and proposed easements on, and known easements abutting the tract.

17. Deed Restrictions: Outline of proposed deed restrictions, if any.

18. Written Statement: Information which is not practical to be shown on the maps may be shown in separate statements accompanying the Tentative Plat.

19. If the subdivision is to be a "Planned Development," a copy of the proposed Home Owners Association By-Laws must be submitted at the time of submission of the application. The Tentative Plat shall be considered as the Stage I Preliminary Plan. The proposed By-Laws must address the maintenance of any parks, common areas, or facilities.

Response: The *Existing Conditions* plan, located in Section IIB, shows the approximate width, location, and purpose of all existing easements. The *Tentative Plat*, located in Section IIIB, shows proposed easements. No deed restrictions are proposed at this time. A draft of the CC&R's is included in Section IIIC of this Notebook.

20. Any plat bordering a stream or river shall indicate areas subject to flooding and shall comply with the provisions of Section 4.172.

Response: The proposed plat areas do not border a stream or river.

21. Proposed use or treatment of any property designated as open space by the City of Wilsonville.

Response: The proposed plat does not include any areas designated as open space by the City of Wilsonville.

22. A list of the names and addresses of the owners of all properties within 250 feet of the subject property, printed on self-adhesive mailing labels. The list shall be taken from the latest available property ownership records of the Assessor's Office of the affected county.

Response: The required mailing list has been submitted with this application. A copy is provided in Section ID.

23. A completed "liens and assessments" form, provided by the City Finance Department.

Response: A copy of this form is provided in Exhibit IIID.

24. Locations of all areas designated as a Significant Resource Overlay Zone by the City, as well as any wetlands shall be shown on the tentative plat.

Response: The proposed plat does not include any areas designated as SROZ by the City or any wetlands.

25. Locations of all existing and proposed utilities, including but not limited to domestic water, sanitary sewer, storm drainage, streets, and any private utilities crossing or intended to serve the site. Any plans to phase the construction or use of utilities shall be indicated.

Response: The *Existing Conditions* plan shows all existing utilities. The *Composite Utility Plan* shows all proposed utilities. The *Grading and Erosion Control Plan* show proposed streets and storm drainage facilities. These plan sheets can be seen in Section IIB of this Notebook.

26. A traffic study, prepared under contract with the City, shall be submitted as part of the tentative plat application process, unless specifically waived by the Community Development Director.

Response: A copy of the Traffic Impact Analysis is attached in Section IID of this Notebook.

C. Action on proposed tentative plat:

1. **Consideration of tentative subdivision plat.** The Development Review Board shall consider the tentative plat and the reports of City staff and other agencies at a regular Board meeting no more than ninety (90) days after tentative plat application has been accepted as complete by the City. Final action on the proposed tentative plat shall occur within the time limits specified in Section 4.013. The tentative plat shall be approved if the Development Review Board determines that the tentative plat conforms in all respects to the requirements of this Code.

Response: The proposed Tentative Plat located in Section IIIB, is included with this application for review by the Development Review Board.

2. **Consideration of tentative partition plat.** The Planning Director shall review and consider any proposed land partition plat through the procedures for Administrative Reviews specified in Section 4.030 and 4.035.

Response: This request is for a Tentative Subdivision Plat. This code section does not apply.

4. **The Board shall, by resolution, adopt its decision, together with findings and a list of all Conditions of Approval or required changes to be reflected on the Final Plat**

Response: Any Conditions of Approval adopted by the Board shall be reflected on the Final Plat.

4. **Board may limit content of deed restrictions.** In order to promote local, regional and state interests in affordable housing, the Board may limit the content that will be accepted within proposed deed restrictions or covenants. In adopting conditions of approval for a residential subdivision or condominium development, the Board may prohibit such things as mandatory minimum construction costs, minimum unit sizes, prohibitions or manufactures housing, etc.

Response: The applicant recognizes the authority of the Board to limit the content of the deed restrictions or covenants.

5. **Effect of Approval.** After approval of a tentative plat, the applicant may proceed with final surveying, improvement construction and preparation of the final plat. Approval shall be effective for a period of two (2) years, and if the final plat is not submitted to the Planning Department within such time, the tentative plat shall be submitted again and the entire procedure shall be repeated for consideration of any changes conditions which may exist. Except, however, that the Development

Review Board may grant a time extension as provided in Section 4.023.

Response: After approval of the Tentative Plat, a final plat will be prepared and submitted to the Planning Department within two years if an extension is not provided.

- D. Land division phases to be shown. Where the applicant intends to develop the land in phases, the schedule for such phasing shall be presented for review at the time of the tentative plat. In acting on an application for tentative plat approval, the Planning Director or Development Review Board may set time limits for the completion of the phasing schedule which, if not met, shall result in an expiration of the tentative plat approval.

Response: The PDP is proposed to be executed in one phase.

- E. Remainder tracts to be shown as lots or parcels. Tentative plats shall clearly show all effected property as part of the application for land division. All remainder tracts, regardless of size, shall be shown and counted among the parcels or lots of the division.

Response: No remainder tracts are proposed.

SECTION 4.236. GENERAL REQUIREMENTS - STREETS.

- (.01) **Conformity to the Master Plan Map:** Land divisions shall conform to and be in harmony with the Transportation Master Plan (Transportation Systems Plan), the bicycle and Pedestrian Master Plan, the Parks and Recreation Master Plan, the Official Plan or Map and especially to the Master Street Plan.

Response: The proposed land division complies with Specific Area Plan - Central and the *Villebois Village Master Plan* with the refinements described in the PDP Supporting Compliance Report (see Section IIA of this Notebook), and thereby conforms to the applicable Master Plans.

- (.02) **Relation to Adjoining Street System.**

- A. A land division shall provide for the continuation of the principal streets existing in the adjoining area, or of their proper projection when adjoining property is not developed, and shall be of a width not less than the minimum requirements for streets set forth in these regulations. Where, in the opinion of the Planning Director or Development Review Board, topographic conditions make such continuation or conformity impractical, an exception may be made. In cases where the Board or Planning Commission has adopted a plan or plat of a neighborhood or area of which the proposed land division is a part, the subdivision shall conform to such adopted neighborhood or area plan.
- B. Where the plat submitted covers only a part of the applicant's tract, a sketch of the prospective future street system of the unsubmitted part shall be furnished and the street system of the part submitted

shall be considered in the light of adjustments and connections with the street system of the part not submitted.

- C. At any time when an applicant proposes a land division and the Comprehensive Plan would allow for the proposed lots to be further divided, the city may require an arrangement of lots and streets such as to permit a later resubdivision in conformity to the street plans and other requirements specified in these regulations.

Response: The street system proposed in this land division generally conforms to the street system in SAP Central and the *Villebois Village Master Plan* with refinements described in the PDP Supporting Compliance Report (see Section IIA of this Notebook).

- (.03) All streets shall conform to the standards set forth in Section 4.177 and the block size requirements of the zone.

Response: Previous sections of this report have demonstrated compliance with the standards of Section 4.177 and the applicable block size requirements.

- (.04) **Creation of Easements:** The Planning Director or Development Review Board may approve an easement to be established without full compliance with these regulations, provided such an easement is the only reasonable method by which a portion of a lot large enough to allow partitioning into two (2) parcels may be provided with vehicular access and adequate utilities. If the proposed lot is large enough to divide into more than two (2) parcels, a street dedication may be required. Also, within a Planned Development, cluster settlements may have easement driveways for any number of dwelling units when approved by the Planning Director or Development Review Board.

Response: Any necessary easements will be identified on the final plat.

- (.05) **Topography:** The layout of streets shall give suitable recognition to surrounding topographical conditions in accordance with the purpose of these regulations.

Response: The *Grading and Erosion Control Plan* (see Section IIB) demonstrates that the layout of streets has given recognition to surrounding topographic conditions.

- (.06) **Reserve Strips:** The Planning Director or Development Review Board may require the applicant to create a reserve strip controlling the access to a street. Said strip is to be placed under the jurisdiction of the City Council, when the Director or Board determine that a strip is necessary:

- A. To prevent access to abutting land at the end of a street in order to assure the proper extension of the street pattern and the orderly development of land lying beyond the street; or
- B. To prevent access to the side of a street on the side where additional width is required to meet the right-of-way standards established by the City; or
- C. To prevent access to land abutting a street of the land division but not within the tract or parcel of land being divided; or

D. To prevent access to land unsuitable for building development.

Response: Reserve strips will be provided as appropriate.

(.07) Future Expansion of Street: When necessary to give access to, or permit a satisfactory future division of, adjoining land, streets shall be extended to the boundary of the land division and the resulting dead-end street may be approved without a turn-around. Reserve strips and street plugs shall be required to preserve the objective of street extension.

Response: Streets that will be expanded in the future will occur in compliance with this standard.

(.08) Existing Streets: Whenever existing streets adjacent to or within a tract are of inadequate width, additional right-of-way shall conform to the designated width in this Code or in the Transportation Systems Plan.

Response: Rights-of-way will be dedicated in accordance with the *Villebois Village Master Plan* and the Transportation System Plan.

(.09) Street Names: No street names will be used which will duplicate or be confused with the names of existing streets, except for extensions of existing streets. Street names and numbers shall conform to the established name system in the City, and shall be subject to the approval of the City Engineer.

Response: No street names will be used that duplicate or could be confused with the names of existing streets. Street names and numbers will conform to the established name system in the City, as approved by the City Engineer.

SECTION 4.237. GENERAL REQUIREMENTS - OTHER.

(.01) Blocks:

- A. The length, width, and shape of blocks shall be designed with due regard to providing adequate building sites for the use contemplated, consideration of needs for convenient access, circulation, control, and safety of pedestrian, bicycle, and motor vehicle traffic, and recognition of limitations and opportunities of topography.
- B. **Sizes:** Blocks shall not exceed the sizes and length specified for the zone in which they are located unless topographical conditions or other physical constraints necessitate larger blocks. Larger blocks shall only be approved where specific findings are made justifying the size, shape, and configuration.

Response: The PDP compliance report demonstrates compliance with the applicable block size requirements (see Section IIA). The street system proposed in this land division conforms to the street system in SAP Central and the *Villebois Village Master Plan* as described in the PDP Supporting Compliance Report (see Section IIA of this Notebook).

(.02) Easements:

- A. **Utility lines.** Easements for sewers, drainage, water mains, electrical lines or other public utilities shall be dedicated wherever necessary. Easements shall be provided consistent with the City's Public Works Standards, as specified by the City Engineer or Planning Director. All the utility lines within and adjacent to the site shall be installed with underground services within the street and to any structures. All utilities shall have appropriate easements for construction and maintenance purposes.
- B. **Water Courses.** Where a land division is traversed by a water course, drainage way, channel or stream, there shall be provided a storm water easement or drainage right-of-way conforming substantially with the lines of the water course, and such further width as will be adequate for the purposes of conveying storm water and allowing for maintenance of the facility or channel. Streets or parkways parallel to water courses may be required.

Response: The final plat will include the appropriate easements.

(.03) Pedestrian and bicycle pathways. An improved public pathway shall be required to transverse the block near its middle if that block exceeds the length standards of the zone in which it is located.

- A. Pathways shall be required to connect to cul-de-sacs to pass through unusually shaped blocks.
- B. Pathways required by this subsection shall have a minimum width of ten (10) feet unless they are found to be unnecessary for bicycle traffic, in which case they are to have a minimum width of six (6) feet.

Response: The tracts through the middle of the subject block are a pedestrian/bike path replacing a street. The pedestrian/bike path will have a width of 14-16 feet.

(.04) Tree planting. Tree planting plans for a land division must be submitted to the Planning Director and receive the approval of the Director or Development Review Board before the planning is begun. Easements or other documents shall be provided, guaranteeing the City the right to enter the site and plant, remove, or maintain approved street trees that are located on private property.

Response: The *Street Tree/Lighting Plan* shows proposed street tree planting. This plan sheet can be seen in Section IIB of this Notebook.

(.05) Lot Size and shape. The lot size, width, shape and orientation shall be appropriate for the location of the land division and for the type of development and use contemplated. Lots shall meet the requirements of the zone where they are located.

- A. In areas that are not served by public sewer, an on-site sewage disposal permit is required from the City. If the soil structure is

adverse to on-site sewage disposal, no development shall be permitted until sewer service can be provided.

- B. Where property is zoned or deeded for business or industrial use, other lot widths and areas may be permitted at the discretion of the Development Review Board. Depth and width of properties reserved or laid out for commercial and industrial purposes shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.
- C. In approving an application for a Planned Development, the Development Review Board may waive the requirements of this section and lot size, shape, and density shall conform to the Planned Development conditions of approval.

Response: Proposed lot sizes, widths, shapes and orientations are appropriate for the proposed development and are in conformance with the Village Zone requirements as demonstrated by this report.

(.06) Access. The division of land shall be such that each lot shall have a minimum frontage on a public street, as specified in the standards of the relative zoning districts. This minimum frontage requirement shall apply with the following exceptions:

- A. A lot on the outer radius of a curved street or facing the circular end of a cul-de-sac shall have frontage of not less than twenty-five (25) feet upon a street, measured on the arc.
- B. The Development Review Board may waive lot frontage requirements where in its judgment the waiver of frontage requirements will not have the effect of nullifying the intent and purpose of this regulation or if the Board determines that another standard is appropriate because of the characteristics of the overall development.

Response: The proposed lots comply with the applicable access requirements of the Village Zone as demonstrated in previous sections of this report.

(.07) Through lots. Through lots shall be avoided except where essential to provide separation of residential development from major traffic arteries or adjacent non-residential activity or to overcome specific disadvantages of topography and orientation. A planting screen easement of at least ten (10) feet, across which there shall be no access, may be required along the line of lots abutting such a traffic artery or other disadvantageous use. Through lots with planting screens shall have a minimum average depth of one hundred (100) feet. The Development Review Board may require assurance that such screened areas be maintained as specified in Section 4.176.

Response: No through lots are proposed by this application.

(.08) Lot side lines. The side lines of lots, as far as practicable for the purpose of the proposed development, shall run at right angles to the street upon which the lots face.

Response: All side lines of lots will run at right angles to the street upon which the lots face.

(.09) **Large lot land divisions.** In dividing tracts which at some future time are likely to be re-divided, the location of lot lines and other details of the layout shall be such that re-division may readily take place without violating the requirements of these regulations and without interfering with the orderly development of streets. Restriction of buildings within future street locations shall be made a matter of record if the Development Review Board considers it necessary.

Response: This request does not include any tracts which may be divided at a future time.

(.10) **Building line.** The Planning Director or Development Review Board may establish special building setbacks to allow for the future redivision or other development of the property or for other reasons specified in the findings supporting the decision. If special building setbacks lines are established for the land division, they shall be shown on the final plat.

Response: No building lines are proposed by this application.

(.11) **Build-to line.** The Planning Director or Development Review Board may establish special build-to lines for the development, as specified in the findings and conditions of approval for the decision. If special build-to lines are established for the land division, they shall be shown on the final plat.

Response: No build-to lines are proposed by this application.

(.12) **Land for public purposes.** The Planning Director or Development Review Board may require property to be reserved for public acquisition, or irrevocably offered for dedication, for a specified period of time.

Response: This land division does not include land to be dedicated for public purposes except for the dedication of street right-of-way.

(.13) **Corner lots.** Lots on street intersections shall have a corner radius of not less than ten (10) feet.

Response: All lots on street intersections will have a corner radius of not less than ten (10) feet. This is demonstrated on the *Tentative Plat*, located in Section III B following this Supporting Compliance Report.

SECTION 4.262. IMPROVEMENTS - REQUIREMENTS.

(.01) **Streets.** Streets within or partially within the development shall be graded for the entire right-of-way width, constructed and surfaced in accordance with the Transportation Systems Plan and City Public Works Standards. Existing streets which abut the development shall be graded, constructed, reconstructed, surfaced or repaired as determined by the City Engineer.

Response: The *Grading and Erosion Control Plan*, located in Section IIB of this Notebook, shows compliance with this standard.

(.02) **Curbs.** Curbs shall be constructed in accordance with standards adopted by the City.

Response: Curbs will be constructed in accordance with City standards.

(.03) **Sidewalks.** Sidewalks shall be constructed in accordance with standards adopted by the City.

Response: Sidewalks will be constructed in accordance with City standards.

(.04) **Sanitary sewers.** When the development is within two hundred (200) feet of an existing public sewer main, sanitary sewers shall be installed to serve each lot or parcel in accordance with standards adopted by the City. When the development is more than two hundred (200) feet from an existing public sewer main, the City Engineer may approve an alternate sewage disposal system.

Response: The *Composite Utility Plan*, located in Section IIB of this Notebook, illustrates proposed sanitary sewer lines.

(.05) **Drainage.** Storm drainage, including detention or retention systems, shall be provided as determined by the City Engineer.

Response: The *Grading and Erosion Control Plan*, located in Section IIIB of this Notebook, illustrates the proposed storm drainage facilities. A supporting utility report is provided (see Section IIC) that demonstrates that the proposed storm drainage facilities will meet City standards.

(.06) **Underground utility and service facilities.** All new utilities shall be subject to the standards of Section 4.300 (Underground Utilities). The developer shall make all necessary arrangements with the serving utility to provide the underground services in conformance with the City's Public Works Standards.

Response: Proposed utilities will be placed underground pursuant to Section 4.300 and City Public Works Standards.

(.07) **Streetlight standards.** Streetlight standards shall be installed in accordance with regulations adopted by the City.

Response: Proposed streetlights are shown on the *Street Tree/Lighting Plan*, located in Section IIB of this Notebook. Streetlights will be installed in accordance with City standards.

(.08) **Street signs.** Street name signs shall be installed at all street intersections and dead-end signs at the entrance to all dead-end streets and cul-de-sacs in accordance with standards adopted by the City. Other signs may be required by the City Engineer.

Response: Street name and dead-end signs will be installed in accordance with City standards.

(.09) **Monuments.** Monuments shall be placed at all lot and block corners, angle points, points of curves in streets, at intermediate points and shall be of such material, size, and length as required by State Law. Any monuments that are disturbed before all improvements are completed by the developer and accepted by the City shall be replaced to conform to the requirements of State Law.

Response: Monuments will be placed at all lot and block corners, angle points, points of curves in streets, at intermediate points and will be of such material, size, and length as required by State Law.

(.10) **Water.** Water mains and fire hydrants shall be installed to serve each lot in accordance with City standards.

Response: Water mains and fire hydrants will be installed to serve each lot in accordance with City standards (see the *Composite Utility Plan*), located in Section IIB of this Notebook).

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Tentative Subdivision Plat. Therefore, the applicant respectfully requests approval of this application.

IIIB) Tentative Plat



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

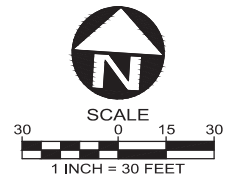
PRELIMINARY
PLAT

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015



N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\Submit\395057.dwg - SHEET: 22x34 May 26, 15 - 3:32 PM .pre

ELEVATION DATUM: NAVD 88



Omitted

IIIC) Draft CC&R's

Omitted

IIID) Copy of Certification of Assessments & Liens

Omitted

III E) Subdivision Name Approval

Section IV

Zone Change

IVA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
ZONE CHANGE
PDP 7 - CENTRAL**

SECTION IVA

TABLE OF CONTENTS

I.	CITY OF WILSONVILLE COMPREHENSIVE PLAN.....	2
	IMPLEMENTATION MEASURE 4.1.6. A	2
	IMPLEMENTATION MEASURE 4.1.6.C	2
	IMPLEMENTATION MEASURE 4.1.6.D	2
II.	CITY OF WILSONVILLE LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.029 ZONING CONSISTENT WITH THE COMPREHENSIVE PLAN	2
	SECTION 4.110 ZONING - ZONES	3
	SECTION 4.125 VILLAGE (V) ZONE	3
	SECTION 4.197 ZONE CHANGES AND AMENDMENTS TO THIS CODE - PROCEDURES. ...	3
III.	PROPOSAL SUMMARY & CONCLUSION	5

I. CITY OF WILSONVILLE COMPREHENSIVE PLAN

COMPACT URBAN DEVELOPMENT - IMPLEMENTATION MEASURES

IMPLEMENTATION MEASURE 4.1.6. A

Development in the “Residential - Village” Map area shall be directed by the Villebois Village Concept Plan (depicting the general character of proposed land uses, transportation, natural resources, public facilities, and infrastructure strategies), and subject to relevant Policies and Implementation Measures in the Comprehensive Plan; and implemented in accordance with the Villebois Village Master Plan, the “Village” Zone District, and any other provisions of the Wilsonville Planning and Land Development Ordinance that may be applicable.

Response: This application is being submitted and reviewed concurrently with a Preliminary Development Plan for Phase 7 of SAP-Central.

IMPLEMENTATION MEASURE 4.1.6.C

The “Village” Zone District shall be applied in all areas that carry the Residential - Village Plan Map Designation.

Response: The application proposes a zone change to “Village” for the subject property area, which includes the “Residential-Village” Comprehensive Plan Map Designation.

IMPLEMENTATION MEASURE 4.1.6.D

The “Village” Zone District shall allow a wide range of uses that benefit and support an “urban village”, including conversion of existing structures in the core area to provide flexibility for changing needs of service, institutional, governmental and employment uses.

Response: This application seeks zone change approval from PF - Public Facilities to V - Village Zone on a portion of Villebois located within SAP Central. The subject property is 3.44 acres in size. The plan for subject property includes attached single family residential lots and park areas. The ‘Introductory Narrative’ (see Section IA of Notebook) lists the proposed number and type of residential units, which contribute to a diverse mix of housing throughout Villebois. The proposed residential land use and housing type in this area are consistent with those portrayed in the *Villebois Village Master Plan*, as refined by the PDP 7C (Section II of the Notebook), which this regulation is intended to implement.

II. CITY OF WILSONVILLE LAND DEVELOPMENT ORDINANCE

SECTION 4.029 ZONING CONSISTENT WITH THE COMPREHENSIVE PLAN

If a development, other than a short-term temporary use, is proposed on a parcel or lot which is not zoned in accordance with the comprehensive plan, the applicant must receive approval of a zone change prior to, or concurrently with the approval of an application for a Planned Development.

Response: This zone change application is being requested concurrent with a PDP application and Tentative Plat for the site in conformance with the code. The PDP application material is located in Section II of this Notebook and the Tentative Plat application material is in Section III.

SECTION 4.110 ZONING - ZONES

(.01) The following Base Zones are established by this Code:

- H. Village, which shall be designated “V” [per Section 4.125 enabling amendments (File No. 02PC08)]

Response: The subject property is within the city limits of Wilsonville. The area has a City of Wilsonville Comprehensive Plan designation of “Residential - Village.” The site is currently zoned Public Facilities. This request is for a zone change to “Village,” which is permitted within the area designated “Residential - Village” on the Comprehensive Plan Map.

SECTION 4.125 VILLAGE (V) ZONE

(.01) The Village (V) zone is applied to lands within the Residential Village Comprehensive Plan Map designation. The Village zone is the principal implementing tool for the Residential Village Comprehensive Plan designation. It is applied in accordance with the Villebois Village Master Plan and the Residential Village Comprehensive Plan designation as described in the Comprehensive Plan.

Response: The subject property lies within the area designated “Residential - Village” on the Comprehensive Plan Map. This request is for a zone change to “V - Village.”

(.02) Permitted Uses

Response: The proposed uses listed in the associated application for a Preliminary Development Plan (see Section II of this Notebook) are consistent with the land uses permitted under the Village zone. The PDP, located in Section II of this Notebook, states that the proposed development will create lots for single family residential Row Houses and tracts for linear greens. These uses are permitted under the Village zone.

(.18) Village Zone Development Permit Process

- B. Unique Features and Processes of the Village (V) Zone
 - 2. ...Application for a zone change shall be made concurrently with an application for PDP approval...

Response: The application for a zone change is being made concurrent with an application for PDP approval (see Section II of this Notebook).

SECTION 4.197 ZONE CHANGES AND AMENDMENTS TO THIS CODE - PROCEDURES.

(.02) In recommending approval or denial of a proposed zone map amendment, the Planning Commission or Development Review Board shall at a minimum, adopt findings addressing the following criteria:

- A. That the application before the Commission or Board was submitted in accordance with the procedures set forth in Section 4.008 or, in the case of a Planned Development, Section 4.140; and

Response: This application has been submitted in accordance with the procedures set forth in Section 4.140, which requires that:

- (A) *All parcels of land exceeding two (2) acres in size that are to be used for residential, commercial or industrial development, shall, prior to the issuance of building permit: 1. Be zoned for planned development; and*
- (B) *Zone change and amendment to the zoning map are governed by the applicable provisions of the Zoning Sections, inclusive of Section 4.197.*

This zone change application will establish the appropriate zone for this development and will be governed by the appropriate Zoning Sections.

- B. That the proposed amendment is consistent with the Comprehensive Plan map designation and substantially complies with the applicable goals, policies and objectives, set forth in the Comprehensive Plan Text; and

Response: Comprehensive Plan Implementation Measure 4.1.6.c. states, *“the “Village” Zone District shall be applied in all areas that carry the Residential-Village Plan Map Designation.”* Since the “Village” zone must be applied to areas designated Residential Village on the Comprehensive Plan Map, its application to these areas is consistent with the Comprehensive Plan.

- C. In the event that the subject property, or any portion thereof, is designated as “Residential” on the City’s Comprehensive Plan Map; specific findings shall be made addressing substantial compliance with Implementation Measure 4.1.4.b, d, e, q, and x of Wilsonville’s Comprehensive Plan text; and

Response: As noted above, Comprehensive Plan Implementation Measure 4.1.6.c. states, *“the “Village” Zone District shall be applied in all areas that carry the Residential-Village Plan Map Designation.”* Since the Village Zone must be applied to areas designated “Residential Village” on the Comprehensive Plan Map and is the only zone that may be applied to these areas, its application is consistent with the Comprehensive Plan.

- D. That the existing primary public facilities, i.e., roads and sidewalks, water, sewer and storm sewer are available and are of adequate size to serve the proposed development; or, that adequate facilities can be provided in conjunction with project development. The Planning Commission and Development Review Board shall utilize any and all means to insure that all primary facilities are available and are adequately sized; and

Response: The Preliminary Development Plan compliance report and the plan sheets demonstrate that the existing primary public facilities are available and can be provided in conjunction with the project. Section IIC of this Notebook includes

supporting utility and drainage reports. In addition, the applicant will fund the completion of a Traffic Impact Analysis, which is attached as Exhibit IID.

- E. That the proposed development does not have a significant adverse effect upon Significant Resource Overlay Zone areas, an identified natural hazard, or an identified geologic hazard. When Significant Resource Overlay Zone areas or natural hazard, and/ or geologic hazard are located on or about the proposed development, the Planning Commission or Development Review Board shall use appropriate measures to mitigate and significantly reduce conflicts between the development and identified hazard or Significant Resource Overlay Zone; and

Response: The subject site does not include any areas within a Significant Resource Overlay Zone.

- F. That the applicant is committed to a development schedule demonstrating that the development of the property is reasonably expected to commence within two (2) years of the initial approval of the zone change; and

Response: The applicant is committed to a schedule demonstrating that the development of the subject property is reasonably expected to commence within two (2) years of the initial approval of the zone change.

- G. That the proposed development and use(s) can be developed in compliance with the applicable development standards or appropriate conditions are attached to insure that the project development substantially conforms to the applicable development standards.

Response: The proposed development can be developed in compliance with the applicable development standards, as demonstrated by this report and the Preliminary Development Plan (Section II) and Tentative Plat (Section III) applications.

III. PROPOSAL SUMMARY & CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Zone Change. Therefore, the applicant requests approval of this application.

IVB) Zone Change Map

IVC) Legal Description & Sketch



EXHIBIT A

April 22, 2015

LEGAL DESCRIPTION

Job No. 395-057

A tract of land being Lot 75, plat of "Villebois Village Center No. 3", Clackamas County Plat Records, and public Right-of-Way, in the Northeast Quarter of Section 15, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, State of Oregon, more particularly described as follows:

BEGINNING at the Southwest corner of said Lot 75;

thence along the westerly property line of said Lot 75, North $03^{\circ}48'41''$ West, a distance of 93.50 feet to an angle point;

thence continuing along said westerly property line, South $86^{\circ}17'06''$ West, a distance of 15.25 feet to a point of tangential curvature;

thence continuing along said westerly property line, along a 40.00 foot radius tangential curve to the right, arc length of 35.45 feet, central angle of $50^{\circ}46'17''$; chord distance of 34.30 feet, and chord bearing of North $68^{\circ}19'42''$ West to a point of tangency;

thence continuing along said westerly property line and its extension, North $42^{\circ}56'36''$ West, a distance of 39.36 feet to a point on the centerline of SW Villebois Drive North;

thence along said centerline, North $47^{\circ}03'23''$ East, a distance of 222.74 feet to a point of tangential curvature;

thence continuing along said centerline, along a 500.50 foot radius tangential curve to the right, arc length of 218.25 feet, central angle of $24^{\circ}59'06''$, chord distance of 216.53 feet, and chord bearing of North $59^{\circ}32'56''$ East to a point of tangency;

thence continuing along said centerline, North $72^{\circ}02'29''$ East, a distance of 140.05 feet to a point on the extension of the westerly plat line of Partition Plat No. 2010-046, Clackamas County Plat Records;

thence along said westerly plat line and its extension, South $32^{\circ}57'13''$ East, a distance of 122.07 feet to a point of tangential curvature;

thence continuing along said westerly plat line, along a 535.50 foot radius tangential curve to the right, arc length of 315.80 feet, central angle of $33^{\circ}47'19''$, chord distance of 311.24 feet, and chord bearing of South $16^{\circ}03'34''$ East to a point on the northerly plat line of "Villebois Village Center", Clackamas County Plat Records;

thence along said northerly plat line, South 86° 11' 19" West, a distance of 516.54 feet to the POINT OF BEGINNING.

Containing 4.124 acres, more or less.

Basis of bearings being plat of "Villebois Village Center No. 3", Clackamas County Plat Records.

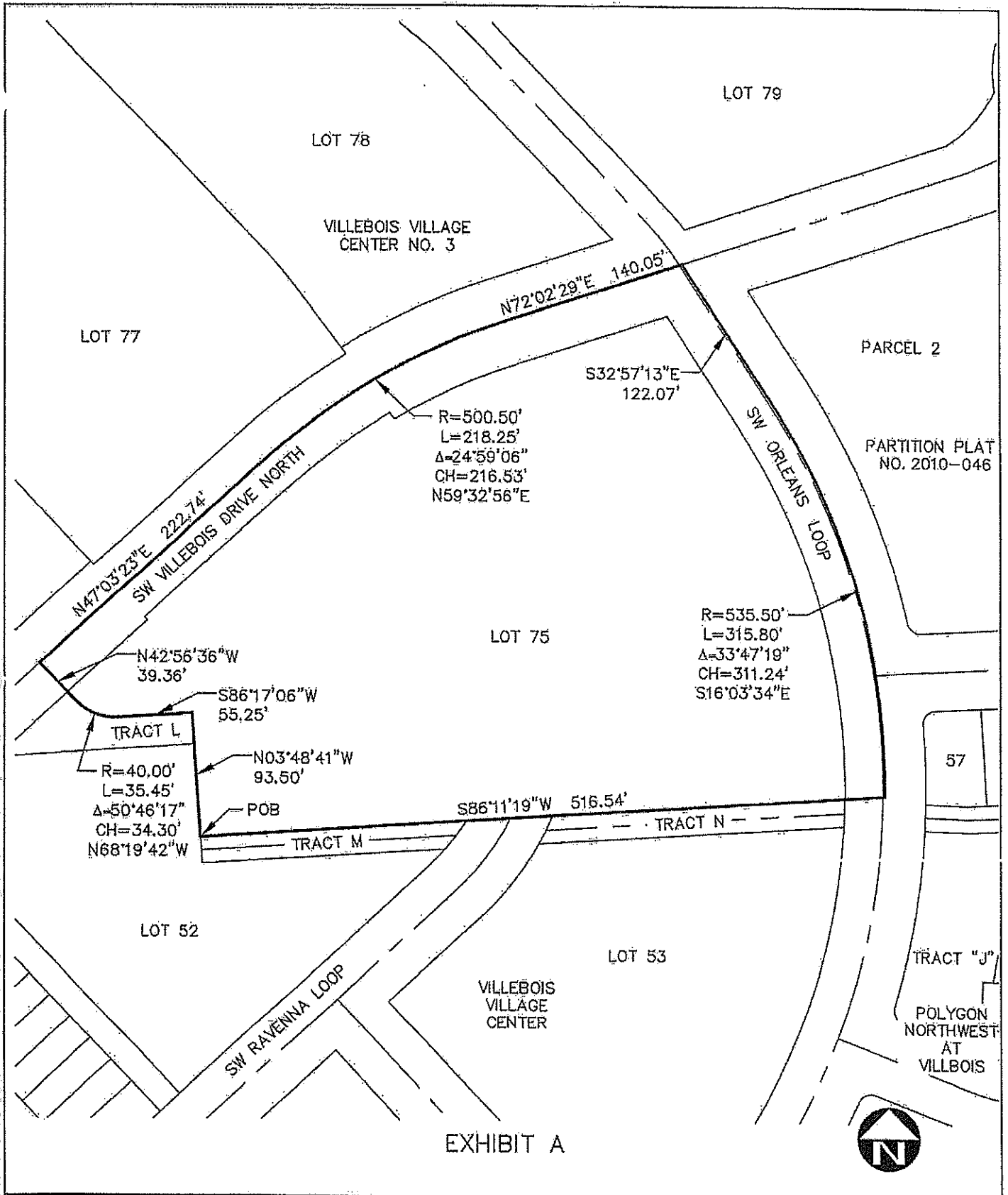
REGISTERED
PROFESSIONAL
LAND SURVEYOR



OREGON
JULY 9, 2002
TRAVIS C. JANSEN
57751

RENEWS: 6/30/2015

I:\Projects\395-0... Drawings\06 Survey\Legal\395057\Zone Change.dwg - SHEET: Legal - Apr. 22, 15 - 12:07 PM: 16



DRAWN BY: TCJ DATE: 4/22/15

REVIEWED BY: TCJ DATE: 4/22/15

PROJECT NO.: 395-057

SCALE: 1"=100'

PAGE 3 OF 3



12564 SW Main St
Tigard, OR 97223
[T] 503-941-9484
[F] 503-941-9485

Section V

Tree Removal Plan

VA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
TYPE “C” TREE REMOVAL PLAN/PERMIT
PDP 7 - CENTRAL**

SECTION VA

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT...	2
	SECTION 4.610.40. TYPE C PERMIT.....	5
	SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT.....	6
	SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION	8
	SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS	9
	SECTION 4.640.00. APPLICATION REVIEW PROCEDURES.....	9
II.	CONCLUSION	10

I. WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE

SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT

(.01) Except where an application is exempt, or where otherwise noted, the following standards shall govern the review of an application for a Type A, B, C or D Tree Removal Permit:

- A. **Standard for the Significant Resource Overlay Zone.** The standard for tree removal in the Significant Resource Overlay Zone shall be that removal or transplanting of any tree is not inconsistent with the purposes of this chapter.

Response: PDP 7 Central does not include areas within the Significant Resource Overlay Zone (SROZ).

- B. **Preservation and Conservation.** No development application shall be denied solely because trees grow on the site. Nevertheless, tree preservation and conservation as a principle shall be equal in concern and importance as other design principles.

Response: The design of this Preliminary Development Plan has taken into account the preservation of trees on site. There are 23 existing trees in this PDP area. As described in the Tree Report attached in Section VB of the Notebook, the site contains nine (9) trees in poor condition, eight (8) of which will be removed and one (1) of which will be protected off-site. Six (6) of the poor condition trees will be removed due to poor health or invasive species classification and two will be removed for the purposes of street construction for Villebois Drive. The site contains nine (9) trees in moderate condition, all of which will be removed. Eight (8) of the moderate condition trees will be removed due to poor health or invasive species classification and one will be removed for the purposes of sidewalk construction along Villebois Drive. The site contains three (3) trees in good condition, one (1) of which will be retained with the other two (2) to be removed for purposes of row home construction and construction of private alleys. The site contains two (2) trees assigned as important condition, both of which will be retained. The *Tree Preservation Plan* in Section VC shows the existing trees to be retained and removed on site.

- C. **Development Alternatives.** Preservation and conservation of wooded areas and trees shall be given careful consideration when there are feasible and reasonable location alternatives and design options on-site for proposed buildings, structures or other site improvements.

Response: The preservation and conservation of trees on site was carefully considered during the planning for onsite improvements. The *Tree Preservation Plan*, shown in Section VC, depicts the trees that are to be removed and likely to be removed during construction due to homes, site improvements or due to tree condition.

- D. **Land Clearing.** Where the proposed activity requires land clearing, the clearing shall be limited to designated street rights-of-way and areas necessary for the construction of buildings, structures or other site improvements.

Response: The clearing of land will be limited to areas necessary for the construction of on site improvements. The *Grading and Erosion Control Plan* in Section IIB of the Notebook depicts the extent of grading activities proposed on the site.

- E. Residential Development.** Where the proposed activity involves residential development, residential units shall, to the extent reasonably feasible, be designed and constructed to blend into the natural setting of the landscape.

Response: The Village Center Architectural Standards (VCAS) was developed for the general design of residential structures within SAP - Central. These homes are designed to blend into the landscape as much as feasible. The design of homes within this phase of SAP - Central will be in accordance with the VCAS for SAP - Central. This is assured through review of compliance with the VCAS with the concurrent FDP application in Section VI.

- F. Compliance with Statutes and Ordinances.** The proposed activity shall comply with all applicable statutes and ordinances.

Response: The development in PDP 7C will comply with all applicable statutes and ordinances.

- G. Relocation or Replacement.** The proposed activity shall include necessary provisions for tree relocation or replacement, in accordance with WC 4.620.00, and the protection of those trees that are not removed, in accordance with WC 4.620.10.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10. As shown in the Tree Report prepared by Morgan Holan, certified arborist (see Section VB), the tree mitigation proposed with the planting of street trees and trees within linear green areas exceeds the required amount of mitigation.

- H. Limitation.** Tree removal or transplanting shall be limited to instances where the applicant has provided completed information as required by this chapter and the reviewing authority determines that removal or transplanting is necessary based on the criteria of this subsection.

1. **Necessary for Construction.** Where the applicant has shown to the satisfaction of the reviewing authority that removal or transplanting is necessary for the construction of a building, structure or other site improvement and that there is no feasible and reasonable location alternative or design option on-site for a proposed building, structure or other site improvement; or a tree is located too close to an existing or proposed building or structures, or creates unsafe vision clearance.
2. **Disease, Damage, or Nuisance, or Hazard.** Where the tree is diseased, damaged, or in danger of falling, or presents a hazard as defined in WC 6.208, or is a nuisance as defined in WC 6.200 it seq., or creates unsafe vision clearance as defined in this code.
3. **Interference.** Where the tree interferes with the healthy growth of other trees, existing utility service or drainage, or utility work in a

previously dedicated right-of-way, and it is not feasible to preserve the tree on site.

4. **Other.** Where the applicant shows that tree removal or transplanting is reasonable under the circumstances.

Response: Morgan Holan, certified arborist, has prepared a Tree Report for PDP 7 Central. This report can be seen in Section VB following this Supporting Compliance Report. This Tree Report calls out trees to be removed and retained within the PDP. The determination to remove trees was based upon an assessment of what trees were necessary to remove due to construction, the health of the tree, and whether or not they interfered with the health of other trees or utility work. A listing of all the trees to be removed is included in the attached Tree Report (see Section VB).

I. Additional Standards for Type C Permits.

1. **Tree Survey.** For all site development applications reviewed under the provisions of Chapter 4 Planning and Zoning, the developer shall provide a Tree Survey before site development as required by WC 4.610.40 , and provide a Tree Maintenance and Protection Plan, unless specifically exempted by the Planning Director or DRB, prior to initiating site development.

Response: The *Tree Preservation Plan* (see Section VC) along with the tree report (see Section VB) provide a tree survey with the location, species and health of each tree in the PDP area.

2. **Platted Subdivisions.** The recording of a final subdivision plat whose preliminary plat has been reviewed and approved after the effective date of Ordinance 464 by the City and that conforms with this subchapter shall include a Tree Survey and Maintenance and Protection Plan, as required by this subchapter, along with all other conditions of approval.

Response: The final subdivision plat will include this information, as necessary.

3. **Utilities.** The City Engineer shall cause utilities to be located and placed wherever reasonably possible to avoid adverse environmental consequences given the circumstances of existing locations, costs of placement and extensions, the public welfare, terrain, and preservation of natural resources. Mitigation and/or replacement of any removed trees shall be in accordance with the standards of this subchapter.

Response: The *Composite Utility Plans* for the site have been designed to minimize the impact upon the environment to the extent feasible given existing conditions. These plans can be seen in Section IIB of this Notebook. Any trees to be removed due to the placement of utilities will be replaced and/or mitigated in accordance with the provisions in this subchapter.

J. Exemption. Type D permit applications shall be exempt from review under standards D, E, H and I of this subsection.

Response: This application requests a Type C Tree Removal Permit, therefore this standard is not applicable.

SECTION 4.610.40. TYPE C PERMIT

(.01) Approval to remove any trees on property as part of a site development application may be granted in a Type C permit. A Type C permit application shall be reviewed by the standards of the subchapter and all applicable review criteria of Chapter 4. Application of the standards of this section shall not result in a reduction of square footage or loss of density, but may require an applicant to modify plans to allow for buildings of greater height. If an applicant proposes to remove trees and submits a landscaping plan as part of a site development application, an application for a Tree Removal Permit shall be included. The Tree Removal Permit application will be reviewed in the Stage II development review process, and any changes made that affect trees after Stage II review of a development application shall be subject to review by DRB. Where mitigation is required for tree removal, such mitigation may be considered as part of the landscaping requirements as set forth in this Chapter. Tree removal shall not commence until approval of the required Stage II application and the expiration of the appeal period following that decision. If a decision approving a Type C permit is appealed, no trees shall be removed until the appeal has been settled.

Response: This application includes a request for approval of a Type “C” Tree Removal Plan for approval by the Development Review Board so that a Tree Removal Permit may be issued. Proposed tree removal is identified on The *Tree Preservation Plan* included in Section VC of this Notebook.

(.02) The applicant must provide ten copies of a Tree Maintenance and Protection Plan completed by an arborist that contains the following information:

- A. A plan, including a topographical survey bearing the stamp and signature of a qualified, registered professional containing all the following information:
 1. Property Dimensions. The shape and dimensions of the property, and the location of any existing and proposed structure or improvement.
 2. Tree Survey. The survey must include:
 - a) An accurate drawing of the site based on accurate survey techniques at a minimum scale of one inch (1”) equals one hundred feet (100’) and which provides a) the location of all trees having six inches (6”) or greater d.b.h. likely to be impacted, b) the spread of canopy of those trees, c) the common and botanical name of those trees, and d) the approximate location and name of any other trees on the property.
 - b) A description of the health and condition of all trees likely to be impacted on the site property. In addition, for trees in a present or proposed public street or road right-of-way that are described as unhealthy, the description shall include

recommended actions to restore such trees to full health. Trees proposed to remain, to be transplanted or to be removed shall be so designated. All trees to remain on the site are to be designated with metal tags that are to remain in place throughout the development. Those tags shall be numbered, with the numbers keyed to the tree survey map that is provided with the application.

- c) Where a stand of twenty (20) or more contiguous trees exist on a site and the applicant does not propose to remove any of those trees, the required tree survey may be simplified to accurately show only the perimeter area of that stand of trees, including its drip line. Only those trees on the perimeter of the stand shall be tagged, as provided in “b”, above.
 - d) All Oregon white oaks, native yews, and any species listed by either the state or federal government as rare or endangered shall be shown in the tree survey.
3. **Tree Protection.** A statement describing how trees intended to remain will be protected during development, and where protective barriers are necessary, that they will be erected before work starts. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic tape or similar forms of markers do not constitute “barriers”.
 4. **Easements and Setbacks.** Location and dimension of existing and proposed easements, as well as all setback required by existing zoning requirements.
 5. **Grade Changes.** Designation of grade proposed for the property that may impact trees.
 6. **Cost of Replacement.** A cost estimate for the proposed tree replacement program with a detailed explanation including the number, size, and species.
 7. **Tree Identification.** A statement that all trees being retained will be identified by numbered metal tags, as specified in subsection “A,” above in addition to clear identification on construction documents.

Response: The attached plan sheets (see the *Tree Preservation Plan*) located in Section VC) identify the proposed tree removal. The *Tree Preservation Plans* provide information required by Section 4.610.40(.02). Morgan Holan, certified arborist, has also prepared a Tree Report (see Section VB) that provides information required by Section 4.610.40(.02).

SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT

- (.01) Requirement Established.** A Type B or C Tree Removal Permit grantee shall replace or relocate each removed tree having six (6) inches or greater d.b.h. within one year of removal.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10. As shown in the Tree Report prepared by Morgan Holan, certified arborist (see Section VB), the tree mitigation proposed with the planting of street trees and trees within park areas exceeds the required amount of mitigation.

(.02) Basis For Determining Replacement. The permit grantee shall replace removed trees on a basis of one (1) tree replaced for each tree removed. All replacement trees must measure two inches (2”) or more in diameter. Alternatively, the Planning Director or Development Review board may require the permit grantee to replace removed trees on a per caliper inch basis, based on a finding that the large size of the trees being removed justifies an increase in the replacement trees required. Except, however, that the Planning Director or Development Review Board may allow the use of replacement Oregon white oaks and other uniquely valuable trees with a smaller diameter.

Response: Trees to be removed will be replaced in accordance with this criterion. The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes mitigation analysis for planting replacement trees.

(.03) Replacement Tree Requirements. A mitigation or replacement tree plan shall be reviewed by the City prior to planting and according to the standards of this subsection.

- A. Replacement trees shall have shade potential or other characteristics comparable to the removed trees, shall be appropriately chosen for the site from an approved tree species list supplied by the City, and shall be state Department of Agriculture nursery Grade No. 1 or better.
- B. Replacement trees must be staked, fertilized and mulched, and shall be guaranteed by the permit grantee or the grantee’s successors-in-interest for two (2) years after the planting date.
- C. A “guaranteed” tree that dies or becomes diseased during that time shall be replaced.
- D. Diversity of tree species shall be encouraged where trees will be replaced, and diversity of species shall also be maintained where essential to preserving a wooded area or habitat.

Response: The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes mitigation analysis for planting replacement trees.

(.04) All trees to be planted shall consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade.

Response: All trees to be planted will meet the requirements as stated in this criterion.

(.05) Replacement Tree Location.

- A. **City Review Required.** The City shall review tree relocation or replacement plans in order to provide optimum enhancement,

preservation, and protection of wooded areas. To the extent feasible and desirable, trees shall be relocated or replaced on-site and within the same general area as trees removed

- B. Relocation or Replacement Off-Site. When it is not feasible or desirable to relocate or replace trees on-site, relocation or replacement may be made at another location - approved by the city.

Response: Trees will be replaced within the same general area as the trees removed. The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes a mitigation analysis for planting replacement trees.

- (.06) **City Tree Fund.** Where it is not feasible to relocate or replace trees on site or at another approved location in the City, the Tree Removal Permit grantee shall pay into the City Tree Fund, which fund is hereby created, an amount of money approximately the value as defined by this subchapter, of the replacement trees that would otherwise be required by this subchapter. The City shall use the City Tree Fund for the purpose of producing, maintaining and preserving wooded areas and heritage trees, and for planting trees within the City.

Response: All trees removed will be replaced within PDP 7C. The attached Tree Report (see Section VB) prepared by Morgan Holan, certified arborist, includes a mitigation analysis for planting replacement trees.

- (.07) **Exception.** Tree replacement may not be required for applicants in circumstances where the Director determines that there is good cause to not so require. Good cause shall be based on a consideration of preservation of natural resources, including preservation of mature trees and diversity of ages of trees. Other criteria shall include consideration of terrain, difficulty of replacement and impact on adjacent property.

Response: No exception to the tree replacement requirements is requested with this application.

SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION

- (.01) Where tree protection is required by a condition of development under Chapter 4 or by a Tree Maintenance and Protection Plan approved under this subchapter, the following standards apply:
 - A. All trees required to be protected must be clearly labeled as such.
 - B. Placing Construction Materials Near Tree. No person may conduct any construction activity likely to be injurious to a tree designated to remain, including, but not limited to, placing solvents, building material, construction equipment, or depositing soil, or placing irrigated landscaping, within the drip line, unless a plan for such construction activity has been approved by the Planning Director or Development Review Board based upon the recommendations of an arborist.

- C. **Attachments to Trees During Construction.** Notwithstanding the requirement of WC 4.620.10(1)(A), no person shall attach any device or wire to any protected tree unless needed for tree protection.
- D. **Protective Barrier.** Before development, land clearing, filling or any land alteration for which a Tree Removal Permit is required, the developer shall erect and maintain suitable barriers as identified by an arborist to protect remaining trees. Protective barriers shall remain in place until the City authorizes their removal or issues a final certificate of occupancy, whichever occurs first. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic Tape or similar forms of markers do not constitute “barriers”. The most appropriate and protective barrier shall be utilized. Barriers are required for all trees designated to remain, except in the following cases.
 - 1. **Rights-of-ways and Easements.**
 - 2. **Any property area separate from the construction or land clearing area onto which no equipment may venture.**

Response: Trees to be retained will be protected to the greatest extent possible during construction. Additional details about tree protection during construction will be provided with the construction drawings.

SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS

- (.01) The following standards apply to all activities affecting trees, including, but not limited to, tree protection as required by a condition of approval on a site development application brought under this chapter or as required by an approved Tree Maintenance and Protection Plan.
 - A. Pruning activities shall be guided by the most recent version of the ANSI 300 Standards for Tree, Shrub and Other Woody Plant Maintenance.
 - B. Topping is prohibited
 - 1. Exception from this section may be granted under a Tree Removal Permit if necessary for utility work or public safety.

Response: All pruning activities will comply with ANSI 300 standards. Additional details about the pruning activities proposed for trees during construction will be further addressed in the construction drawings. Any topping necessary will be applied for with the Tree Removal Permit.

SECTION 4.640.00. APPLICATION REVIEW PROCEDURES

(.03) Reviewing Authority

- B. **Type C.** Where the site is proposed for development necessitating site plan review or plat approval by the Development Review Board, the Development Review Board shall be responsible for granting or denying the application for a Tree Removal Permit, and that decision may be subject to affirmance, reversal or modification by the City Council, if subsequently reviewed by the Council.

Response: This application includes *Tree Preservation Plans*, located in Section VC for review by the Development Review Board. The applicant is requesting that the Development Review Board approve this plan so that a Tree Removal Permit may be issued.

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable criteria of the City of Wilsonville Land Development Ordinance for the requested review of the Type “C” Tree Removal Plan and Permit. Therefore, the applicant respectfully requests approval of this application.

VB) Tree Report

Villebois Village Center #3, Lot 75 – Wilsonville, Oregon
Tree Maintenance and Protection Plan
April 21, 2015

MHA15025

Purpose

This Tree Maintenance and Protection Plan for the Villebois Village Center #3, Lot 75 project located in Wilsonville, Oregon, is provided pursuant to City of Wilsonville Development Code, Section 4.610.40. This arborist report describes the existing trees located on the project site, as well as recommendations for tree removal, retention, mitigation, and protection. This report is based on observations made by International Society of Arboriculture Certified Arborist (PN-6145A) and Qualified Tree Risk Assessor Morgan Holen during a site visit conducted on April 21, 2015.

Scope of Work and Limitations

Morgan Holen & Associates, LLC, was contracted by Polygon Northwest Company to visually assess existing trees measuring six inches in diameter and larger in terms of general condition and suitability for preservation with development, and to develop a tree maintenance and protection plan for the project. The site is planned for residential development. A site plan was provided by Pacific Community Design illustrating the location of trees and tree survey point numbers, and potential construction impacts.

Visual Tree Assessment (VTA¹) was performed on individual trees located on and directly adjacent to the project site. Trees were evaluated in terms species, size, general condition, and potential construction impacts, and treatment recommendations include remove, retain, or protect off-site. Following the inventory fieldwork, we coordinated with Pacific Community Design to discuss and finalize treatment recommendations based on the proposed site plan.

The client may choose to accept or disregard the recommendations contained herein, or seek additional advice. Neither this author nor Morgan Holen & Associates, LLC, have assumed any responsibility for liability associated with the trees on or adjacent to this site.

General Description

In all, 23 trees measuring 6-inches and larger in diameter were inventoried including four tree species. Table 1 provides a summary of the count of trees by species. A complete description of individual trees is provided in the enclosed tree inventory.

Table 1. Count of Trees by Species – VVC#3 Lot 75, Wilsonville, OR.

Common Name	Species Name	Total	Percent
apple	Malus spp.	3	13.0%
crabapple	Malus spp.	1	4.4%
Norway maple	Acer platanoides	12	52.2%
pin oak	Quercus palustris	3	13.0%
red maple	Acer rubrum	4	17.4%
Total		23	100%

¹ Visual Tree Assessment (VTA): The standard process of visual tree inspection whereby the inspector visually assesses the tree from a distance and up close, looking for defect symptoms and evaluating overall condition and vitality.

No Oregon white oaks (*Quercus garryana*), native yews (*Taxus brevifolia*), or any species listed by either the state or federal government as rare or endangered were found on the site.

Twelve of the inventoried trees are Norway maples (*Acer platanoides*) which is a species widely accepted as being invasive in our region. Invasive species are broadly defined as species that were introduced by humans to locations outside of their native range that spread and persist over large areas outcompeting native species. Invasive species negatively impact natural ecosystems by displacing native species, reducing biological diversity and interfering with natural succession. One of these trees is dead (#440) and the other 11 Norway maples are infected with Verticillium wilt, which is caused by the fungus *Verticillium dahlia*. These trees generally appear in decline and have dead branches and varying degrees of crown dieback.

Three of the four red maples (*Acer rubrum*) that were inventoried also exhibit Verticillium wilt symptoms, but these trees are in relatively better condition than the Norway maples.

One crabapple (*Malus* spp.) is included in the inventory and this tree is a small ornamental flowering tree that has not been maintained in recent years and has numerous branches and moderate structure.

Two small apple (*Malus* spp.) trees are located in the right-of-way and a third is located off-site on an adjacent property. These trees have moderate structure and decay and have also not been maintained in recent years.

The three most prominent trees are all pin oaks (*Quercus palustris*). One has large codominant leaders, but appears stable, and the other two have no notable defects. Each of these trees would benefit from regular maintenance pruning to remove dead and defective branches.

Tree Plan Recommendations

As described in the enclosed tree inventory data, individual trees were assigned a general condition rating as follows:

P: Poor Condition

M: Moderate Condition

G: Good Condition

I: Important Condition

Two of the three pin oaks are classified as "Important", while the other third pin oak is classified as "Good". All three pin oaks are recommended for retention, including one tree along the west side of Orleans Avenue (#437) and two bordering the north (#302) and south (#301) sides of Villebois Drive. These trees will require special protection measures during street construction; the new streets should be built up from the existing grade to avoid root zone excavation. In addition, future home construction adjacent tree #437 should be compatible with tree protection; a pier and beam foundation may be needed to avoid root zone excavation if building must occur beneath the dripline area and pruning for building clearance will likely be needed to avoid crown damage during construction.

Two of the four red maples are classified as “Good.” The other two red maples are classified as “Moderate” because they appear symptomatic of Verticillium wilt. These four trees are recommended for removal for the purposes of construction, including grading, a new street, and building lots.

All 12 invasive Norway maples with Verticillium wilt are recommended for removal for the purposes of construction, including six trees classified as “Moderate” and six trees classified as “Poor.” The difference in condition rating is due to the severity of dieback and decline caused by Verticillium wilt.

The unmaintained crabapple is classified as “Moderate” and recommended for removal for the purposes of sidewalk construction.

The three apple trees are all classified as “Poor”, two of which are located in the right-of-way along the north side of Villebois Drive and are recommended for removal for the purposes of street construction. The third apple tree is located off-site to the north and can be satisfactorily protected during construction with tree protection fencing installed at the edge of the right-of-way.

Table 2 provides a summary of the count of trees by general condition rating and treatment recommendation.

Table 2. Count of Trees by Treatment Recommendation and General Condition Rating.

Treatment Recommendation	General Condition				Total
	P	M	G	I	
Remove	8	9	2	0	19 (83%)
Retain	0	0	1	2	3 (13%)
Protect Off-Site	1	0	0	0	1 (4%)
Total	9 (39%)	9 (39%)	3 (13%)	2 (9%)	23 (100%)

Mitigation Requirements

Nineteen trees are recommended for removal and will require mitigation per Section 4.620.00; removed trees shall be replaced on a basis of one tree planted for each tree removed. Therefore, 19 trees measuring at least 2-inch in diameter shall be planted as mitigation for tree removal.

Tree Protection Standards

The four trees planned for preservation will require special consideration to assure their protection during construction. We highly recommend a preconstruction meeting with the owner, contractors, and project arborist to review tree protection measures and address questions or concerns on site. Tree protection measures include:

- **Fencing.** Trees to remain on site shall be protected by installation of tree protection fencing to prevent injury to tree trunks or roots, or soil compaction within the root protection area, which generally coincides with tree driplines. Fences shall be 6-foot high steel on concrete blocks or orange plastic construction fencing on metal stakes. The project arborist shall determine the exact location and type of tree protection fencing. Trees located more than 30-feet from construction activity shall not require fencing.

- **Tree Protection Zone.** Without authorization from the Project Arborist, none of the following shall occur beneath the dripline of any protected tree:
 1. Grade change or cut and fill;
 2. New impervious surfaces;
 3. Utility or drainage field placement;
 4. Staging or storage of materials and equipment; or
 5. Vehicle maneuvering.

Root protection zones may be entered for tasks like surveying, measuring, and, sampling. Fences must be closed upon completion of these tasks.

- **Pruning.** Pruning may be needed to provide for overhead clearance and to remove dead and defective branches for safety. The project arborist can help identify where pruning is necessary once trees recommended for removal have been removed and the site is staked and prepared for construction. Tree removal and pruning shall be performed by a Qualified Tree Service.
- **Excavation.** Excavation beneath the dripline of protected trees shall be avoided if alternatives are feasible. Otherwise, the project arborist shall provide on-site consultation during all excavation activities beneath the dripline of protected trees. Excavation immediately adjacent to roots larger than 2-inches in diameter within the root protection zone of retained trees shall be by hand or other non-invasive techniques to ensure that roots are not damaged. Where feasible, major roots shall be protected by tunneling or other means to avoid destruction or damage. Exceptions can be made if, in the opinion of the project arborist, unacceptable damage will not occur to the tree. Where soil grade changes affect the root protection area, the grade line should be meandered wherever practicable. This will require on-site coordination to ensure a reasonable balance between engineering, construction, and the need for tree protection.
- **Surfacing.** Where new surfacing is proposed beneath the dripline of protected trees, coordinate with the project arborist to provide recommendations for adjustments to protection fencing and to monitor construction beneath protected tree driplines. Avoid excavation and use a modified profile to build up from existing grade (Figure 1). The profile includes a layer of permeable geotextile fabric on the ground surface and clean crushed rock to raise the grade as needed. Surfacing may include asphalt, concrete, or other materials. If excavation is necessary, work shall be performed under arborist supervision.

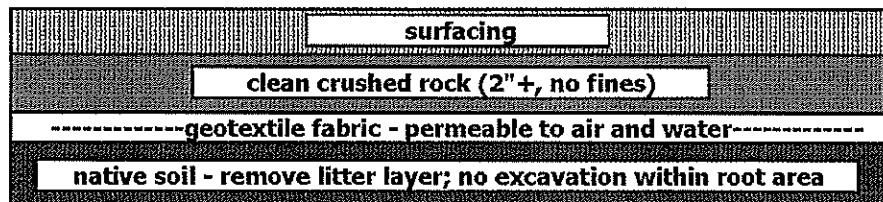


Figure 1. Sample profile for areas within Critical Root Zones. Depth of rock is dependent on grading. Technique based on best management practices.

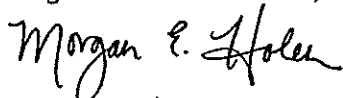
- **Landscaping.** Following construction and where landscaping is desired, apply approximately 3-inches of mulch beneath the dripline of protected trees, but not directly against tree trunks. Shrubs and ground covers may be planted within tree protection areas. If irrigation is used, use drip irrigation only beneath the driplines of protected trees.
- **Quality Assurance.** The project arborist should supervise proper execution of this plan during construction activities that could encroach on retained trees. Tree protection site inspection monitoring reports should be provided to the Client and City on a regular basis throughout construction.

Summary

In summary, four trees are recommended for retention, including one tree located off-site to the north adjacent to the right-of-way, and 19 trees are recommended for removal for the purposes of construction. Trees to be retained will require special consideration to assure their protection during construction. The 19 trees planned for removal will require mitigation on a one-for-one basis.

Thank you for choosing Morgan Holen & Associates, LLC, to provide consulting arborist services for the Villebois Village Center #3, Lot 75 project. Please contact us if you have questions or need any additional information.

Thank you,
Morgan Holen & Associates, LLC



Morgan E. Holen, Owner
ISA Certified Arborist, PN-6145A
ISA Tree Risk Assessment Qualified
Forest Biologist

Enclosures: Villebois Lot 75 – Tree Data 4-21-15

Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
301	pin oak	<i>Quercus palustris</i>	22	22	G	no major defects, pruning recommended	retain
302	pin oak	<i>Quercus palustris</i>	24	26	I	codominant leaders, pruning recommended	retain
362	Norway maple	<i>Acer platanoides</i>	13	14	M	invasive species, verticillium, substantial dieback	remove
363	Norway maple	<i>Acer platanoides</i>	10	14	M	invasive species, verticillium, dieback	remove
364	Norway maple	<i>Acer platanoides</i>	13	12	P	invasive species, verticillium, dead and broken branches, history of branch failure, crown decay	remove
367	red maple	<i>Acer rubrum</i>	28	22	G	multiple attachments, verticillium, dieback	remove
368	Norway maple	<i>Acer platanoides</i>	16	14	M	invasive species, verticillium, dead branches	remove
369	Norway maple	<i>Acer platanoides</i>	12	12	M	invasive species, verticillium, dead branches	remove
370	red maple	<i>Acer rubrum</i>	20	16	M	verticillium, dead branches, moderate crown structure, fair vigor	remove
371	red maple	<i>Acer rubrum</i>	22	20	M	verticillium, poor vigor	remove
372	red maple	<i>Acer rubrum</i>	26	20	G	few dead and broken branches, moderate vigor	remove
401	Norway maple	<i>Acer platanoides</i>	18	20	P	invasive species, verticillium, dead branches	remove
402	Norway maple	<i>Acer platanoides</i>	20	16	M	invasive species, verticillium, moderate structure	remove
435	Norway maple	<i>Acer platanoides</i>	11	12	P	invasive species, verticillium, dead branches	remove
436	Norway maple	<i>Acer platanoides</i>	10	10	P	invasive species, verticillium, top dieback	remove
437	pin oak	<i>Quercus palustris</i>	30	32	I	no major defects, pruning recommended	retain
438	Norway maple	<i>Acer platanoides</i>	12	14	P	invasive species, verticillium, dead branches	remove
439	Norway maple	<i>Acer platanoides</i>	17	16	M	invasive species, verticillium, dead branches	remove
440	Norway maple	<i>Acer platanoides</i>	10	10	P	dead	remove



Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
441	apple	<i>Malus</i> spp.	10	8	P	basal decay	remove
442	apple	<i>Malus</i> spp.	10	12	P	trunk decay	remove
443	apple	<i>Malus</i> spp.	8	8	P	crown decay	protect
449	crabapple	<i>Malus</i> spp.	10	12	M	flowering, poor structure, unmaintained	remove

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

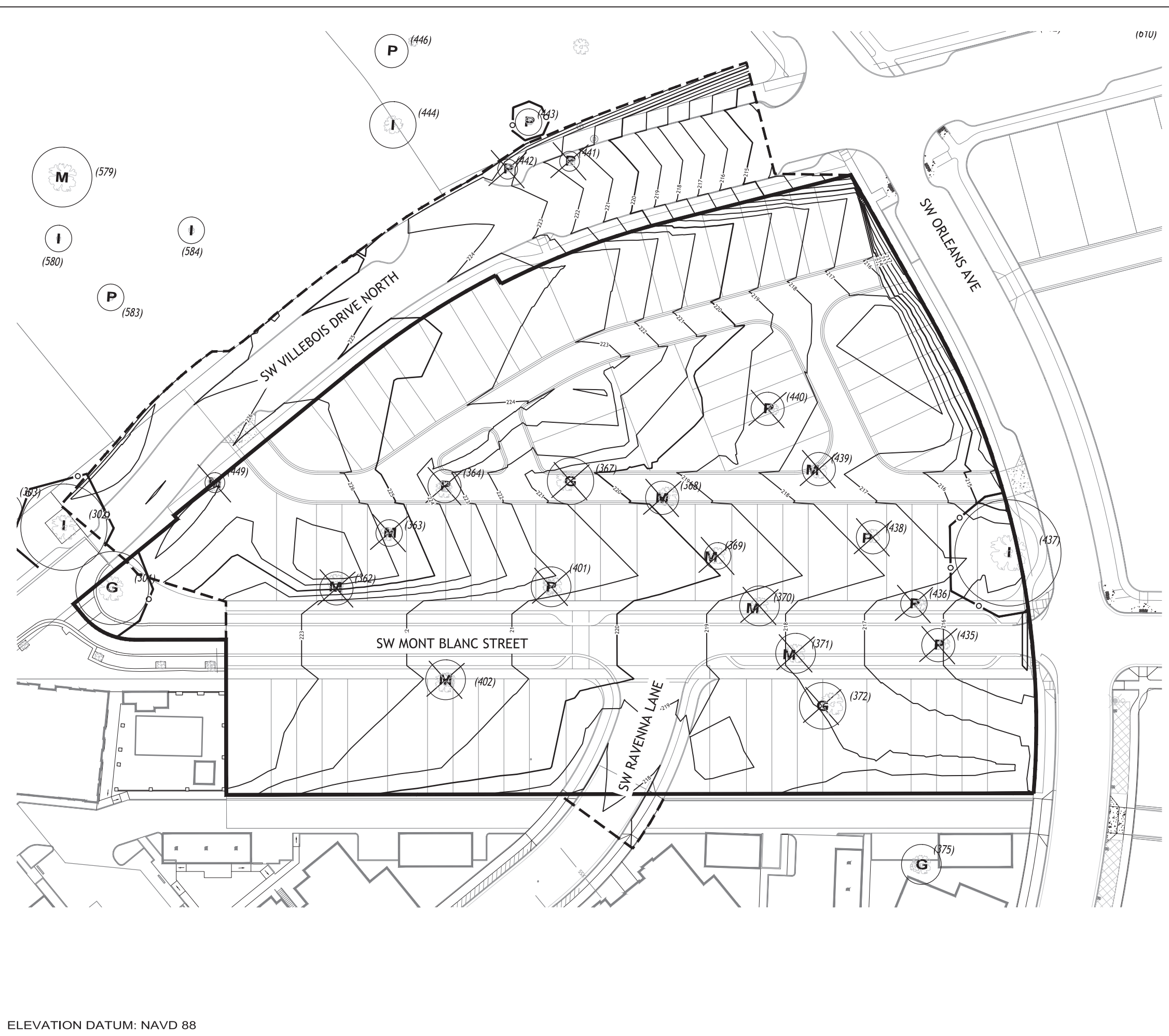
^C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

#Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

Morgan Holen & Associates, LLC
 Consulting Arborists and Urban Forest Management
 3 Monroe Parkway, Suite P220, Lake Oswego, Oregon 97035
 morgan.holen@comcast.net | 971-409-9354

VC) Tree Preservation Plan

N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\Submit\395-057.dwg - SHEET: 22x34 May, 26, 15 - 3:37 PM pre



LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (Symbol: Circle with tree) EXISTING TREES TO REMAIN
- (Symbol: Circle with diagonal lines) EXISTING TREES LIKELY TO BE REMOVED
- (Symbol: Circle with X) EXISTING TREES TO BE REMOVED
- (Symbol: Dashed line) TREE PROTECTION FENCING
- (Symbol: Dashed line) GRADING LIMITS

NOTES

COORDINATE WITH THE PROJECT ARBORIST PRIOR TO ADJUSTING, MOVING, REMOVING, OR OPENING TREE PROTECTION FENCING FOR CONSTRUCTION. WORK BENEATH THE PROTECTED TREE DRIPLINE SHOULD BE PERFORMED ONLY UNDER THE GUIDANCE OF THE PROJECT ARBORIST. CONTACT: MORGAN HOLAN PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

- HEALTH
- SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
- COMPATIBILITY WITH DEVELOPMENT
- FORM / VISUAL INTEREST / MATURE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

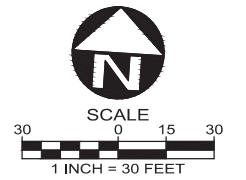
TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

- THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLAN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.

ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**TREE
PRESERVATION
PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

Section VI

Final Development Plan

VIA) Supporting Compliance Report

**SUPPORTING COMPLIANCE REPORT
FINAL DEVELOPMENT PLAN 7 - CENTRAL**

SECTION VIA

Table of Contents

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE.....	2
SECTION 4.125. VILLAGE (V) ZONE.....	2
Lighting Master Plan	6
Curb Extensions	6
Street Tree Master Plan	6
Site Furnishings.....	7
Play Structures	7
Tree Protection	7
Plant List.....	7
Villebois Drive Address.....	7
Woonerf Address	8
GENERAL DEVELOPMENT REGULATIONS	10
SECTION 4.156. SIGN REGULATIONS	10
SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING	10
SECTION 4.177. STREET IMPROVEMENT STANDARDS	17
SECTION 4.178. SIDEWALK & PATHWAY STANDARDS.....	18
SITE DESIGN REVIEW	19
SECTION 4.400. PURPOSE.	19
SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.	21
SECTION 4.440. PROCEDURE.	24
SECTION 4.450. INSTALLATION OF LANDSCAPING.	25
II. VILLAGE CENTER ARCHITECTURAL STANDARDS	26
STANDARDS APPLYING TO ALL BUILDINGS.....	26
VILLEBOIS DRIVE ADDRESS.....	37
WOONERF ADDRESS.....	40
III. CONCLUSION.....	44

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125. VILLAGE (V) ZONE

(.02) Permitted Uses

Examples of principle uses that typically permitted:

- D. Row Houses
- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owners association.

(.03) PERMITTED ACCESSORY USES

- B. Home Occupations

SECTION 4.001 DEFINITIONS

123. Home Occupation: "Home Occupation" means an occupation, profession, or craft, which is customarily incidental to or carried on in a dwelling place or premises and not one in which the use of the premises as a dwelling place is largely incidental to the business use. A home occupation is carried on by an immediate member of the family residing within the dwelling place. A home occupation shall require no structural alteration or changes to the exterior of the dwelling, and shall include no display of merchandise on the premises which can be seen from the exterior of the dwelling. Any instruction shall be limited to one pupil at a time. Noise, odor, smoke, gases, fallout, vibration, heat or glare resulting from the use shall not be of the intensity as to be detected outside of the containing structure. Traffic and parking are to be such as to give no outward appearance that a business is being conducted on the premises.

Table V-1 Development Standards

Table V-1: Development Standards													
Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width (%) ¹⁸	Max. Bldg. Height (ft.)	Setbacks ^{18, 13, 20}				Alley-Loaded Garage (note)	Street-Loaded Garage (note)	
							Front Min. (ft.)	Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)			
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	5	NR	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ³	15	NR	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	8	NR	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	80	45	8 ⁴	15	NR	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	80	45	NR	15	NR	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ⁴	15	NR	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5,6}	20 ⁸	5	5 ¹³	7	8,7,18	NA
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{5,6}	20 ⁸	5	5 ¹³	7	8,7,18	NA

Notes: NR: No Requirement
 NA: Not Allowed
 1 Lot < 8000sf: NR; Lot > 8000sf: 80% (Max. Lot Coverage)
 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
 5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to 8 ft. into the Public Way. Stairs may encroach to the Public Way.
 6 For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
 7 The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main facade of the associated dwelling unit.
 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint, vertical encroachments shall not be habitable space.
 10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
 11 Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
 12 See Definitions 1122-17, for measurement of Minimum Frontage Width.
 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.
 15 For Front Setback and Garage Load, the minimum setback shall be 0 ft. or as required by Building Code.
 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
 17 Dwellings on lots without alley access shall be at least 36 feet wide.
 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
 20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

Response: This Preliminary Development Plan (PDP) application proposes to create 68 lots for development of row houses, 1 lot for future development (mixed use building), as well as tracts for access ways and linear greens. Architecture for the proposed row homes is shown on the Elevations and Floorplans in Section VIC of this Notebook and described in Section II of this compliance report. The Brownstone style Row Houses are designed to accommodate “Home Occupation” use on the ground floor, which is a permitted accessory use. All proposed uses within the subject PDP are permitted pursuant to this section.

(.07) General Regulations - Off-Street Parking, Loading & Bicycle Parking

Response: The proposed row homes within PDP 7C include off-street parking in attached garages. Parks within PDP 7C do not include any off-street parking. These areas are not planned to provide amenities that require off-street parking. The mid-block connection park area includes pathways for pedestrians and bicycle travel.

(.08) Open Space.

Response: The Parks Master Plan for Villebois states that there are 57.87 acres of parks and 101.46 acres of open space for a total of 159.33 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent with Master Plan. PDP 7C includes a tract for future development and the addition of linear greens not shown in the Villebois Village Master Plan, thereby increasing the amount of parks. The PDP provides more park areas than originally included in this phase.

(.09) Street and Access Improvement Standards.

Response: The Supporting Compliance Report for the PDP demonstrates that streets and access improvement standards are met (See Section IIA). This code section does not apply to the proposed parks, except to assure that vision clearance standards are met in proposed planting schemes for these areas. Proposed landscaping is sited to meet vision clearance standards (see Exhibit VIB).

(.10) Sidewalk and Pathway Improvement Standards.

Response: This code section refers directly to code Section 4.176, which is addressed in subsequent sections of this report.

(.11) Landscaping, Screening and Buffering

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:
 - 1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The applicable provisions of Section 4.176 are addressed in the subsequent sections of this report. The PDP provides information regarding street trees for the proposed streets (See Section IIB). This FDP application reflects the provision of street trees consistent with that shown in the PDP application.

(.12) Master Signage and Wayfinding

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central Signage & Wayfinding Plan.

(.14) Design Standards Applying to the Village Zone

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:
 - 2. Building and site design shall include:
 - b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Architectural Pattern Book, Community Elements Book or approved Village Center Design.

Response: The materials proposed for the parks, architecture and streetscapes of the subject PDP are consistent with the approved *Community Elements Book* and *Village Center Architectural Standards* as shown in the FDP Approval Criteria section of this report. The *Pattern Book* is not applicable to the proposed park uses.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: The design of the parks will protect existing significant trees consistent with the Tree Protection component of the *Community Elements Book* and the *Tree Preservation Plan* (see Section IIB of this Notebook). The FDP plans (Exhibit VIB) show retention of existing significant trees.

- g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

Response: A detailed landscape plan is provided with this FDP application in accordance with the requirements of Section 4.125 (.07) and (.11), 4.176(.09), and 4.440(.01)B (see attached plans in Exhibit VIB).

3. Lighting and site furnishings shall be in compliance with the approved Community Elements Book.

Response: Lighting and site furnishings as identified in the approved *Community Elements Book* for SAP - Central are addressed in the FDP Approval Criteria section of this report.

(.18) Village Zone Development Permit Process

- L. Final Development Plan Approval Procedures (Equivalent to Site Design Review):

1. Unless an extension has been granted by the Development Review Board as enabled by Section 4.023, within two (2) years after the approval of a PDP, an application for approval of a FDP shall:
 - a. Be filed with the City Planning Division for the entire FDP, or when submission of the PDP in phases has been authorized by the development Review Board, for a phase in the approved sequence.
 - b. Be made by the owner of all affected property or the owner's authorized agent.
 - c. Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution.
 - d. Set forth the professional coordinator and professional design team for the project.

Response: This application has been made by the owner and applicant of the affected property and has been filed on the prescribed form and accompanied by the prescribed fee (copies of the application form and fee payment are included in Sections IB and IC, respectively, of this Notebook). The professional coordinator and

professional design team for the project are listed in the Introductory Narrative (see Section IA of this Notebook).

M. FDP Application Submittal Requirements:

1. An application for approval of a FDP shall be subject to the provisions of Section 4.034.

Response: Section 4.034(.08), states that “Applications for development approvals within the Village zone shall be reviewed in accordance with the standards and procedures set forth in Section 4.125.” The proposed FDP is reviewed in accordance with the standards and procedures set forth in Section 4.125, as demonstrated by this report.

N. FDP Approval Procedures

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

O. FDP Refinements to an Approved Preliminary Development Plan

Response: This FDP is submitted for review and approval concurrent with the PDP. Thus, the FDP is consistent with the PDP and does not propose any refinements or amendments to the PDP.

P. FDP Approval Criteria

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

2. An application for an FDP shall demonstrate that the proposal conforms to the applicable Architectural Pattern Book, Community Elements Book, Village Center Design and any other conditions of a previously approved PDP.

Response: This FDP addresses parks and proposed architecture within PDP 7C. The attached Elevations & Floor Plans (see Exhibit VIC) demonstrate compliance with the *Village Center Architectural Standards* as described in Section II of this report. The FDP is within the Village Center. The FDP is submitted for review and approval concurrent with the PDP; therefore, there are no conditions of a previously approved PDP that apply to this request. Conformance of the proposed FDP with the *Community Elements Book* for SAP - Central is demonstrated as follows.

LIGHTING MASTER PLAN

Response: The lighting shown on the attached plans (see Exhibit VIB) is consistent with the Lighting Master Plan Diagram shown on page 5 of the *Community Elements Book* for SAP Central.

CURB EXTENSIONS

Response: PDP 7C will be developed with curb extensions shown on the Curb Extension Concept Plan Diagram located on page 6 of the *Community Elements Book* for SAP - Central. This has been demonstrated in the concurrent PDP application in Section II of this Notebook. The FDP is consistent with the PDP.

STREET TREE MASTER PLAN

Response: The location and species of street trees shown on the attached plans (see Exhibit VIB) is consistent with the Street Tree Master Plan Diagram and List shown on pages 7-10 of the *Community Elements Book*. These tree species will be planted along the street frontages in the FDP.

SITE FURNISHINGS

Response: The furnishings shown the attached plans (see Exhibit VIB) were selected to maintain the identity and continuity of Villebois. The site furnishings shown in the parks are consistent with those described in the Site Furnishings Concept shown on pages 11-13 of the *Community Elements Book*.

PLAY STRUCTURES

Response: No play structures are proposed within the subject FDP.

TREE PROTECTION

Response: The Tree Protection component shown on page 15 of the *Community Elements Book* for SAP - Central describes the goal, policies, and implementation measures that were used to promote the protection of existing trees in the design of the PDP area. Tree preservation and removal is shown in conjunction with the concurrent PDP and *Tree Removal Plan* applications (see Sections II and Section V, respectively, of this Notebook). The proposed FDP, which includes linear greens, is consistent with the tree protection shown in PDP and *Tree Removal Plan*.

PLANT LIST

Response: The *Community Elements Book* for SAP - Central contains a Plant List (pages 16-18) of non-native and native trees, shrubs, and herbs/grasses for species to be used within Villebois. The attached plans (see Exhibit VIB) list the plants that will be planted in the proposed parks. The proposed plantings are consistent with the Plant List in the SAP - Central *Community Elements Book*.

VILLEBOIS DRIVE ADDRESS

This section of Villebois Drive, is one of the main street entries to the Village Center. The street is mainly bordered by residential uses and shall transition from residential to urban/commercial as it meets the Plaza address. Villebois Drive is designed to accommodate future commercial uses. Therefore the sidewalk and planter areas shall be designed as “flex” space; when the building use changes so may the sidewalk/planter use. For example the northeast end of Villebois Drive will be residential, this area will have planters and street trees. As one moves

through the space to the Plaza, the planters may become smaller and eventually transform to tree wells with tree grates. The migration of urban street furnishings as the commercial area grows shall be accommodated through flexible design.

SITE FURNISHINGS

Intent:

Site Furnishings for Villebois Drive serve functional and aesthetic needs and aid in defining the character and use of this outdoor room. The design of this space shall allow for the expansion of benches, and trash receptacles to accommodate future commercial expansion. The furnishings will also provide continuity as design elements that unify a space and allow for a seamless transition from one room to another. Street furnishings should be grouped together in “social pockets” to encourage social interaction.

Standards:

Required

- 1) Lighting
- 2) Seating
- 3) Trash Receptacle
- 4) Arrangement of street furnishings to create “social pockets”

Optional

- Sculpture
- Drinking Fountain
- Bike Rack
- Seating

Response: The subject FDP area contains areas located within the Villebois Drive Address Overlay Area. The areas within the Villebois Drive Address Overlay Area are designed to provide a transition between residential areas to the east and urban/commercial uses of the Plaza Address to the west. The Villebois Drive area uses flexible design, with space reserved along the sidewalk and planter areas to accommodate changes related to future mixed/commercial uses towards the Piazza. Lot 42 is intended for future mixed use development and is not proposed for development with this application. Design of the site’s frontage provides continuity with adjacent areas.

PLANT MATERIAL

Intent:

Street trees species to be planted per Street Tree Plan in the Community Elements Book. Street trees will be planted in planters or in tree wells depending on adjacent land use. As commercial area expands planters may be converted to tree wells to allow for future street furnishings as necessary.

Standards:

Required

- 1) Street Trees (see page 7, Street Tree Master Plan diagram for specifications)

Response: Proposed street trees species to be planted are consistent with the Street Tree Plan in the Community Elements Book. As shown on the Reduced Drawings

in Section VIB, street trees will be planted in planter strips. The planter strips use flexible design so that they may be converted to tree wells to allow for future street furnishings as commercial area expands.

SURFACES

Intent:

The surface treatment of the sidewalk is an important element for Villebois Drive as it sets the pattern, rhythm, and hierarchy for the Village Center. This surface also allows for placement of specific site furnishings.

Standards:

Required

- 1) Concrete sidewalks with smooth finish concrete shiners at score and expansion joints

Optional

- Specialty scoring
- Paver accents, as approved by city engineer

Response: The proposed sidewalk surface will be concrete with smooth finish concrete shiners at score and expansion joints.

WOONERF ADDRESS

Woonerf is a Dutch word for “living street”. It is a concept that originated in the Netherlands during the early 1970’s and has grown rapidly throughout Europe (In the UK they are often referred to as “Home Zones”) and slowly in the United States. The primary idea is to make the two block street an outdoor space, that accommodates vehicles and pedestrians equally. By introducing a curbless street environment with street trees, planting, street furnishings, the space becomes more appealing to pedestrians, cyclist, and residential life (social activity), yet meets the need for vehicle connectivity and parking. The Woonerf allows for the creation of a unique urban room that is unified by the consistent use of materials, connection to the Village Center and gateway to East Park (Sunset Park).

The woonerf is:

- Aligned with a view of Mt. Hood, providing a connection to the regional landscape.
- Linked to the plaza.
- A place that caters equally to all modes of transportation.
- A room of distinct character, creating a greater opportunity for social street activity for all ages.
- A private street designed to calm traffic and improve street safety.
- A room with a continuous curbless connection to the Plaza and surrounding shared streets.

SITE FURNISHINGS

Intent:

Furnishings and street trees will create a place where vehicles feel it necessary to slow to walking speed. The placement of these elements will increase the safety for pedestrians and cyclists and will offer opportunity for residents to create “social activities”.

Standards:

Required

- 1) Lighting
- 2) Seating
- 3) Bollards
- 4) Bike Racks

Optional

- 5) Bollards
 - a) Use of stone and seatwalls as bollards
 - b) Masonry planter boxes as design and traffic calming elements
- 6) Lighting
 - a) Architectural building lights as pedestrian lighting

Response: Mont Blanc, a private street within the subject FDP area, is located within the Woonerf Address Overlay Area. The design of this area uses the placement of street trees and site furnishings and a curbless surface to calm traffic, create distinct character and encourage social interaction. Mont Blanc serves as a curbless connection from surrounding shared streets to the Plaza. As shown on the Reduced Drawings in Section VIB, proposed street furnishings within the Woonerf Address area include lighting, bollards and bike racks.

PLANT MATERIAL

Intent:

Street trees are planted for environmental, aesthetic, safety purposes. Tree placement will protect the pedestrian and enhance the view corridor to Mt. Hood. Tree placement and presence will also slow traffic, widen the pedestrian walking area and “social pockets” in front of residences.

Standards:

Required

- 1) Street Trees

Optional

- Tree wells may be planted with groundcovers, shrubs, or perennial grasses

- Tree wells may have pavers

Response: Proposed street trees to be planted are shown on the Reduced Drawings in Section VIB. Street trees within the Woonerf Address will be planted in tree well grates and placement of street trees is designed to slow traffic, widen the pedestrian walking area and enhance the view corridor to Mt. Hood. The proposed tree grates to differ from those in the Community Elements Book, but are consistent with what has been used in the Piazza and Phase 1C.

SURFACES

Intent:

Treatment of the woonerf “floor” is critical to the function, safety and success of this “room”. Surfaces will delineate uses, circulation, and hierarchy of space.

Standards:

Required

- 1) Woonerf shall be curbless throughout the right-of-way

Response: Mont Blanc will be curbless throughout the right-of-way and will be surfaced with two types of pavers, as shown on the Reduced Drawings in Section VIB of this Notebook. Mont Blanc is designed to cater equally to all modes of transportation, serving as a curbless connection from surrounding shared streets to the Plaza.

GENERAL DEVELOPMENT REGULATIONS

SECTION 4.156. SIGN REGULATIONS

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central Signage & Wayfinding Plan.

SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING

(.02) Landscaping and Screening Standards.

Response: As shown on the attached plans (see Exhibit VIB), the parks will be landscaped with a mixture of ground cover, lawn areas, shrubs, and trees. Streets and public right-of-way improvements, including street trees, are reviewed with the PDP (see Section II of this Notebook). This FDP consistently reflects street trees shown in the PDP.

(.03) Landscape Area.

Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be

located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.

Response: The proposed parks are nearly 100% landscaped as shown in the attached plans (see Exhibit VIB), except for walkways and areas beneath the understory of existing trees.

(.04) Buffering and Screening.

Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

- A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.
- B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.
- C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.
- D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.
- E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.
- F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.

Response: None of the above-listed areas or uses exist within the proposed parks. Therefore, no buffering or screening is required in relation to the FDP.

(.05) Sight-Obscuring Fence or Planting.

The use for which a sight-obscuring fence or planting is required shall not begin operation until the fence or planting is erected or in place and approved by the City. A temporary occupancy permit may be issued upon a posting of a bond or other security equal to one hundred ten percent (110%) of the cost of such fence or planting and its installation. (See Sections 4.400 to 4.470 for additional requirements.)

Response: No sight-obscuring fence or planting is required in this FDP area.

(.06) Plant Materials.

A. Shrubs and Ground Cover. All required ground cover plants and shrubs must be of sufficient size and number to meet these standards within three (3) years of planting. Non-horticultural plastic sheeting or other impermeable surface shall not be placed under mulch. Surface mulch or bark dust are to be fully raked into soil of appropriate depth, sufficient to control erosion, and are confined to areas around plantings. Areas exhibiting only surface mulch, compost or barkdust are not to be used as substitutes for plants areas.

- 1. Shrubs.** All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10" to 12" spread.

Response: As shown on the attached plans (see Exhibit VIB) all shrubs will be equal to or better than 2-gallon size with a 10 to 12 inch spread. All shrubs will be well branched and typical of their type as described in current AAN standards.

- 2. Ground cover.** Shall be equal to or better than the following depending on the type of plant materials used: Gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 inch on center minimum. No bare root planting shall be permitted. Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting. Where wildflower seeds are designated for use as a ground cover, the City may require annual re-seeding as necessary.

Response: As shown on the attached plans (see Exhibit VIB) all ground covers will be at least 4" pots and spaced appropriately. These plants will be installed as required.

- 3. Turf or lawn in non-residential developments.** Shall not be used to cover more than ten percent (10%) of the landscaped area, unless specifically approved based on a finding that, due to site conditions and availability of water, a larger percentage of turf or lawn area is appropriate. Use of lawn fertilizer shall be discouraged. Irrigation drainage runoff from lawns shall be retained within lawn areas.

Response: The subject FDP area is within a residential development; therefore this criterion does not apply.

- 4. Plant materials under trees or large shrubs.** Appropriate plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.

Response: As shown on the attached plans (see Exhibit VIB) appropriate plant materials will be installed beneath the canopies of trees and large shrubs. Areas that

are not appropriate to plant beneath the canopies of existing trees will be mulched with bark.

- B. Trees.** All trees shall be well-branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards and shall be balled and burlapped. The trees shall be grouped as follows:
1. Primary trees which define, outline or enclose major spaces, such as Oak, Maple, Linden, and Seedless Ash, shall be a minimum of 2" caliper.
 2. Secondary trees which define, outline or enclose interior areas, such as Columnar Red Maple, Flowering Pear, Flame Ash, and Honeylocust, shall be a minimum of 1-3/4" to 2" caliper.
 3. Accent trees which, are used to add color, variation and accent to architectural features, such as Flowering Pear and Kousa Dogwood, shall be 1-3/4" minimum caliper.
 4. Large conifer trees such as Douglas Fir or Deodar Cedar shall be installed at a minimum height of eight (8) feet.
 5. Medium-sized conifers such as Shore Pine, Western Red Cedar or Mountain Hemlock shall be installed at a minimum height of five to six (5 to 6) feet.

Response: As shown on the attached plans (see Exhibit VIB), proposed tree species have been selected from the Villebois Plant List in the *Community Elements Book*. All proposed trees meet the minimum 2" caliper code requirement or the minimum height requirement for conifers as appropriate. All proposed trees will be well-branched, typical of their type as described in current AAN, and balled and burlapped.

- C. Where a proposed development includes buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area, the Development Review Board may require larger or more mature plant materials:**

Response: This standard does not apply to the subject FDP as no buildings are proposed in the parks.

D. Street Trees.

Response: Review of streets and rights-of-way, including street trees, occurs with the PDP (see Section II of this Notebook). Street trees shown in the plans for this FDP are consistent with those shown in the PDP application. Compliance with the Street Tree Master Plan is demonstrated in the PDP (Section II of Notebook).

E. Types of Plant Species.

1. Existing landscaping or native vegetation may be used to meet these standards, if protected and maintained during the construction phase of the development and if the plant species do not include any that have been listed by the City

as prohibited. The existing native and non-native vegetation to be incorporated into the landscaping shall be identified.

Response: As shown on the attached plans (see Exhibit VIB), there are existing trees in the FDP area to be retained. The existing trees will be protected and maintained during the construction phase and are incorporated into the landscaping as appropriate.

2. Selection of plant materials. Landscape materials shall be selected and sited to produce hardy and drought-tolerant landscaping. Selection shall be based on soil characteristics, maintenance requirements, exposure to sun and wind, slope and contours of the site, and compatibility with other vegetation that will remain on the site. Suggested species lists for street trees, shrubs and groundcovers shall be provided by the City of Wilsonville.

Response: All proposed landscaping materials are selected from the Villebois Plant List in the *Community Elements Book*. Specific materials were selected to best meet the site characteristics of the subject property.

3. Prohibited plant materials. The City may establish a list of plants that are prohibited in landscaped areas. Plants may be prohibited because they are potentially damaging to sidewalks, roads, underground utilities, drainage improvements, or foundations, or because they are known to be invasive to native vegetation.

Response: No plant materials listed as “Prohibited Plant Species” on the Villebois Plant List are included in the proposed landscaping.

F. Tree Credit.

Response: Tree credits are not applicable to this FDP application.

G. Exceeding Standards. Landscape materials that exceed the minimum standards of this Section are encouraged, provided that height and vision clearance requirements are met.

H. Compliance with Standards. The burden of proof is on the applicant to show that proposed landscaping materials will comply with the purposes and standards of this Section.

Response: The attached plans (see Exhibit VIB) and this report demonstrate that the proposed landscaping complies with the standards of the Wilsonville Development Code and the *Community Elements Book*.

(.07) Installation and Maintenance.

A. Installation. Plant materials shall be installed to current industry standards and shall be properly staked to assure survival. Support devices (guy wires, etc.) shall not be allowed to interfere with normal pedestrian or vehicular movement.

- B. **Maintenance.** Maintenance of landscaped areas is the on-going responsibility of the property owner. Any landscaping installed to meet the requirements of this Code, or any condition of approval established by a City decision-making body acting on an application, shall be continuously maintained in a healthy, vital and acceptable manner. Plants that die are to be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City. Failure to maintain landscaping as required in this Section shall constitute a violation of this Code for which appropriate legal remedies, including the revocation of any applicable land development permits, may result.
- C. **Irrigation.** The intent of this standard is to assure that plants will survive the critical establishment period when they are most vulnerable due to a lack of watering and also to assure that water is not wasted through unnecessary or inefficient irrigation. Approved irrigation system plans shall specify one of the following:
1. A permanent, built-in, irrigation system with an automatic controller. Either a spray or drip irrigation system, or a combination of the two, may be specified.
 2. A permanent or temporary system designed by a landscape architect licensed to practice in the State of Oregon, sufficient to assure that the plants will become established and drought-tolerant.
 3. Other irrigation system specified by a licensed professional in the field of landscape architecture or irrigation system design.
 4. A temporary permit issued for a period of one year, after which an inspection shall be conducted to assure that the plants have become established. Any plants that have died, or that appear to the Planning Director to not be thriving, shall be appropriately replaced within one growing season. An inspection fee and a maintenance bond or other security sufficient to cover all costs of replacing the plant materials shall be provided, to the satisfaction of the Community Development Director. Additionally, the applicant shall provide the City with a written license or easement to enter the property and cause any failing plant materials to be replaced.

Response: Plants will be installed and maintained properly. An irrigation system may be installed as needed to assure that plants survive the establishment period. Additional details about an irrigation system will be provided with construction plans.

- D. **Protection.** All required landscape areas, including all trees and shrubs, shall be protected from potential damage by conflicting uses or activities including vehicle parking and the storage of materials.

Response: The attached planting plans demonstrate that all landscape areas will be protected from potential damage by vehicle travel along streets and alleys.

(.08) Landscaping on Corner Lots.

All landscaping on corner lots shall meet the vision clearance standards of Section 4.177. If high screening would ordinarily be required by this Code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

Response: All landscaping at corners will meet the vision clearance standards of Section 4.177.

(.09) Landscape Plans.

Landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type, installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated. Landscape plans shall divide all landscape areas into the following categories based on projected water consumption for irrigation:

- A. High water usage areas (+/- two (2) inches per week): small convoluted lawns, lawns under existing trees, annual and perennial flower beds, and temperamental shrubs;
 - B. Moderate water usage areas (+/- one (1) inch per week): large lawn areas, average water-using shrubs, and trees;
 - C. Low water usage areas (Less than one (1) inch per week, or gallons per hour): seeded field grass, swales, native plantings, drought-tolerant shrubs, and ornamental grasses or drip irrigated areas.
 - D. Interim or unique water usage areas: areas with temporary seeding, aquatic plants, erosion control areas, areas with temporary irrigation systems, and areas with special water-saving features or water harvesting irrigation capabilities.
- These categories shall be noted in general on the plan and on the plant material list.

Response: The attached plans (see Exhibit VIB) include the required information listed in Section 4.176(.09).

(.10) Completion of Landscaping.

The installation of plant materials may be deferred for a period of time specified by the Board or Planning Director acting on an application, in order to avoid hot summer or cold winter periods, or in response to water shortages. In these cases, a temporary permit shall be issued, following the same procedures specified in subsection (.07)(C)(3), above, regarding temporary irrigation systems. No final Certificate of Occupancy shall be granted until an adequate bond or other security is posted for the completion of the landscaping, and the City is given written authorization to enter the property and install the required landscaping, in the event that

the required landscaping has not been installed. The form of such written authorization shall be submitted to the City Attorney for review.

Response: The applicant does not anticipate deferring the installation of plant materials. Should it be necessary to defer installation of plant materials, the applicant will apply for a temporary permit.

(.11) Street Trees Not Typically Part of Site Landscaping.

Street trees are not subject to the requirements of this Section and are not counted toward the required standards of this Section. Except, however, that the Development Review Board may, by granting a waiver or variance, allow for special landscaping within the right-of-way to compensate for a lack of appropriate on-site locations for landscaping. See subsection (.06), above, regarding street trees.

Response: Street trees are not counted toward the required standards of this Section.

(.12) Mitigation and Restoration Plantings.

Response: No additional tree removal is proposed with the FDP. The PDP includes a concurrent Tree Removal Plan (see Section V of this Notebook) which addresses required tree mitigation.

SECTION 4.177. STREET IMPROVEMENT STANDARDS

(.01) Except as specifically approved by the Development Review Board, all street and access improvements shall conform to the Street System Master Plan, together with the following standards:

H. Access drives and lanes.

Response: The proposed parks are accessible from the adjacent street rights-of-way and/or pathways as shown on the attached plans. All streets and alleys accommodate 2-way traffic.

I. Corner or clear vision area.

- 1. A clear vision area shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. No structures, plantings, or other obstructions that would impede visibility between the height of 3- inches and 10 feet shall be allowed within said area. Measurements shall be made from the top of the curb, or, when there is no curb, from the established street center line grade. However, the following items shall be exempt:**
 - a. Light and utility poles with a diameter less than 12 inches.**
 - b. An existing tree, trimmed to the trunk, 10 feet above the curb.**
 - c. Official warning or street sign.**

- d. Natural contours where the natural elevations are such that there can be no cross-visibility at the intersection and necessary excavation would result in an unreasonable hardship on the property owner or deteriorate the quality of the site.

Response: Landscaping at the corners of the parks will be less than 30 inches in height to assure that visibility is not blocked.

SECTION 4.178. SIDEWALK & PATHWAY STANDARDS

(.01) Sidewalks. All sidewalks shall be concrete and a minimum of five (5) feet in width, except where the walk is adjacent to commercial storefronts. In such cases, they shall be increased to a minimum of ten (10) feet in width.

Response: All sidewalks and pathways in the subject FDP area are at least 5 feet in width and concrete. The mid-block path is 14-16 feet in width and the sidewalk on Villebois Drive is 5.5 feet in width, with space reserved along the sidewalk and planter areas to accommodate changes related to future commercial uses.

(.03) Pavement surface.

- A. All bike paths shall be paved with asphalt to provide a smooth riding surface. Where pathways are adjacent to and accessible from improved public streets, the Public Works Director may require a concrete surface. At a minimum the current AASHTO “Guide for the Development of Bicycle Facilities” and the State “Oregon Bicycle Plan” shall be used to design all bicycle facilities within the City of Wilsonville. Any deviation from the AASHTO, ODOT, and City standards will require approval from the City Engineer prior to implementation of the design.
- B. To increase safety, all street crossings shall be marked and should be designed with a change of pavement such as brick or exposed aggregate. All arterial crossings should be signalized.
- C. All pathways shall be clearly posted with standard bikeway signs.
- D. Pedestrian and equestrian trails may have a gravel or sawdust surface if not intended for all weather use.

Response: There are no bicycle pathways in this FDP area. The FDP area includes a mid-block pedestrian/bike path with paving materials similar to those of the Woonerf Address. Details about sidewalks in the public right-of-way were addressed in the PDP application (Section II of this Notebook). No Major or Minor pathways are identified on the subject property.

(.06) Pathway Clearance.

- A. Vertical clearance of at least 8 feet 6 inches shall be maintained above the surface of all pathways. The clearance above equestrian trails shall be a minimum of ten feet.

- B. All landscaping, signs and other potential obstructions shall be set back at least (1) foot from the edge of the pathway surface. No exposed rock should be permitted within two (2) feet of the path pavement and all exposed earth within two (2) feet of the pavement shall be planted with grass, sod or covered with 2" of barkdust.

Response: As shown on the attached plans, all potential obstructions are at least one foot from the edge of the pathway surfaces, and vertical clearance will be maintained.

SITE DESIGN REVIEW

SECTION 4.400. PURPOSE.

- (.01) Excessive uniformity, inappropriateness or poor design of the exterior appearance of structures and signs and the lack of proper attention to site development and landscaping in the business, commercial, industrial and certain residential areas of the City hinders the harmonious development of the City, impairs the desirability of residence, investment or occupation in the City, limits the opportunity to attain the optimum use in value and improvements, adversely affects the stability and value of property, produces degeneration of property in such areas and with attendant deterioration of conditions affecting the peace, health and welfare, and destroys a proper relationship between the taxable value of property and the cost of municipal services therefore.

Response: No buildings are proposed within park areas. No signage is proposed, as the SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central Signage & Wayfinding Plan.

The proposed landscaping within the parks is designed in compliance with the standards for the rest of Villebois, so the entire development will have a cohesive, harmonious appearance, creating a desirable place of residence and adding to the overall quality of life in the City.

- (.02) The City Council declares that the purposes and objectives of site development requirements and the site design review procedure are to:
 - A. Assure that Site Development Plans are designed in a manner that insures proper functioning of the site and maintains a high quality visual environment.

Response: The row homes and parks in the FDP area have been designed to assure proper functioning of the site and to maintain an aesthetically pleasing environment. The proposed architecture, landscaping and park design will add to the quality of the environment as well as the functioning of the site.

- B. Encourage originality, flexibility and innovation in site planning and development, including the architecture, landscaping and graphic design of said development;

Response: The FDP includes landscaping as shown on the attached plans (Exhibit VIB), which will enhance the visual environment of the site. Pedestrian connections to sidewalks, trails, and adjacent residences will be provided to enhance the site's connectivity to surrounding uses.

- C. **Discourage monotonous, drab, unsightly, dreary and inharmonious developments;**

Response: The FDP area will include landscaping as shown on the attached plans (see Exhibit VIB). Landscaping will consist of an appropriate mixture of ground cover, shrubs, and trees selected from the Villebois Plant List to create a harmonious appearance throughout the larger Villebois development. The proposed landscaping will contribute to an interesting and aesthetically appealing development.

- D. **Conserve the City's natural beauty and visual character and charm by assuring that structures, signs and other improvements are properly related to their sites, and to surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping, and that proper attention is given to exterior appearances of structures, signs and other improvements;**

Response: The parks will incorporate landscaping that makes sense for a Pacific Northwest community, while matching the City's natural beauty and visual character.

- E. **Protect and enhance the City's appeal and thus support and stimulate business and industry and promote the desirability of investment and occupancy in business, commercial and industrial purposes;**

Response: The design of the proposed row houses, landscaping, parks, and paving design of the Woonerf Address will help to maintain the appeal of Villebois as a unique and attractive community in which to live, work, and recreate. Residents of Villebois will stimulate the local economy by opening new businesses and thus creating jobs and by spending money in existing businesses.

- F. **Stabilize and improve property values and prevent blighted areas and, thus, increase tax revenues;**

Response: The proposed parks will create neighborhood amenities that will help to maintain property values in this new community. A Home Owners Association will ensure that these areas are properly maintained over time.

- G. **Insure that adequate public facilities are available to serve development as it occurs and that proper attention is given to site planning and development so as to not adversely impact the orderly, efficient and economic provision of public facilities and services.**

Response: The process used to plan for Villebois incorporates a tiered system that originates at the *Villebois Village Master Plan*. The *Master Plan* shows how facilities, including parks and open space, are distributed and available to residents throughout Villebois.

Figure 5 - Parks & Open Space Plan of the Master Plan shows that approximately 33% of Villebois will be in parks and open space. Phase 7 Central will contain more areas for parks than originally shown for this area with SAP - Central, as demonstrated in the PDP (see Section II of this Notebook). This FDP is consistent with the PDP, SAP - Central, and the *Villebois Village Master Plan*, and therefore, complies with this criterion.

- H. **Achieve the beneficial influence of pleasant environments for living and working on behavioral patterns and, thus, decrease the cost of governmental services and reduce opportunities for crime through careful consideration of physical design and site layout under defensible space guidelines that clearly define all areas as either public, semi-private, or private, provide clear identity of structures and opportunities for easy surveillance of the site that maximize resident control of behavior -- particularly crime;**

Response: The *Villebois Village Master Plan* shows that the community will include a variety of housing options (living) and the Village Center will contain places for employment (working). This FDP shows a living environment in Phase 7 Central that is enhanced by proximity to park and open space areas. Residents who will surround the parks and open spaces will provide on-going surveillance and control.

- I. **Foster civic pride and community spirit so as to improve the quality and quantity of citizen participation in local government and in community growth, change and improvements;**

Response: The design of the Villebois Village has been created to develop a community that is truly unique. The City and Villebois Master Planner, as well as the Applicant, are working in partnership with nearby residents, property owners, and local and regional governments to create a complete, livable, pedestrian-oriented community that will be an asset to the City of Wilsonville and Portland region. This partnership has generated citizen participation in the project and the unique design shall foster civic pride and community spirit amongst the residents of Villebois.

- J. **Sustain the comfort, health, tranquility and contentment of residents and attract new residents by reason of the City's favorable environment and, thus, to promote and protect the peace, health and welfare of the City.**

Response: The design of the Villebois Village revolves around three guiding principles: connectivity, diversity, and sustainability. These principles are intended to sustain the comfort, health, tranquility, and contentment of Villebois residents, while also promoting and protecting the peace, health and welfare of the City. *Connectivity* refers to creating connections between Villebois neighborhoods and between Villebois and other parts of the City and region for multiple modes of transportation. *Diversity* includes multiple choices of housing styles, housing affordability, recreation, employment, goods and services, and infrastructure for transportation. *Sustainability* involves the protection of natural resources and open space, energy conservation, and storm and rainwater management.

SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.

(.01) The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural styles is not included in these standards. (Even in the Boones Ferry Overlay Zone, a range of architectural styles will be encouraged.)

- A. **Preservation of Landscape.** The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soils removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

Response: As shown on the attached plans (see Exhibit VIB), proposed plant materials are drawn from the Villebois Plant List, which includes native species, to ensure consistency of general appearance within the Villebois community.

- B. **Relation of Proposed Buildings to Environment.** Proposed structures shall be located and designed to assure harmony with the natural environment, including protection of steep slopes, vegetation and other naturally sensitive areas for wildlife habitat and shall provide proper buffering from less intensive uses in accordance with Sections 4.171 and 4.139 and 4.139.5. The achievement of such relationship may include the enclosure of space in conjunction with other existing buildings or other proposed buildings and the creation of focal points with respect to avenues of approach, street access or relationships to natural features such as vegetation or topography.

Response: Chapter 3 of the *Villebois Village Master Plan* takes into account scenic views, topography, existing vegetation, and other natural features in the design and location of parks and open spaces in the Villebois development. The FDP area does not include any steep slopes, sensitive wildlife habitat areas, wetlands, SROZ areas, or flood plains. The proposed parks are in addition to the parks shown in the *Master Plan* and SAP Central. Existing trees within the parks are maintained to the extent possible as reviewed in the concurrent PDP and Tree Removal Plan applications (see Sections II and V, respectively, of this Notebook).

- C. **Drives, Parking and Circulation.** With respect to vehicular and pedestrian circulation, including walkways, interior drives and parking, special attention shall be given to location and number of access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement of parking areas that are safe and convenient and, insofar as practicable, do not detract from the design of proposed buildings and structures and the neighboring properties.

Response: No driveways or parking areas are proposed or required with this FDP. The parks included in the FDP are all accessible from adjacent streets and pathways, as shown on the FDP plans (see Reduced Drawings in Section VIB).

- D. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties of the public storm drainage system.

Response: Surface water drainage is addressed in the PDP application (see Section II of Notebook). The FDP is consistent with grading and drainage shown in the PDP. This system has been carefully designed so as not to adversely affect neighboring properties.

- E. **Utility Service.** Any utility installations above ground shall be located so as to have an harmonious relation to neighboring properties and site. The proposed method of sanitary and storm sewage disposal from all buildings shall be indicated.

Response: The PDP application addresses utility installation (see Section II of Notebook). The FDP is consistent with the PDP.

- F. **Advertising Features.** In addition to the requirements of the City's sign regulations, the following criteria should be included: the size, location, design, color, texture, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.

Response: No advertising features are proposed in this FDP.

- G. **Special Features.** Exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall be required to prevent their being incongruous with the existing or contemplated environment and its surrounding properties. Standards for screening and buffering are contained in Section 4.176.

Response: This FDP does not propose any exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures or other accessory areas and structures. Compliance with Section 4.176 is addressed earlier in this report.

- (.02) The standards of review outlined in Sections (a) through (g) above shall also apply to all accessory buildings, structures, exterior signs and other site features, however related to the major buildings or structures.

Response: No accessory buildings or structures are proposed.

- (.03) The Board shall also be guided by the purpose of Section 4.400, and such objectives shall serve as additional criteria and standards.

Response: Compliance with the purpose of Section 4.400 has been addressed earlier in this report.

SECTION 4.440. PROCEDURE.

(.01) Submission of Documents.

A prospective applicant for a building or other permit who is subject to site design review shall submit to the Planning Department, in addition to the requirements of Section 4.035, the following:

- A. A site plan, drawn to scale, showing the proposed layout of all structures and other improvements including, where appropriate, driveways, pedestrian walks, landscaped areas, fences, walls, off-street parking and loading areas, and railroad tracks. The site plan shall indicate the location of entrances and exits and direction of traffic flow into and out of off-street parking and loading areas, the location of each parking space and each loading berth and areas of turning and maneuvering vehicles. The site plan shall indicate how utility service and drainage are to be provided.
- B. A Landscape Plan, drawn to scale, showing the location and design of landscaped areas, the variety and sizes of trees and plant materials to be planted on the site, the location and design of landscaped areas, the varieties, by scientific and common name, and sizes of trees and plant materials to be retained or planted on the site, other pertinent landscape features, and irrigation systems required to maintain trees and plant materials. An inventory, drawn at the same scale as the Site Plan, of existing trees of 4" caliper or more is required. However, when large areas of trees are proposed to be retained undisturbed, only a survey identifying the location and size of all perimeter trees in the mass in necessary.
- C. Architectural drawings or sketches, drawn to scale, including floor plans, in sufficient detail to permit computation of yard requirements and showing all elevations of the proposed structures and other improvements as they will appear on completion of construction. Floor plans shall also be provided in sufficient detail to permit computation of yard requirements based on the relationship of indoor versus outdoor living area, and to evaluate the floor plan's effect on the exterior design of the building through the placement and configuration of windows and doors.
- D. A Color Board displaying specifications as to type, color, and texture of exterior surfaces of proposed structures. Also, a phased development schedule if the development is constructed in stages.
- E. A sign plan, drawn to scale, showing the location, size, design, material, color and methods of illumination of all exterior signs.
- F. The required application fee.

Response: Section VIB of this notebook includes FDP plans that meet the requirements of Section 4.440 (.01). A copy of the application fee submitted is included in Exhibit IB of this notebook. Architectural Elevations & Floor Plans are included in Section VIC of this notebook.

The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property. The attached PDP plans (see Section IIB of this Notebook) and FDP plans (see Section VIB of this Notebook) are consistent with the SAP Central *Signage & Wayfinding Plan*. A copy of the required application fee is included in Exhibit IC.

SECTION 4.450. INSTALLATION OF LANDSCAPING.

(.01) All landscaping required by this section and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City shall be returned to the applicant.

Response: The applicant understands that they must provide a security to guarantee installation of the proposed landscaping.

(.02) Action by the City approving a proposed landscape plan shall be binding upon the applicant. Substitution of plant materials, irrigation systems, or other aspects of an approved landscape plan shall not be made without official action of the Planning Director or Development Review Board, as specified in this Code.

Response: The applicant understands that changes to the landscape plan included in this application cannot be made without official action of the Planning Director or the Development Review Board.

(.03) All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered with Board approval.

Response: The applicant understands that they are responsible for the ongoing maintenance of the proposed landscaping.

(.04) If a property owner wishes to add landscaping for an existing development, in an effort to beautify the property, the Landscape Standards set forth in Section 4.176 shall not apply and no Plan approval or permit shall be required. If the owner wishes to modify or remove landscaping that has been accepted or approved through the City's development review process, that removal or modification must first be approved through the procedures of Section 4.010.

Response: This FDP does not include any existing development; therefore this criterion does not apply.

II. VILLAGE CENTER ARCHITECTURAL STANDARDS

STANDARDS APPLYING TO ALL BUILDINGS

1.1 Building Types

The Building Type, as per Table V-1: Development Standards (Village Zone), sets the building height and setback requirements. Additionally, the character of each Address is derived, in part, from assumptions about the types of products that will be developed. Therefore, this document establishes the appropriate Building Type(s) for each Address. For example, the Architectural Standards for The Courtyard Address assumes that a Row House building type is most appropriate to the intended character of the space. Whether the dwelling units are apartments, condominiums, or fee-simple is beyond the scope of this document.

All buildings outside the Address overlays shall meet the development standards of the Village Zone per the proposed Building Type. Row houses outside of an Address overlay may be detached or attached and are subject to 'Row Houses - Village Center' in Table V-1: Development Standards (Village Zone).

Response: The proposed buildings in the FDP 7C are row houses. The proposed Brownstone Row Houses and London Row Houses are consistent with the standards specified for the Villebois Drive and Woonerf Address overlays and are sited in conformance with the standards of 'Row Houses - Village Center' in *Table V-1: Development Standards* (Village Zone) as shown on the attached *Building Site Plan* in Section VIB of the Notebook.

1.2 Building Height and Roof Form

Intent: Strengthen the perception of streets and open spaces as public rooms by establishing a consistency of façade heights and roof forms.

Required Standards:

1. Maximum Building Height shall be as required by Table V-1: Development Standards (Village Zone).

Brownstone Style Row Houses: Maximum building height as measured from finished grade to midpoint of highest pitched roof and is 32'-1/8", which is below the maximum of 45'-0" for all proposed elevations, as shown on the attached Elevations in Section VIC of the Notebook.

London Style Row Houses: Maximum building height as measured from finished grade to midpoint of highest pitched roof and is 33'-5 7/8", which is below the maximum of 45'-0" for all proposed elevations, as shown on the attached Elevations in Section VIC of the Notebook.

2. See Address for other height limitations, such as number of stories or Average Façade Height.

Response: The proposed row houses comply with other height limitations specified for the Villebois Drive and Woonerf Address Overlays. Additional Address overlay requirements are addressed in following sections of this compliance report.

3. Building Height measurement is defined in Section 4.001 Definitions (Village Zone).

Response: Maximum building height for the proposed row houses was measured from finished grade to midpoint of highest pitched roof per the definition of building or structure height.

4. Rooftop equipment shall be screened from view of taller buildings, whether existing or future, to the extent feasible.

Response: No rooftop equipment is proposed on the proposed row houses.

5. At least two roof gardens within SAP Central shall be provided where appropriate to desired roof from (i.e. flat roofs)

Response: Roof gardens are not appropriate for the row houses due to the fact that the roofs are not flat and they are individually owned homes.

Optional:

- Buildings are encouraged to approach the maximum allowable height or number of stories.
- Building design should minimize the impact of shading of public and private outdoor areas from mid-morning and mid-afternoon hours.

Response: Proposed Row Houses are three stories in height, with building heights approaching the maximum allowable height. Orientation of buildings allow for sun exposure to the mid-block path. Row Homes have front courtyard areas and rear balconies for private areas with sun exposure.

1.3 Horizontal Façade Articulation

Intent: Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. Horizontal articulation: Horizontal facades shall be articulated into smaller units. Appropriate methods of horizontal façade articulation include two or more of the following elements: change of facade materials, change of color, facade planes that are vertical in proportion, bays and recesses, breaks in roof elevation, or other methods as approved. (See individual Address for allowed and encouraged methods of horizontal articulation.)

Brownstone Style Row Houses: Horizontal articulation is achieved by façade planes that are vertical in proportion and include bays and recesses as well as breaks

in roof elevation, which are allowed and encouraged methods of horizontal articulation in the Woonerf Address.

London Style Row Houses: Horizontal articulation is achieved by change of color, façade planes that are vertical in proportion, and bays and recesses, which are allowed and encouraged methods of horizontal articulation in the Villebois Drive Address.

2. Building facades should incorporate design features such as offsets, projections, reveals, and/or similar elements to preclude large expanses of uninterrupted building surfaces.

Response: The proposed row houses incorporate design features such as offsets, projections, reveals, and/or similar elements to break down the scale of the buildings. The Elevations & Floor Plans in Section VIC show the use of colors and materials, as well as trim or shutters, to break down the scale of the buildings.

Optional:

- Articulation should extend to the roof. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.

Response: The articulation in the proposed Brownstone Style row houses extends to the roof.

2.1 Vertical Façade Articulation for All Mixed Use Buildings

Intent: Establish a distinct vertical façade separation consistent with historic village centers. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. Vertical mixed-use buildings shall express a division between base and top. At least two of the following methods of horizontal articulation shall be incorporated:
 - a) Change of material;
 - b) Change of color, texture, or pattern of similar materials;
 - c) Change of structural expression (for example, pilasters with storefronts spanning between at the base and punched openings above);
 - d) Belt course or signage band; and/or
 - e) Line of canopies and/or awnings. To meet this strategy, canopies or awnings shall project at least 4 feet and cover at least 70% of the façade length.

Response: N/A. None of the proposed buildings are mixed use buildings.

2. When used, an arcade alone is sufficient to meet the requirement of differentiation of a building's base. An arcade may be attached or recessed and shall be sufficient in depth and height so as to be used as a passageway.

Response: N/A. None of the proposed buildings are mixed use buildings.

Optional:

- The division between base and top should occur at or near the floor level of programmatic division. Example: a building with one story of retail, one story of office, and two stories of residential would have a two-story base.
- Storefront design should be substantially different from the residential window detailing.
- Differentiation of a building's base should extend to building's corners but may vary in height. If building is at a corner, all facades must meet the requirement. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.
- Base design should incorporate design features such as recessed entries, shielded lighting, projecting signage, masonry storefront base, and/or similar elements to preclude long expanses of undistinguished ground level uses.

Response: N/A. None of the proposed buildings are mixed use buildings.

3.1 Exterior Building Materials and Color

Intent: Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. When multiple materials are used on a façade, visually heavier and more massive materials shall occur at the building base, with lighter materials above the base. A second story, for example, shall not appear heavier or demonstrate greater mass than the portion of the building supporting it. Generally, masonry products and concrete are considered "heavier" than other façade materials.

Brownstone Style Row Houses: Heavier materials are not proposed on the upper floors. Brick materials are proposed along the front façade and along the first floor sides of the row homes. As shown on the Architectural Elevations in Section VIC, visually heavier and more massive materials occur at the building base, with lighter materials above the base. Thus, the upper stories of the row houses do not appear to be heavier or demonstrate greater mass than the portion of the building supporting it.

London Style Row Houses: Heavier materials are not proposed on the upper floors. Monochromatic Limestone materials are proposed along the first floor front façade and along the first floor sides of the row homes. Brick materials are proposed along the middle and upper floor front façade and along the middle and upper floor sides of the row homes, as shown on the Architectural Elevations in Section VIC. The upper stories of the row houses do not appear to be heavier or demonstrate greater mass than the portion of the building supporting it.

2. Bright, intense colors shall be reserved for accent trim. However, a color palette that includes more intense color may be considered upon review of a fully colored depiction of the building.

Response: The building color and material palette for the proposed row houses contains no bright or intense colors.

3. Bright colors shall not be used for commercial purposes to draw attention to a building.

Response: N/A. None of the proposed buildings are commercial buildings.

4. Concrete block shall be split-faced, ground-faced, or scored where facing a street or public way. Concrete block is discouraged around the plaza.

Response: N/A. No concrete block is used in these buildings.

5. Exteriors shall be constructed of durable and maintainable materials that have texture, pattern, or lend themselves to quality detailing.

Response: Varied durable exterior materials have been used on the buildings that include quality detailing, textures and patterns.

Optional:

- Exterior materials should have an integral color, patterning, and/or texture.
- Sustainable building materials and practices are strongly encouraged. Programs such as the Portland General Electric Earth Advantage and the LEED Building Certification Program of the U.S. Green Building Council may be used as guides in this regard.

Response: The builder will participate in the Portland General Electric Earth Advantage program.

3.2 Architectural Character

Intent: Encourage creative expression through diversity of architectural character. Ensure consistency and accuracy of architectural styles.

Required Standards:

1. Each building shall have a definitive, consistent Architectural character (see glossary). All primary facades of a building (those facades that face a public street) shall be designed with building components and detail features consistent with the architectural character of the building.

Response: The architectural character of the primary facades of each building is consistent, but articulated in such a way as to create diversity within that character. Proposed Brownstone Style and London Style Row Home buildings are English Revival styles, as shown on the Elevations & Floor Plans in Section VIC.

2. Mixing of various Architectural Styles (see glossary) on the same building dilutes the character and is therefore not allowed. If a historic

architectural style is selected, then all detail and trim features must be consistent with the architectural style.

Response: Architectural styles are not mixed on the same building.

3. Secondary facades attached to a primary façade (such as a side wall not facing a public street) shall wrap around the building by incorporating building material features to the primary façade for a minimum of 25 percent of the overall wall length measured from the primary façade.

Response: The street facing side elevation of the buildings incorporate the same materials and detailing as the front elevations for a minimum of 25 percent of the overall wall length measured from the primary façade.

4. All visible sides of buildings should display a similar level of quality and visual interest. The majority of a building's architectural features and treatments should not be restricted to a single façade.

Response: A majority of the detailing and materials wrap around to the street facing side elevations of the building. Materials and details included on the front elevations such as finishes, trim and window patterns are incorporated into the side elevations.

5. Accessory buildings should be designed and integrated with the primary building. Exterior facades of an accessory building should employ architectural, site, and landscaping design elements that are integrated with and common to those used on the primary structure.

Response: There are no accessory buildings proposed.

6. Applicants are encouraged to consult an architect or architectural historian regarding appropriate elements of architectural style.

Response: The buildings have been designed by Milbrandt Architects, Inc., P.S.

7. In areas not within an address, building elevations of block complexes shall not repeat an elevation found on an adjacent block.

Response: The row houses are within the Villebois Drive and Woonerf Address overlays. Additional Address overlay requirements are addressed in following sections of this compliance report. The row houses in areas not within an address do not repeat an elevation found on an adjacent block.

3.3 Ground Level Building Components

Intent: Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Required Standards:

1. Building setbacks and frontage widths shall be as required by Table V-1: Development Standards unless specifically noted otherwise by an

Address requirement. Detached row houses shall not be separated at front façade by more than 10 feet, except as necessary to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, open space requirements, or as otherwise approved by the Development Review Board.

Response: The attached Building Site Plan in Section VIB of the Notebook demonstrates that the proposed Row Homes will be sited in compliance with the applicable setbacks for Village Center - Row Houses. Table V-1 specifies a minimum frontage width for Village Center - Row Houses as 80%. Most of the Row House lots will meet or exceed the minimum 80% frontage width, except for lots with end units and corner lots accommodating the curve radius of the street frontage, as allowed by footnote 11 of Table V-1. The frontage widths of these excepted lots is listed as follows:

- Lot 1 - 71%
- Lot 5 - 79%
- Lot 6 - 79%
- Lot 16 - 72%
- Lot 17 - 72%
- Lot 21 - 54%/67%
- Lot 22 - 79%
- Lot 41 - 79%
- Lot 43 - 75%
- Lot 47 - 75%
- Lot 50 - 67%
- Lot 54 - 79%
- Lot 58 - 85%/74%
- Lot 68 - 77%

2. Retail shall be oriented toward the adjacent street or public way and have direct access from sidewalks through storefront entries. Secondary entry from the parking lot side is allowed, however the street side shall have the primary entrance.

Response: N/A. This project contains no retail establishments.

3. Mixed use buildings: residential entries, where opening to streets and public ways, shall be differentiated from adjacent retail entries and provide secure access through elevator lobbies, stairwells, and/or corridors.

Response: N/A. No mixed use buildings are proposed with this project.

4. All entries, whether retail or residential, shall have a weatherproof roof covering, appropriate to the size and importance of the entry but at least 4 feet deep and 4 feet wide.

Response: All units have covered entries that are at least 4' deep and 4' wide.

5. Building lighting, when provided, shall be indirect or shielded.

Response: All exterior building lighting will consist of shielded fixtures.

6. Parking structures shall be screened from streets using at least two of the following methods:
 - a) Residential or commercial uses, where appropriate;
 - b) Decorative grillwork (plain vertical or horizontal bars are not acceptable);
 - c) Decorative artwork, such as metal panels, murals, or mosaics; and/or
 - d) Vegetation, such as trees, shrubs, ground cover and/or vines, adjacent to the wall surface.

Response: N/A - no parking structure included in this project.

7. For mixed-use buildings, within the plaza address every storefront window shall have a canopy or awning.

Response: N/A - no mixed-use buildings included in this project.

8. Reflective, heavily tinted, or other sight-obscuring glass is strongly discouraged in commercial spaces and on windows larger than four square feet.

Response: N/A - no commercial spaces or windows larger than four square feet proposed.

9. Landscaping or other form of screening shall be provided when parking occurs between buildings and the street.

Response: No parking occurs between the buildings and the street.

Optional:

- Create indoor/outdoor relationships by opening interior spaces onto walkways and plazas and bring the “outdoors” into the building by opening interior spaces to air and light. Overhead garage doors, telescoping window walls, and low window sill heights are good strategies for creating indoor/outdoor relationships.
- The primary function of canopies and awnings is weather protection. Signage requirements are found in the Signage and Wayfinding Plan.

Response: All of the row houses include covered front entryways and courtyards in the front yard. Front windows open onto the courtyards, creating indoor/outdoor relationships. No canopies or awnings are proposed. No signage is proposed.

4.1 Façade Components

Intent: Maintain a lively and active street face. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1. Windows and doors shall be recessed 3 inches (i.e., into the façade) to provide shadowing. Windows and doors recessed less than 3 inches are allowed, provided they also incorporate at least one of the following:
 - a. Shutters, appearing operable and sized for the window opening;
 - b. Railing, where required at operable doors and windows (i.e. French balcony); and/or
 - c. Visible and substantial trim. Trim is considered visible and substantial when it is of a contrasting material, color, or it creates shadowing. Stucco trim on a stucco façade is not acceptable.

Response: All windows and doors incorporate visible and substantial trim of a contrasting color.

2. Balconies shall extend no more than 36 inches beyond the furthestmost adjacent building face. Balconies are encouraged to extend into the building façade to achieve greater depth than 36 inches.

Response: The proposed row houses do not include balconies on the front or side facades in the public view shed.

3. Shutters, where provided, shall be sized to appear operable at window or door openings.

Response: The proposed row houses do not include shutters.

4. Except in the Plaza Address, balconies shall be at least 5 feet deep.

Response: The proposed row houses do not include balconies on the front or side facades in the public view shed. The proposed row houses include second level decks on the rear elevations that will range 3-5' in depth depending on location.

Optional:

- Individual residential windows should be square or vertical in proportion. An assembly of windows, however, may have an overall horizontal proportion.
- Material changes should occur at a horizontal line or at an inside corner of two vertical planes.
- Every residential unit is encouraged to have some type of outdoor living space: balcony, deck, terrace, stoop, etc.
- Expression of the rainwater path (conveyance or rainwater from the building roof to the ground) should be expressed at street-facing facades. Expression of the rainwater path includes the use of scuppers and exposed gutters and downspouts. Some of the Village Center streets feature surface rainwater drainage; where applicable, buildings shall have downspouts connected to the drainage system.
- Building fronts are encouraged to take on uneven angles as they accommodate the shape of the street.

- Encourage wide opening windows. Install small window panes where the style of the architecture dictates.
- The use of high window sill is discouraged.
- The use of finishing touches and ornament is encouraged on buildings.

Response: All windows are either square or vertical in proportion. All row houses have courtyards and covered front entryways. Material changes occur at a horizontal line or at an inside corner of two vertical planes. Every residential unit has some type of outdoor living space and proposed buildings include finishing touches and ornament.

5.1 Fencing

Intent: Ensure that fencing is compatible with the building design and consistent throughout the Village Center.

Required Standards:

1. See all applicable sections of the Village Zone, including but not limited to Section 4.125(.14) Table V-4: Permitted Materials and Configurations and Section 4.125(.05)D. Fences.

Response: Proposed fencing is shown on the attached plans and will be constructed of materials consistent with *Table V-3*, which applies to Row Houses.

2. The following fencing requirements apply to all fences and walls located between right-of-ways and building lines.

Response: Proposed fencing will comply with the following requirements as demonstrated below.

3. See Address overlay sections for additional requirements.

Response: The project is located within the Villebois Drive and Woonerf Address Overlays. Additional Address overlay requirements are addressed in following sections of this compliance report.

4. Except where specifically required by Address overlays, fences are optional. Less fencing than the maximum allowable extent is allowed.

Response: Proposed fencing is shown on the attached plans (see Exhibit IIIB).

5. Fencing shall be consistent with the Architectural Character of adjacent buildings. See Architectural Character, this section.

Response: Proposed fencing is designed to be consistent with the architectural character of the adjacent row houses.

6. Fencing controlling access to a courtyard, outdoor lobby, or other public entries shall be greater than 50% transparent.

Response: The project does not include public entry spaces.

7. Fencing located within the first 2'-0" setback from right-of-ways shall be greater than 50% transparent.

Response: Proposed fencing located within the first 2'-0" setback from right-of-ways will be greater than 50% transparent.

8. Fencing located within interior side yards or separating buildings on the same lot shall be offset 4'-0" or greater behind the adjacent front building line.

Response: No fencing within interior side yards is proposed.

9. Posts, pilasters, columns, or bollards may extend an additional 8" above the maximum height of any allowed fencing.

Response: Posts, pilasters, columns, or bollards will not extend more than 8" above the maximum height of any proposed fencing.

10. Fencing may not change height at corners. They must have level top surfaces and transition at posts to maintain height as required changes in grade elevation.

Response: Proposed fencing does not change height at corners.

11. Loading facilities, trash enclosures, and ground-level mechanical and utility equipment: These facilities shall be sited at the rear or side of buildings wherever practicable, and shall be screened where visible from the street. Screening shall match the adjacent development in terms of quality of materials and design. Such screening shall minimize light glare and noise levels affecting adjacent residential uses.

Response: The project does not include any loading facilities, trash enclosures, or ground-level mechanical & utility equipment.

Optional:

- Fencing is encouraged to be consistent with building railing at balconies, decks, porches, etc.

Brownstone Style Row Houses: The proposed Brownstone Style row houses include railings on the stoops on the front façades that are consistent with the English Revival architectural style of the row houses. The Brownstone Style row houses do not include fencing on front or side elevations.

London Style Row Houses: The proposed London Style row houses include fencing on the front elevations that is consistent with the English Revival architectural style of the row houses. The London Style row houses do not include building railing at balconies, decks or porches on front or side elevations.

VILLEBOIS DRIVE ADDRESS

1.1 Narrative

Villebois Drive is a front door to the Village Center. Though predominantly residential, it sets the tone for a more urban experience. The architectural components of this address, therefore, are similar to that of the Plaza.

Villebois Drive is envisioned as a potential growth corridor for future commercial uses. Accordingly, this Address has specific requirements to accommodate and encourage these possible transitions. Most of these Standards apply to the ground level buffer between the public way and private zones. The intent is for ground level units not to prohibit future conversion to small commercial spaces.

See the Community Elements Book for additional ways in which the streetscape design assists the transition from residential to mixed-use characteristics.

2.1 Building Types

The Building Type, per Table V-1: Development Standards (Village Zone), shall be Multi-Family Dwellings - Village Center or Row Houses - Village Center. This does not exclude mixed use building programs. Row houses may be detached or attached.

Response: The proposed buildings within the Villebois Drive Address overlay, along Villebois Drive, will be the London Style attached row houses, as shown on the Elevations & Floor Plans in Section VIC of this Notebook.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of Villebois Drive as a public room by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) In addition to the Maximum Building Height as required by Table V-1: Development Standards (Village Zone), this address shall have a Minimum Building Height of two stories.
- 2) Roof form: All buildings shall have one or more the following roof forms:
 - a) Flat or low-slope roof with parapet; or
 - b) Sloped principal roof with 4:12 or greater pitch.

Optional:

- 3) Roofs are encouraged to have dormers, chimneys, light monitors, and similar roof components to add visual interest.
- 4) Variations on the Plaza Address roof forms are encouraged.
- 5) A variety of roof heights and configurations are encouraged.

Response: The proposed row houses will have a Minimum Building Height exceeding two stories and will have a Maximum Building Height consistent with the standards of Table V-1: Development Standards (Village Zone), as demonstrated on page 26 of this report. The proposed row houses will have low-sloped roofs with parapets.

2.3 Horizontal Façade Articulation

Intent:

Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1) Horizontal articulation: Horizontal façades longer than 60 feet shall be articulated into smaller units. At least two of the following methods of horizontal articulation shall be employed:

- a) Change of material (at inside corner or with a reveal);
- b) Change of color, texture, or pattern of similar materials;
- c) Major façade planes that are vertical in proportion;
- d) Bays and recesses at least 8 feet wide and no more than 25 feet wide and at least 3 feet in depth;
- e) Breaks in roof elevation (height) of 2 feet or greater in height; and/or
- f) Unique storefront design for each tenant, including change of material, color, and glazing patterns.

Response: As shown on the Elevations & Floor Plans in Section VIC, the horizontal facades of proposed row houses within the Villebois Drive Address overlay will be articulated into smaller units with a change in color of similar materials, major façade planes that are vertical in proportion, and bays and recesses at least 8 feet wide and no more than 25 feet wide and at least 3 feet in depth.

2.4 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede Table V-4: Permitted Materials and Configurations (Village Zone).
- 2) At least 30 percent of each building façade to which these standards apply shall be finished in one or more of the following materials:
 - a) Brick, stone, or cast stone;
 - b) Stucco or plaster;
 - c) Poured-in-place concrete, or pre-cast concrete veneer; and/or
 - d) Metal panel systems.
- 3) The additional following materials may be used up to the remaining percentage of each façade:
 - a) Wood;
 - b) Cellulose fiber-reinforced cement products (i.e. Hardi-Board) or other cement building products approved by a nationally recognized building products evaluation service;
 - c) Rock, glass block, tile; and/or
 - d) Concrete block: split-faced, ground-faced, or scored.
- 4) The percentage calculation applies only to the façades facing a public or private street.
- 5) Doors and windows and their associated trim shall be excluded from the percentage calculation.

6) Glass shall have less than 20 percent reflectance.

Response: As shown on the Elevations & Floor Plans in Section VIC of the Notebook, at least 30 percent of each street facing building façade of the proposed London Style row houses in the Villebois Drive Address overlay will be finished in a monochromatic limestone base. The remaining percentage of each façade will be made up of brick veneer on the front elevations and brick veneer and stucco panel siding on the street-facing side elevations. Glass will have less than 20 percent reflectance.

3.1 Ground Level Building Components

Intent:

Provide for future commercial growth at Villebois by creating a building infrastructure that accommodates easy ground level conversion. Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians.

Required Standards:

- 1) The ground level of multi-family or mixed-use buildings (excluding common entries and other spaces necessary to the function of the building) shall be Flex Space, meeting the following requirements:
 - a) Ground level units shall be at grade and shall have direct access;
 - b) Ground level units shall have openings no narrower than 9 feet in width to accommodate future commercial uses; and
 - c) Ground level floor-to-floor height shall be 14 feet or greater to accommodate future commercial uses.
- 2) Ground level residential units shall utilize buffering elements between private zones and the public right-of-way. Strategies include, but are not limited to: gated fences, planter walls, change of paving material, recessed entries, and landscaping.

Optional:

- 3) Row Houses do not have to meet the requirements of Flex Space, above. However, Live/Work unit configurations are encouraged.
- 4) Building construction should take into account fire separations, sprinklers, and other requirements for mixed-use buildings.

Response: As shown on the Elevations & Floor Plans in Section VIC of the Notebook, each of the proposed row houses in the Villebois Drive Address will utilize buffering elements between private zones and the public right-of-way such as gated fences, planter walls, change of paving material, recessed entries, and landscaping. Row houses in the Villebois Drive Address are not required to meet the Flex Space requirements.

WOONERF ADDRESS

1.1 Narrative

The Woonerf Address is a special and deliberate deviation from the Village Center street grid. Aligned to the view of Mt. Hood, the public way connects the heart of

Villebois, the Plaza, to its regional context. Additionally, the Woonerf is part of the pedestrian connection between East Park and the Plaza.

Woonerf is a Dutch word meaning “living street.” A woonerf is common space shared equally by pedestrians, cyclists, and low-speed motor vehicles. Raising the street to the same grade as sidewalks, and placing trees, planters, parking areas, and other obstacles in the street slows vehicles to walking speed. This makes the street available for social use of the local residents while maintaining connectivity and the parking needs of vehicles.

Because of its proximity to the Plaza and its pedestrian emphasis, the Woonerf Address has specific design characteristics to complement the streetscape. The lifestyle is urban, with a compressed threshold between public and private zones. Row Houses will have stoops, terraces, and/or at-grade outdoor living spaces. These components encourage interaction between neighbors as well as pedestrians going to and from the Plaza.

To reinforce the spirit of urban living and strengthen the uniqueness of this outdoor room, the Woonerf Address emphasizes consistency of massing, façade design, and materials. The Homes will have similar heights and materials, with encouraged minor variation of façade elements.

2.1 Building Types

The Building Type, per Table V-1, shall be Row Houses - Village Center. Row houses must be attached in this address.

Response: The proposed buildings within the Woonerf Address overlay, along Mont Blanc, will be the Brownstone Style attached row houses, as shown on the Elevations & Floor Plans in Section VIC of this Notebook.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of the Woonerf as a public room by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) In addition to the Maximum Building Height as required by Table V-1: Development Standards (Village Zone), this address shall have a Minimum Building Height of two stories.
- 2) Roof forms in a set of row houses shall be substantially similar in character.

Optional:

- 3) Buildings façades in a set of row houses are encouraged to be similar in height.

Response: As shown on the Elevations & Floor Plans in Section VIC, the proposed Brownstone Style row houses within the Woonerf Address overlay will be consistent with the Maximum Building Height as required by Table V-1: Development Standards (Village Zone), as demonstrated on page 26 of this report, and will have a Minimum

Building Height exceeding two stories. The proposed row houses will have consistent façade heights and roof forms.

2.3 Horizontal Façade Articulation

Intent:

Reinforce the urban historic pattern of single-family attached residences. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Each row house shall be articulated as an individual unit. Two or more of the following methods of horizontal articulation shall be used:
 - a) Prominent entry, bay, or similar component for each dwelling unit;
 - b) Reveal or trim between major façade planes;
 - c) Change of color, texture, or pattern of similar materials;
 - d) Breaks in roof elevation per dwelling unit; and
 - e) Offsets of major façade planes.

Optional:

- 2) Change of material per dwelling unit is not a preferred method of Horizontal Articulation as it detracts from the consistency of the streetscape.

Response: As shown on the Elevations & Floor Plans in Section VIC, the proposed row houses within the Woonerf Address overlay will include a prominent entry for each dwelling unit, breaks in roof elevation per dwelling unit, and offsets of major façade planes. Individual dwellings units have consistent material to maintain consistency of the streetscape.

3.1 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede Table V-4: Permitted Materials and Configurations (Village Zone).
- 2) At least 40 percent of each building façade to which these standards apply shall be finished in one or more of the following materials:
 - a) Brick, stone, or cast stone;
 - b) Stucco or plaster;
 - c) Poured-in-place concrete, or pre-cast concrete veneer; and/or
 - d) Metal panel systems.
- 3) The additional following materials may be used up to the remaining percentage of each façade:
 - a) Wood;
 - b) Cellulose fiber-reinforced cement products (i.e. Hardi-Board) or other cement building products approved by a nationally recognized building products evaluation service;

- c) Rock, glass block, tile; and/or
- d) Concrete block: split-faced, ground-faced, or scored.
- 4) The percentage calculation applies only to the façades facing a public or private street.
- 5) Doors and windows and their associated trim shall be excluded from the percentage calculation.
- 6) Glass shall have less than 20 percent reflectance.

Optional:

- 7) Brick, when used, should match or be compatible with the street pavers.

Response: As shown on the Elevations & Floor Plans in Section VIC of the Notebook, the entire front façade of the Brownstone Style row homes in the Woonerf Address will be finished in brick veneer. At least 40 percent of each street facing side elevation will be finished in brick veneer. The remaining percentage of each street facing side elevation will be made up of stucco panel siding. Glass will have less than 20 percent reflectance.

3.2 Façade Components

Intent:

Maintain a lively and active street face. Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

1) Scuppers and downspouts at the Woonerf Address shall be metal or clay. Downspouts shall connect with the street's drainage as per the Rainwater Management Plan.

2) Projecting balconies and decks are not allowed above the first floor on street facing façades. French balconies two feet or less in depth are allowed.

3) Wood or simulated wood railing or fencing is prohibited.

Optional:

4) Small punched openings in a thick wall is the preferred window expression. Large expanses of contiguous windows should be limited to bay windows.

5) French balconies and bay windows two feet or less in depth are encouraged as predominate outdoor living space components for the Woonerf Address.

6) Façade components in each set of row houses are encouraged to be substantially similar in proportion and configuration.

Response: Scuppers and downspouts on the proposed Brownstone Style row houses within the Woonerf Address will be metal or clay and will connect with the street's drainage as per the Rainwater Management Plan. As shown on the Elevations & Floor Plans in Section VIC of the Notebook, no projecting balconies or decks are proposed above the first floor on street facing façades. No wood or simulated wood railing or fencing is proposed. The proposed row houses include façade components in each set of row houses that are substantially similar in proportion and configuration. There are no large expanses of contiguous windows.

4.1 Ground Level Building Components

Intent:

Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Required Standards:

- 1) Each row house shall have a stoop or terrace. See Glossary for distinction.
- 2) The stoop or terrace shall be 30 inches or greater in elevation above grade.
- 3) Each row house shall have a private outdoor living space at the entry façade. The space shall meet the following requirements:
 - a) The usable space shall measure 5 feet or greater in depth and 7 feet or greater in length along the facade;
 - b) The required space may be sunken no more than 24 inches below grade;
 - c) The required space may be elevated no higher than the stoop/terrace elevation;
 - d) The required space may be screened from the street, but fences and railing may be no more than 50% opaque and no taller than 4 feet; and
 - e) The required space must have direct access from the front entry, or direct access from a secondary entrance, such as a sliding patio door.

Optional:

- 4) Stoops and terraces in each set of row houses should be substantially similar in height and configuration

Response: As shown on the Elevations & Floor Plans in Section VIC of the Notebook, each of the proposed Brownstone Style row houses in the Woonerf Address will have a stoop 30 inches or greater in elevation above grade. Each row house will have a private outdoor living space at the entry façade that measures 5 feet or greater in depth and 7 feet or greater in length along the façade, is sunken no more than 24 inches below grade, and is elevated lower than the stoop/terrace elevation. The outdoor living space is screened from the street by planter boxes and has direct access from a secondary entrance. The Brownstone Style row houses are designed to accommodate “home office” use on the ground level with separate outside access, but no storefront, signage, or access by general public. This use is consistent with the City’s definition of “home occupation” use, which is an accessory use permitted in the Village Zone.

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Final Development Plan. Therefore, the applicant requests approval of this application.

VIB) Reduced Drawings

PHASE 7 CENTRAL VILLEBOIS ROW HOMES FINAL DEVELOPMENT PLAN

TL 2700, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

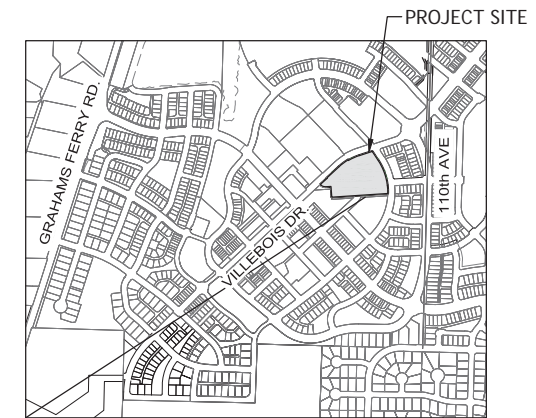
LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

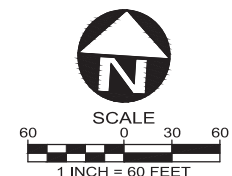
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- L1 LAYOUT PLAN
- L2 STREET TREE PLAN
- L3 PLANTING PLAN
- L4 PLANTING DETAILS & NOTES
- L5 LANDSCAPE DETAILS & MATERIALS



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

FDP 7C
VILLEBOIS
ROW HOMES

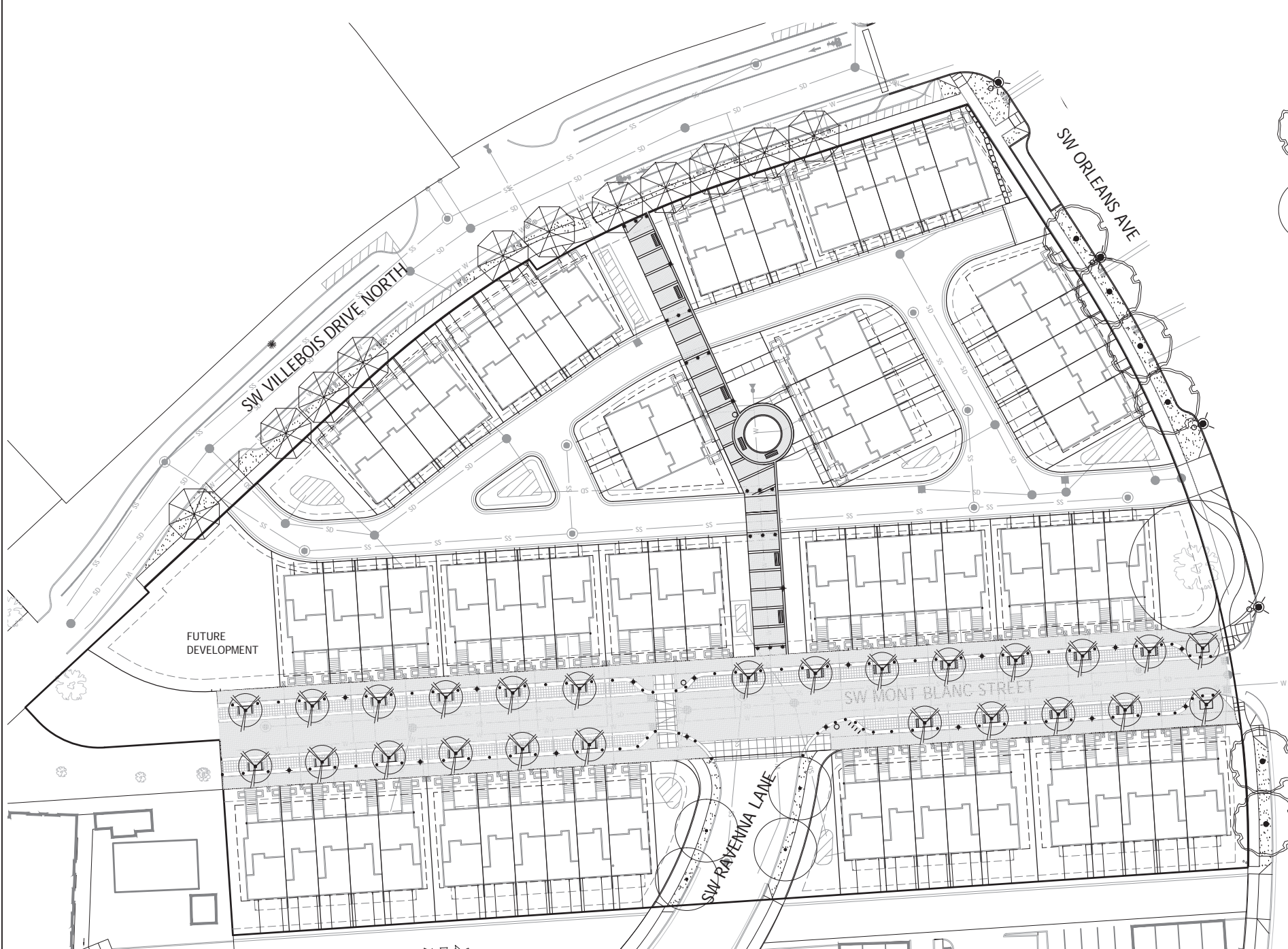
Final
Development
Plan

COVER
SHEET

1ST SUBMITTAL DATE 4/29/2015



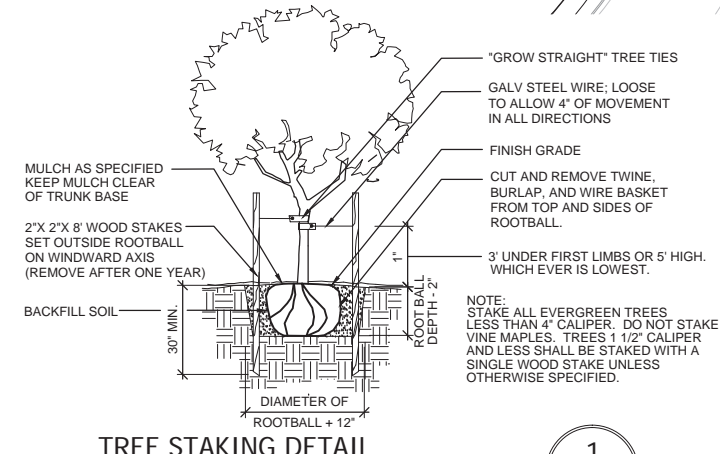
N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\Landscapes\PDP\395057 STREETTREE-IA-PDP.dwg - SHEET L1 - May 26, 15 - 3:52 PM kel



STREET TREE LEGEND:

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	11	EASY STREET MAPLE / ACER PLATANOIDES 'EZEESTRE'	2" cal., B&B	25' o.c.
	6	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2" cal., B&B	30' o.c.
	25	ARMSTRONG RED MAPLE / ACER FREEMANII 'ARMSTRONG'	2.5" cal., B&B	25' o.c.
	4	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	3,898 S.F.	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		

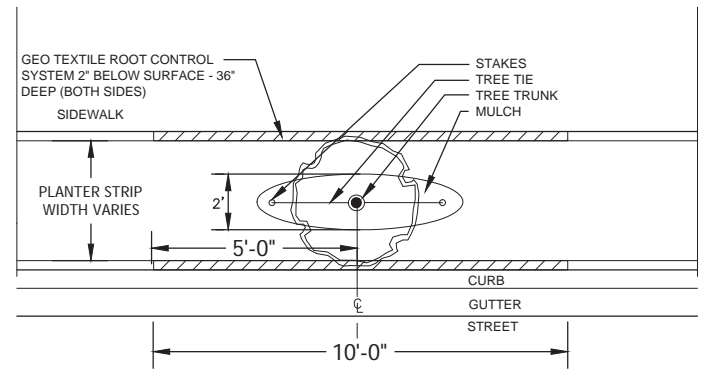
FUTURE DEVELOPMENT



TREE STAKING DETAIL

SCALE: N.T.S.

1
L1

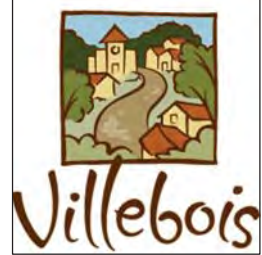
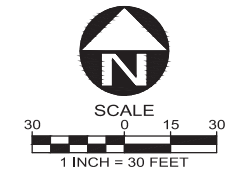


TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S.

2
L1

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

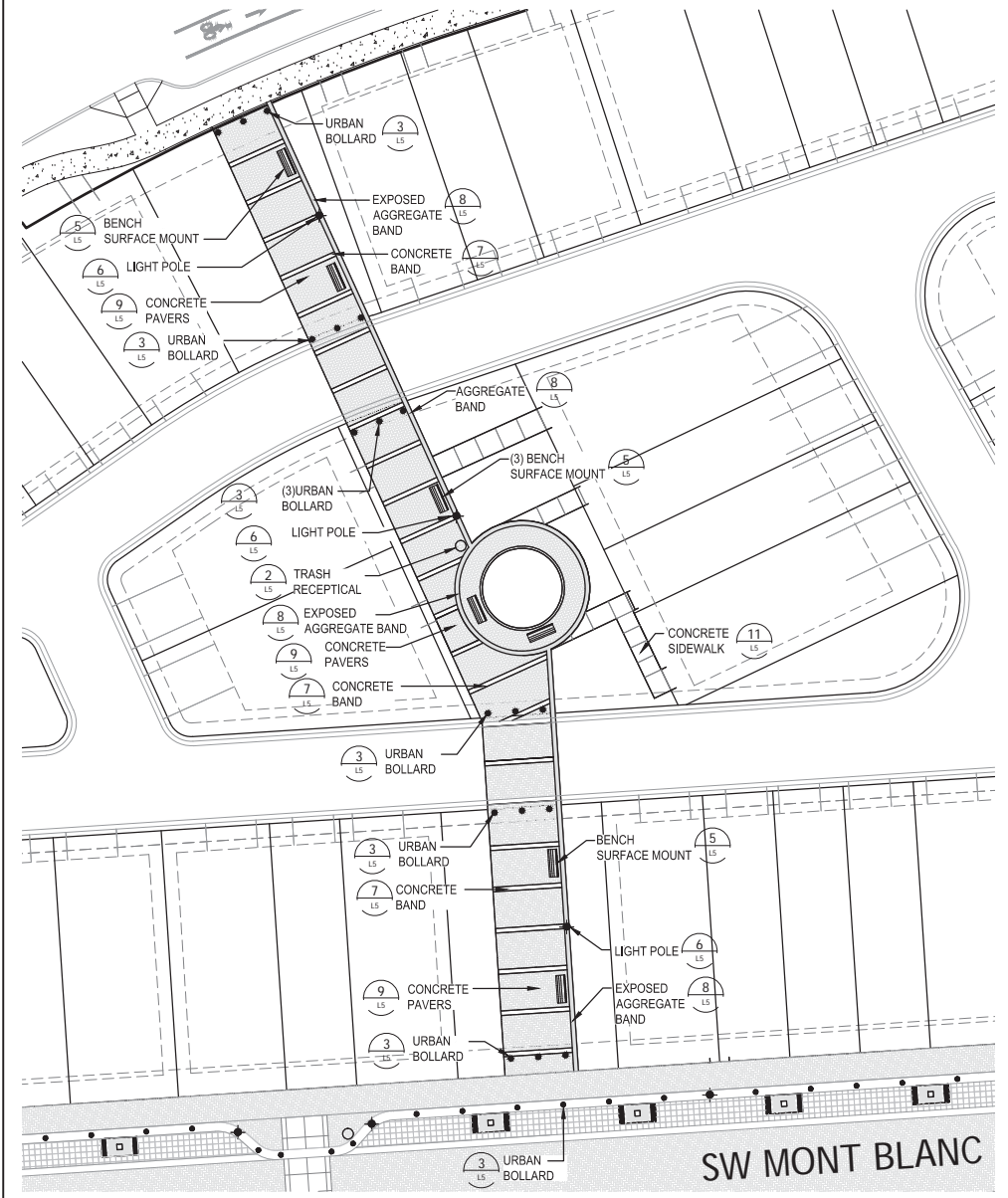
Preliminary
Development
Plan

STREET TREE
PLAN

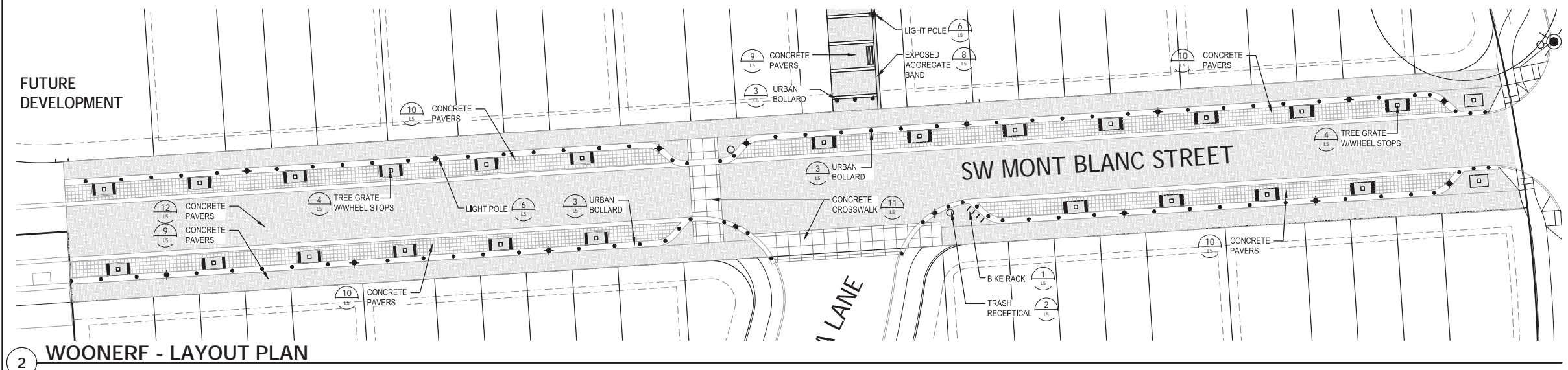
1ST SUBMITTAL DATE 4/29/2015
2ND SUBMITTAL DATE 5/26/2015

L1

N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\Landscapes\FDP\395057\LAYOU\L1\FDP.dwg - SHEET L1 May 26, 15 - 3:57 PM kel



1 PLAZA - LAYOUT PLAN



2 WOONERF - LAYOUT PLAN

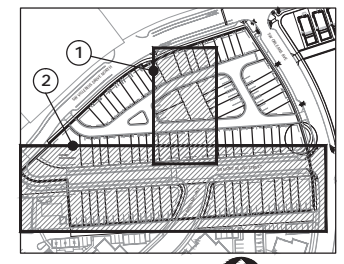
ELEVATION DATUM: NAVD 88

NOTES

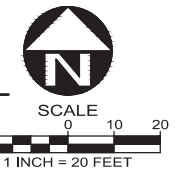
- 1.) SEE CIVIL PLANS FOR ROADWAY AND CURB ELEVATIONS
- 2.) SEE SHEET L4 FOR LANDSCAPE MATERIALS DETAILS.

LEGEND

- 1. BICYCLE RACK
MANUFACTURER: FUNCTION FIRST BIKE SECURITY
MODEL: THE BIKE RIB
FINISH: POWDERCOATED PAINT, BLACK
SIZE: 1.25" SCH. 40 STEEL PIPE, 18 WIDE, 32" HT.
- 2. TRASH RECEPTACLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: THE PLAINWELL LITTER RECEPTACLE WITH DOME
MATERIAL: STEEL
METAL BLACK POWDERCOATED
SIZE: 30" DIAMETER 38" HEIGHT;
35 GALLON CAPACITY
- 3. URBAN BOLLARD
MANUFACTURER: VISCO
MODEL: VI-BO-14L
FINISH: POWDERCOATED, BLACK
SIZE: 30"H X 12" DIA.
- 4. TREE GRATE W/ BASALT CURBS
MANUFACTURER: URBAN ACCESSORIES
MODEL: CHINOOK
FINISH: CAST IRON
SIZE: 4X6
- 5. URBAN / GREENWAY BENCH
MANUFACTURER: LANDSCAPE FORMS
MODEL: THE PLAINWELL SERIES
FINISH: METAL, ALUMINUM SEAT
METAL BLACK POWDERCOATED
SIZE: 72" LENGTH
- 6. LIGHT POLE
MANUFACTURER: HADCO
LUMINAIRE: HADCO S8867E (SINGLE), S8867N (TWIN)
POLE: 14" DECORATIVE CAST ALUMINUM P-065-14-A
FOOTING: AB CHANCE - C11242NG4TK W / ROUND MOUNTING PLATE
FINISH: BLACK
- 7. PAVER CONCRETE BAND
- 8. EXPOSED AGGREGATE BAND
- 9. CONCRETE UNIT PAVERS WITH HELL-PROOF POLYMERIC SAND JOINTS
MANUFACTURER: WILLAMETTE GRAYSTONE
MODEL: AQUABRIC PERMEABLE CONCRETE
COLOR: AUTUMN BLEND
FINISH: CENTURY
SIZE: 5" X 10" X 60MM - HARRINGBONE PATTERN
- 10. PERMEABLE CONCRETE UNIT PAVERS AT ON-STREET PARKING STALLS
MANUFACTURER: WILLAMETTE GRAYSTONE
MODEL: AQUAPAVE PERMEABLE CONCRETE PAVER
COLOR: GRAY
FINISH: STACKED
SIZE: 9.5 X 9.5" X 80MM
- 11. SCORED CONCRETE CROSSWALK CAST IN PLACE,
SCORE AS SHOWN
- 12. PERMEABLE CONCRETE PAVERS AT VEHICULAR STREET AREAS
MANUFACTURER: WILLAMETTE GRAYSTONE
MODEL: AQUABRIC PERMEABLE CONCRETE
COLOR: CHARCOAL
FINISH: CENTURY
SIZE: 5" X 10" X 80MM - HARRINGBONE PATTERN



KEY MAP



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**FDP 7C
VILLEBOIS
ROW HOMES**

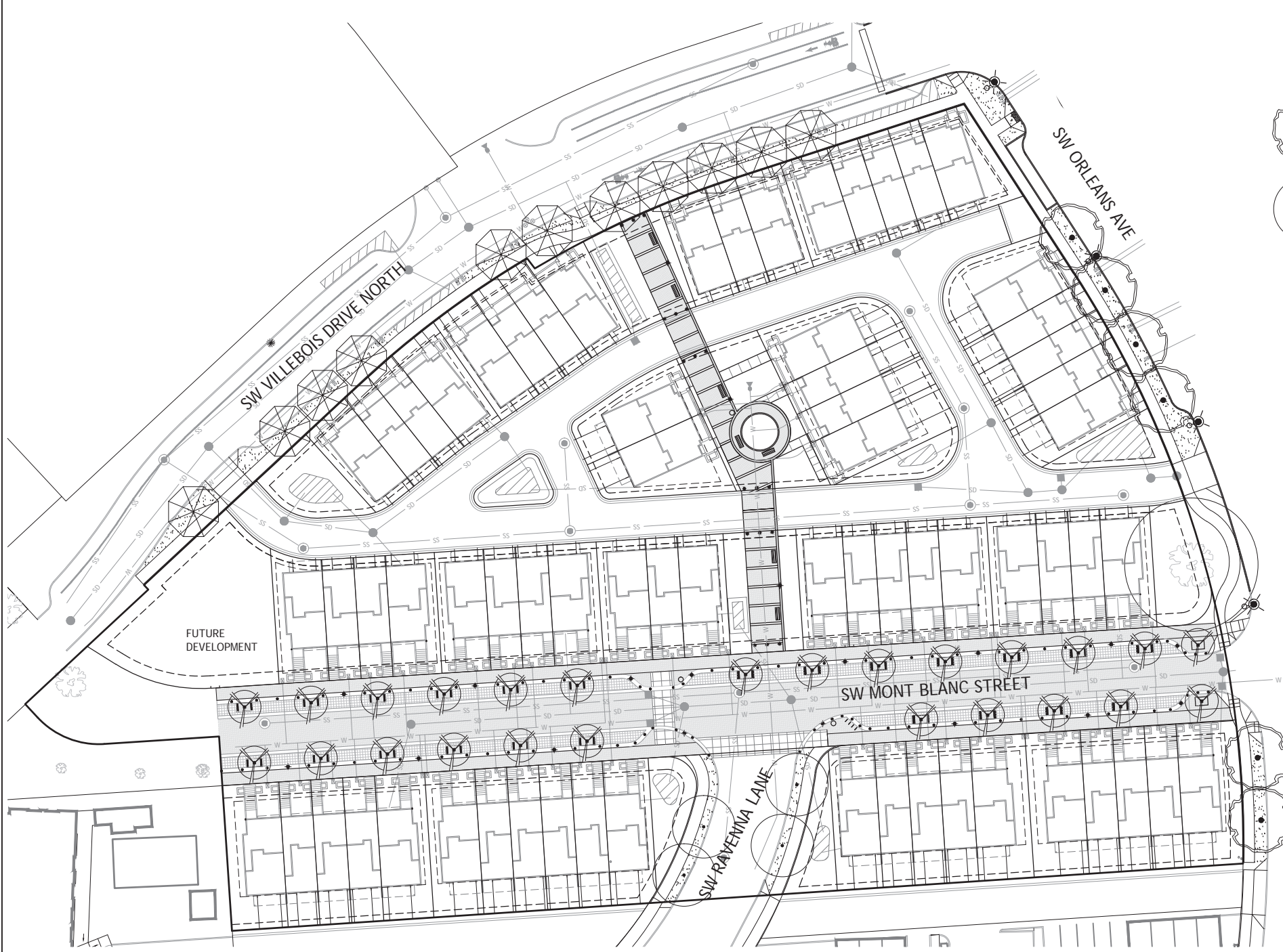
Final
Development
Plan

**LAYOUT
PLAN**

1ST SUBMITTAL DATE 4/29/2015



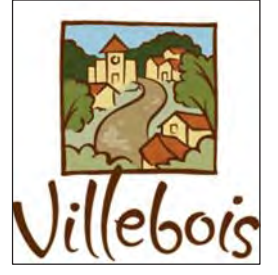
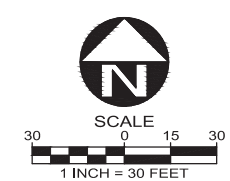
N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\Landscapes\FDP\395057-STREETTREE-LA-FDP-001.dwg - SHEET: L2 - May 26, 15 - 3:55 PM kel



STREET TREE LEGEND:

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	11	EASY STREET MAPLE / ACER PLATANOIDES 'EZESTRE'	2" cal., B&B	25' o.c.
	6	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2" cal., B&B	30' o.c.
	25	ARMSTRONG RED MAPLE / ACER FREEMANII 'ARMSTRONG'	2.5" cal., B&B	25' o.c.
	4	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	3,898 S.F.	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

FDP 7C
VILLEBOIS
ROW HOMES

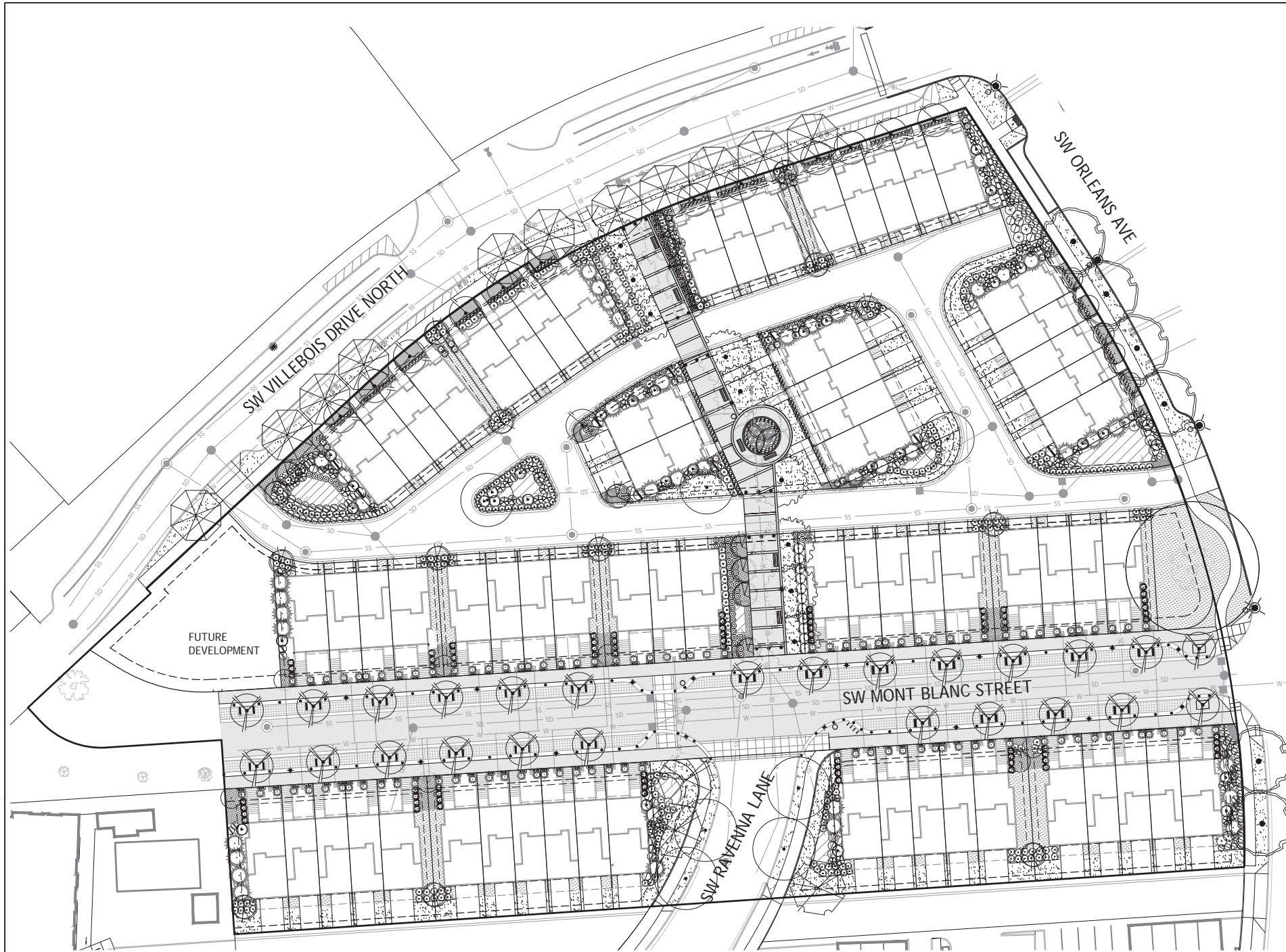
Final
Development
Plan

STREET TREE
PLAN

1ST SUBMITTAL DATE 4/29/2015

L2

N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\Landscapes\FDP\395057\PLANTING.LA-FDP.dwg - SHEET L3 - May, 26, 15 - 3:59 PM kel



PLANTING LEGEND:

TREES

SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	RED SUNSET MAPLE / ACER RUBRUM FRANKSRED:	2 CAL., B&B
	VINE MAPLE / ACER CIRCINATUM:	2" CAL., B&B
	JAPANESE MAPLE / ACER PALMATUM:	8' HT.
	GREENSPIRE LINDEN / TILIA CORDATA 'GREENSPIRE':	2" CAL., B&B
	INCENSE CEDAR / CALOCEDRUS DECURRENS:	8' HT., B&B
	CHINESE KOUSA DOGWOOD / CORNUS KOUSA 'CHINENSIS':	2" CAL., B&B

SHRUBS

SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	'NIKKO BLUE' HYDRANGEA / HYDRANGEA MACROPHYLLA 'NIKKO BLUE':	3 GAL.
	DAVID VIBURNUM / VIBURNUM DAVIDII:	2 GAL.
	DOUBLEFILE VIBURNUM / VIBURNUM PLICATUM 'TOMENTOSUM':	3 GAL.
	COMPACT JAPANESE HOLLY / ILEX CRENATA 'COMPACTA':	3 GAL.
	DWARF BURNING BUSH / EUONYMUS ALATA 'COMPACTA':	3 GAL.
	GOLDFLAME SPIREA / SPIRAEA X BUMALDA 'GOLDFLAME':	3 GAL.
	RHOODENDRON 'PJM':	24"-30", B&B, 5' O.C.
	RHOODENDRON 'JEAN MARIE DE MONTEGUE':	3 GAL.
	IRISH YEW / TAXUS BACCATA 'FASTIGIATA':	3 GAL.
	NEW ZEALAND FLAX / PHORMIUM 'SHIRAZ':	2 GAL.
	FOREST FLAME PIERIS / PIERIS JAPONICA 'FOREST FLAME':	3 GAL.
	SHOWA-NO-SAKAE CAMELLIA / CAMELLIA SASANGUA 'SHOWA-NO-SAKAE':	2 GAL.
	REDTWIG DOGWOOD / CORNUS STOLONIFERA:	3 GAL.
	ISANTI REDOSER DOGWOOD / CORNUS SERICEA 'ISANTI':	3 GAL.
	HOOGENDORN JAPANESE HOLLY / ILEX CRENATA 'HOOGENDORN':	3 GAL.

ORNAMENTAL GRASSES AND GROUNDCOVERS

SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	CABARET JAPANESE SILVER GRASS / MISCANTHUS SINENSIS 'CABARET':	2 GAL.
	DWARF FOUNTAIN GRASS / PENNISTETUM ALOPECUROIDES 'HMALEN':	1 GAL.
	MULCH:	3" MIN. DEPTH, MEDIUM TO FINE GROUND DOUGLAS FIR
	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD.	AT A RATE OF 8 LBS/1000 SQUARE FEET.

NOTE:
 1. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

BIORETENTION CELL PLANTING LEGEND

TREES/SHRUBS

SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	WEeping ALASKAN CEDAR / CHAMAECYPARIS NOOTKATENSIS 'PENDULA':	7-8' HT., B&B
	PACIFIC DOGWOOD / CORNUS NUTTALLII:	2" CAL., B&B
	NOOTKA ROSE / ROSA NUTKANANA:	#1 CONTAINER
	RED TWIG DOGWOOD / CORNUS SERICEA:	#1 CONTAINER
	KELSEY DOGWOOD / CORNUS SERICEA 'KELSEY':	#1 CONTAINER
	SNOWBERRY / SYMPHOROCARPUS ALBA:	#1 CONTAINER
	'WETMOIST' AREA PLUGS: (4" PLUGS @ 12" O.C.)	
	SLOUGH SEDGE / CAREX OBLIQUA:	34%
	SOFT RUSH / JUNCUS TENNIS:	33%
	SMALL FRUITED BULRUSH / SCIRPUS MICROCARPUS:	33%

NOTE:
 SEE SHEET L2 FOR STREET LEGEND AND DETAILS.



POLYGON NW COMPANY



GEODESIGN, INC.

REVISIONS	
DATE	DESCRIPTION

FDP 7C
 VILLEBOIS
 ROW HOMES

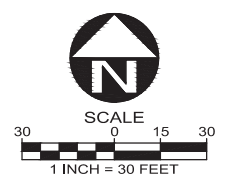
Final
 Development
 Plan

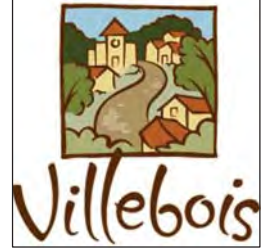
PLANTING
 PLAN

1ST SUBMITTAL DATE 4/29/2015

L3

ELEVATION DATUM: NAVD 88





POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

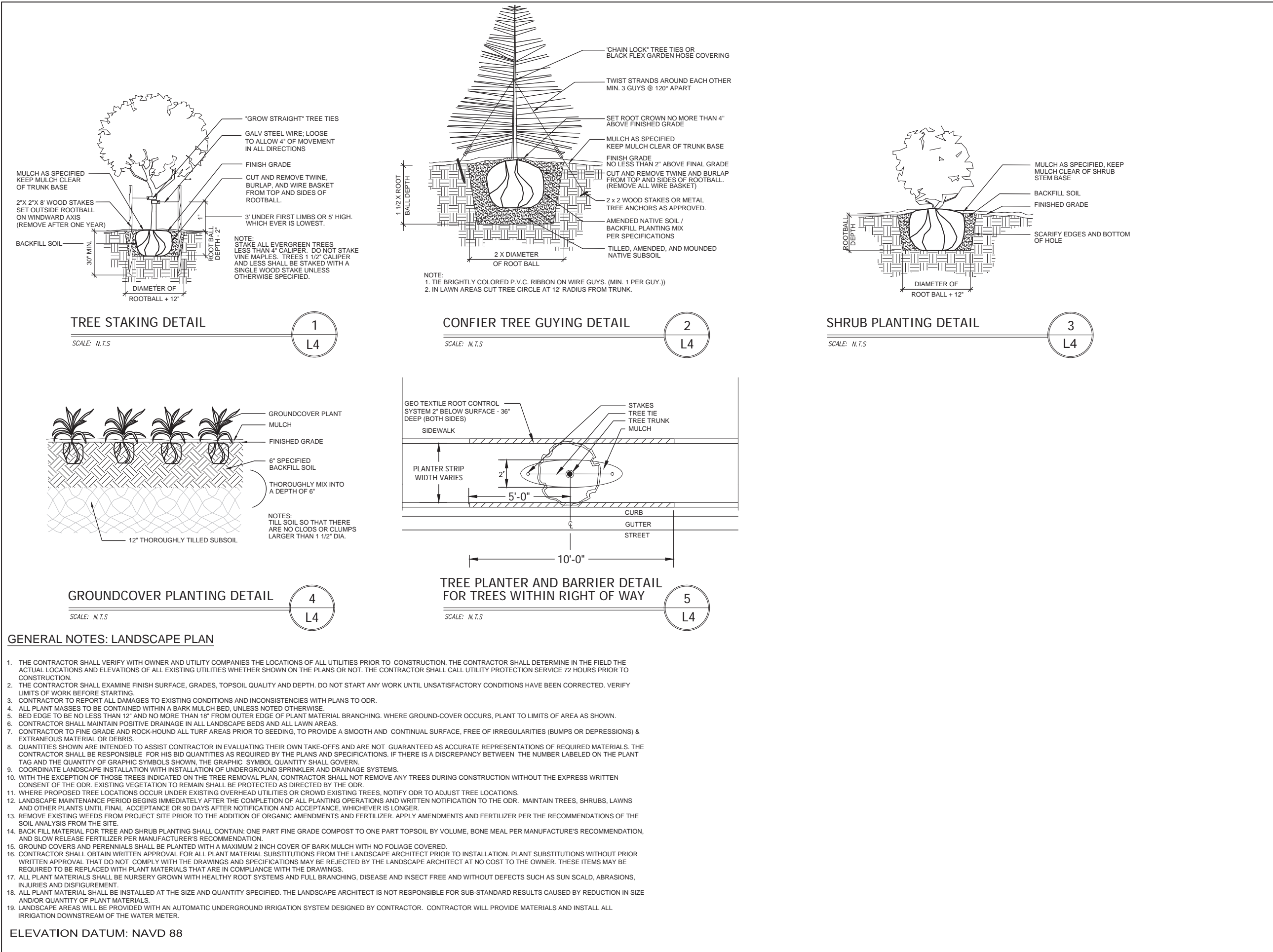
FDP 7C
VILLEBOIS
ROW HOMES

Final
Development
Plan

PLANTING
DETAILS &
NOTES

1ST SUBMITTAL DATE 4/29/2015

L4



N:\proj\395-057\09 Drawings\03 Planning_Sheets - Planning_Submittal\Landscapes\FDP\395057.DETAILS-002-LA-FDP.dwg - SHEET: L1 May 26, 15 - 4:00 PM kel



MANUFACTURER: FUNCTION FIRST BIKE SECURITY
 MODEL: THE BIKE RIB
 MATERIAL: STEEL PIPE
 FINISH: BLACK AND POWDERCOATED
 SIZE: 1.25' SCHEDULE 40 STEEL PIPE, 18"W x 32"H

BIKE RACK

SCALE: N.T.S

1
L5

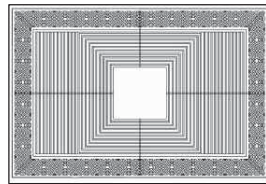


MANUFACTURER: LANDSCAPE FORMS
 MODEL: THE PLAINWELL LITTER RECEPTACLE WITH DOME
 MATERIAL: STEEL
 FINISH: BLACK AND POWDERCOATED
 SIZE: 30" DIAMETER, 38" HEIGHT, 35 GALLON CAPACITY

TRASH RECEPTACLE

SCALE: N.T.S

2
L5



MANUFACTURER: URBAN ACCESSORIES
 MODEL: CHINOOK
 FINISH: CAST IRON
 SIZE: 4'X6'

TREE GRATE W/BASALT CURB

SCALE: N.T.S

4
L5

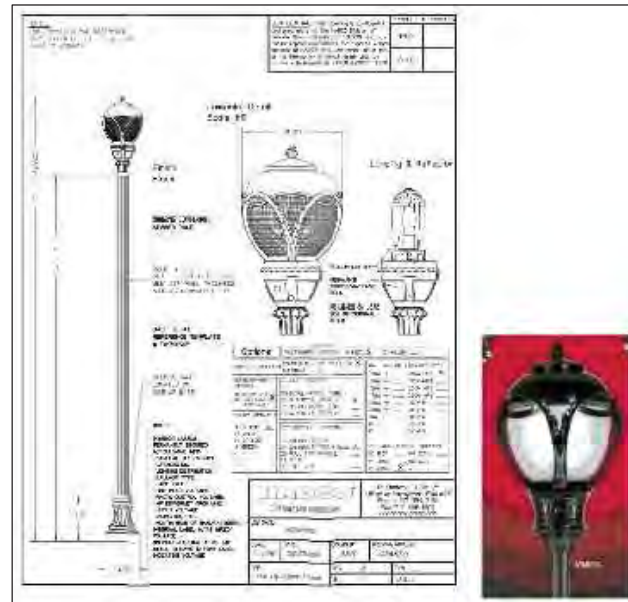


URBAN / GREENWAY BENCH
 MANUFACTURER: LANDSCAPE FORMS
 MODEL: THE PLAINWELL SERIES
 MATERIAL: METAL ALUMINUM SEAT
 FINISH: BLACK POWDERCOATED
 SIZE: 72" LENGTH

BENCH

SCALE: N.T.S

5
L5

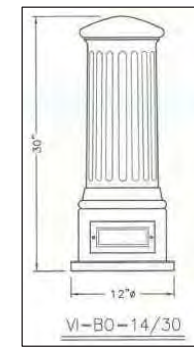


MANUFACTURER: HADCO
 LUMINAIRE: HADCO S8867E (SINGLE), S8867N (TWIN)
 POLE: 14' DECORATIVE CAST ALUMINUM P-2065-14-A
 FOOTING: AB CHANGE - C11242NG4TK W/ROUND MOUNTING PLATE
 FINISH: BLACK

LIGHT POLE

SCALE: N.T.S

6
L5



MANUFACTURER: VISCO
 MODEL: VI-BO-14L
 FINISH: BLACK POWDER COAT
 SIZE: 30" H x 12" Dia.

URBAN BOLLARD

SCALE: N.T.S

3
L5



PAVER CONCRETE BAND

SCALE: N.T.S

7
L5



SCORED CONCRETE CROSSWALK

SCALE: N.T.S

11
L5



EXPOSED AGGREGATE BAND

SCALE: N.T.S

8
L5



CONCRETE UNIT PAVERS WITH HELL-PROOF POLYMERIC SAND JOINTS
 MANUFACTURER: WILLAMETTE GRAYSTONE
 MODEL: AQUABRIC PERMEABLE CONCRETE
 COLOR: AUTUMN BLEND
 FINISH: CENTURY
 SIZE: 5" X 10" X 60MM - HARRINGBONE PATTERN

PAVERS

SCALE: N.T.S

9
L5



PERMEABLE CONCRETE UNIT PAVERS AT ON-STREET PARKING STALLS
 MANUFACTURER: WILLAMETTE GRAYSTONE
 MODEL: AQUAPAVE PERMEABLE CONCRETE PAVER
 COLOR: GRAY
 FINISH: STACKED
 SIZE: 9.5 X 9.5" X 80MM

PAVERS

SCALE: N.T.S

10
L5



PERMEABLE CONCRETE UNIT PAVERS AT VEHICULAR AREAS
 MANUFACTURER: WILLAMETTE GRAYSTONE
 MODEL: AQUAPAVE PERMEABLE CONCRETE PAVER
 COLOR: CHARCOAL
 FINISH: CENTURY
 SIZE: 5" X 10" X 80MM - HARRINGBONE PATTERN

PAVERS

SCALE: N.T.S

12
L5

N:\proj\395-057\09 Drawings\03 Planning Sheets - Planning Submittal\Landscapes\FDP\395057\DETAILS\01-LA-FDP.dwg - SHEET: L1 May 26, 15 - 3:59 PM kel

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

FDP 7C
 VILLEBOIS
 ROW HOMES

Final
 Development
 Plan

LANDSCAPE
 DETAILS &
 MATERIALS

1ST SUBMITTAL DATE 4/29/2015

L5

VIC) Elevations & Floor Plans



BROWNSTONE 3-PLEX

3/16" = 1'-0"

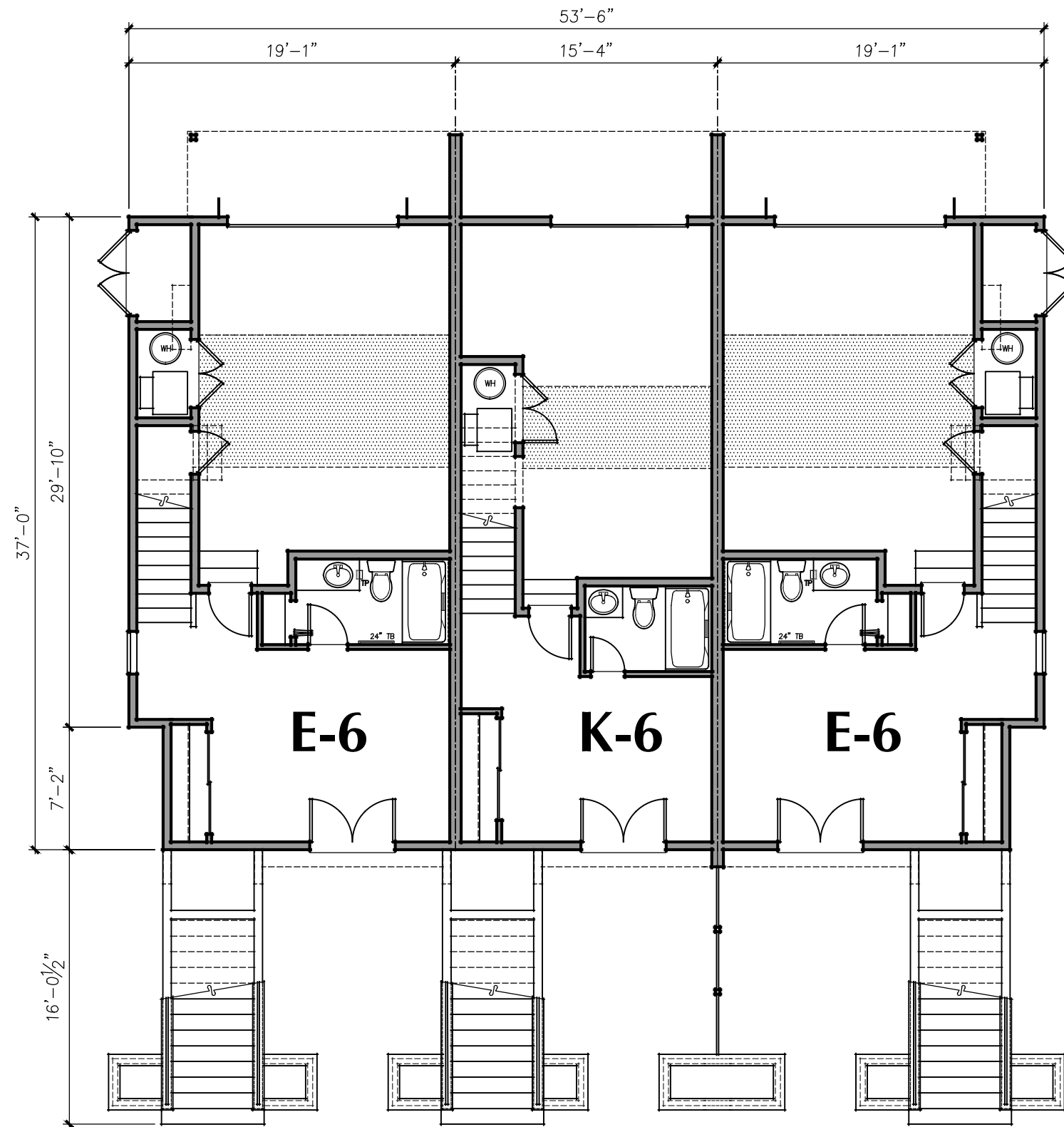
FRONT ELEVATION



BROWNSTONE 3-PLEX

3/16" = 1'-0"

REAR ELEVATION

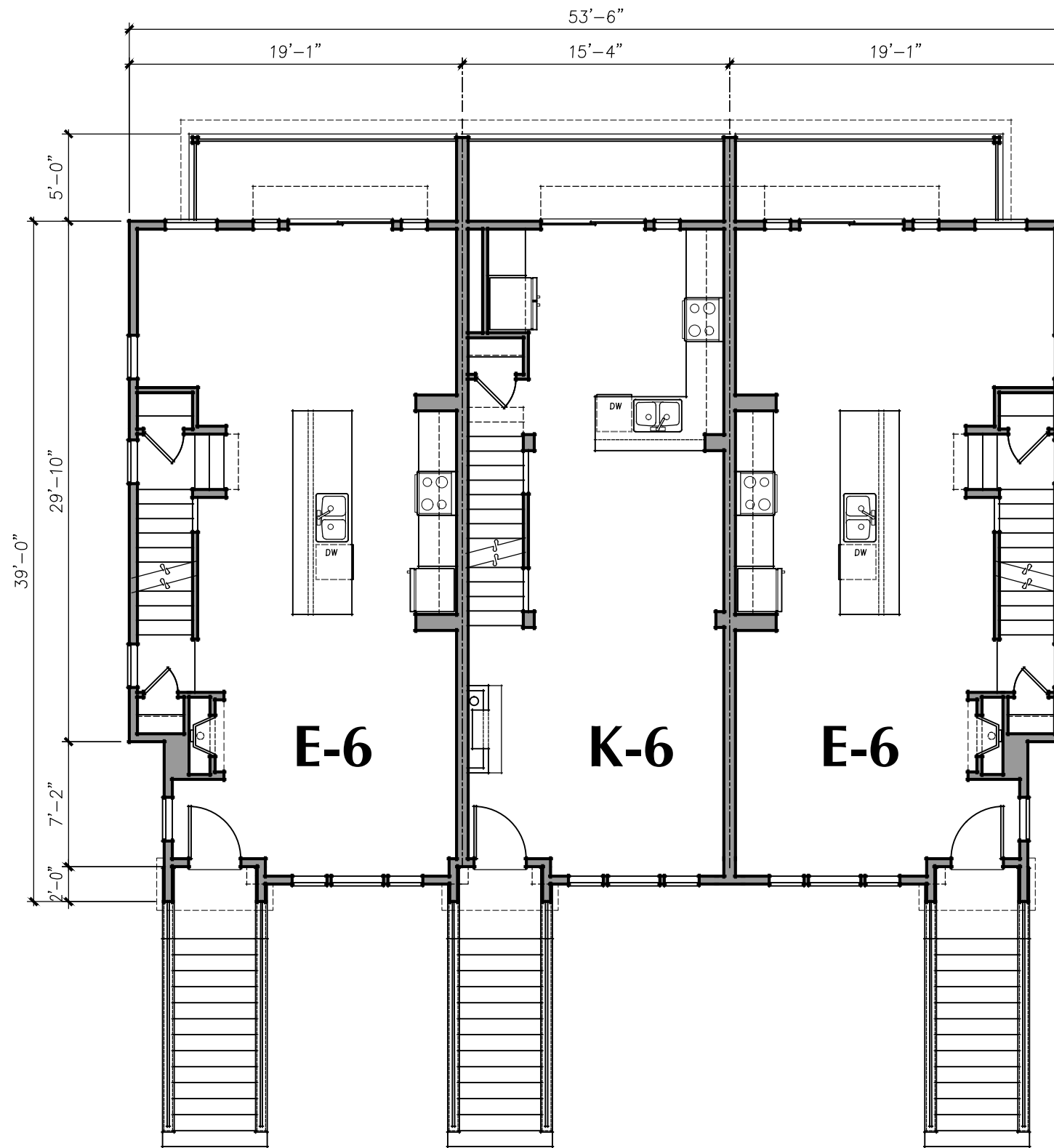


3-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

BROWNSTONE ROWHOUSES

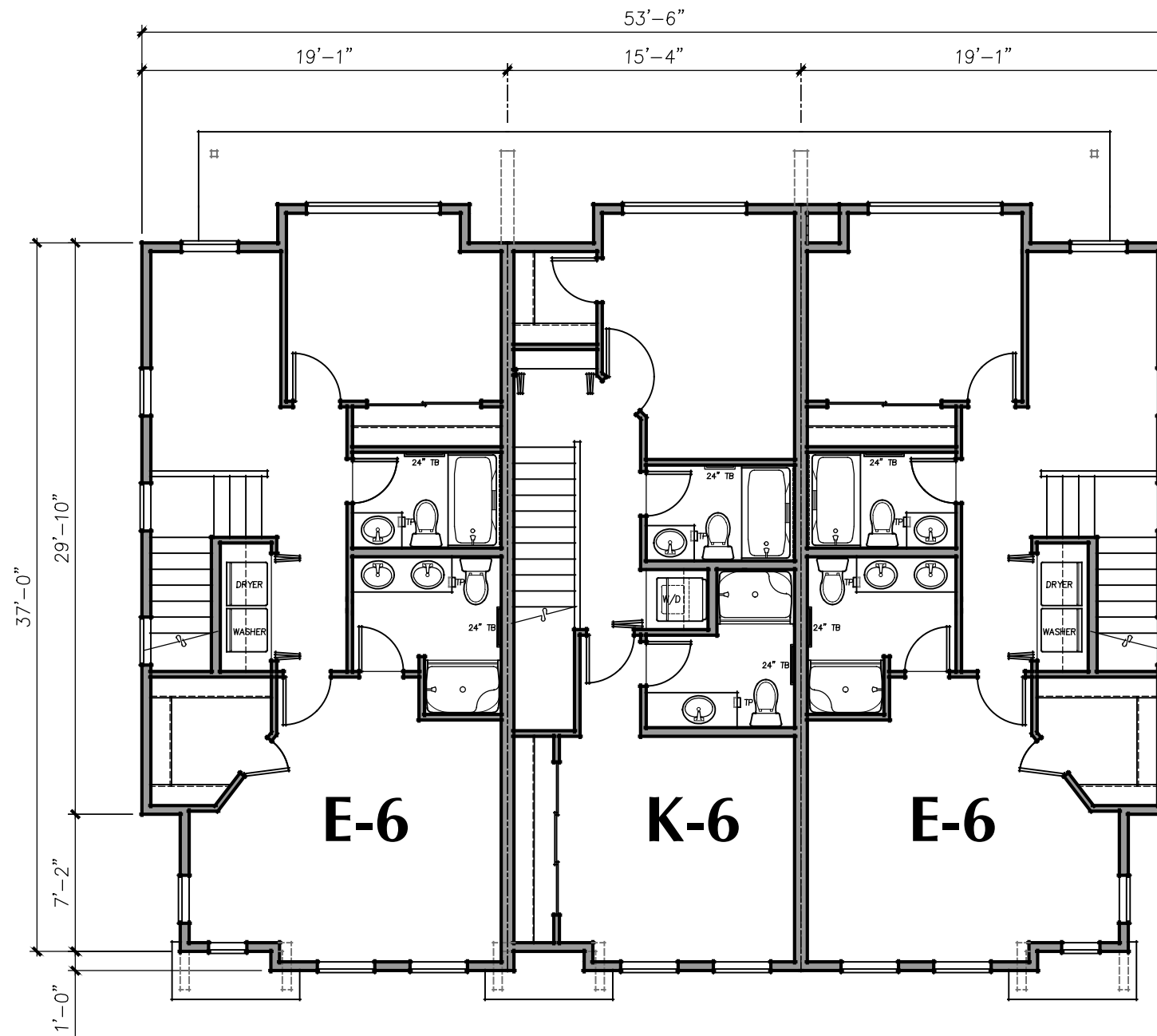


3-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

BROWNSTONE ROWHOUSES



3-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

BROWNSTONE ROWHOUSES



BROWNSTONE 4-PLEX

3/16" = 1'-0"

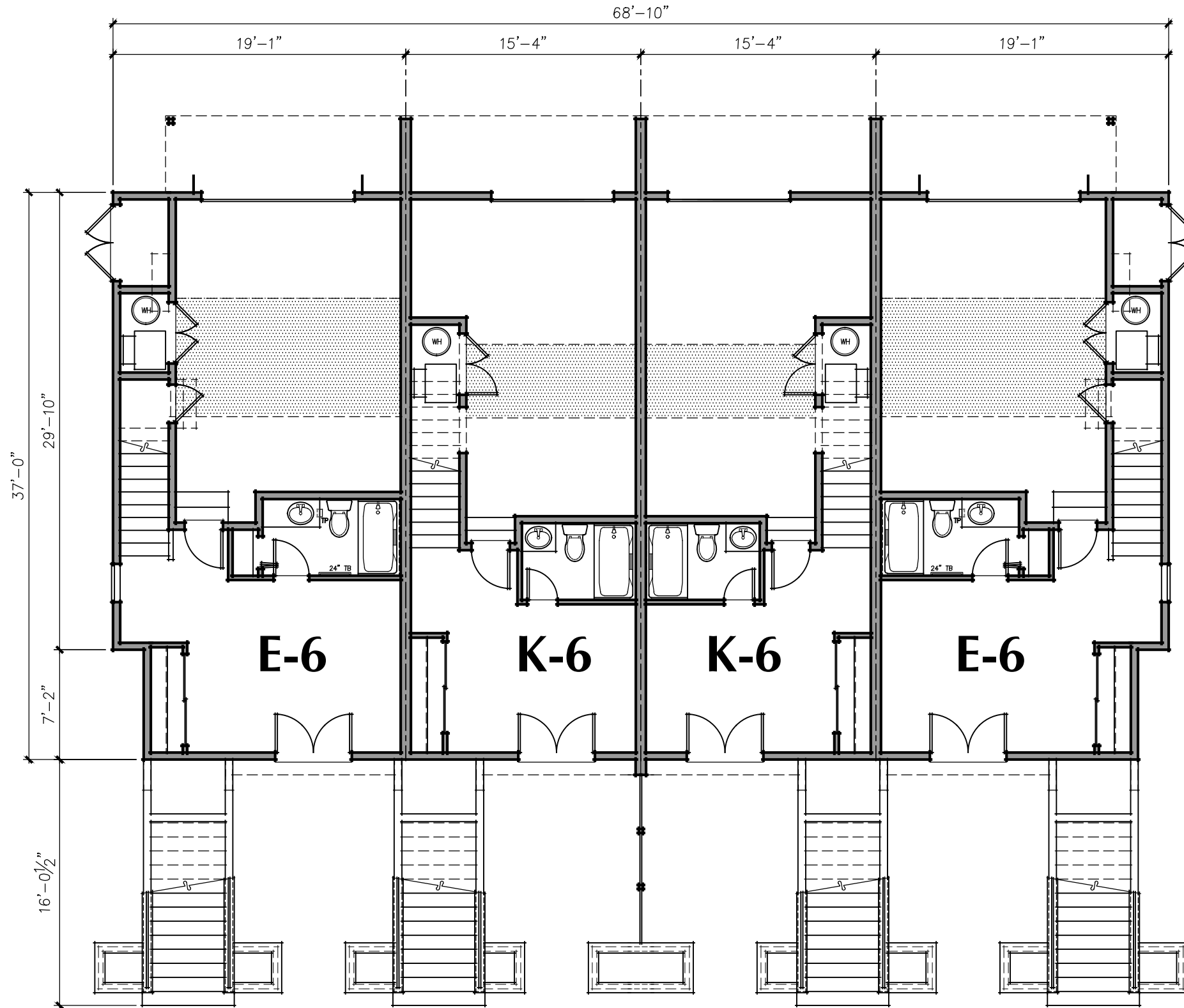
FRONT ELEVATION



BROWNSTONE 4-PLEX

3/16" = 1'-0"

REAR ELEVATION

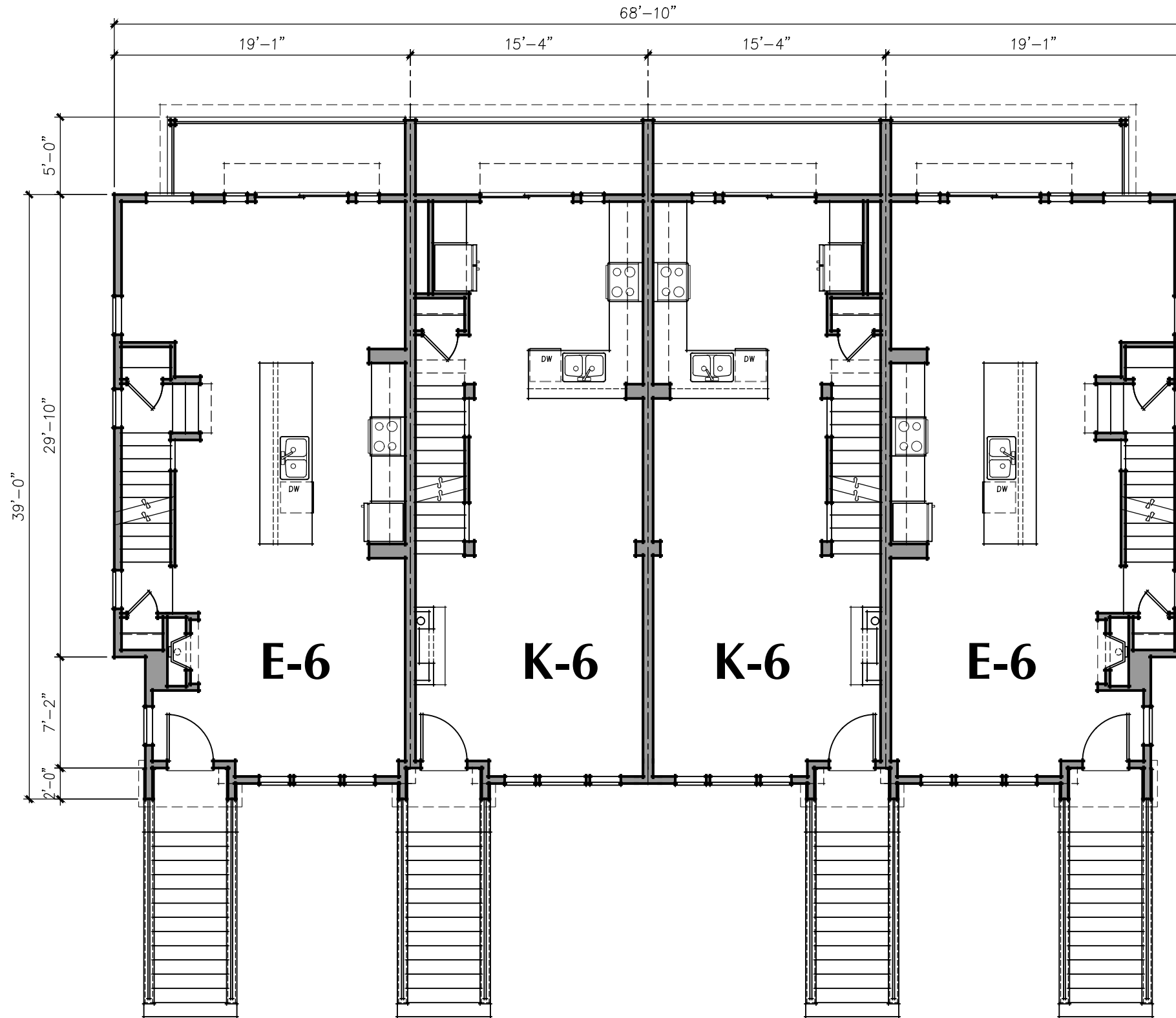


4-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

BROWNSTONE ROWHOUSES

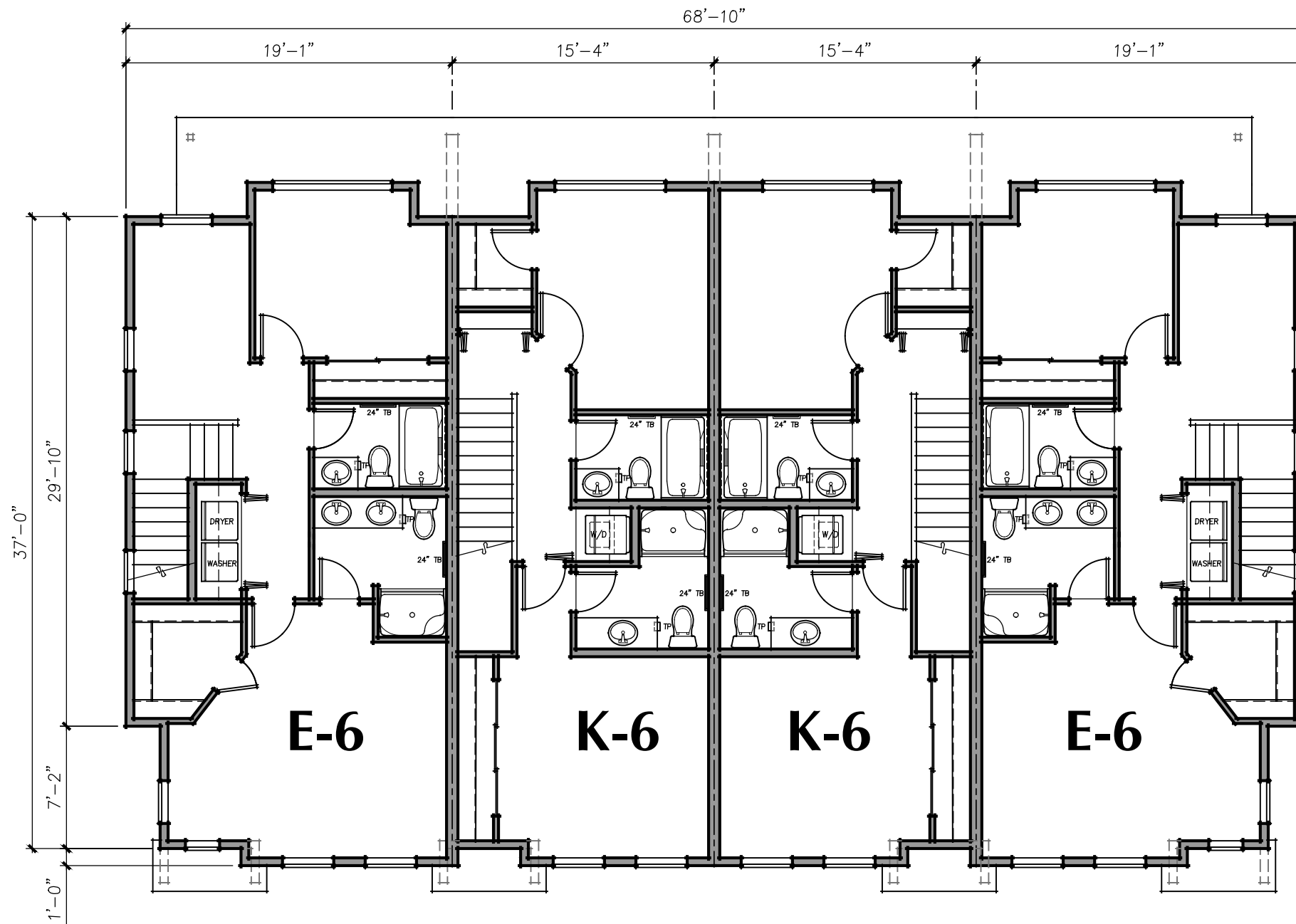


4-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

BROWNSTONE ROWHOUSES



4-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

BROWNSTONE ROWHOUSES



BROWNSTONE 5-PLEX

3/16" = 1'-0"

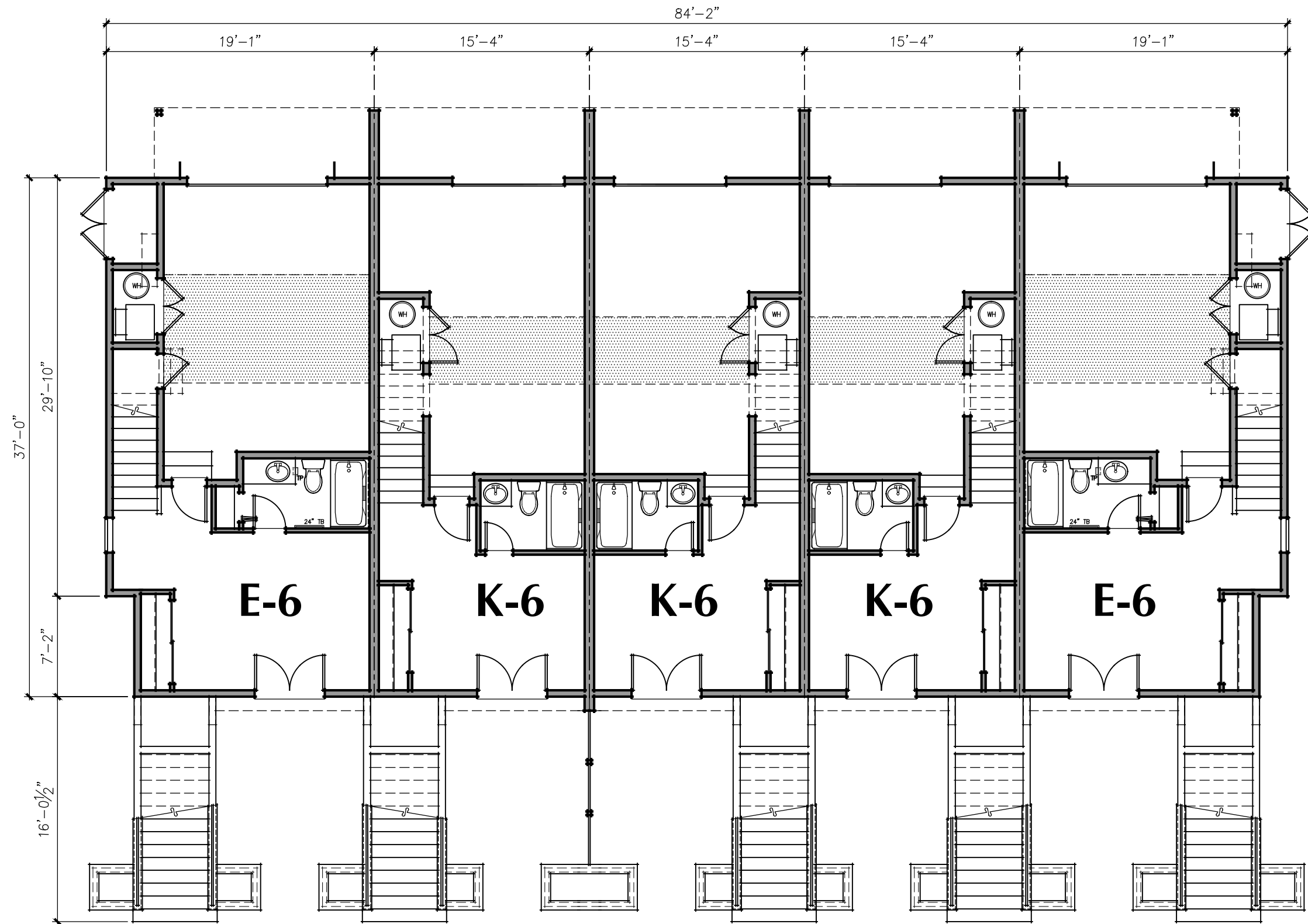
FRONT ELEVATION



BROWNSTONE 5-PLEX

3/16" = 1'-0"

REAR ELEVATION

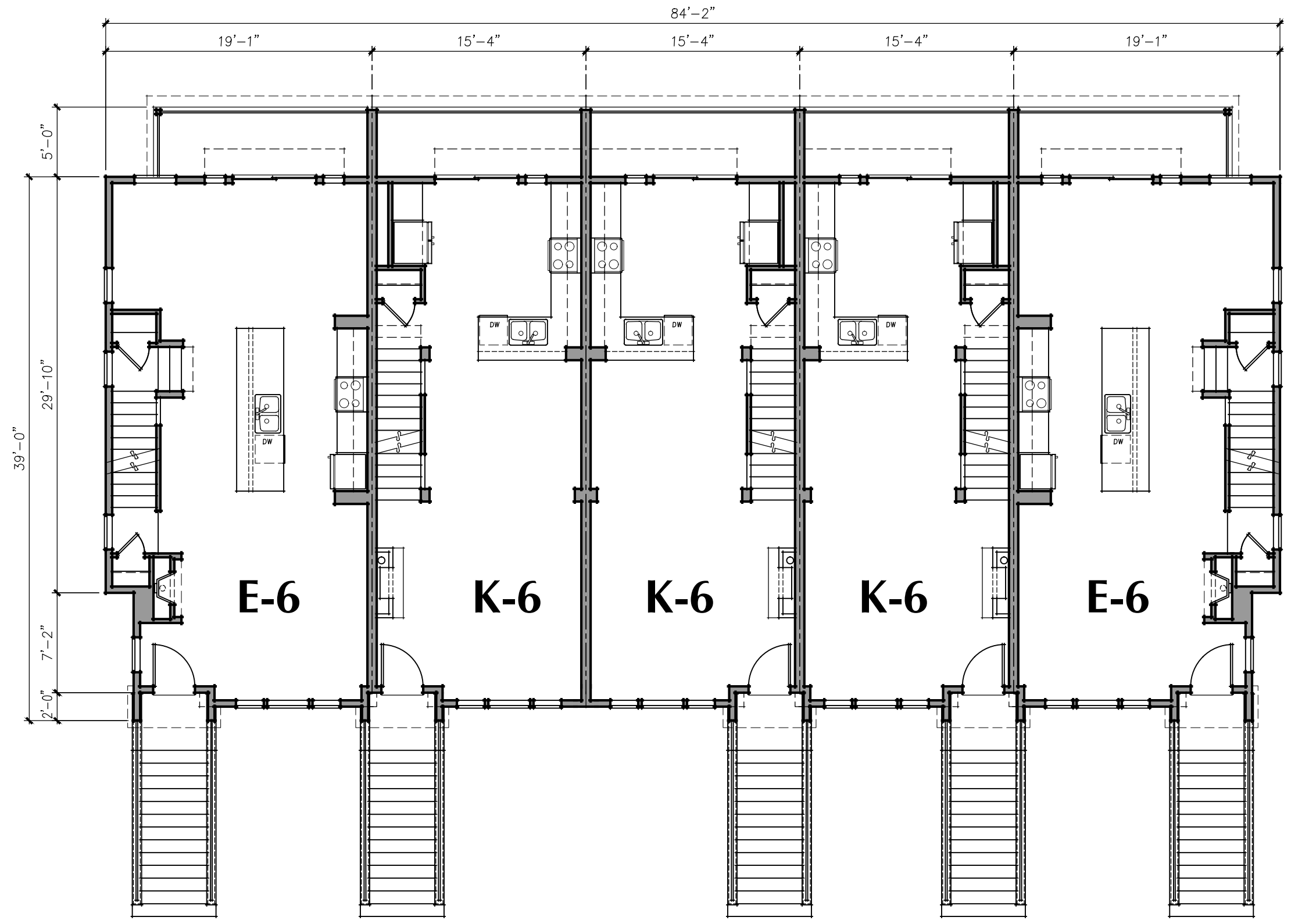


5-Plex

1/8" = 1'-0"

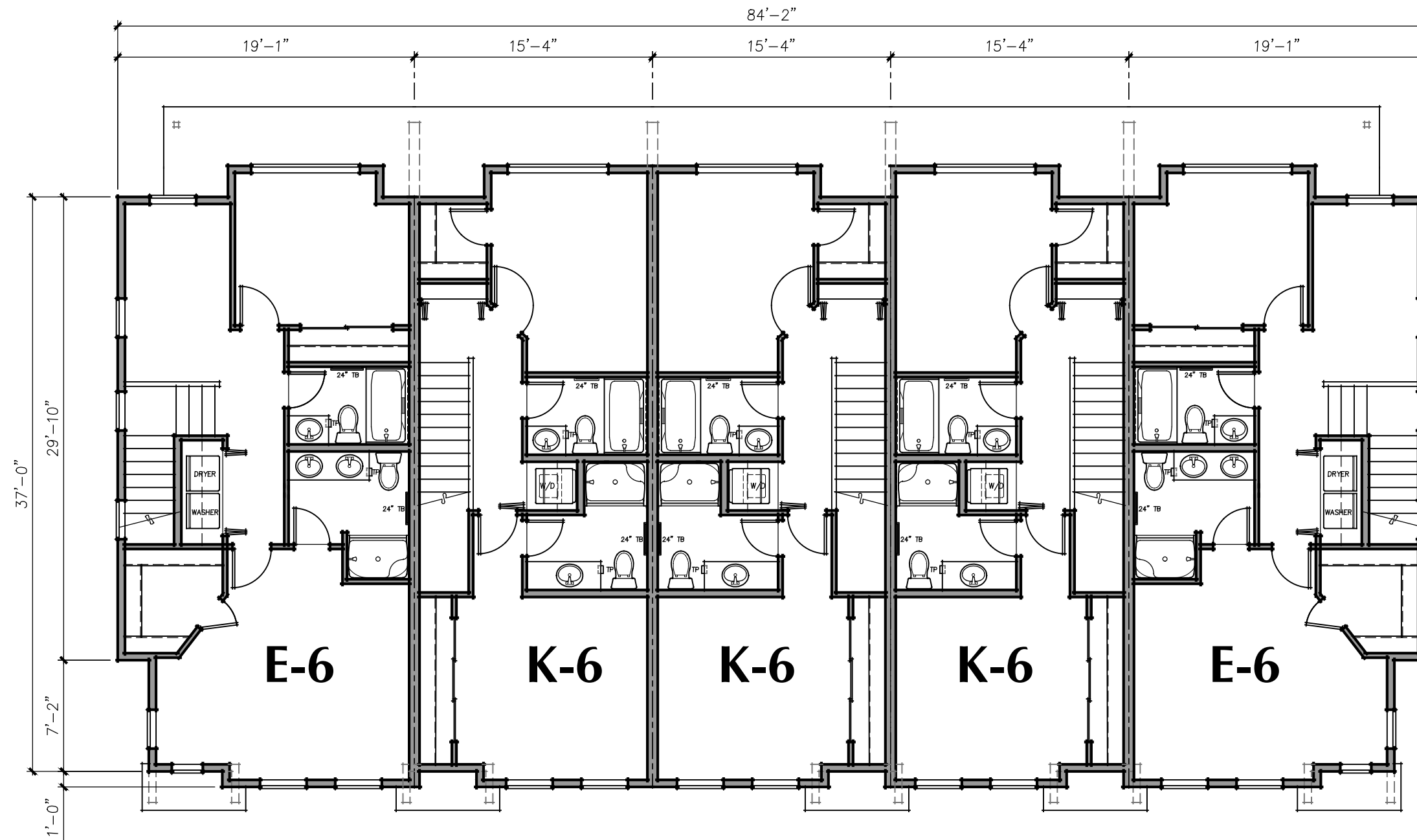
LOWER LEVEL PLAN

BROWNSTONE ROWHOUSES



5-Plex
 1/8" = 1'-0"

MIDDLE LEVEL PLAN
 BROWNSTONE ROWHOUSES



5-Plex
 1/8" = 1'-0"

UPPER LEVEL PLAN
 BROWNSTONE ROWHOUSES



BROWNSTONE 6-PLEX

3/16" = 1'-0"

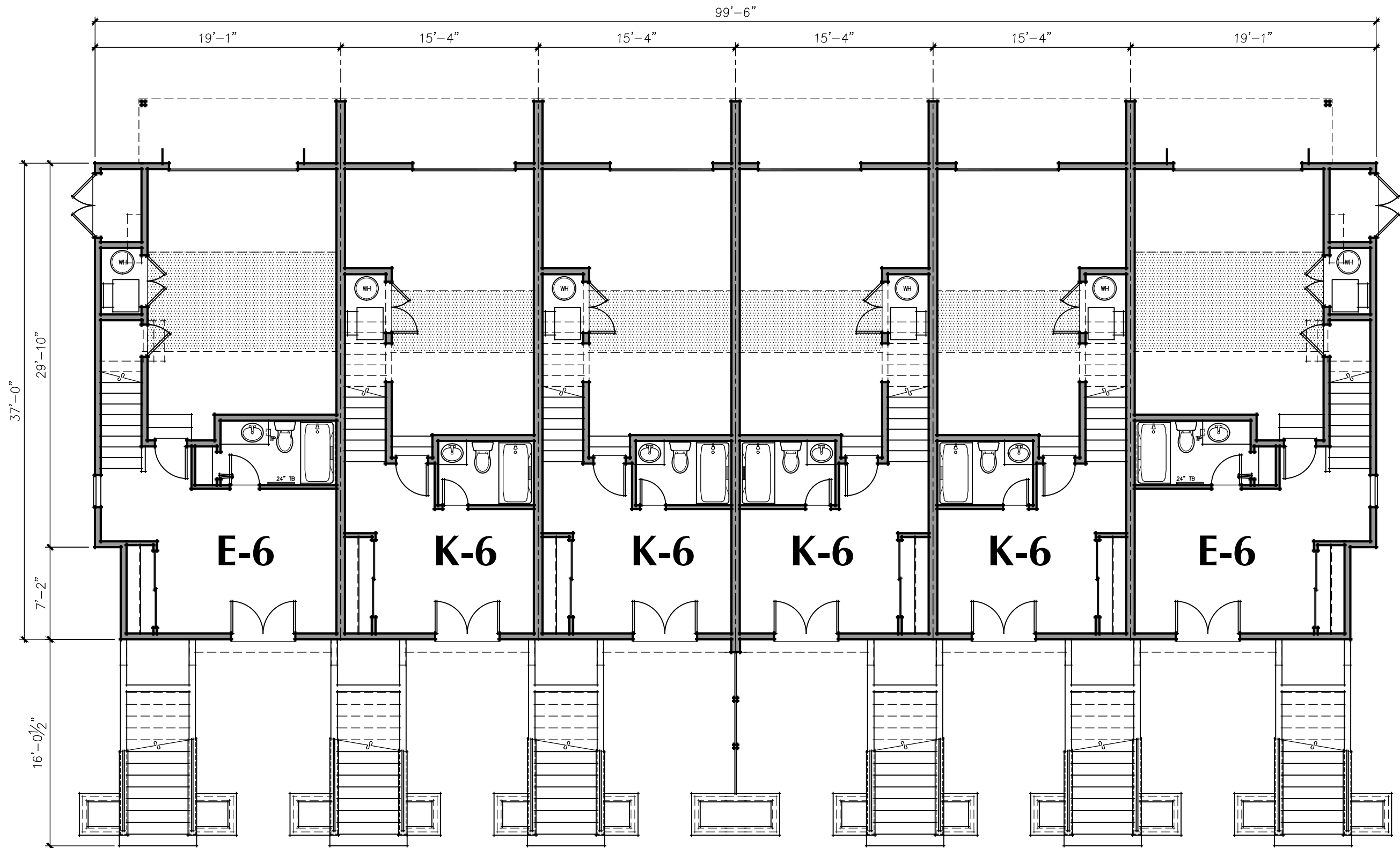
FRONT ELEVATION



BROWNSTONE 6-PLEX

3/16" = 1'-0"

REAR ELEVATION

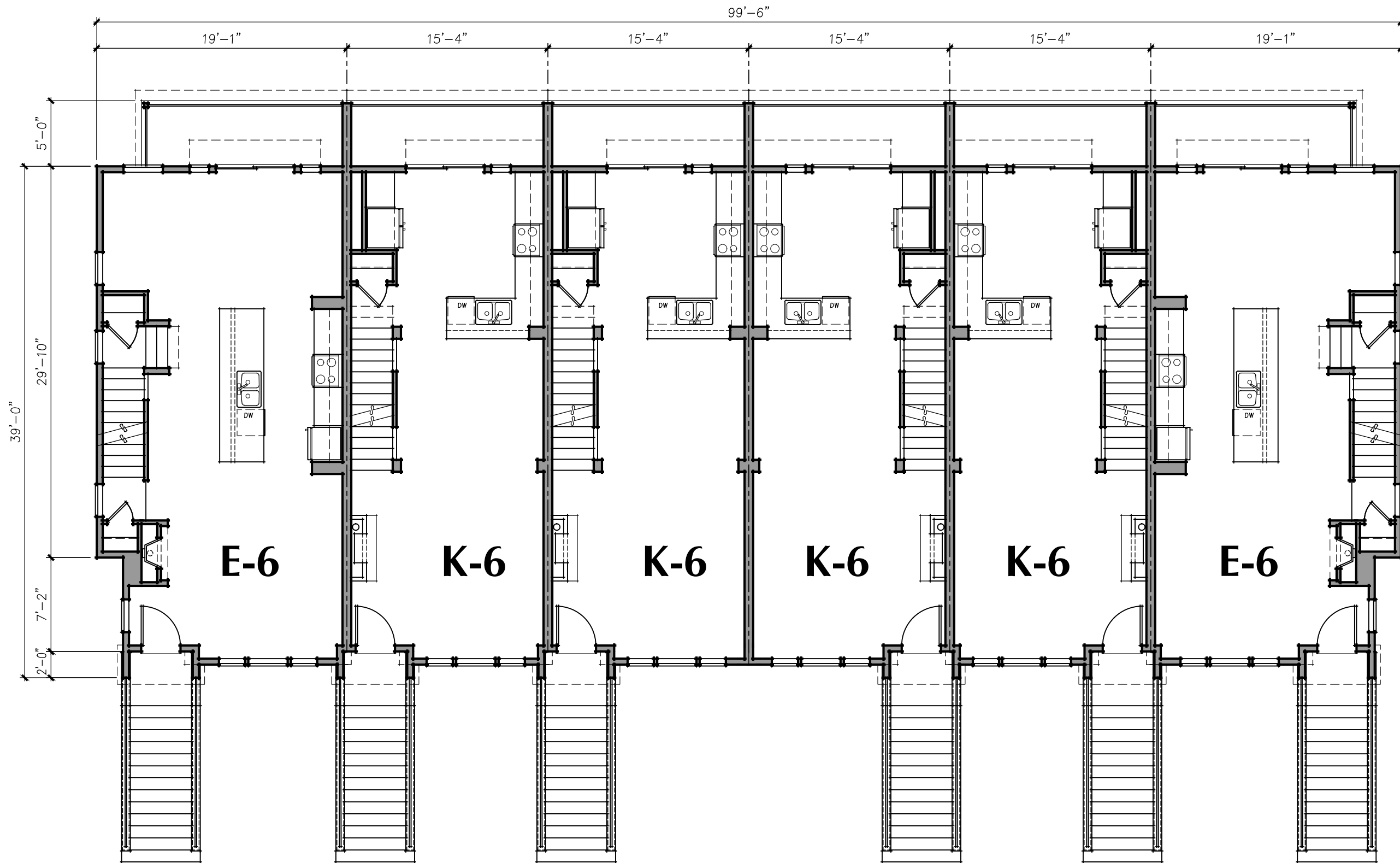


6-Plex

1/8" = 1'-0"

LOWER LEVEL PLAN

BROWNSTONE ROWHOUSES

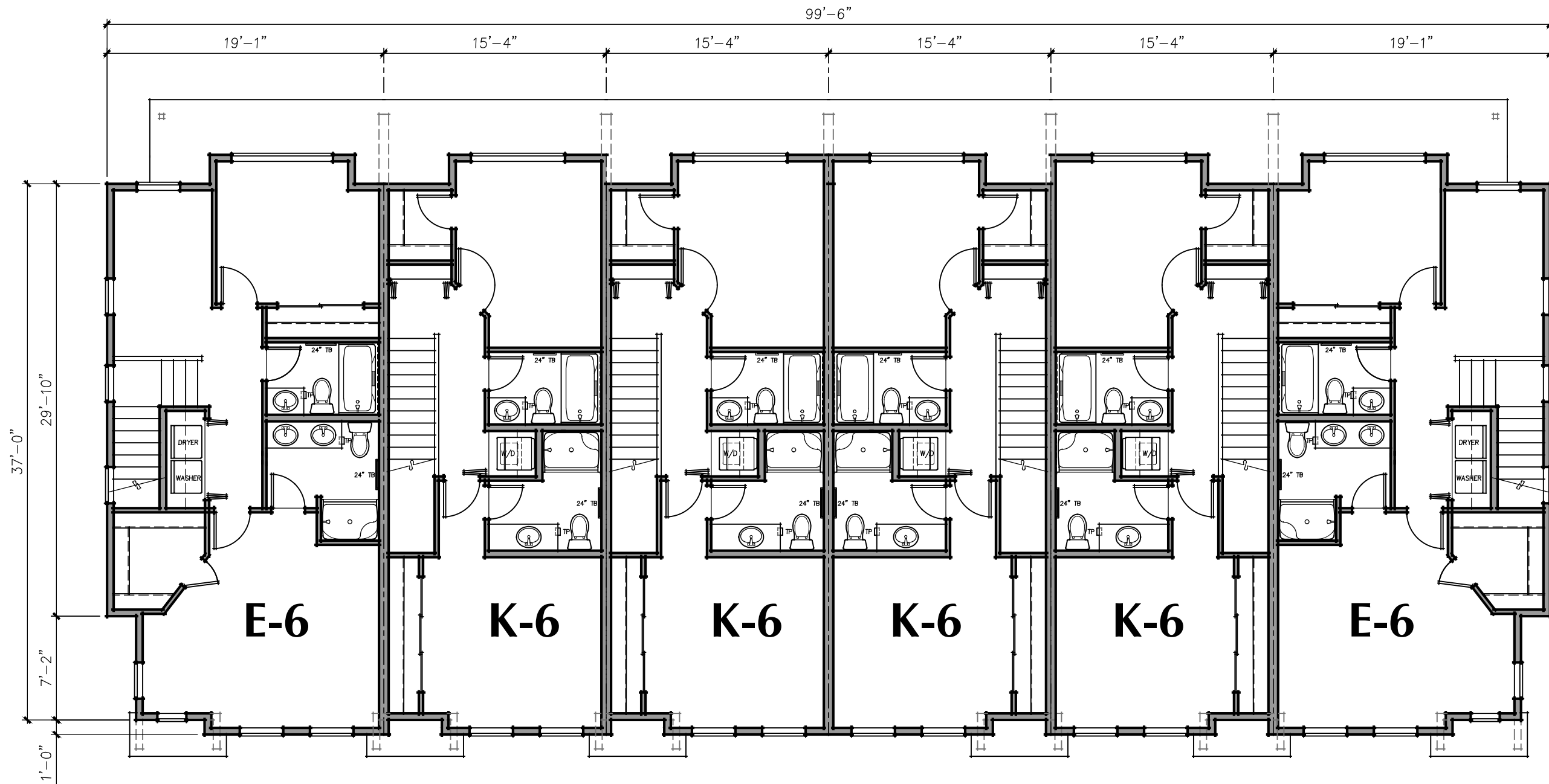


6-Plex

1/8" = 1'-0"

MIDDLE LEVEL PLAN

BROWNSTONE ROWHOUSES



6-Plex

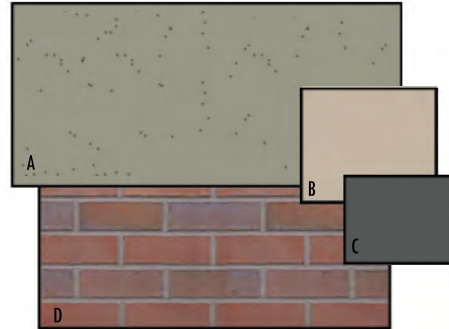
1/8" = 1'-0"

UPPER LEVEL PLAN

BROWNSTONE ROWHOUSES

Color Legend

- A BODY**
STUCCO PANEL SIDING
SW GREEN EARTH (7748)
- B ACCENT 1**
WOOD TRIM, COLUMNS,
METAL DOWNSPOUTS
& PRECAST ELEMENTS
SW PAVILLION BEIGE (7512)
- C ACCENT 2**
DOORS
SW LAUREL WOODS (7749)
- D BRICK VENEER**
AUTUMN BLEND - SMOOTH



NOTE:
DOWNSPOUTS SHALL CONNECT
WITH STREET'S DRAINAGE AS PER
RAINWATER MANAGEMENT PLAN

BROWNSTONE STYLE

3/16" = 1'-0"

SIDE ELEVATION



LONDON 3-PLEX

3/16" = 1'-0"

FRONT ELEVATION



LONDON 4-PLEX

3/16" = 1'-0"

FRONT ELEVATION



LONDON 5-PLEX

3/16" = 1'-0"

FRONT ELEVATION



LONDON DUPLEX

3/16" = 1'-0"

FRONT ELEVATION



3-PLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES



4-PLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES



5-PLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES

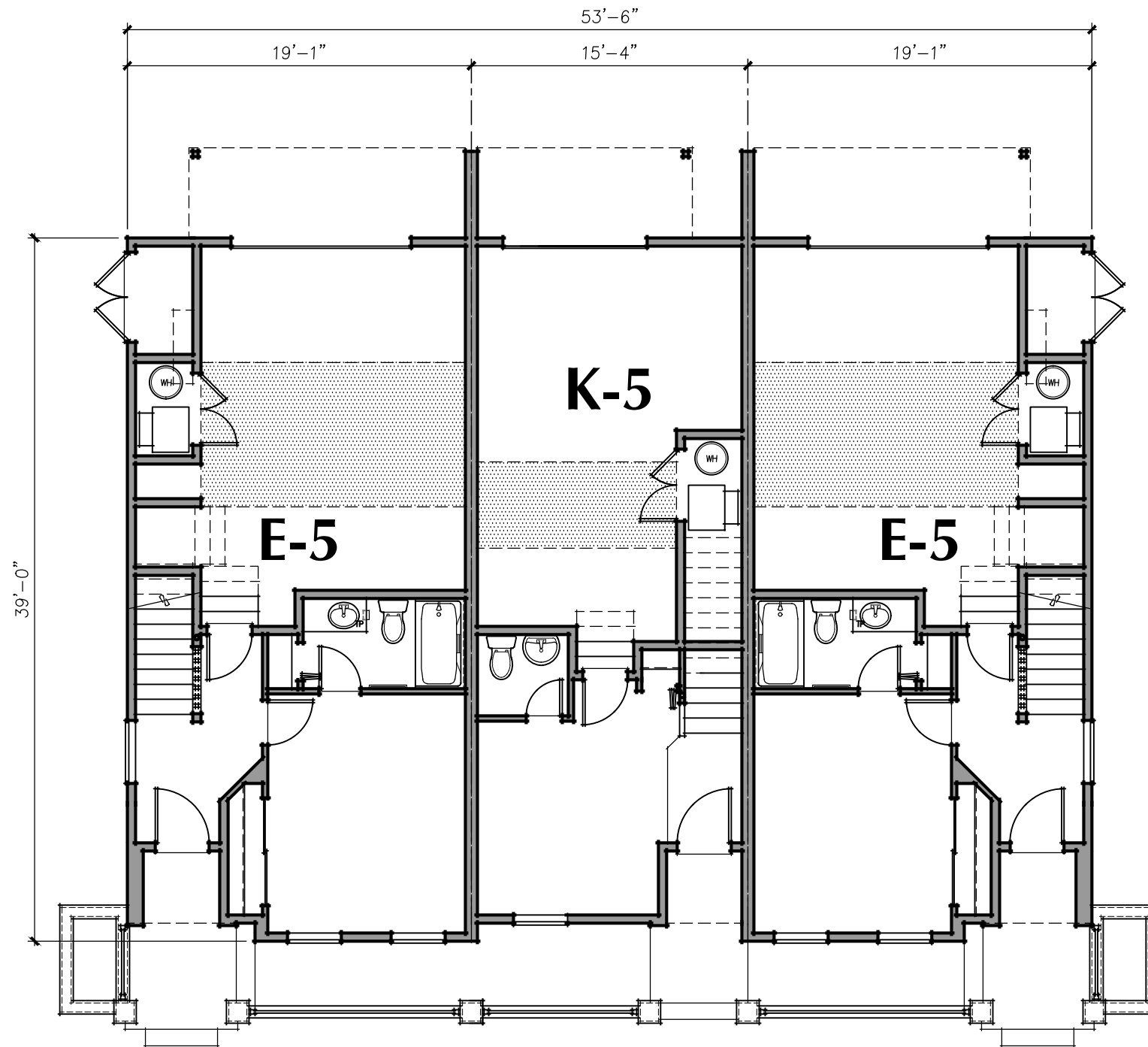


DUPLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES

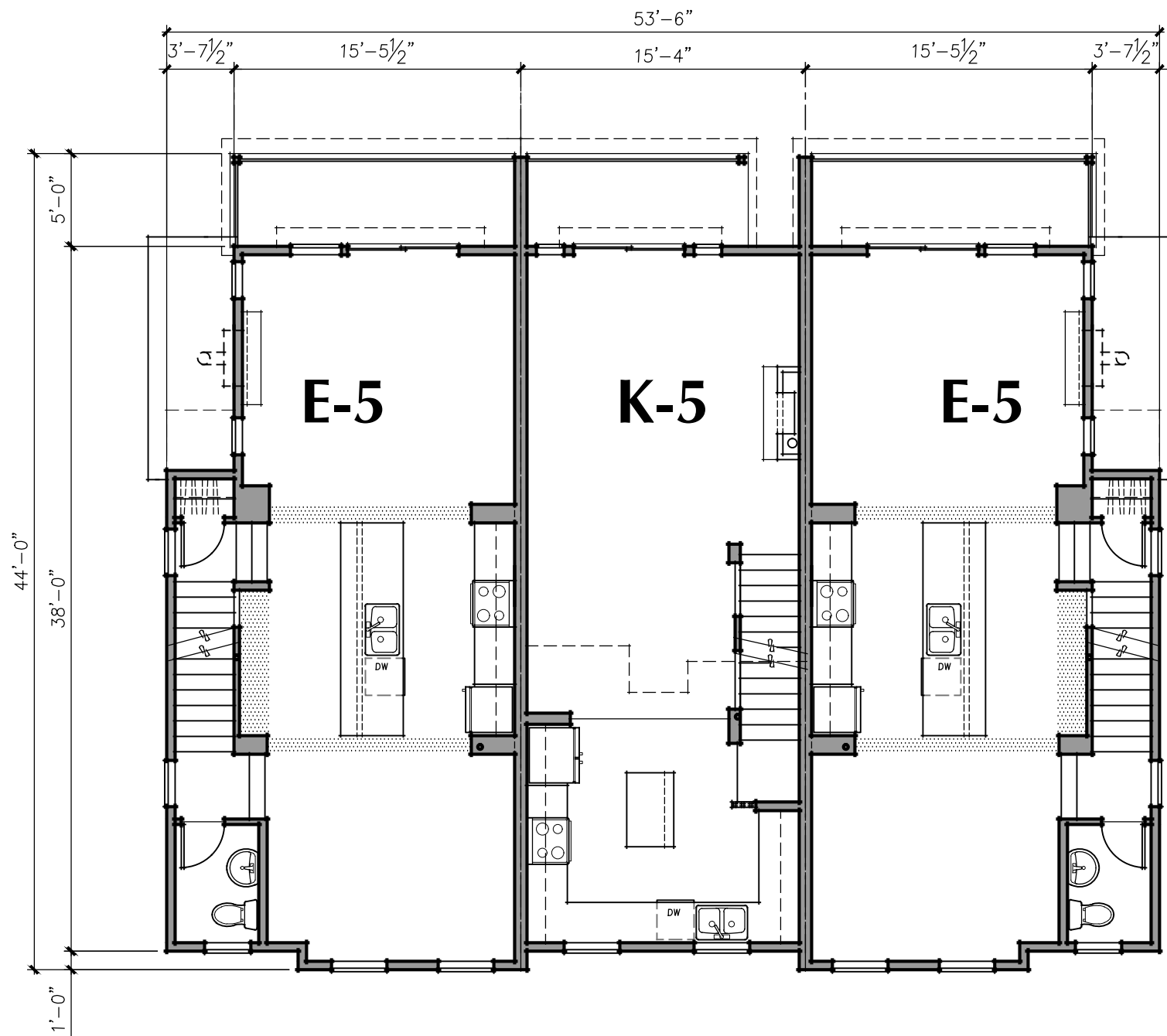


3-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

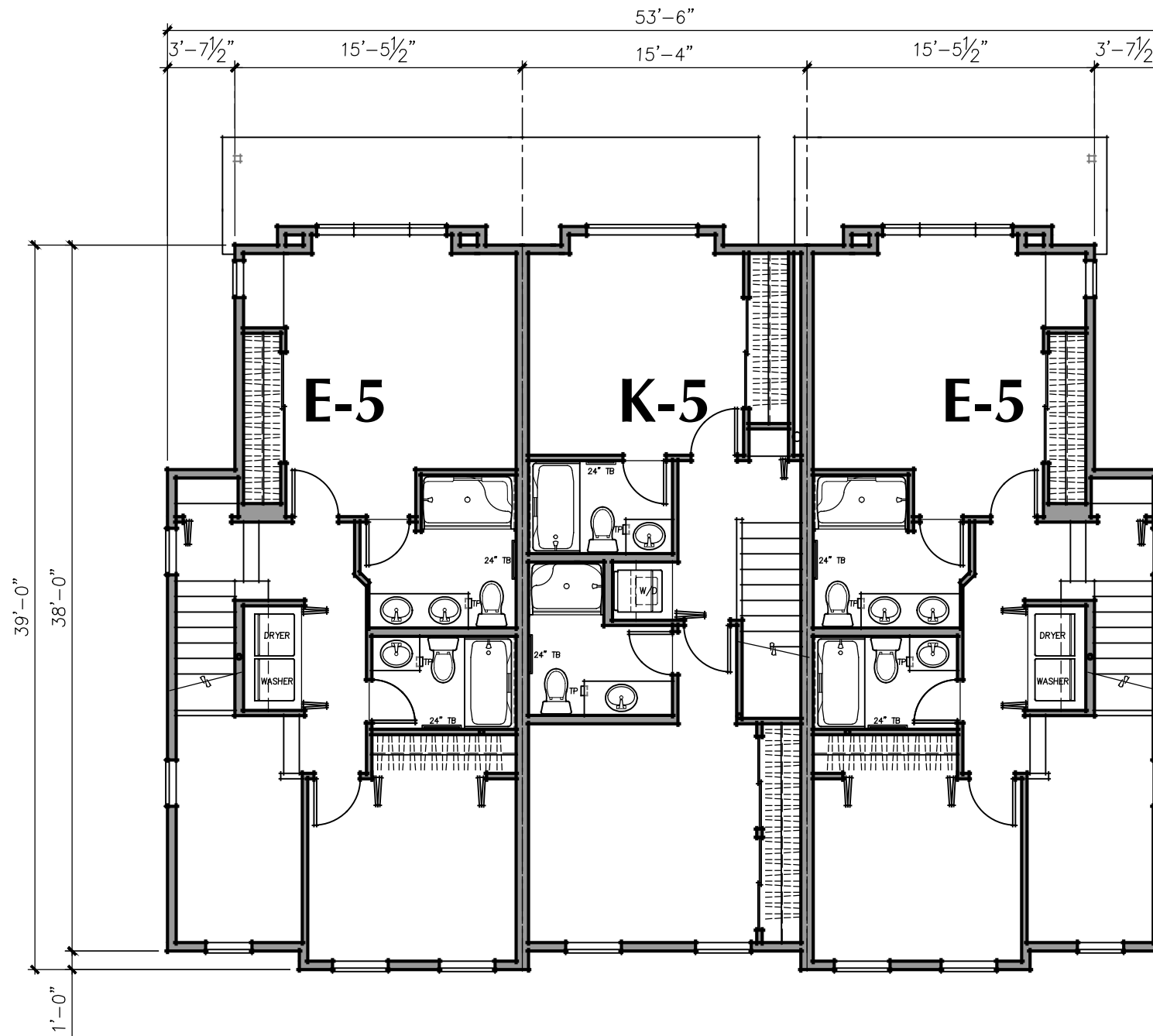


3-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES

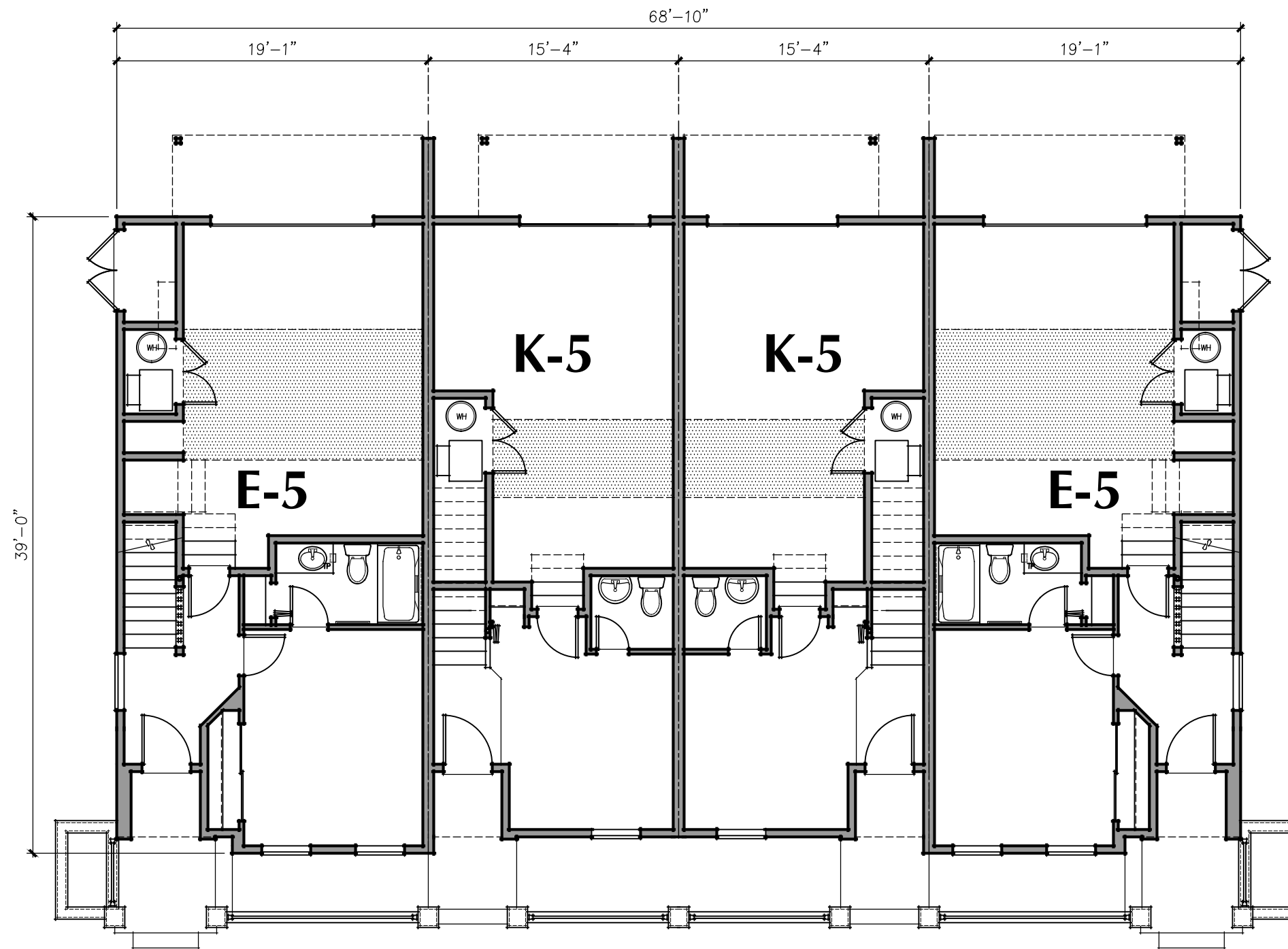


3-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES

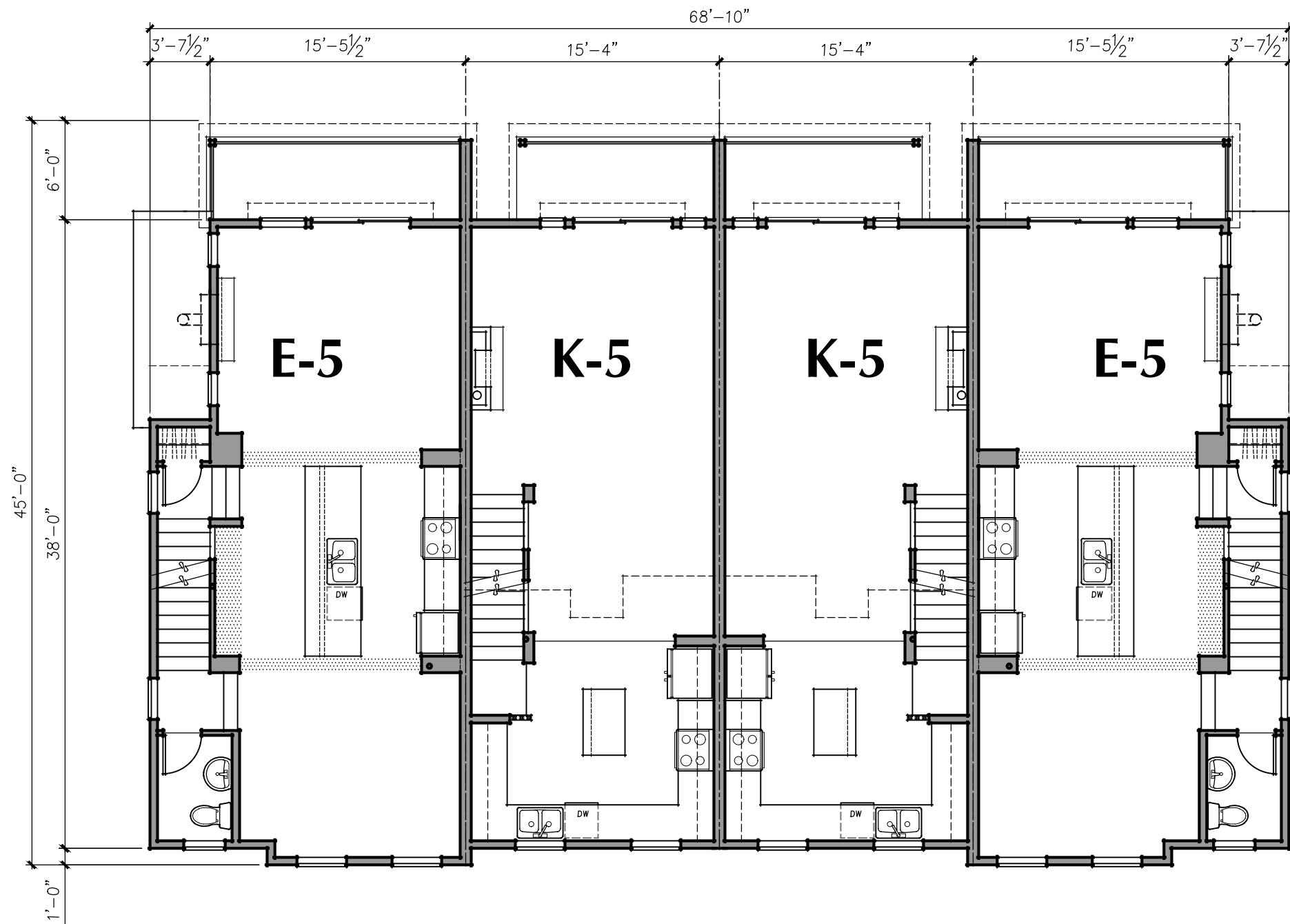


4-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

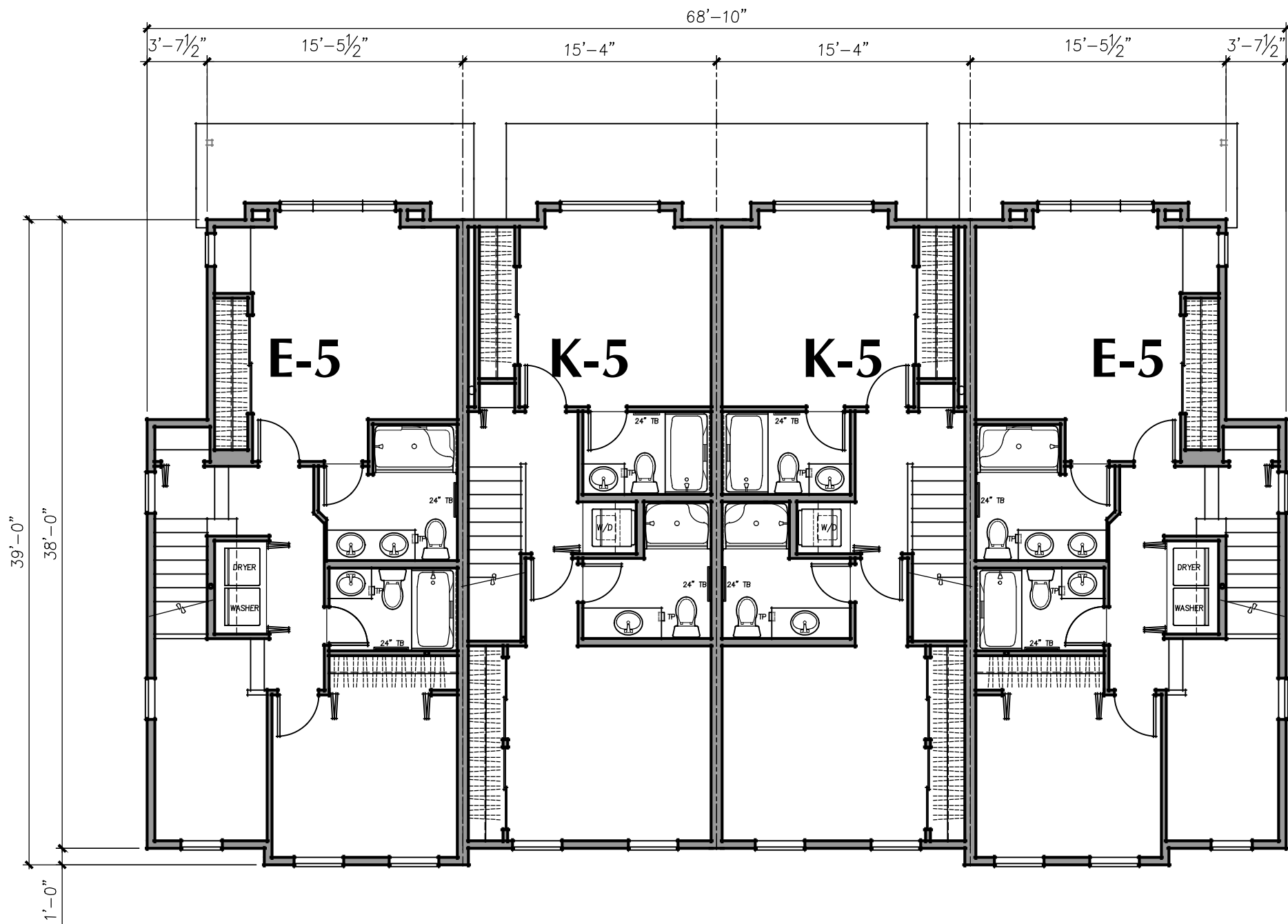


4-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES

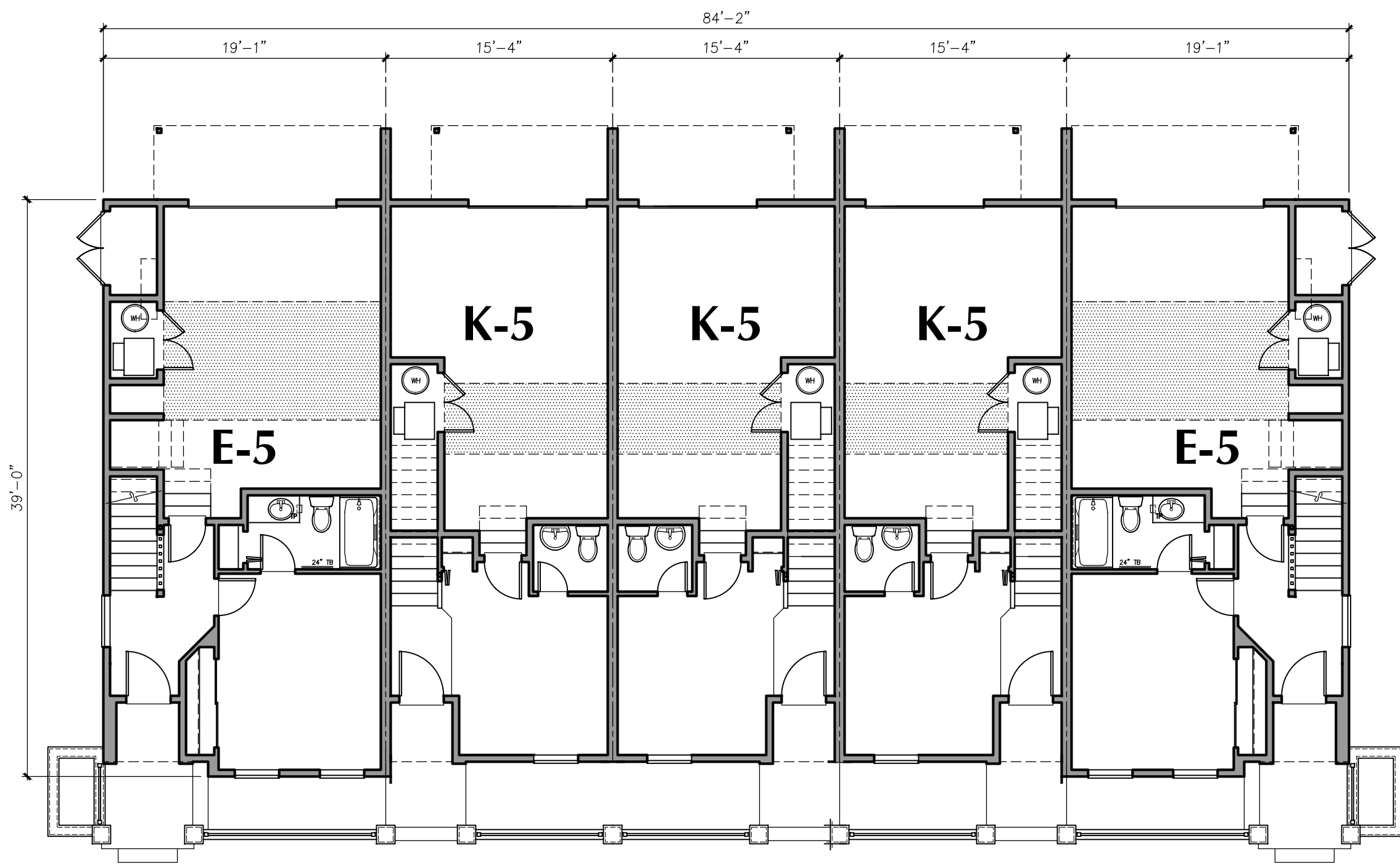


4-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES

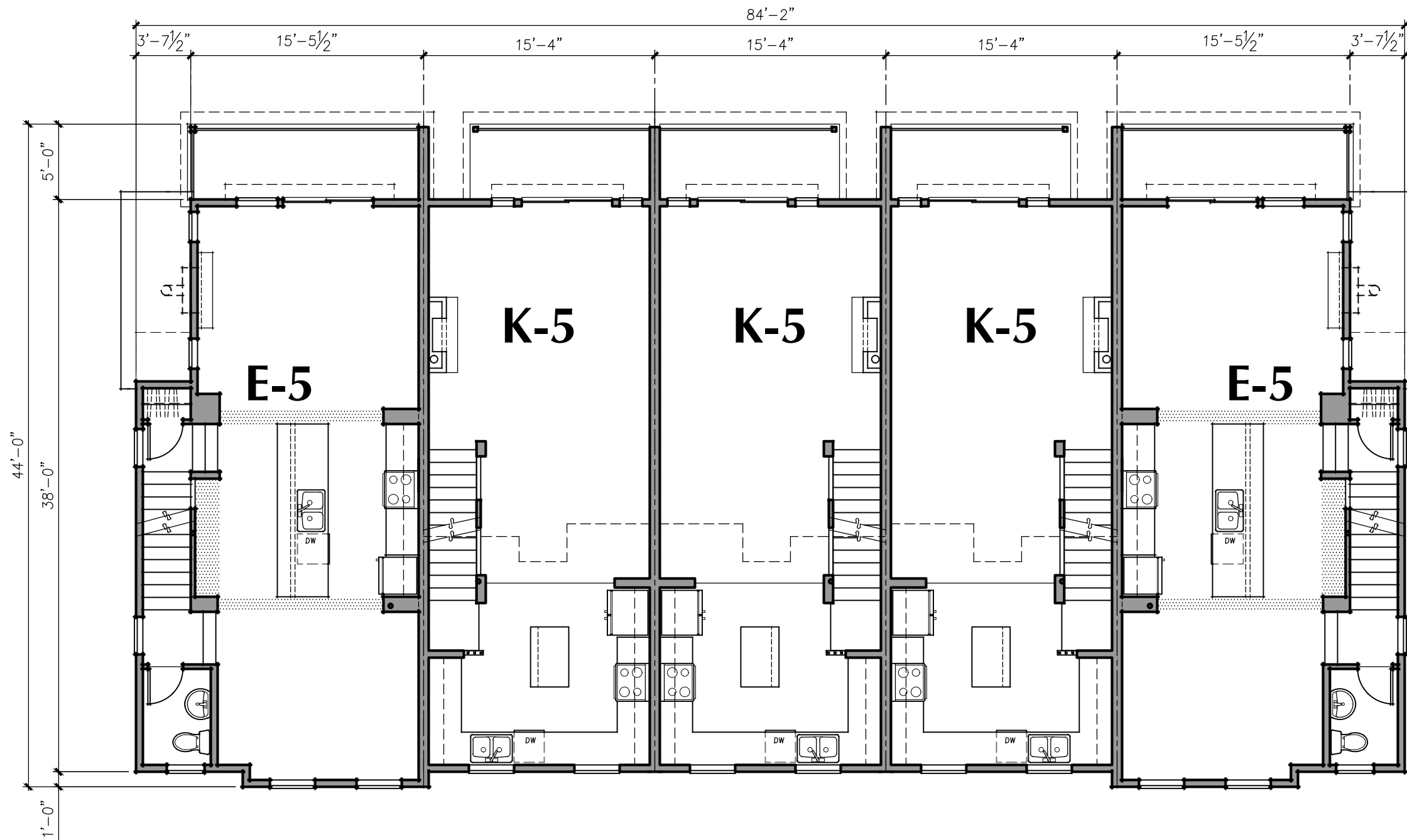


5-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

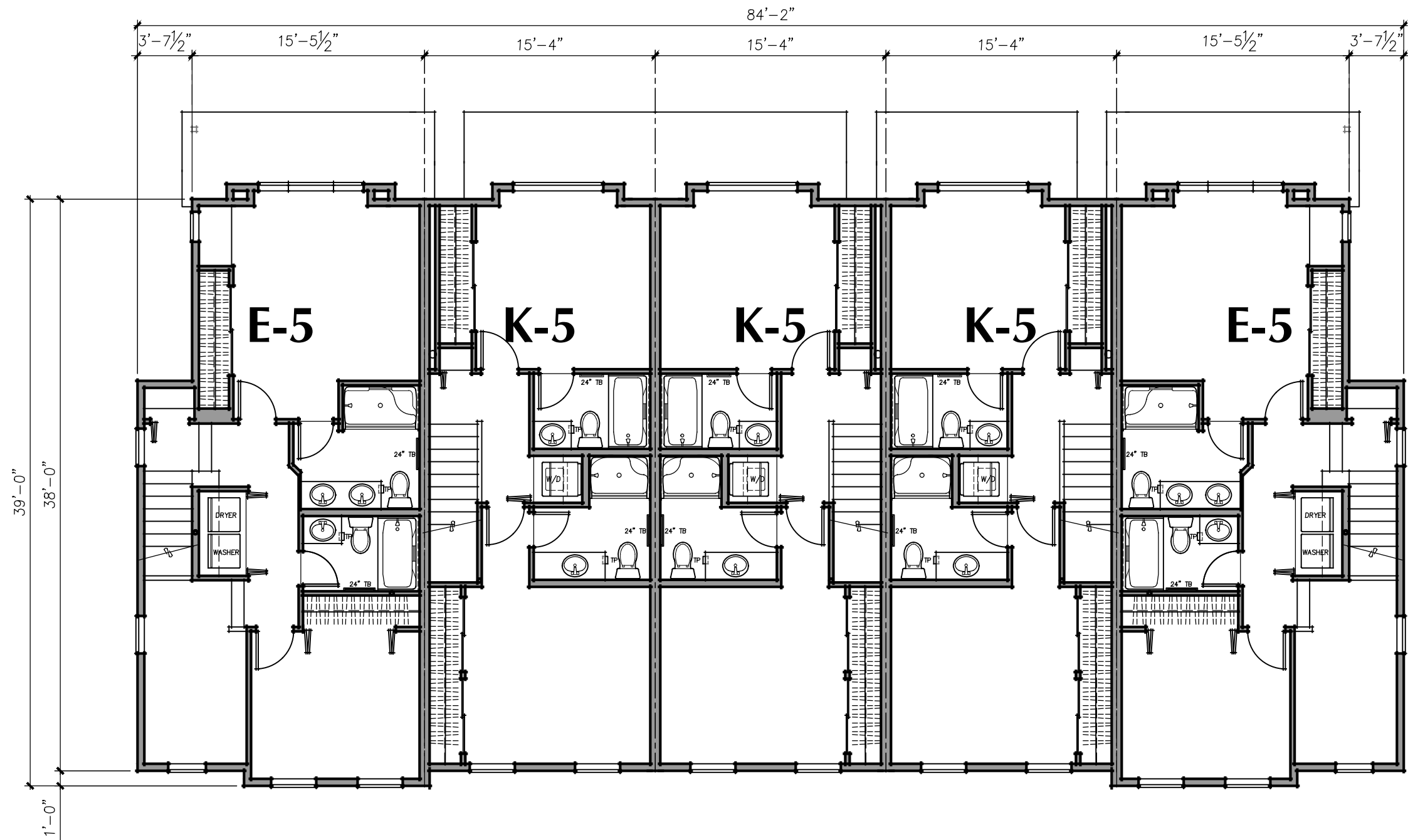


5-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES

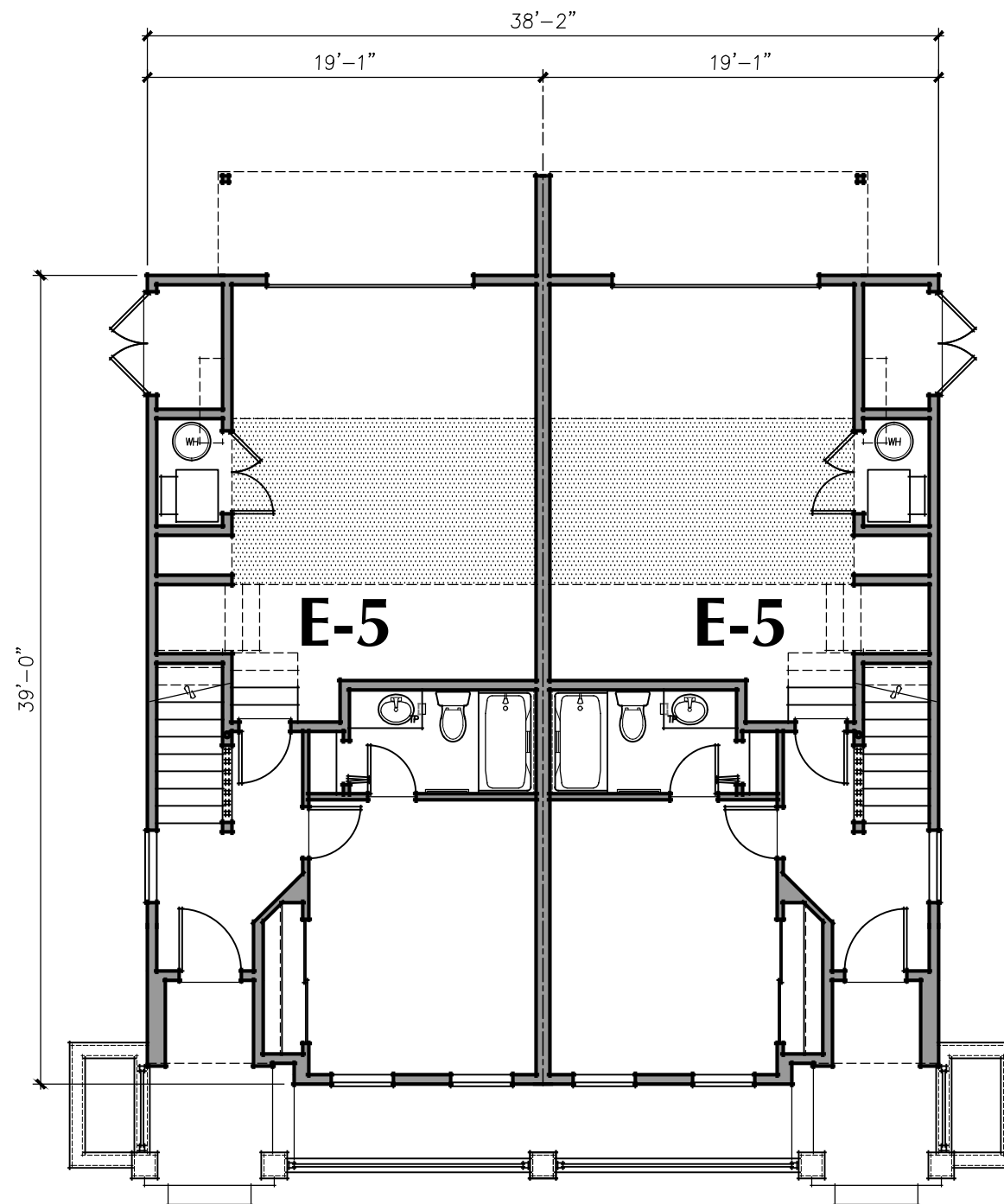


5-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES

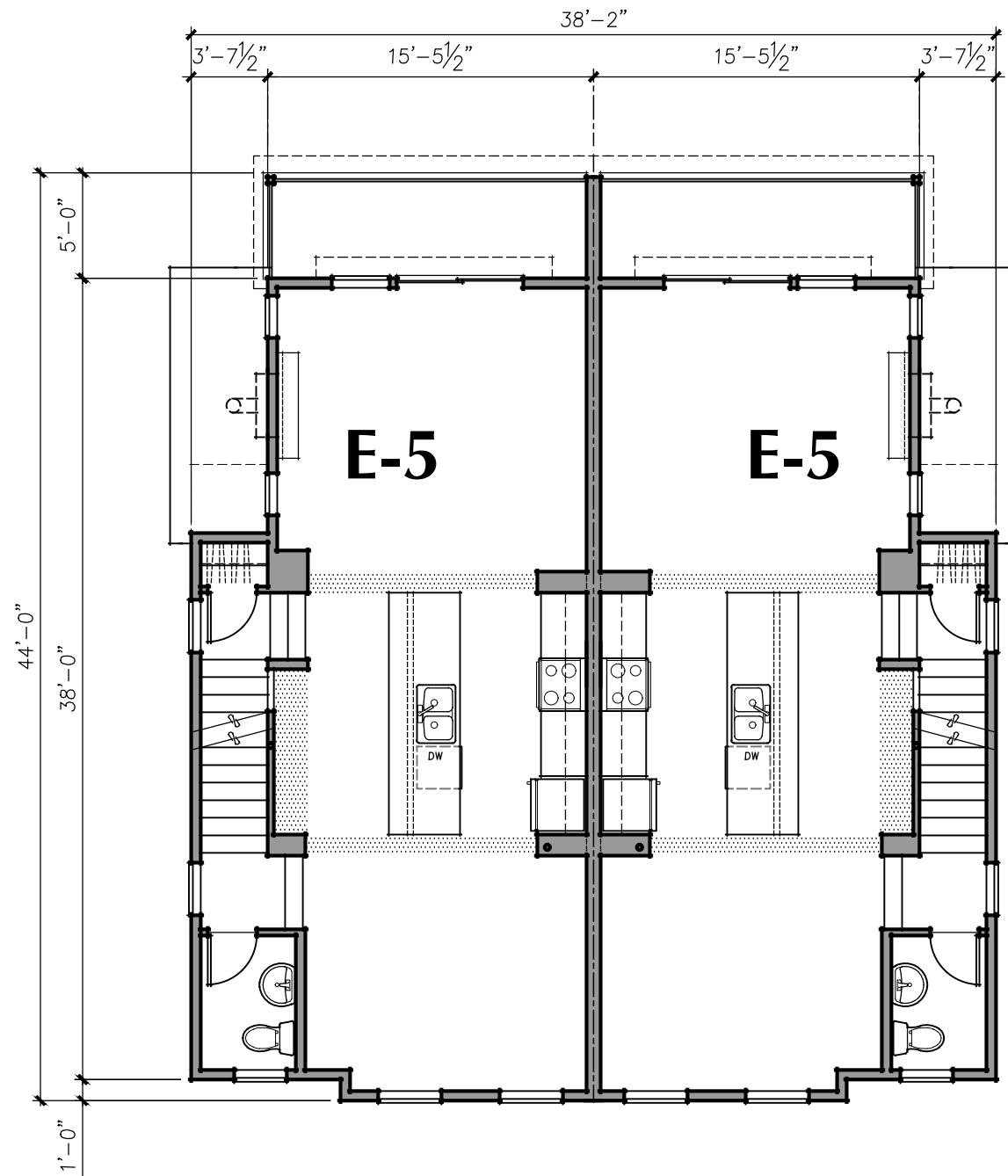


DUPLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

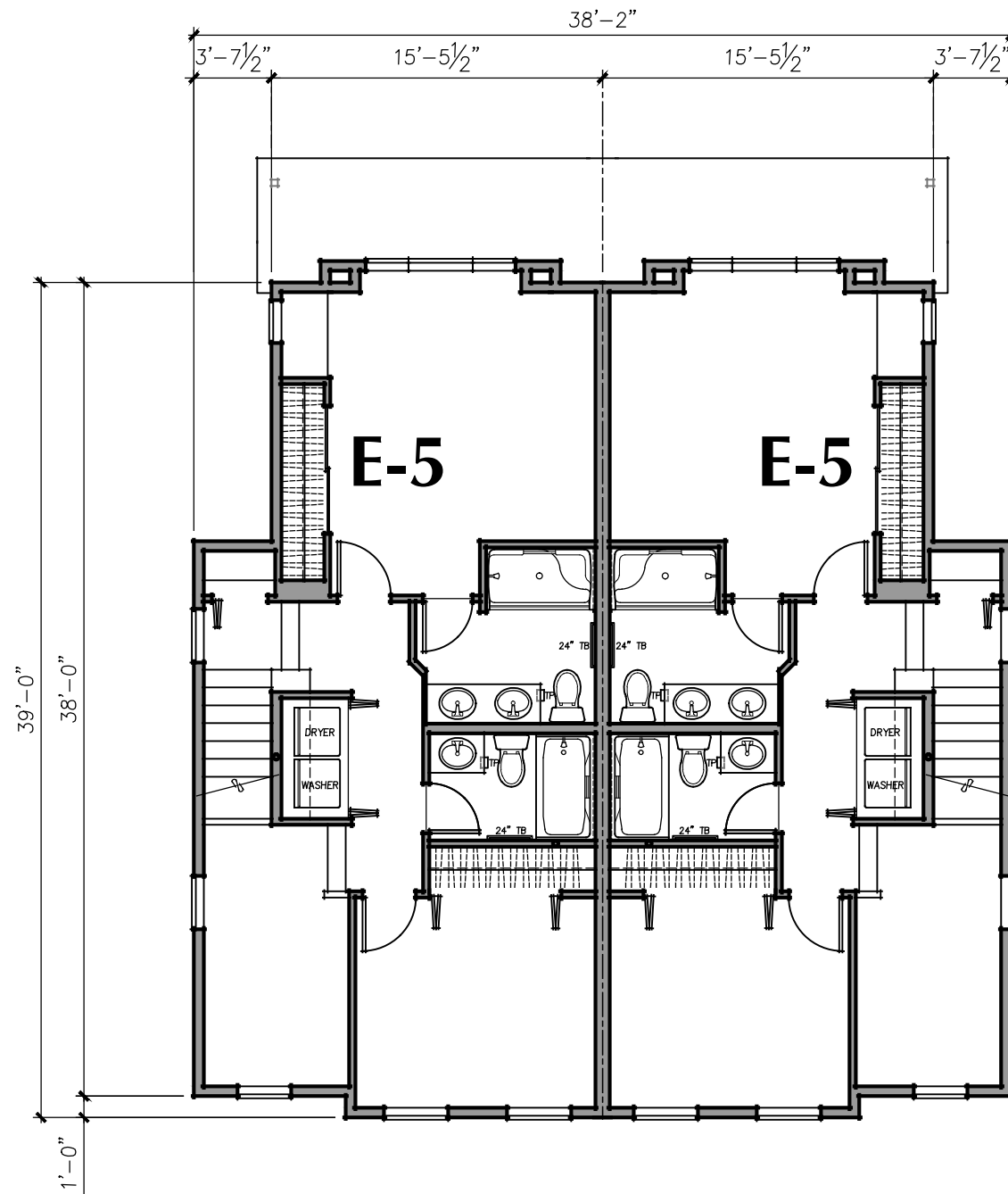


DUPLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES



DUPLEX

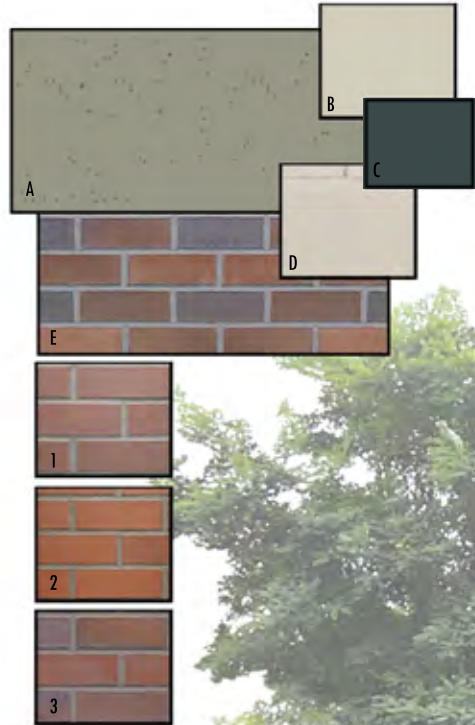
1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES

Color Legend

- (A) BODY**
STUCCO PANEL SIDING
SW GREEN EARTH (7748)
- (B) ACCENT 1**
TRIM, COLUMNS, AND
METAL DOWNSPOUTS
SW SEDATE GRAY (6169)
- (C) ACCENT 2**
DOORS
SW CASCADES (7623)
- (D) BASE**
ARRISCRAFT THIN-CLAD
MONOCHROMATIC LIMESTONE
- (E) BRICK VENEER**
FOREST BLEND - SMOOTH
OTHER BRICK VENEER (SEE FRONT ELEV.)
(1) ROYAL PLUMB
(2) INCA - SMOOTH
(3) AUTUMN BLEND - SMOOTH



NOTE:
DOWNSPOUTS SHALL CONNECT WITH
THE STREET'S DRAINAGE AS PER
RAINWATER MANAGEMENT PLAN

LONDON STYLE

SIDE ELEVATION

3/16" = 1'-0"

PHASE 7 CENTRAL VILLEBOIS ROW HOMES PRELIMINARY DEVELOPMENT PLAN

TL 2700, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

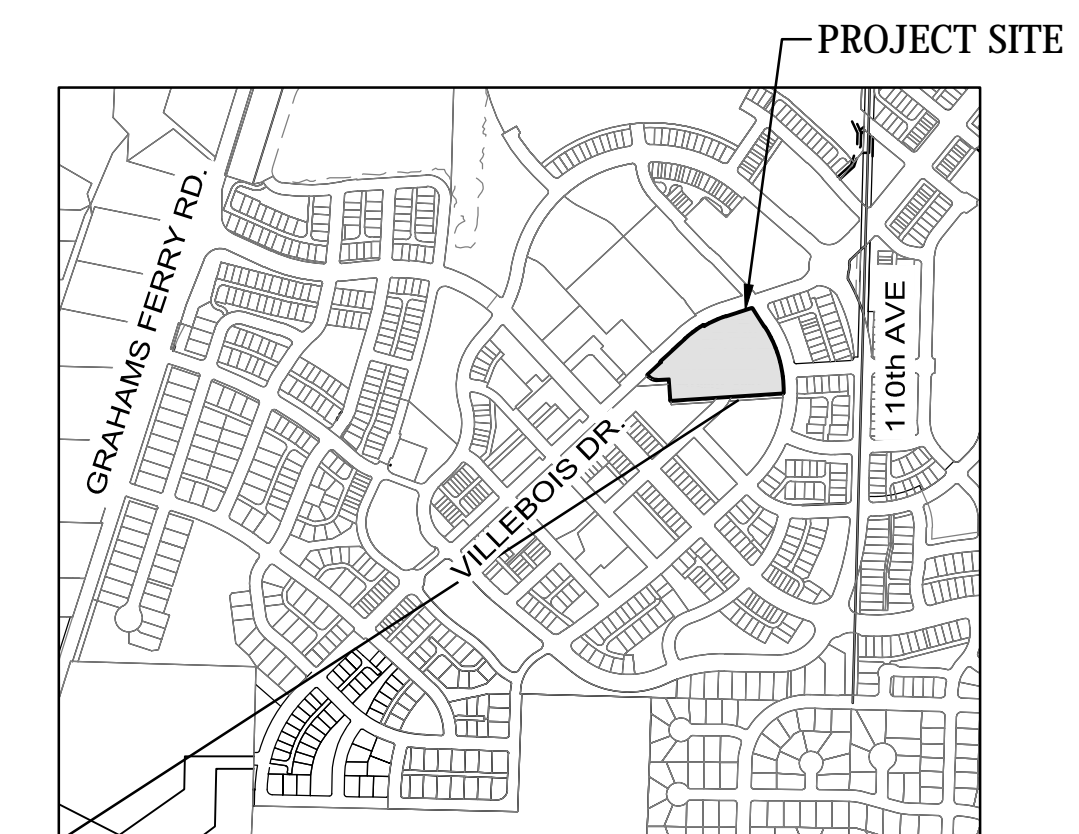
LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

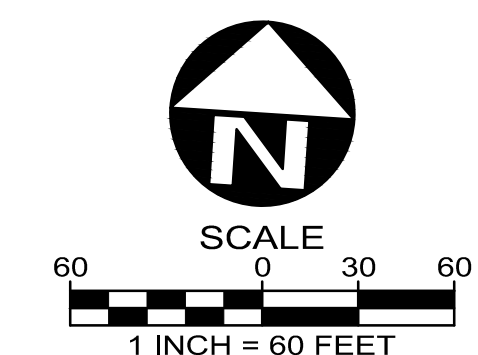
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS
- 3 SITE / LAND USE PLAN
- 4 PRELIMINARY PLAT
- 5 PRELIMINARY GRADING & EROSION CONTROL PLAN
- 6 COMPOSITE UTILITY PLAN
- 7 CIRCULATION PLAN & STREET SECTIONS
- 8 TREE PRESERVATION PLAN
- 9 SAP CENTRAL PHASING PLAN UPDATE
- L1 STREET TREE PLAN



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

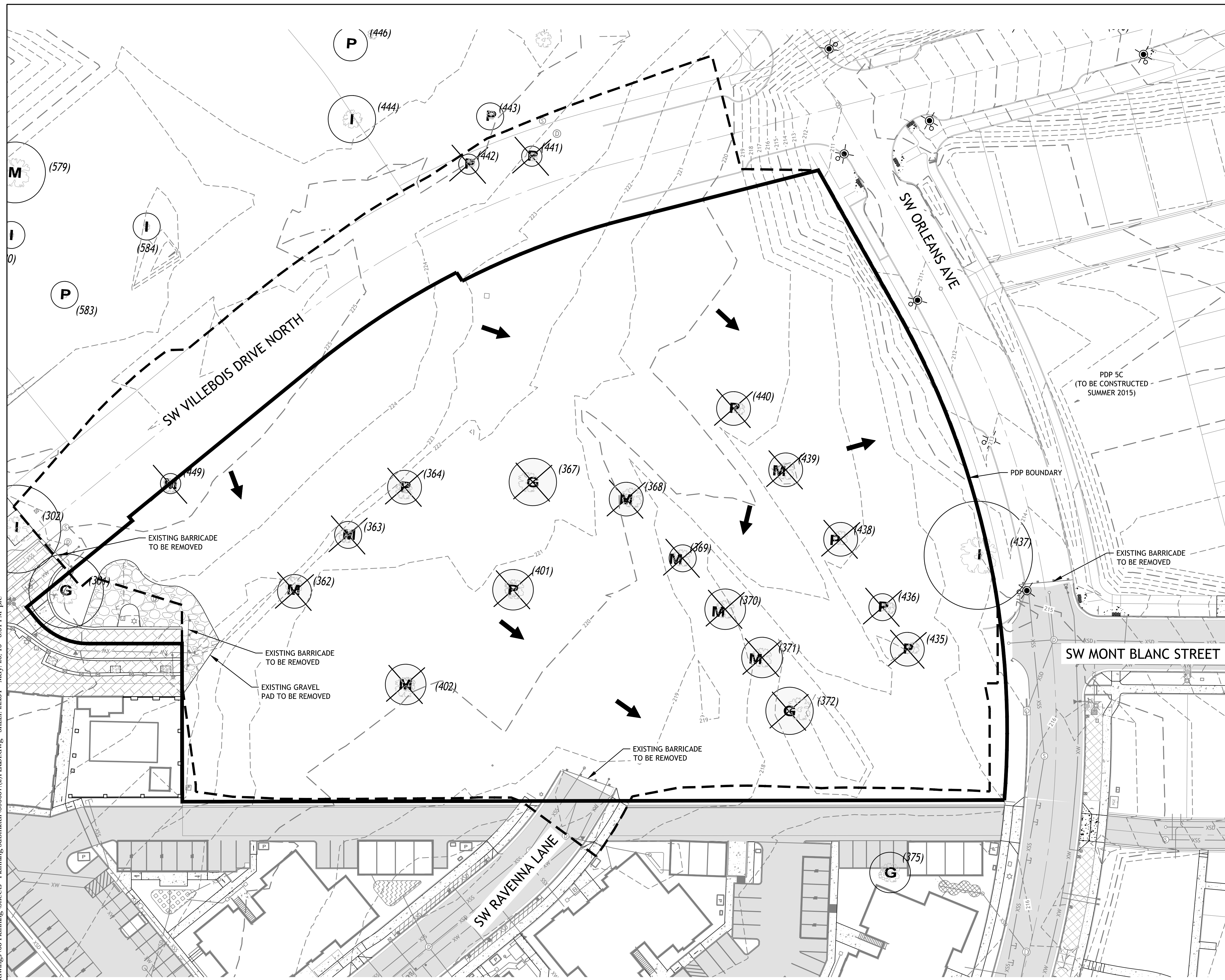
COVER
SHEET



1ST SUBMITTAL DATE 4/29/2015
2ND SUBMITTAL DATE 5/26/2015

1

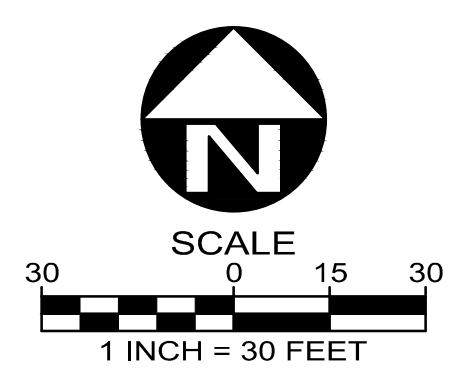
N:\proj\395-057_09 Drawings\03 Planning\Sheets - Planning\Submittal\395057_02\PEXIST.dwg - SHEET: 22x34 May 26, 15 - 3:31 PM pre



LEGEND

- EASEMENT LINES
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- 324 EX 1-FOOT CONTOURS
- 325 EX 5-FOOT CONTOURS
- EX SANITARY SEWER
- EX STORM DRAIN
- XW EX WATER LINE
- XG EX GAS LINE
- XE EX BURIED POWER LINE
- EX OVERHEAD POWER LINE
- XCOM EX CABLE TV LINE
- XT EX TELEPHONE LINE
- ⊙ EX SANITARY MANHOLE
- ⊙ EX SANITARY CLEANOUT
- ⊙ EX STORM MANHOLE
- ⊙ EX AREA DRAIN
- ⊙ EX CURB INLET
- ⊙ EX STORM CLEANOUT
- ⊙ EX FIRE HYDRANT
- ⊙ EX WATER METER
- ⊙ EX WATER VALVE
- ⊙ EX BLOW-OFF
- ⊙ EX AIR RELEASE VALVE
- ⊙ EX GAS VALVE
- ⊙ EX CABLE RISER
- ⊙ EX TELEPHONE RISER
- ⊙ EX LIGHT POLE
- EXISTING FENCE
- EXISTING ELECTRIC VAULT
- EXISTING PAVEMENT
- EX TREES
- DRAINAGE DIRECTION
- PROPOSED GRADING LIMITS

ELEVATION DATUM: NAVD 88



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**EXISTING
CONDITIONS**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

2

N:\proj\395-057-09 Drawings\03 Planning Sheets - Planning Submittal\395057-03\SITE.dwg - SHEET: 22x34 May 26 15 - 3:32 PM pre



LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PDP BOUNDARY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- EXISTING SIDEWALK

LEGEND:

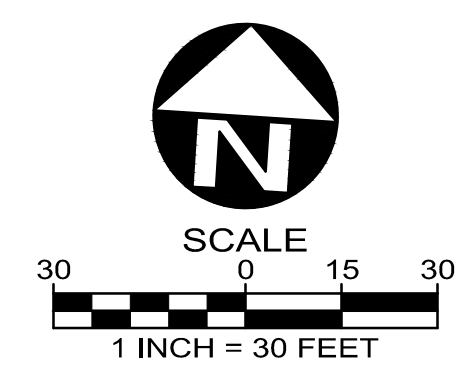
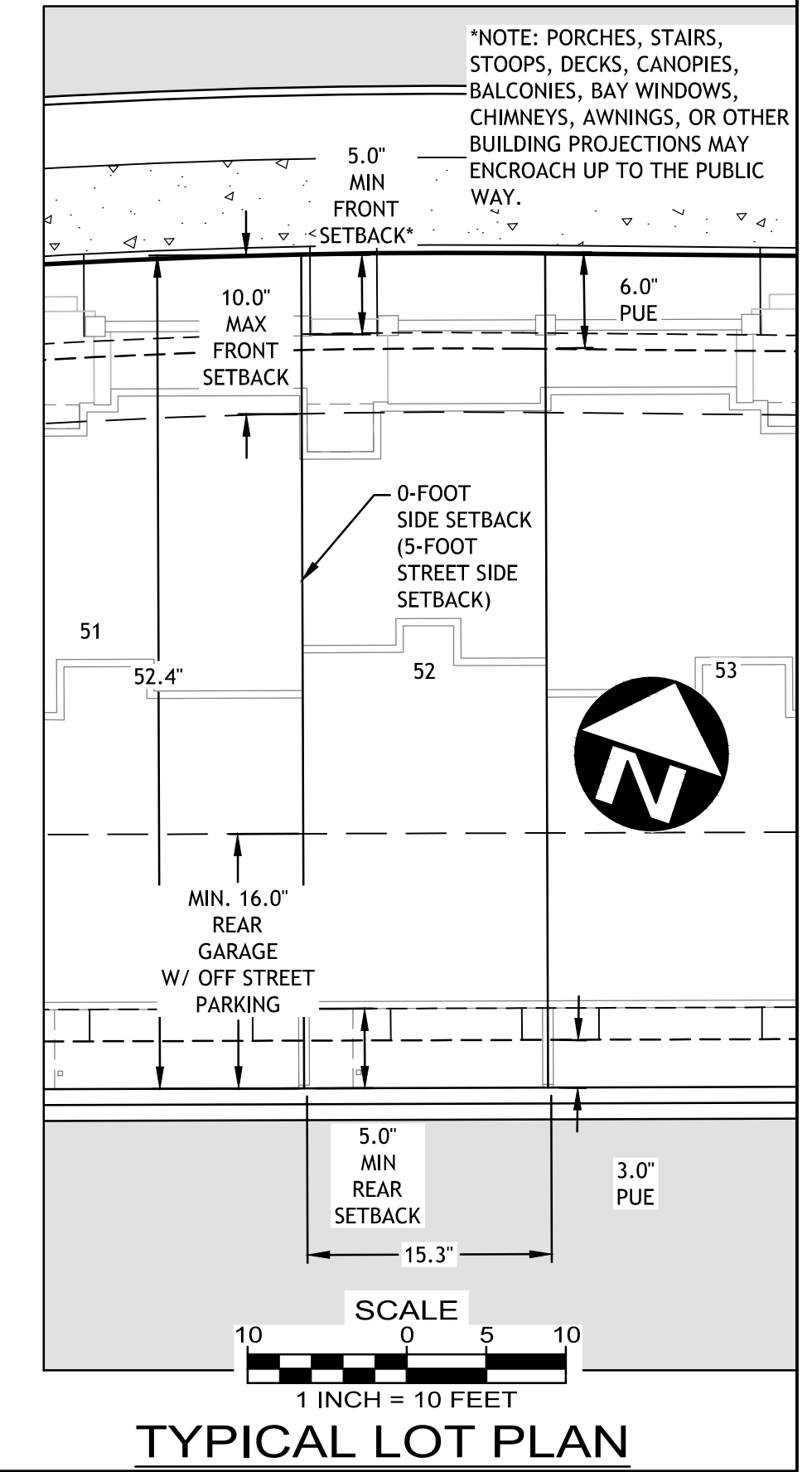
- RH(B) BROWNSTONE ROW HOUSE LOTS
- RH(L) LONDON ROW HOUSE LOTS
- LG LINEAR GREEN SPACE

LOT COUNT:

68	ROW HOUSE LOTS
1	FUTURE DEVELOPMENT LOTS
69	TOTAL

LAND AREA TABLE:

TOTAL AREA:	3.44 AC
PUBLIC STREETS:	0.10 AC
PRIVATE STREETS:	0.59 AC
LINEAR GREEN SPACE:	0.32 AC
LOTS & ALLEYS:	2.32 AC
FUTURE DEVELOPMENT LOTS:	0.11 AC
AVG. DENSITY PER NET ACRE:	68 / 2.32 = 29.31 UNITS / AC



ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**SITE / LAND
USE PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

3



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

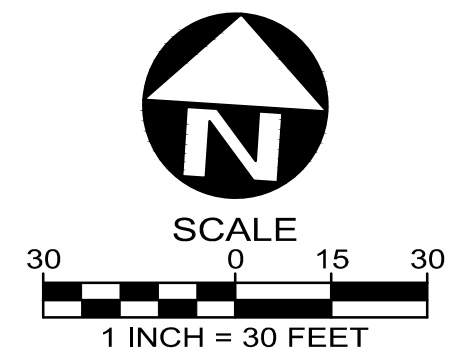
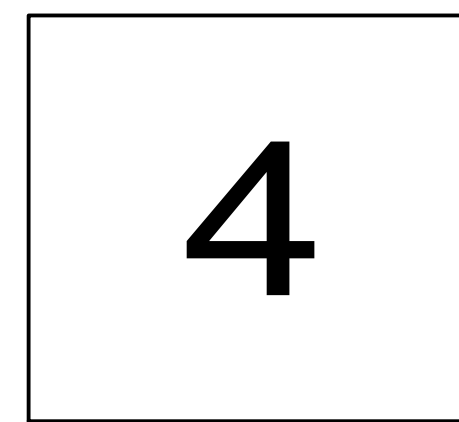
REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

PRELIMINARY
PLAT

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015



N:\proj\395-057\09 Drawings\03 Planning\Sheets - Planning\Submittal\395-057\4\PLAT.dwg - SHEET: 22x34 May, 26, 15 - 3:32 PM pre

ELEVATION DATUM: NAVD 88

N:\proj\395-057_09 Drawings\03 Planning\Sheets - Planning\Submittal\395-057_09\PGRADE.dwg - SHEET: 22x34 May, 26, 15 - 3:33 PM .pre



LEGEND

- - - 324 - - - EX 2-FT CONTOUR
- - - 320 - - - EX 10-FT CONTOUR
- - - 324 - - - FG 2-FT CONTOUR
- - - 320 - - - FG 10-FT CONTOUR
- ▬▬▬▬▬▬▬▬ PROPOSED RETAINING WALL
- - - GRADING LIMITS
- ▬▬▬▬▬▬▬▬ EXISTING FENCE
- XX SEDIMENT FENCE
- ▬▬▬▬▬▬▬▬ TREE PROTECTION FENCING
- ▬▬▬▬▬▬▬▬ CONSTRUCTION FENCING
- ▬▬▬▬▬▬▬▬ WATTLES
- ⊗ BIO-BAG PROTECTION
- ☼ EX TREES TO REMAIN
- ▨ PROPOSED RAINWATER MANAGEMENT FACILITY

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- ⊗ EXISTING TREES TO RETAIN



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

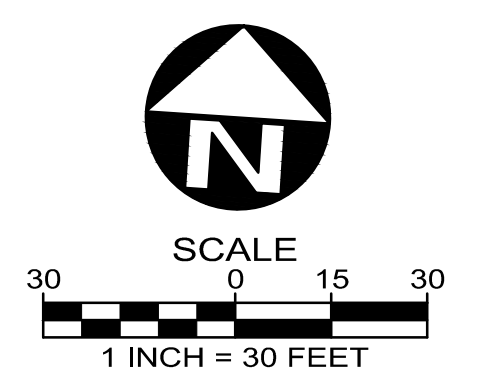
**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**GRADING &
EROSION
CONTROL
PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

ELEVATION DATUM: NAVD 88





Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C VILLEBOIS ROW HOMES

Preliminary
Development
Plan

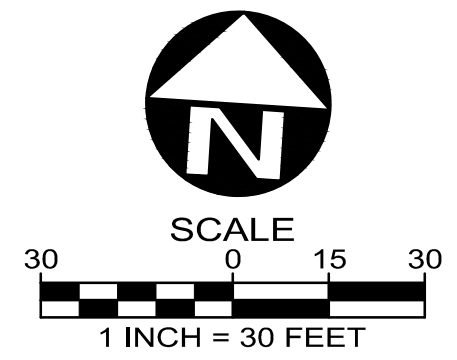
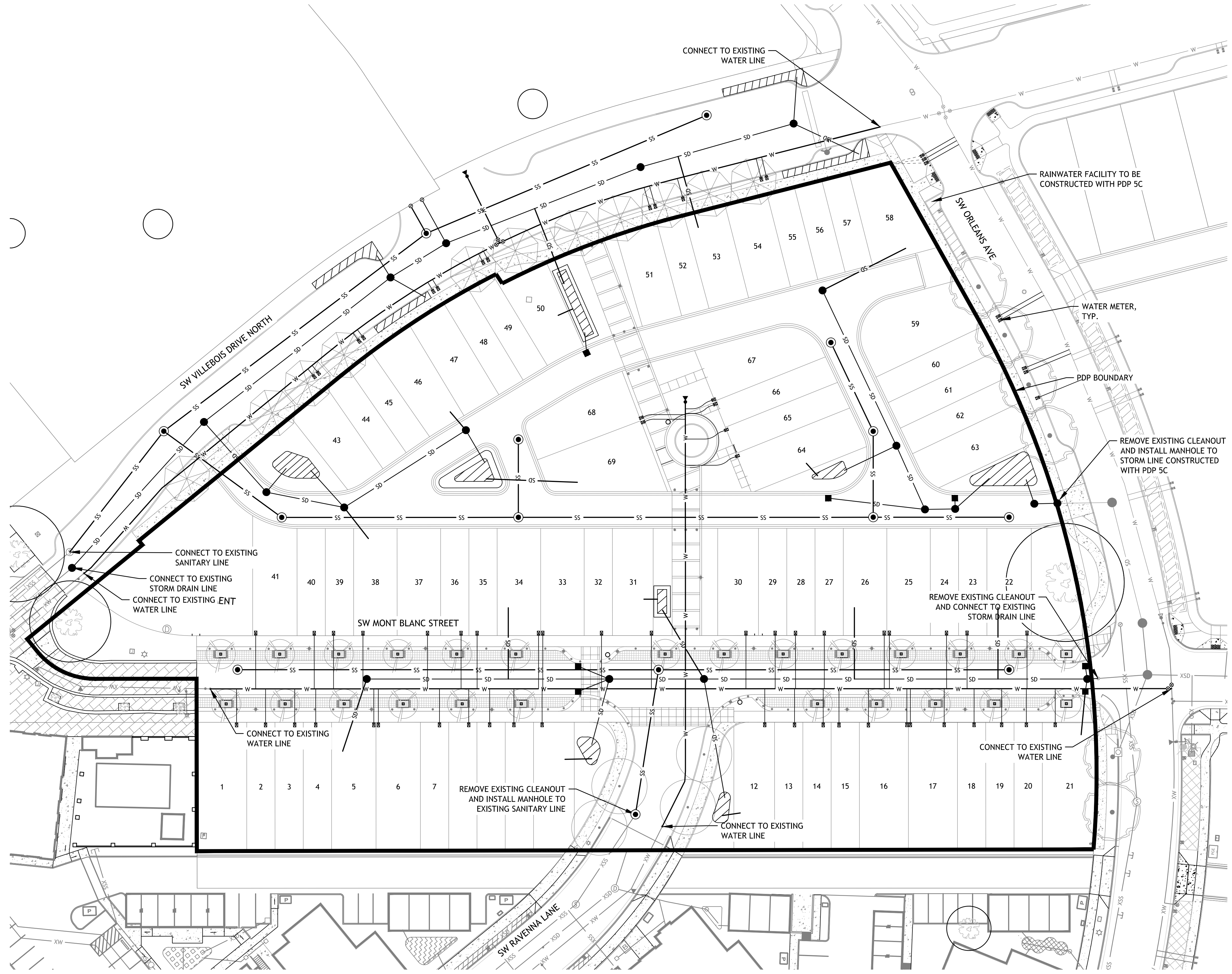
COMPOSITE UTILITY PLAN

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

6

LEGEND:

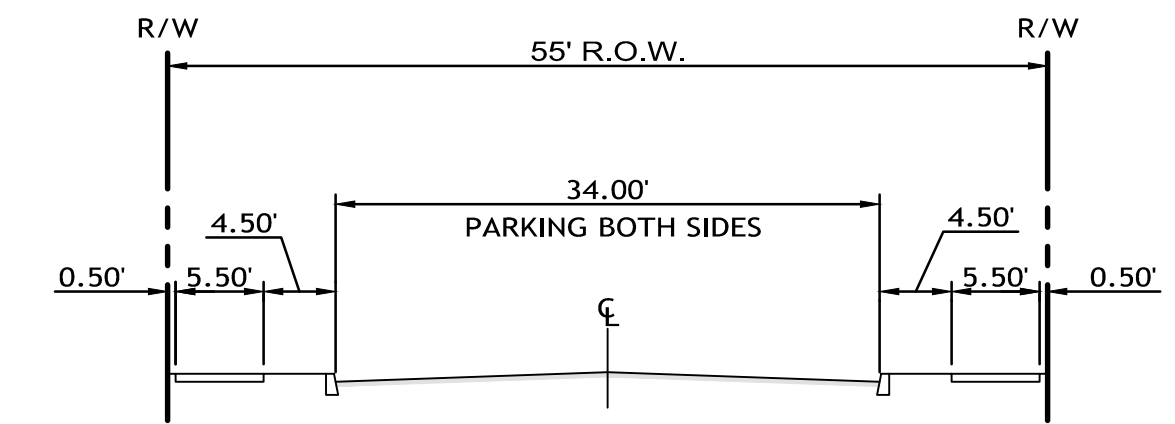
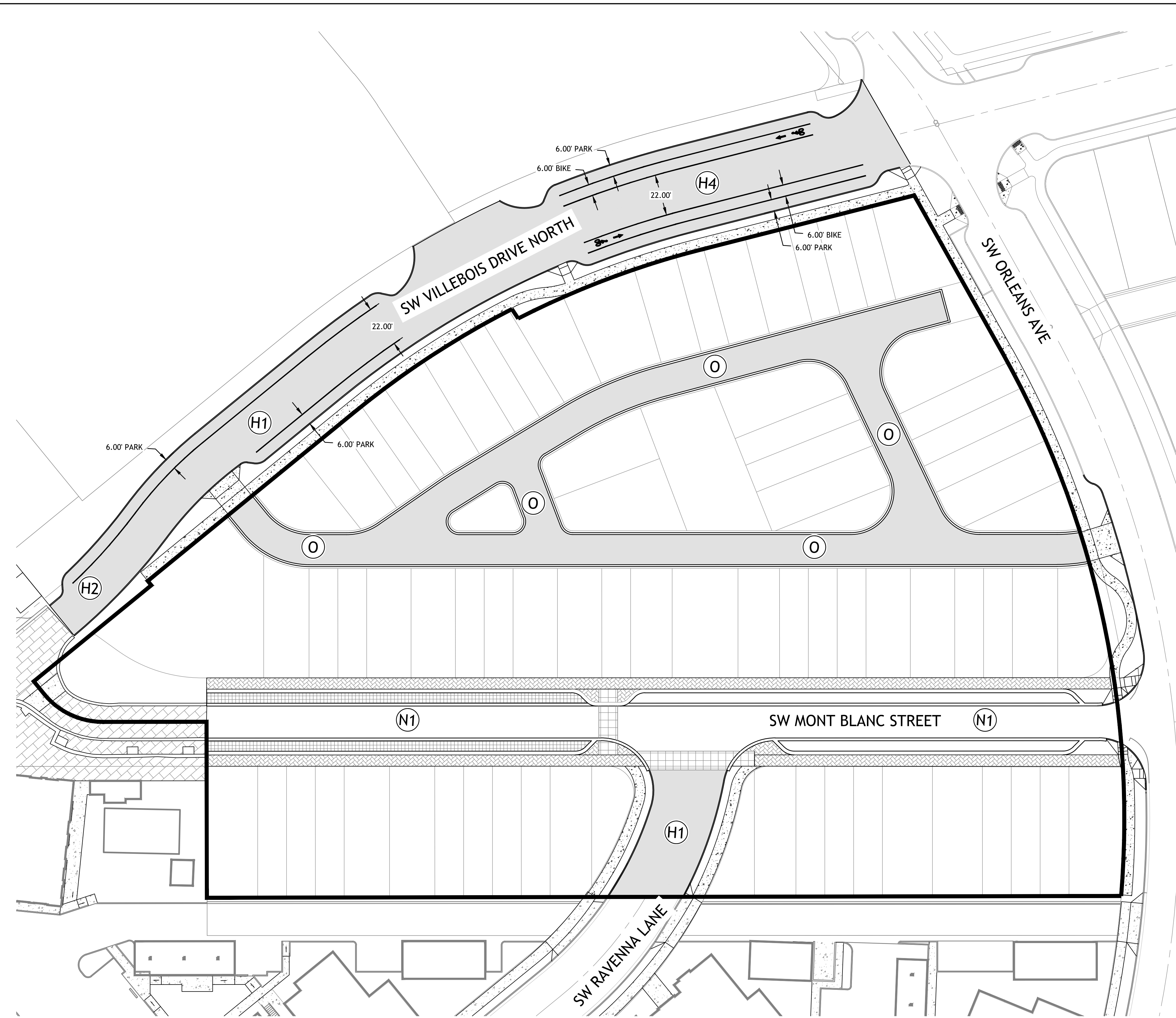
- SS — PROPOSED SANITARY SEWER
- XSS — EX SANITARY SEWER
- SD — PROPOSED STORM DRAIN
- XSD — EX STORM DRAIN
- W — PROPOSED WATER LINE
- XW — EX WATER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM MANHOLE
- PROPOSED CATCH BASIN
- PROPOSED FIRE HYDRANT
- ⊙ EX SANITARY MANHOLE
- ⊙ EX STORM MANHOLE
- EX AREA DRAIN
- EX CURB INLET
- EX STORM CLEANOUT
- EX FIRE HYDRANT
- EX WATER METER
- EX WATER VALVE
- EX BLOW-OFF
- EX AIR RELEASE VALVE
- EX GAS VALVE
- EX CABLE RISER
- EX TELEPHONE RISER
- EX LIGHT POLE
- X — EXISTING FENCE
- ☀ EX TREES
- ▨ PROPOSED RAINWATER MANAGEMENT FACILITY



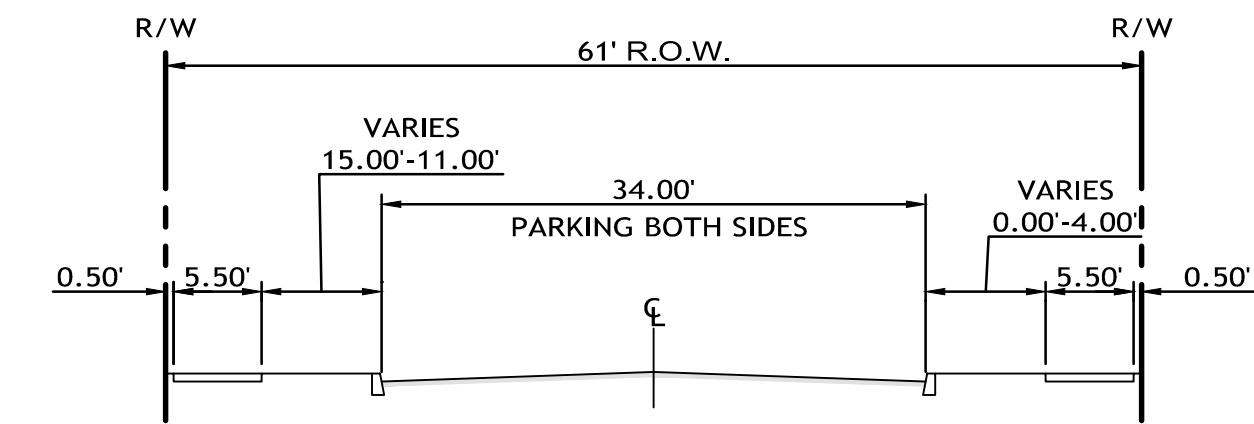
N:\proj\395-057_09 Drawings\03 Planning Sheets - Planning Submittal\395-057_09\PCOMP.dwg - SHEET: 22x34 May, 26, 15 - 3:35 PM pre

ELEVATION DATUM: NAVD 88

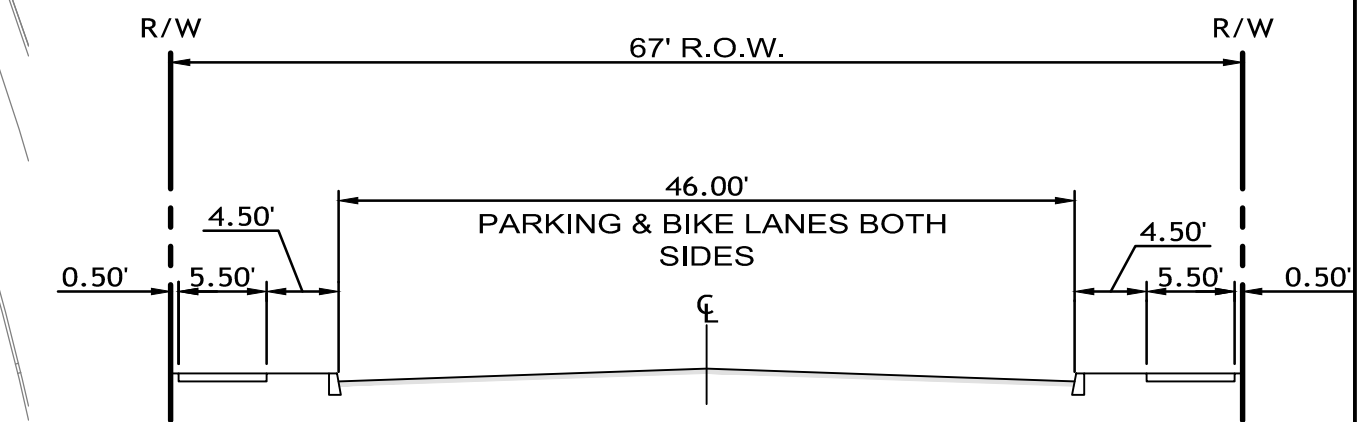
N:\proj\395-057-09 Drawings\03 Planning\Sheets - Planning\Submittal\395057.dwg - SHEET: 22x34 May, 26, 15 - 3:36 PM pre



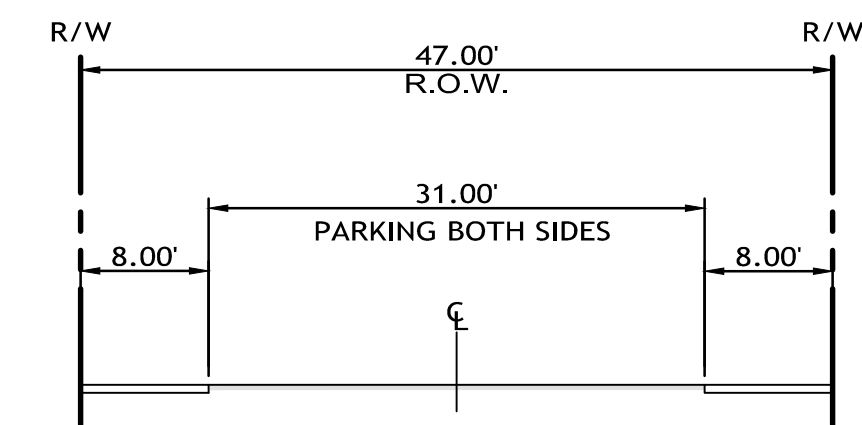
H1 RESIDENTIAL VILLAGE CENTER
NTS



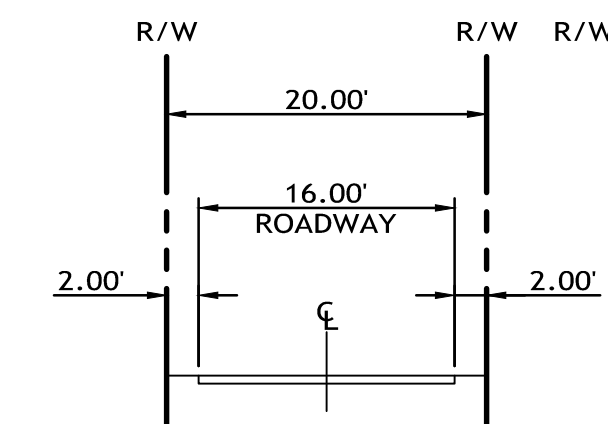
H2 RESIDENTIAL VILLAGE CENTER
NTS



H4 RESIDENTIAL VILLAGE CENTER
NTS

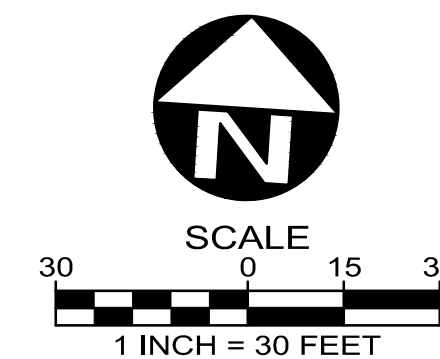


N1 PRIVATE WOONERF
NTS



O PRIVATE LANE
NTS

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

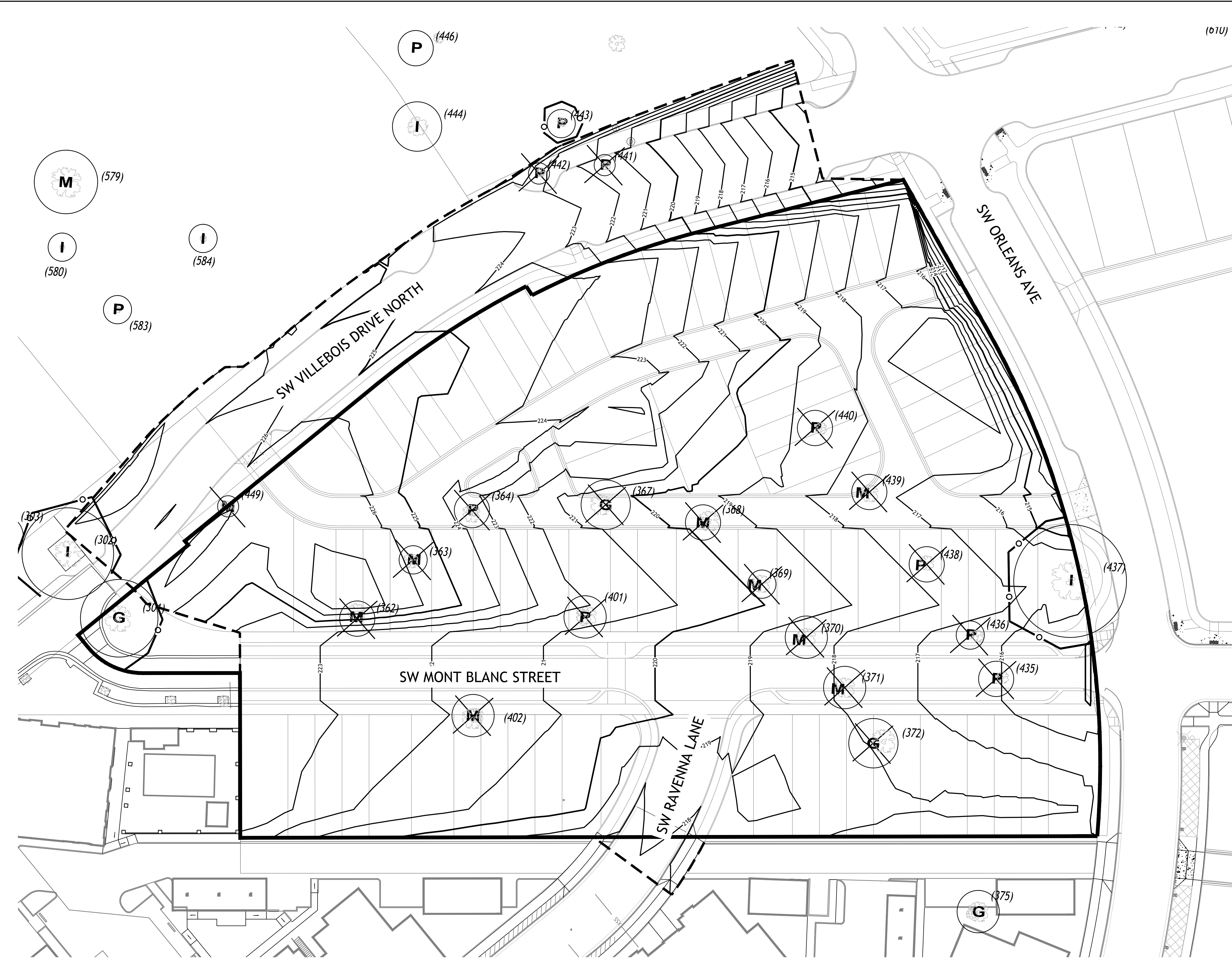
**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**CIRCULATION
PLAN &
STREET
SECTIONS**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

N:\proj\395-057_09 Drawings\03 Planning\Sheets - Planning\Submittal\395-057_09\TREPRES.dwg - SHEET 22x34 May, 26, 15 - 3:37 PM pre



LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (Symbol: Circle with tree) EXISTING TREES TO REMAIN
- (Symbol: Circle with diagonal lines) EXISTING TREES LIKELY TO BE REMOVED
- (Symbol: Circle with X) EXISTING TREES TO BE REMOVED
- (Symbol: Thick black line) TREE PROTECTION FENCING
- (Symbol: Dashed line) GRADING LIMITS

NOTES

COORDINATE WITH THE PROJECT ARBORIST PRIOR TO ADJUSTING, MOVING, REMOVING, OR OPENING TREE PROTECTION FENCING FOR CONSTRUCTION. WORK BENEATH THE PROTECTED TREE DRIPLINE SHOULD BE PERFORMED ONLY UNDER THE GUIDANCE OF THE PROJECT ARBORIST. CONTACT: MORGAN HOLAN PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

- HEALTH
- SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
- COMPATIBILITY WITH DEVELOPMENT
- FORM / VISUAL INTEREST / MATURE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

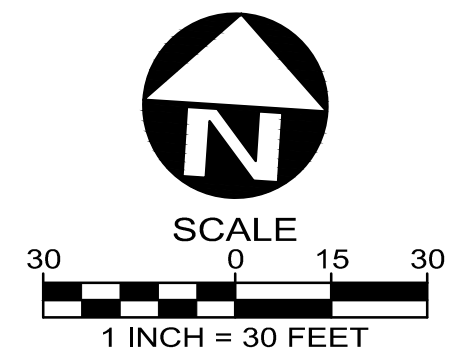
TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

- THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLAN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

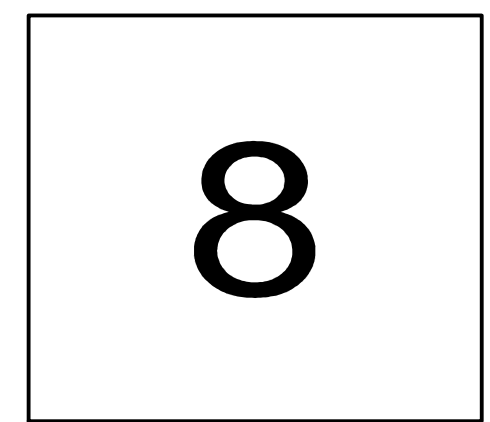
REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**TREE
PRESERVATION
PLAN**

1ST SUBMITTAL DATE 4/29/2015
2ND SUBMITTAL DATE 5/26/2015





Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

SAP CENTRAL
PHASING PLAN

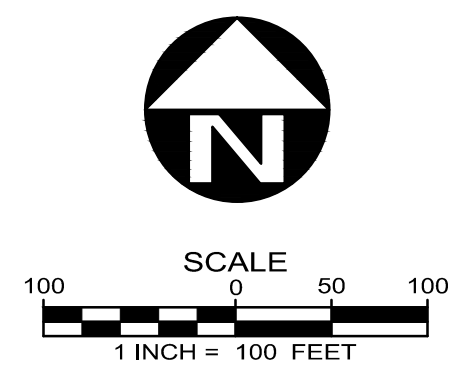
1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/26/2015

9

LEGEND:

	LOT LINES
	PHASE LINE
4	PHASE NUMBER
SC	SPECIALTY CONDOS
MU	MIXED USE CONDOS
UA	URBAN APARTMENTS
CN	CONDOS
RH	ROWHOUSES
VA	VILLAGE APARTMENTS

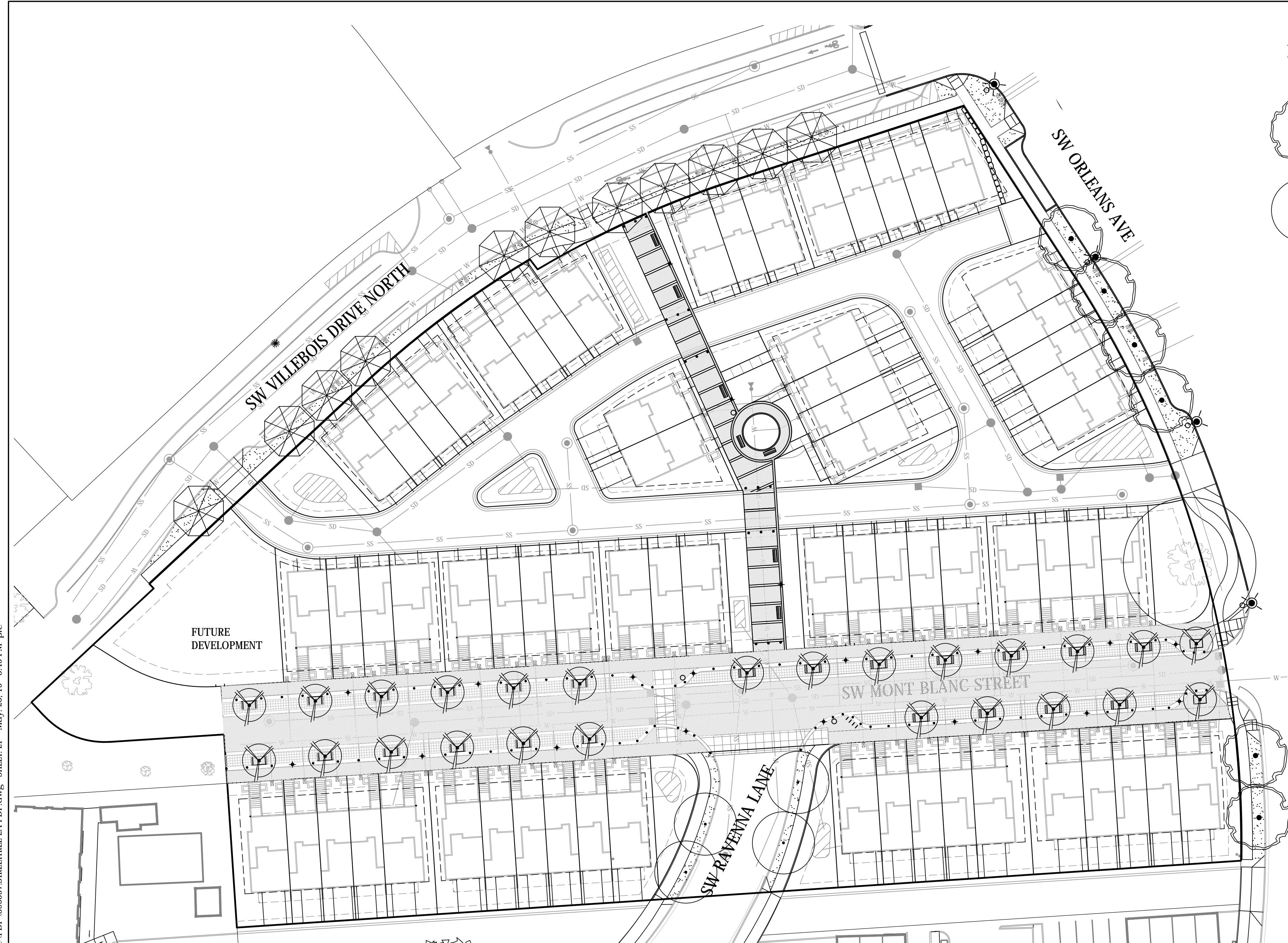
SAP
EAST



ELEVATION DATUM: NAVD 88

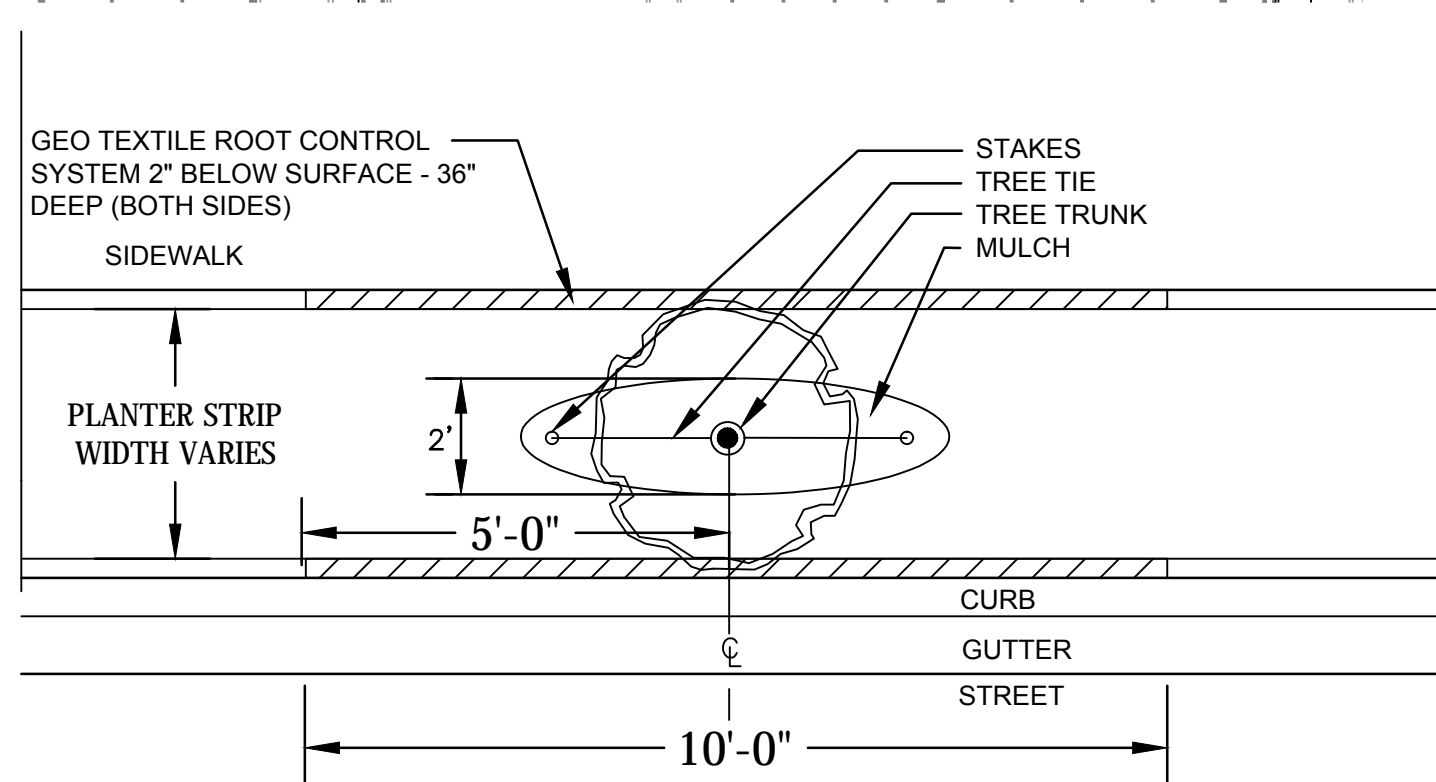
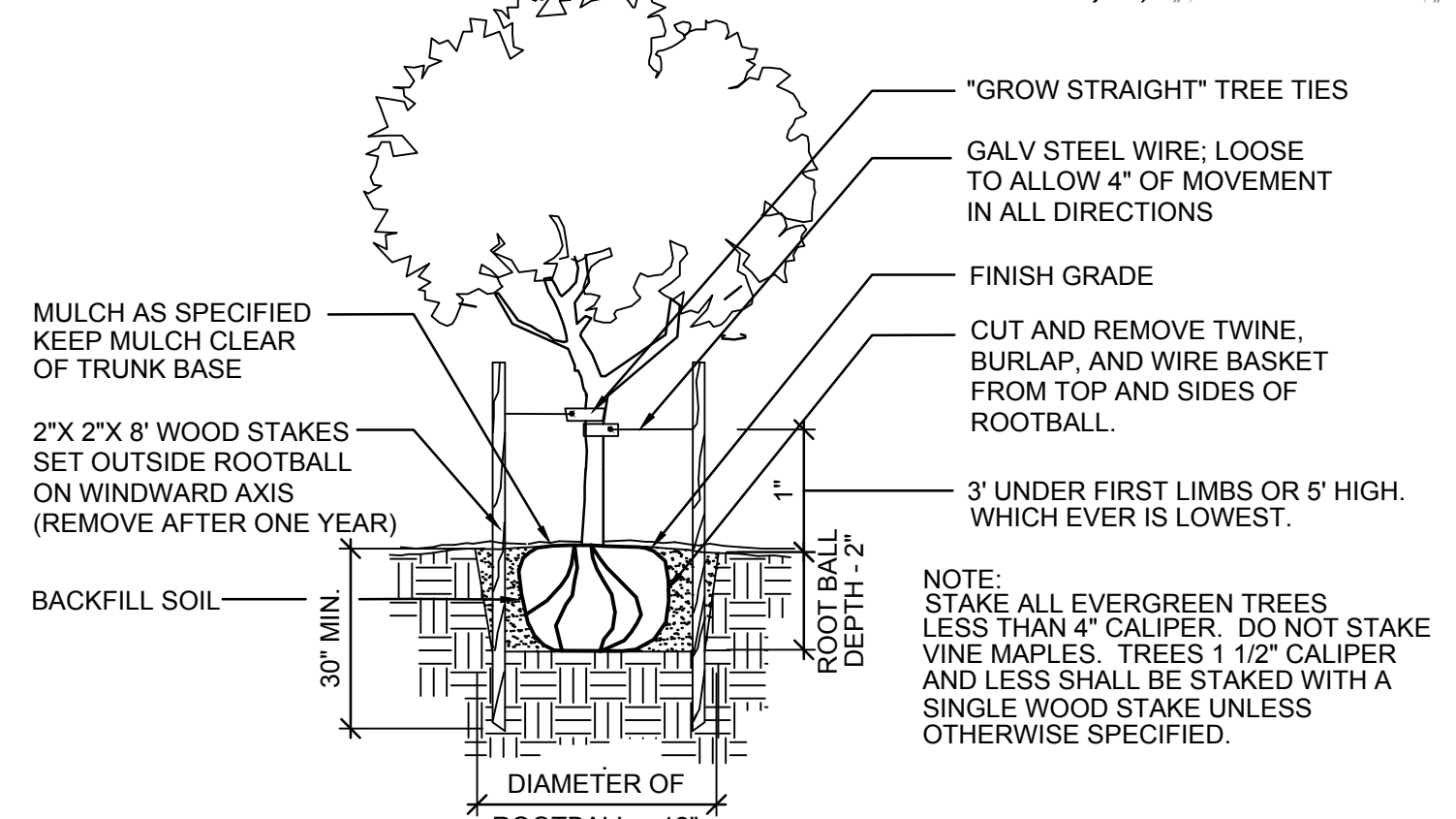
N:\proj\395-057_09 Drawings\03 Planning\Sheets - Planning\Submittal\395057_09\PHASE.dwg - SHEET: 22x34 May, 26, 15 - 3:37 PM pre

N:\proj\395-057_09 Drawings\03 Planning\Sheets - Planning\Submittal\Landscapes\PDF\395057 STREETTREE-LA-PDP.dwg - SHEET: L1 May 26, 15 - 3:45 PM pre



STREET TREE LEGEND:

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	11	EASY STREET MAPLE / ACER PLATANOIDES 'EZEESTRE'	2" cal., B&B	25' o.c.
	6	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2" cal., B&B	30' o.c.
	25	ARMSTRONG RED MAPLE / ACER FREEMANII 'ARMSTRONG'	2.5" cal., B&B	25' o.c.
	4	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	3,898 S.F.	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		



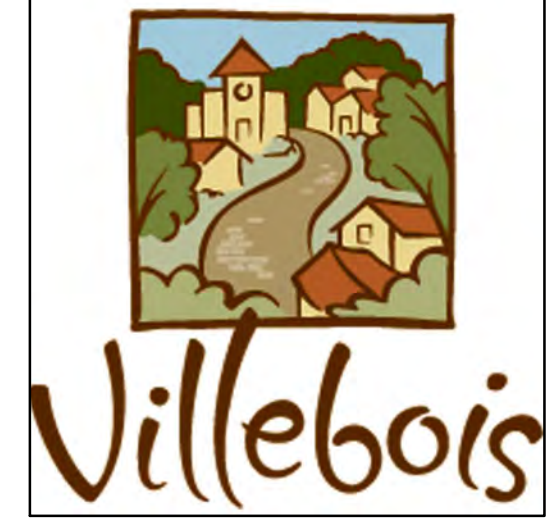
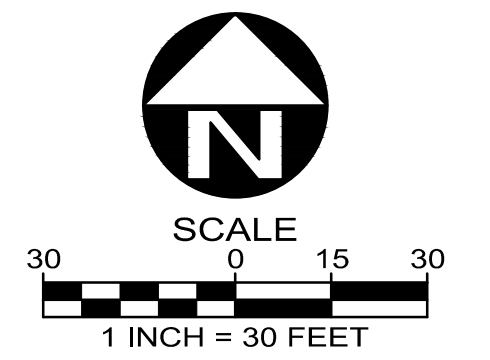
ELEVATION DATUM: NAVD 88

SCALE: N.T.S

1
L1

SCALE: N.T.S

2
L1



POLYGON NW COMPANY



GEODESIGN, INC

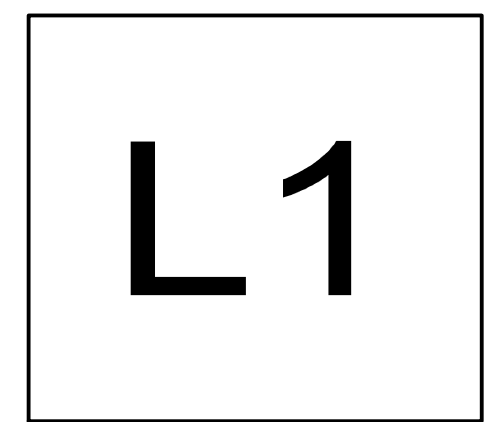
REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

**STREET TREE
PLAN**

1ST SUBMITTAL DATE 4/29/2015
2ND SUBMITTAL DATE 5/26/2015





COSTA PACIFIC COMMUNITIES

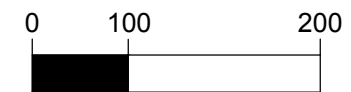
ALPHA COMMUNITY DEVELOPMENT
 FLETCHER FARR AYOTTE
 IVERSON ASSOCIATES
 PACIFIC HABITAT SERVICES
 WALT KNAPP
 KITTELSON & ASSOCIATES
 MAYER/REED

LEGEND:

- SAP BOUNDARY
- RAINWATER COMPONENT
- PERVIOUS STREET PAVERS
- ROOF GARDEN
- 6** RAINWATER COMP. NUMBER



SCALE



1 IN = 200 FT

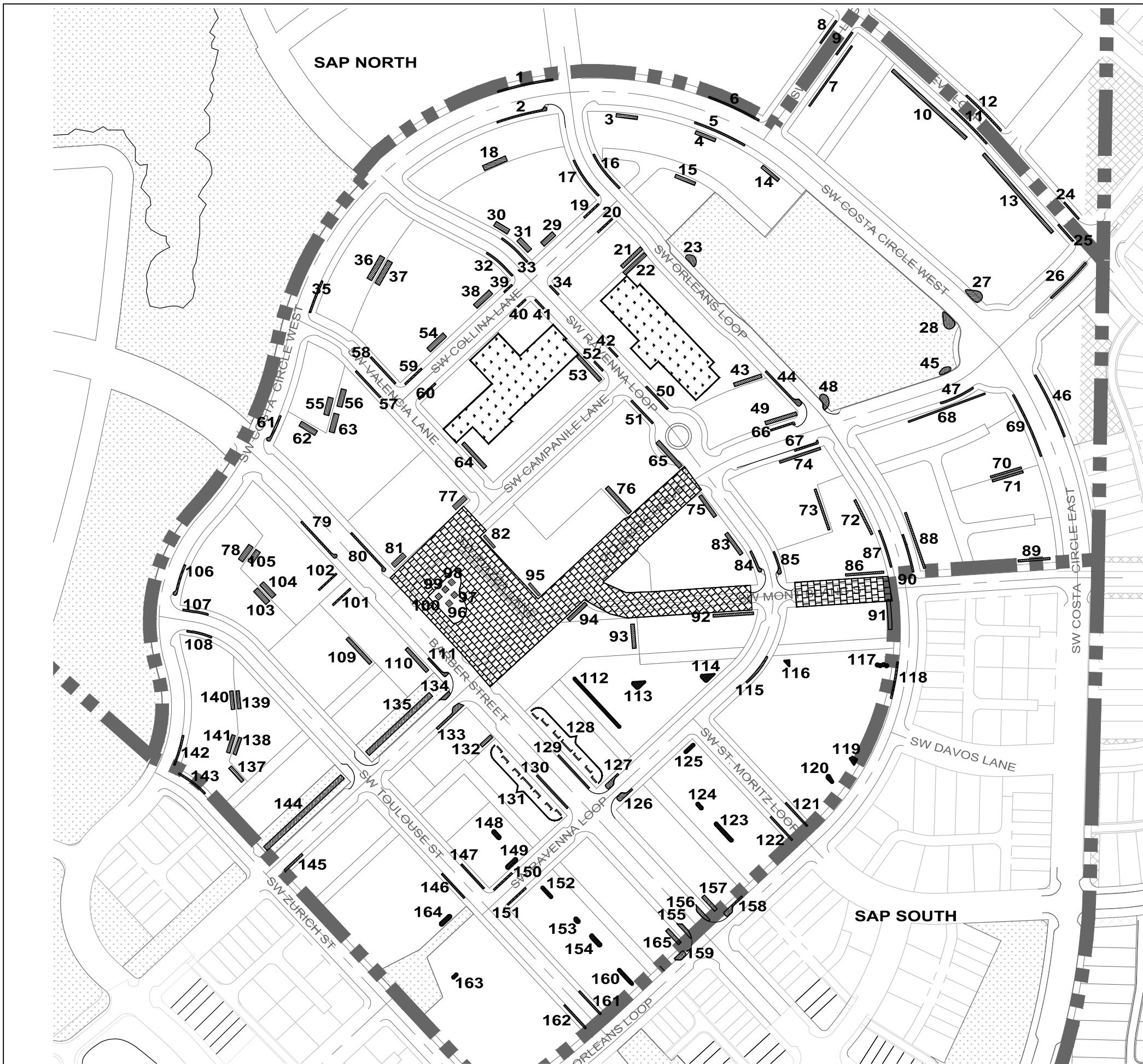
VILLEBOIS

SAP CENTRAL

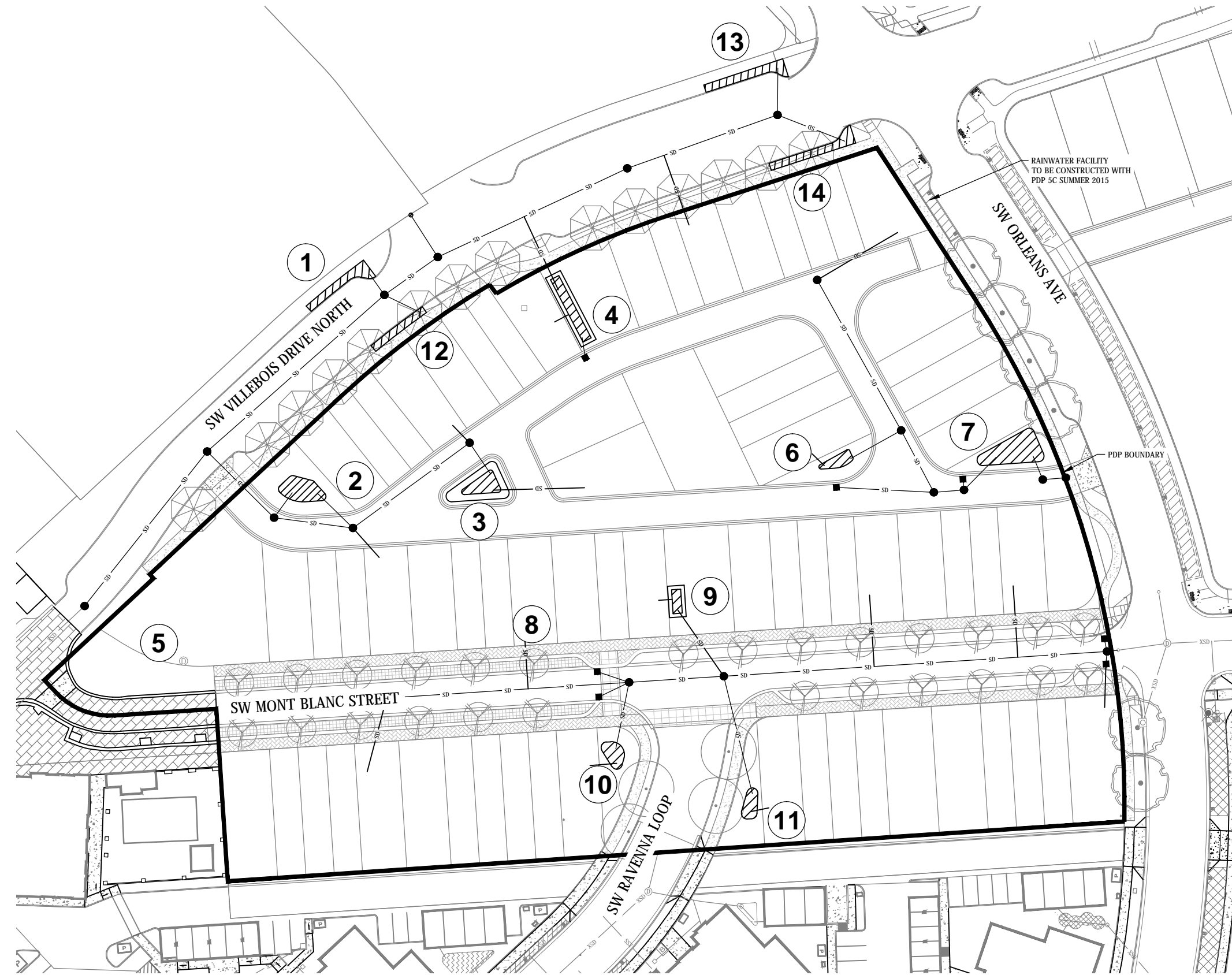
Rainwater Management Plan

DATE: February 24, 2006

FIGURE A



N:\proj\395-057\09 Drawings\03 Planning\Exhibits - Rainwater\395057\A2\PRIN.dwg - SHEET: 22x34 May, 19, 15 - 10:19 AM pre



LEGEND:

- SD — PROPOSED STORM DRAIN
- ▨ PROPOSED RAINWATER MANAGEMENT FACILITY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

Preliminary
Development
Plan

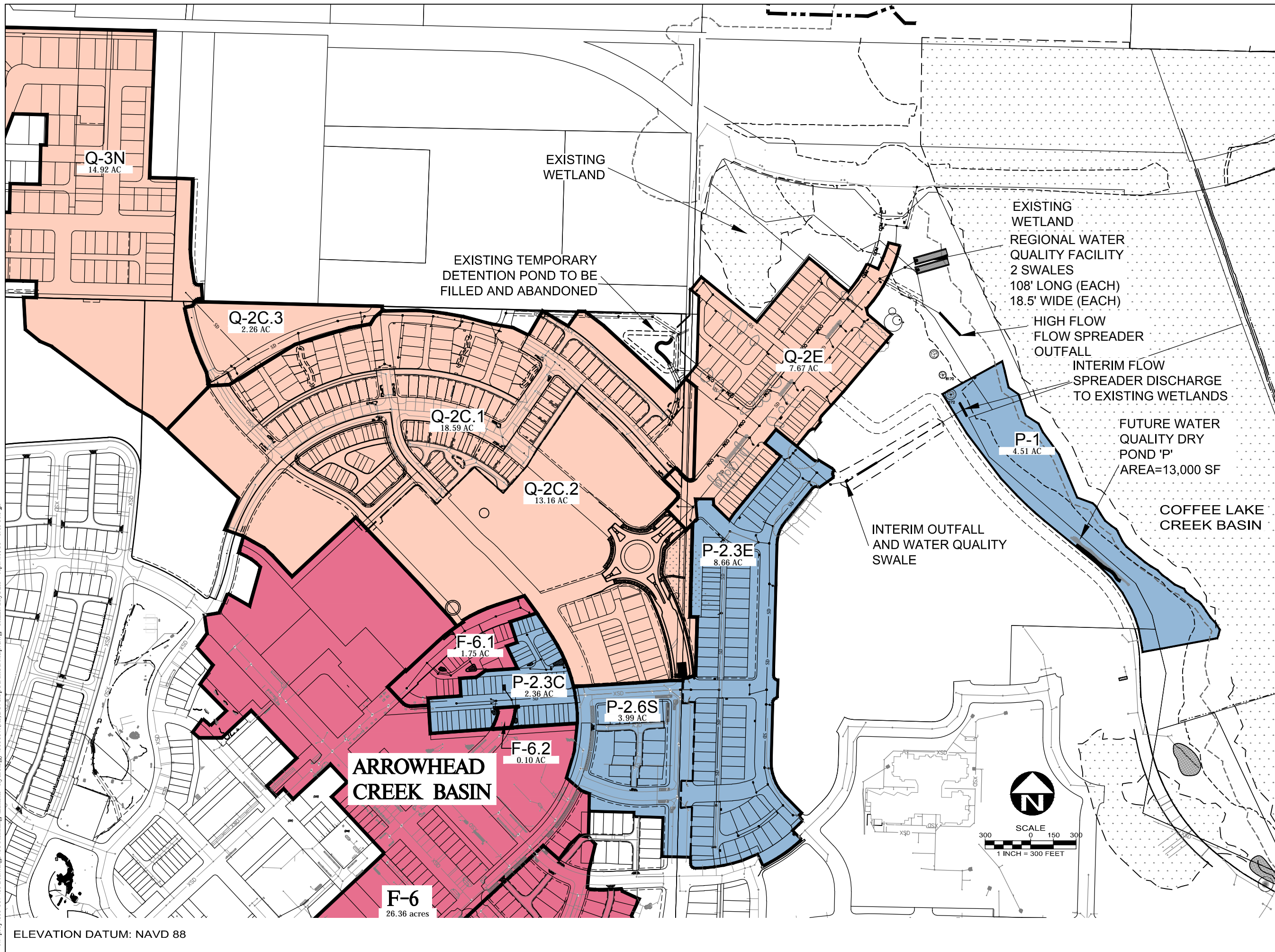
**RAINWATER
MANAGEMENT
PLAN**

1ST SUBMITTAL DATE	4/29/2015
2ND SUBMITTAL DATE	5/19/2015

A2

ELEVATION DATUM: NAVD 88

N:\proj\395-057\08 Drawings\03 Planning Exhibits - Hydrology\395057 (A3)\Developed Shed Map.dwg - SHEET: Layout1 Apr. 29, 15 - 1:40 PM jlk



Villebois



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

PDP 7C
VILLEBOIS
ROW HOMES

Preliminary
Development
Plan

DEVELOPED
DRAINAGE
MAP

1ST SUBMITTAL DATE 4/29/2015

A3

PHASE 7 CENTRAL VILLEBOIS ROW HOMES FINAL DEVELOPMENT PLAN

TL 2700, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

POLYGON WLH, LLC
109 E. 13TH ST.
VANCOUVER, WA 98660
[P] 503-221-1920
CONTACT: FRED GAST

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JESSIE KING, PE

SURVEYOR:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

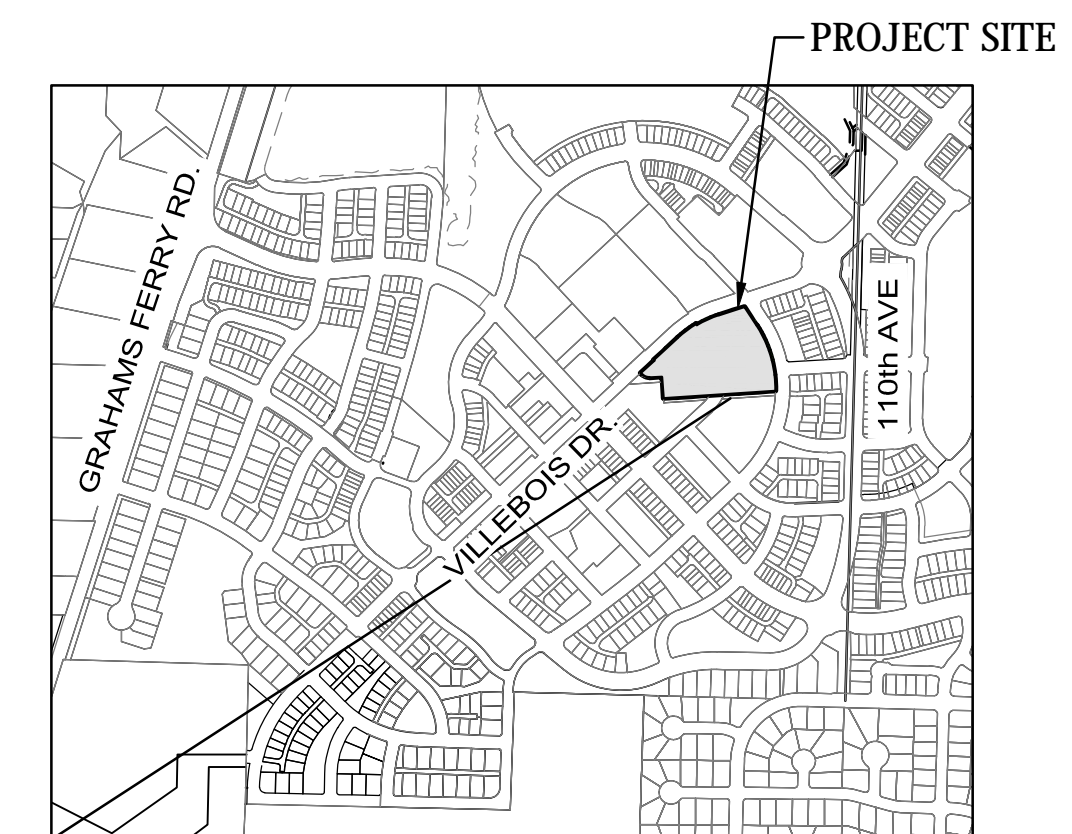
LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
15575 SW SEQUOIA PARKWAY, SUITE 100
PORTLAND, OR 97224
[P] 503-968-8787
CONTACT: SHAWN DIMKE, PE

ELEVATION DATUM: NAVD 88



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	UNITED DISPOSAL SERVICE
CABLE:	COMCAST

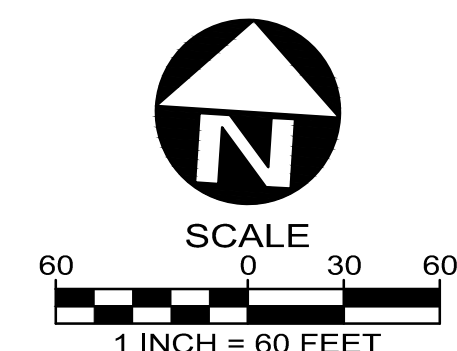
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- L1 LAYOUT PLAN
- L2 STREET TREE PLAN
- L3 PLANTING PLAN
- L4 PLANTING DETAILS & NOTES
- L5 LANDSCAPE DETAILS & MATERIALS



POLYGON NW COMPANY



GEODESIGN, INC

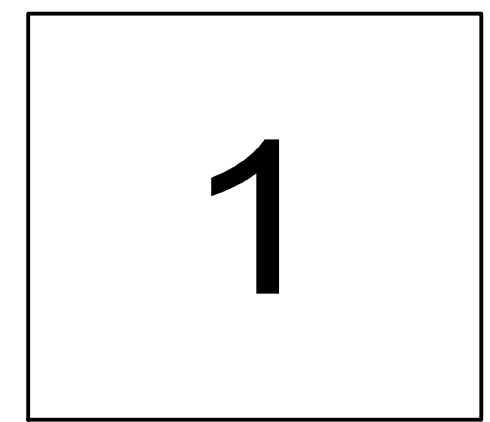
REVISIONS	
DATE	DESCRIPTION

FDP 7C
VILLEBOIS
ROW HOMES

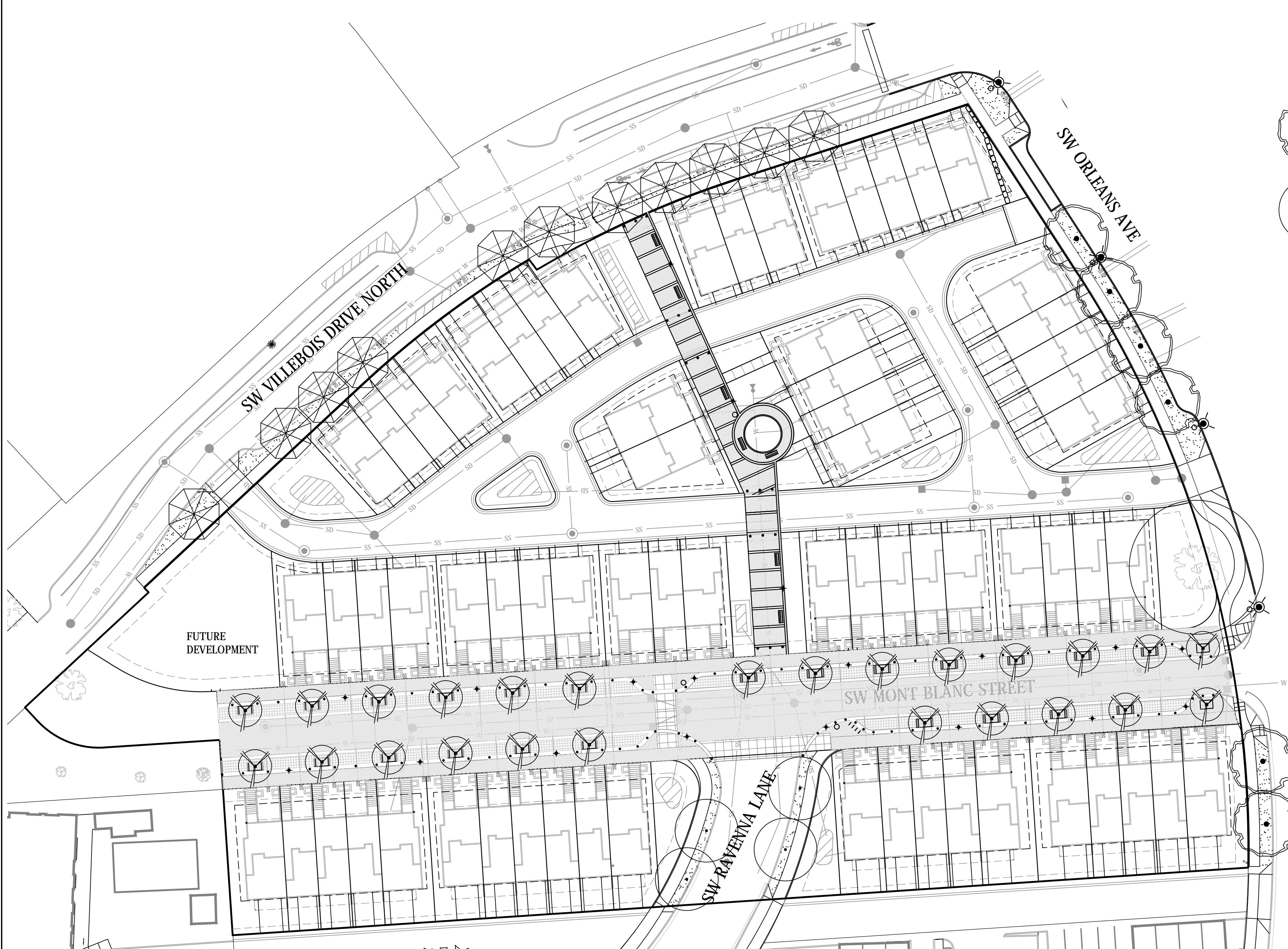
Final
Development
Plan

COVER
SHEET

1ST SUBMITTAL DATE 4/29/2015

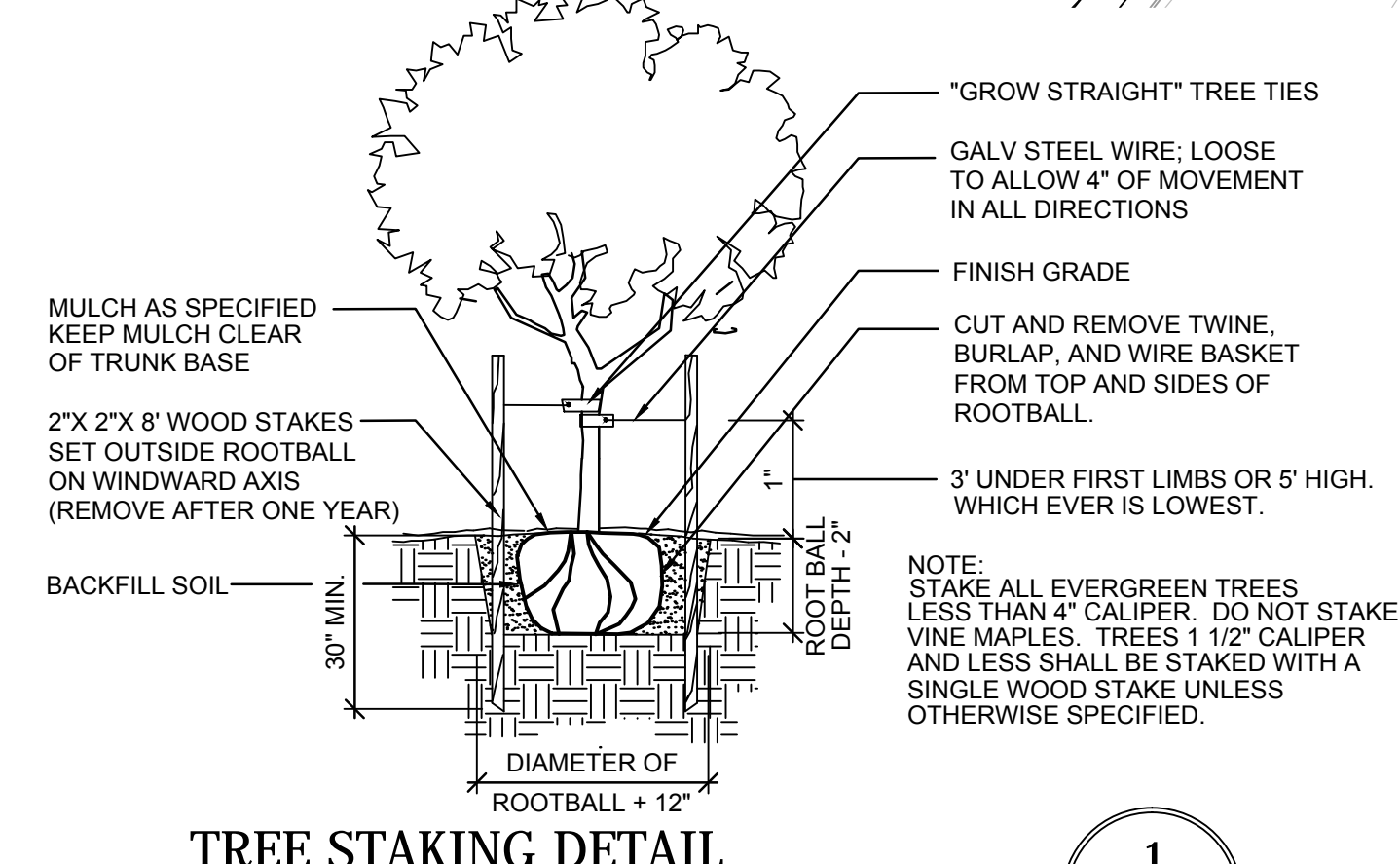


N:\proj\395-057\09 Drawings\03 Planning_Sheets - Planning Submittal\Landscapes - Planning Submittal\Landscapes - PDP_395057_STREETTREE.LA-PDP.dwg - SHEET L1 May 28, 15 - 3:52 PM kel



STREET TREE LEGEND:

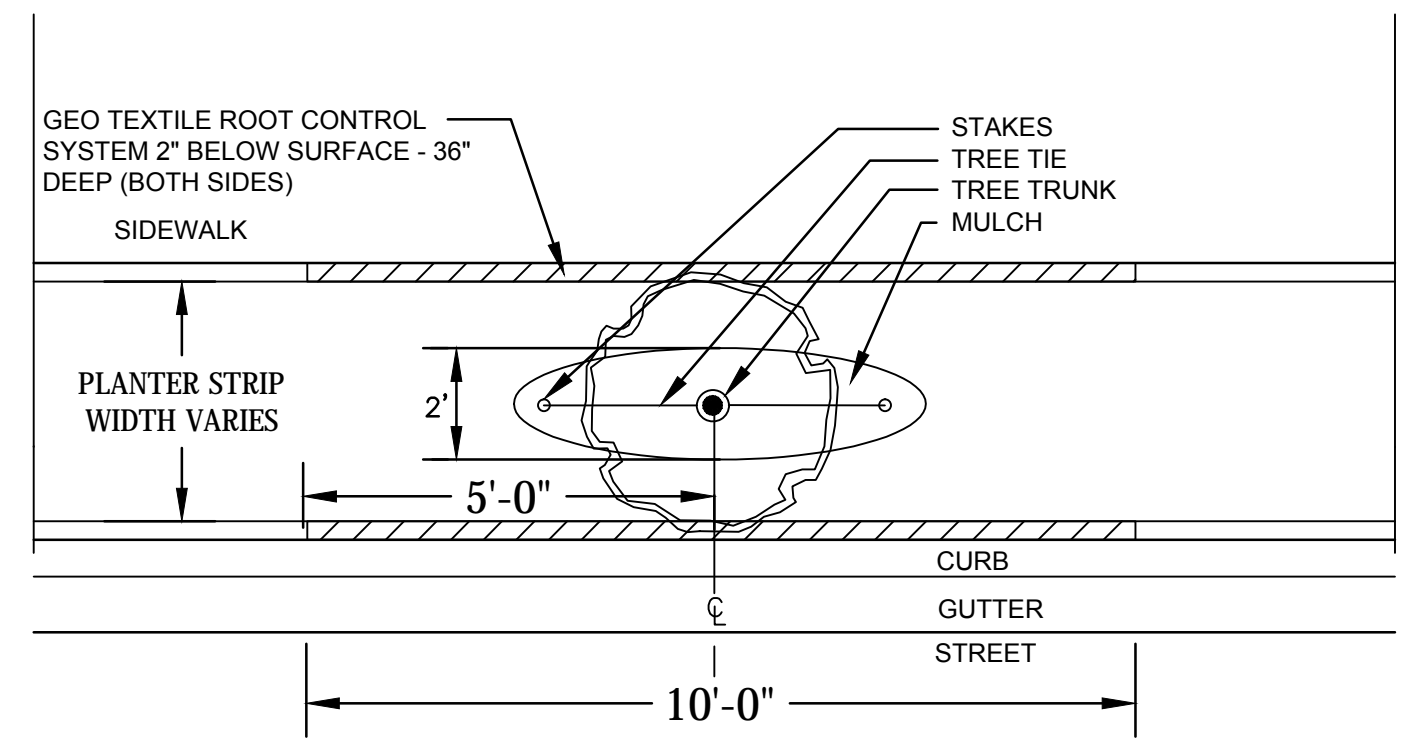
SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	11	EASY STREET MAPLE / ACER PLATANOIDES 'EZEESTRE'	2" cal., B&B	25' o.c.
	6	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2" cal., B&B	30' o.c.
	25	ARMSTRONG RED MAPLE / ACER FREEMANII 'ARMSTRONG'	2.5" cal., B&B	25' o.c.
	4	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	3,898 S.F.	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		



TREE STAKING DETAIL

SCALE: N.T.S.

1
L1

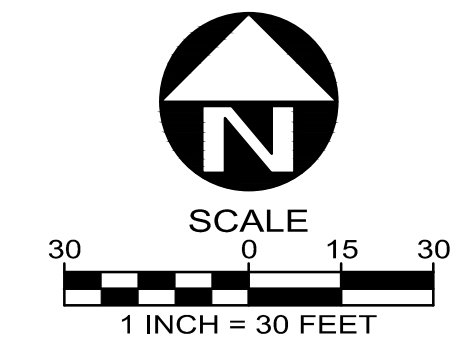


TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S.

2
L1

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**PDP 7C
VILLEBOIS
ROW HOMES**

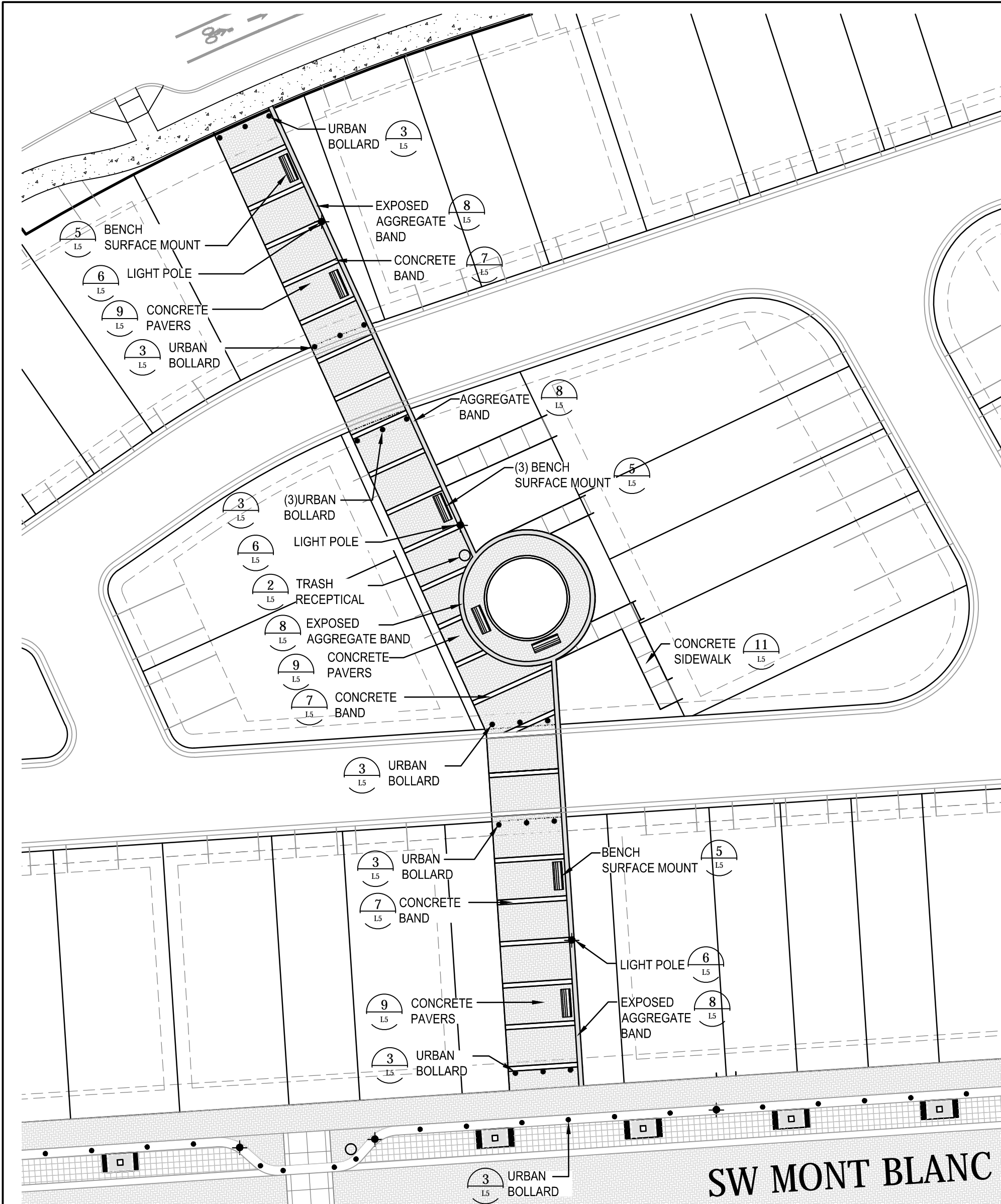
Preliminary
Development
Plan

**STREET TREE
PLAN**

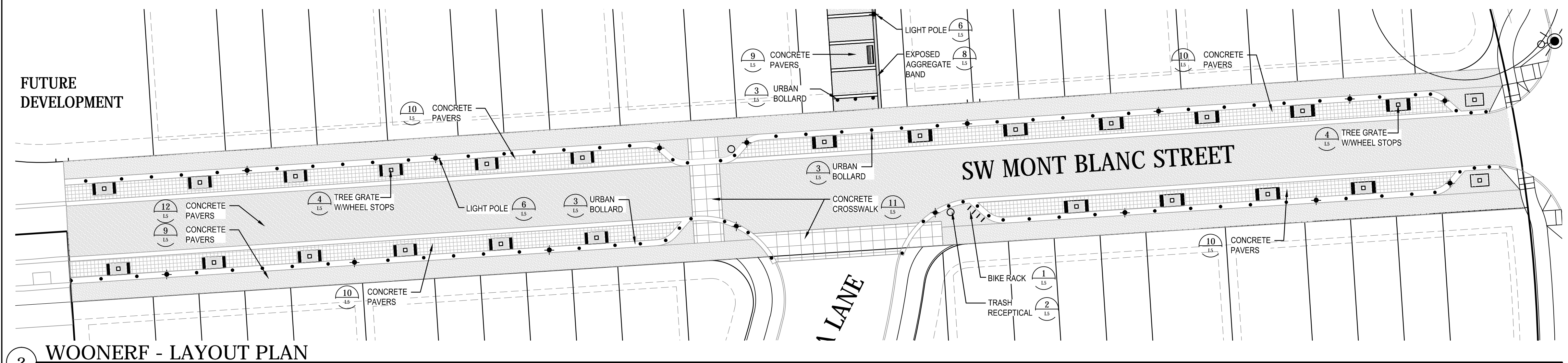
1ST SUBMITTAL DATE 4/29/2015
2ND SUBMITTAL DATE 5/26/2015

L1

N:\proj\385-057\09 Drawings\03 Planning_Sheets - Planning Submittal\Landscapes_FDP\385057_LAYOUT.LA.FDP.dwg - SHEET L1 - May, 26, 15 - 3:57 PM.tcl



1 PLAZA - LAYOUT PLAN



2 WOONERF - LAYOUT PLAN

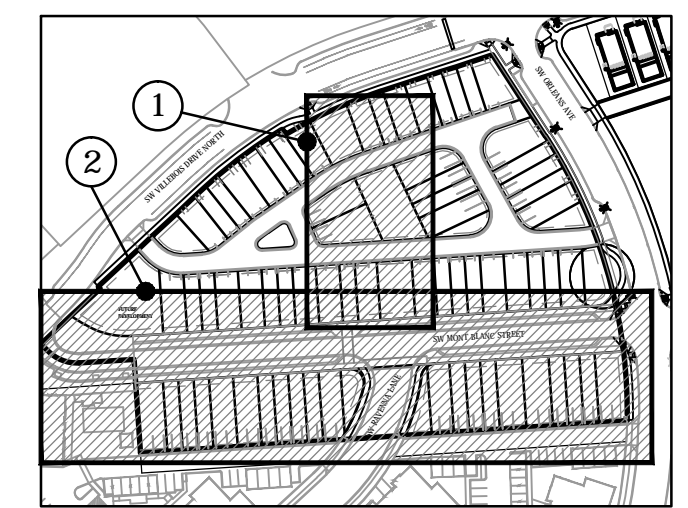
ELEVATION DATUM: NAVD 88

NOTES

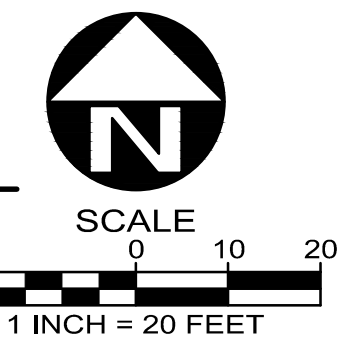
- 1.) SEE CIVIL PLANS FOR ROADWAY AND CURB ELEVATIONS
- 2.) SEE SHEET L4 FOR LANDSCAPE MATERIALS DETAILS.

LEGEND

- 1. BICYCLE RACK
MANUFACTURER: FUNCTION FIRST BIKE SECURITY
MODEL: THE BIKE RIB
FINISH: POWDERCOATED PAINT, BLACK
SIZE: 1.25" SCH. 40 STEEL PIPE, 18 WIDE, 32" HT.
- 2. TRASH RECEPTACLE
MANUFACTURER: LANDSCAPE FORMS
MODEL: THE PLAINWELL LITTER RECEPTACLE WITH DOME
MATERIAL: STEEL
METAL BLACK POWDERCOATED
SIZE: 30" DIAMETER 38" HEIGHT;
35 GALLON CAPACITY
- 3. URBAN BOLLARD
MANUFACTURER: VISCO
MODEL: VI-BO-14L
FINISH: POWDERCOATED, BLACK
SIZE: 30"H X 12" DIA.
- 4. TREE GRATE W/ BASALT CURBS
MANUFACTURER: URBAN ACCESSORIES
MODEL: CHINOOK
FINISH: CAST IRON
SIZE: 4X6
- 5. URBAN / GREENWAY BENCH
MANUFACTURER: LANDSCAPE FORMS
MODEL: THE PLAINWELL SERIES
FINISH: METAL, ALUMINUM SEAT
METAL BLACK POWDERCOATED
SIZE: 72" LENGTH
- 6. LIGHT POLE
MANUFACTURER: HADCO
LUMINAIRE: HADCO S8867E (SINGLE), S8867N (TWIN)
POLE: 1 1/2" DECORATIVE CAST ALUMINUM P-065-14-A
FOOTING: AB CHANCE - C11242NG4TK W / ROUND MOUNTING PLATE
FINISH: BLACK
- 7. PAVER CONCRETE BAND
- 8. EXPOSED AGGREGATE BAND
- 9. CONCRETE UNIT PAVERS WITH HELL-PROOF POLYMERIC SAND JOINTS
MANUFACTURER: WILLAMETTE GRAYSTONE
MODEL: AQUABRIC PERMEABLE CONCRETE
COLOR: AUTUMN BLEND
FINISH: CENTURY
SIZE: 5" X 10" X 60MM - HARRINGBONE PATTERN
- 10. PERMEABLE CONCRETE UNIT PAVERS AT ON-STREET PARKING STALLS
MANUFACTURER: WILLAMETTE GRAYSTONE
MODEL: AQUAPAVE PERMEABLE CONCRETE PAVER
COLOR: GRAY
FINISH: STACKED
SIZE: 9.5 X 9.5" X 80MM
- 11. SCORED CONCRETE CROSSWALK CAST IN PLACE.
SCORE AS SHOWN
- 12. PERMEABLE CONCRETE PAVERS AT VEHICULAR STREET AREAS
MANUFACTURER: WILLAMETTE GRAYSTONE
MODEL: AQUABRIC PERMEABLE CONCRETE
COLOR: CHARCOAL
FINISH: CENTURY
SIZE: 5" X 10" X 80MM - HARRINGBONE PATTERN



KEY MAP



POLYGON NW COMPANY



GEODESIGN, INC

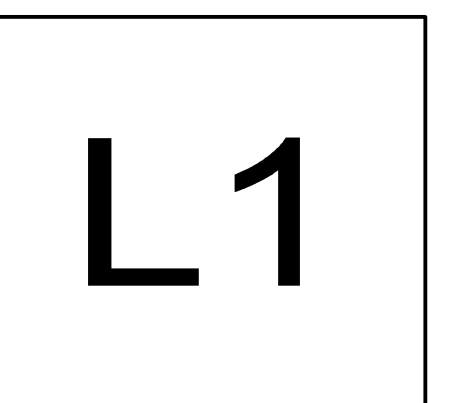
REVISIONS	
DATE	DESCRIPTION

FDP 7C
VILLEBOIS
ROW HOMES

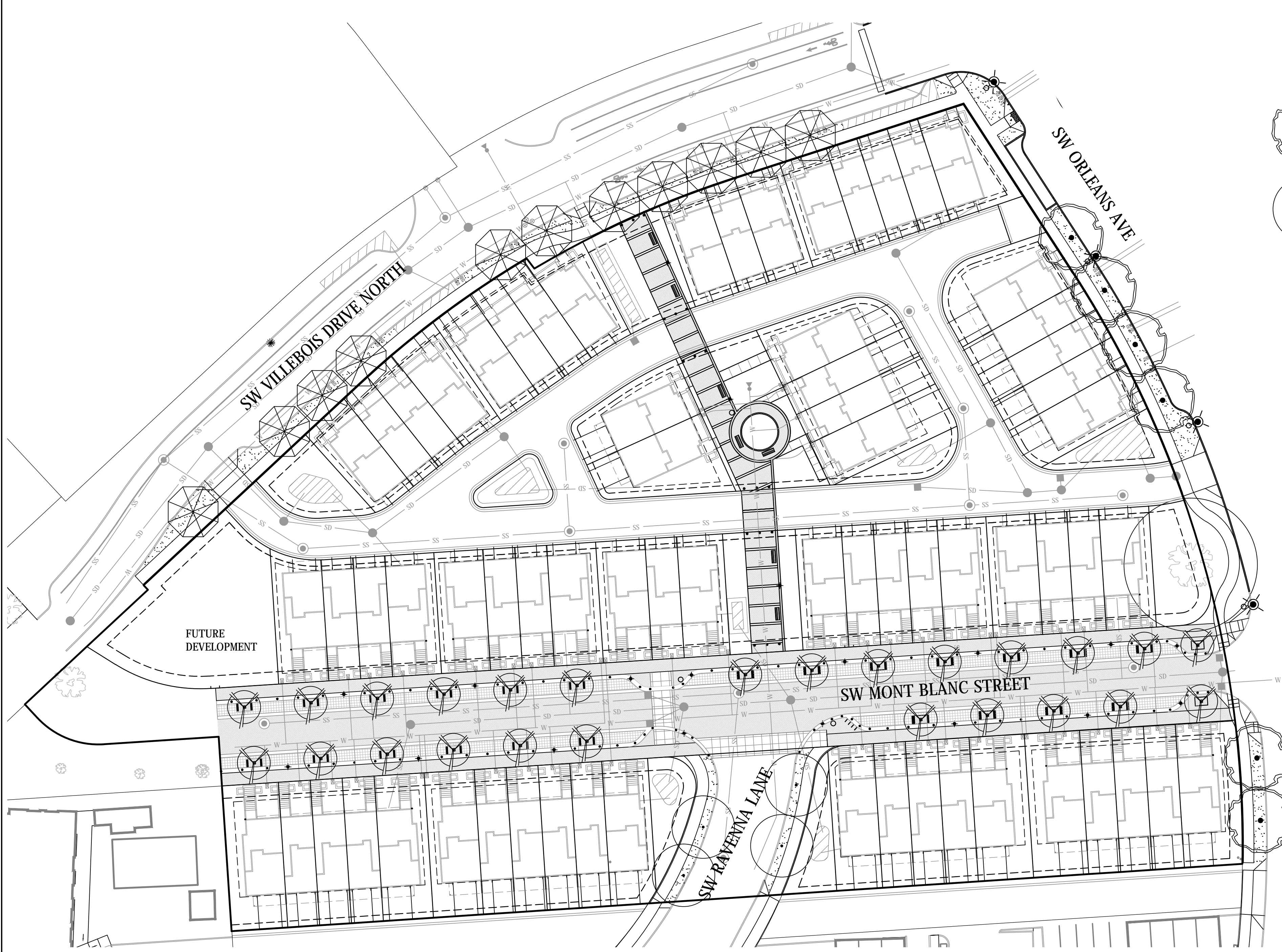
Final
Development
Plan

LAYOUT
PLAN

1ST SUBMITTAL DATE 4/29/2015



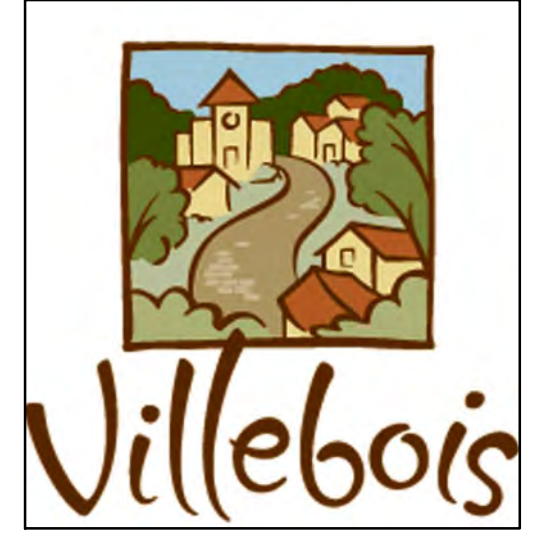
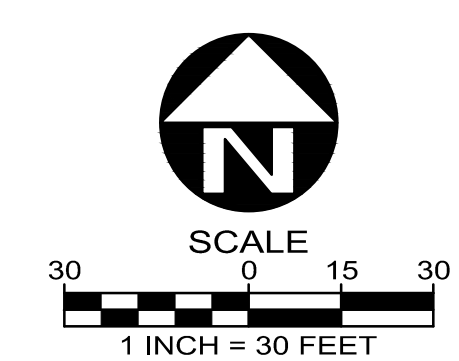
N:\proj\385-057\09 Drawings\03 Planning_Sheets - Planning_Submittal\Landscapes - FDP\385057-STREETTREE.LA.PDP-001.dwg - SHEET L2 - May 26, 15 - 3:55 PM.kel



STREET TREE LEGEND:

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE	SPACING
	11	EASY STREET MAPLE / ACER PLATANOIDES 'EZESTRE'	2" cal., B&B	25' o.c.
	6	AUTUMN APPLAUSE ASH / FRAXINUS AMERICANA 'AUTUMN APPLAUSE'	2" cal., B&B	30' o.c.
	25	ARMSTRONG RED MAPLE / ACER FREEMANII 'ARMSTRONG'	2.5" cal., B&B	25' o.c.
	4	AUTUMN BLAZE MAPLE / ACER FREEMANII 'AUTUMN BLAZE'	2.5" cal., B&B	25' o.c.
	3,898 S.F.	PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8LBS/1000 SQUARE FEET.		

ELEVATION DATUM: NAVD 88



POLYGON NW COMPANY



GEODESIGN, INC

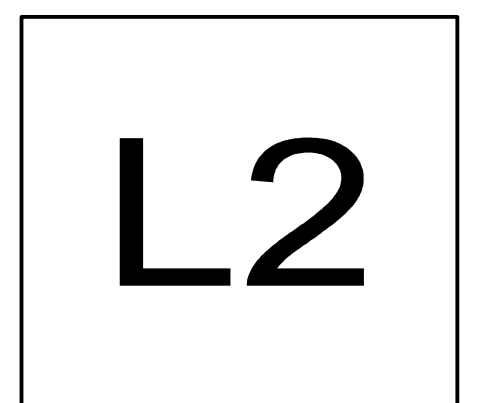
REVISIONS	
DATE	DESCRIPTION

FDP 7C
VILLEBOIS
ROW HOMES

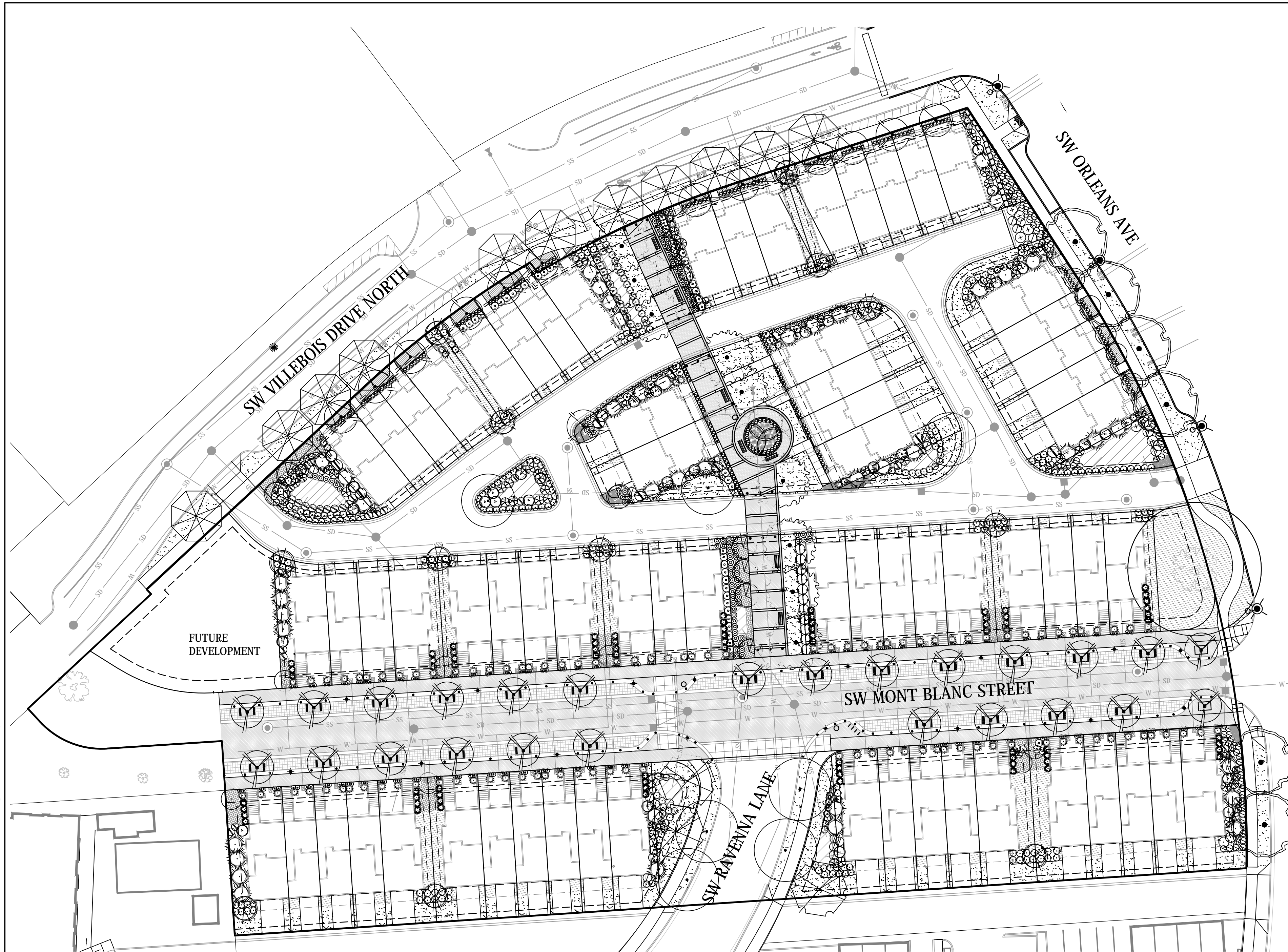
Final
Development
Plan

STREET TREE
PLAN

1ST SUBMITTAL DATE 4/29/2015



N:\proj\385-057\09 Drawings\03 Planning_Sheets - Planning_Submittal\Landscape_FDP\385057_PLANTING-LA-FDP.dwg - SHEET L3 - May, 26, 15 - 3:59 PM kel



PLANTING LEGEND:

TREES		
SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	RED SUNSET MAPLE / ACER RUBRUM FRANKSRED	2' CAL., B&B
	VINE MAPLE / ACER CIRCINATUM	2' CAL., B&B
	JAPANESE MAPLE / ACER PALMATUM	8' HT.
	GREENSPICE LINDEN / TILIA CORDATA GREENSPIRE	2' CAL., B&B
	INCENSE CEDAR / CALOCEDRUS DECURRENS	8' HT., B&B
	CHINESE KOUSA DOGWOOD / CORNUS KOUSA CHINENSIS	2' CAL., B&B

SHRUBS		
SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	'NIKKO BLUE' HYDRANGEA / HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	3 GAL.
	DAVID VIBURNUM / VIBURNUM DAVIDII	2 GAL.
	DOUBLEFILE VIBURNUM / VIBURNUM PLICATUM 'TOMENTOSUM'	3 GAL.
	COMPACT JAPANESE HOLLY / ILEX CRENATA 'COMPACTA'	3 GAL.
	DWARF BURNING BUSH / EUONYMUS ALATA 'GOLDFLAME'	3 GAL.
	GOLDFLAME SPIREA / SPIRAEA X BUMALDA 'GOLDFLAME'	3 GAL.
	RHODODENDRON 'PM'	24"-30", B&B, 5' O.C.
	RHODODENDRON 'JEAN MARIE DE MONTEGUE'	3 GAL.
	IRISH YEW / TAXUS BACCATA 'FASTIGIATA'	3 GAL.
	NEW ZEALAND FLAX / PHORMIUM SHIBAZI	2 GAL.
	FOREST FLAME PIERIS / PIERIS JAPONICA 'FOREST FLAME'	3 GAL.
	SHOWA-NO-SAKAE CAMELLIA / CAMELLIA SASANQUA 'SHOWA-NO-SAKAE'	2 GAL.
	REDTWIG DOGWOOD / CORNUS STOLONIFERA	3 GAL.
	ISANTI REDOSER DOGWOOD / CORNUS SERICEA 'ISANTI'	3 GAL.
	HOOGENDORN JAPANESE HOLLY / ILEX CRENATA 'HOOGENDORN'	3 GAL.

ORNAMENTAL GRASSES AND GROUNDCOVERS		
SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	CABARET JAPANESE SILVER GRASS / MISCANTHUS SINENSIS 'CABARET'	2 GAL.
	DWARF FOUNTAIN GRASS / PENNISETUM ALOPECUROIDES 'HAMLEN'	1 GAL.
	MULCH	3" MIN. DEPTH, MEDIUM TO FINE GROUND DOUGLAS FIR
	PRO-TIME 309	SUPREME MIX GRASS SEED BY HOBBS AND HOPKINS, LTD. AT A RATE OF 8 LBS/1000 SQUARE FEET.

NOTE:
1. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

BIORETENTION CELL PLANTING LEGEND

TREES/SHRUBS		
SYMBOL	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	WEeping ALASKAN CEDAR / CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	7-8' HT., B&B
	PACIFIC DOGWOOD / CORNUS NUTTALLII	2' CAL., B&B
	NOOTKA ROSE / ROSA NUTKANANA	#1 CONTAINER
	RED TWIG DOGWOOD / CORNUS SERICEA	#1 CONTAINER
	KELSEY DOGWOOD / CORNUS SERICEA 'KELSEY'	#1 CONTAINER
	SNOWBERRY / SYMPHOROCARPUS ALBA	#1 CONTAINER
	'WETMOIST' AREA PLUGS	(4" PLUGS @ 12" O.C.)
	SLOUGH SEDGE / CAREX OBLINPTA	34%
	SOFT RUSH / JUNCUS TENUS	33%
	SMALL FRUITED BULRUSH / SCIRPUS MICROCARPUS	33%

NOTE:
SEE SHEET L2 FOR STREET LEGEND AND DETAILS



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

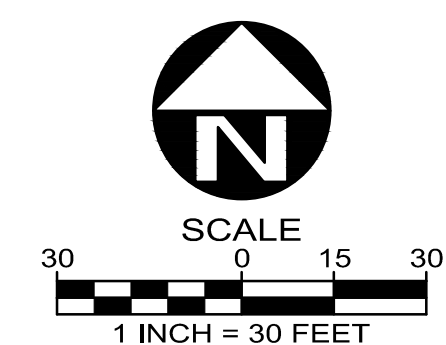
FDP 7C
VILLEBOIS
ROW HOMES

Final
Development
Plan

PLANTING
PLAN

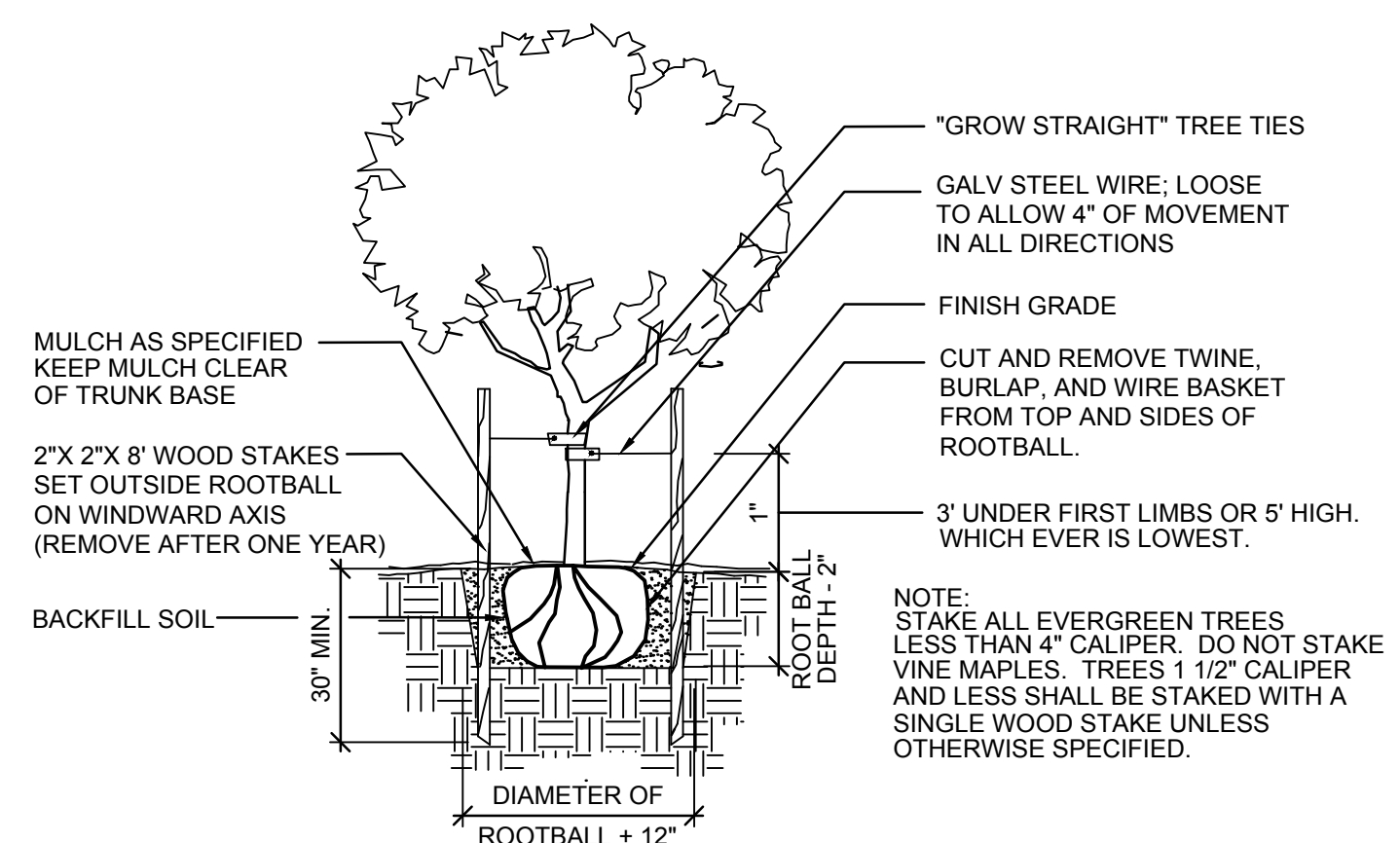
1ST SUBMITTAL DATE 4/29/2015

ELEVATION DATUM: NAVD 88



L3

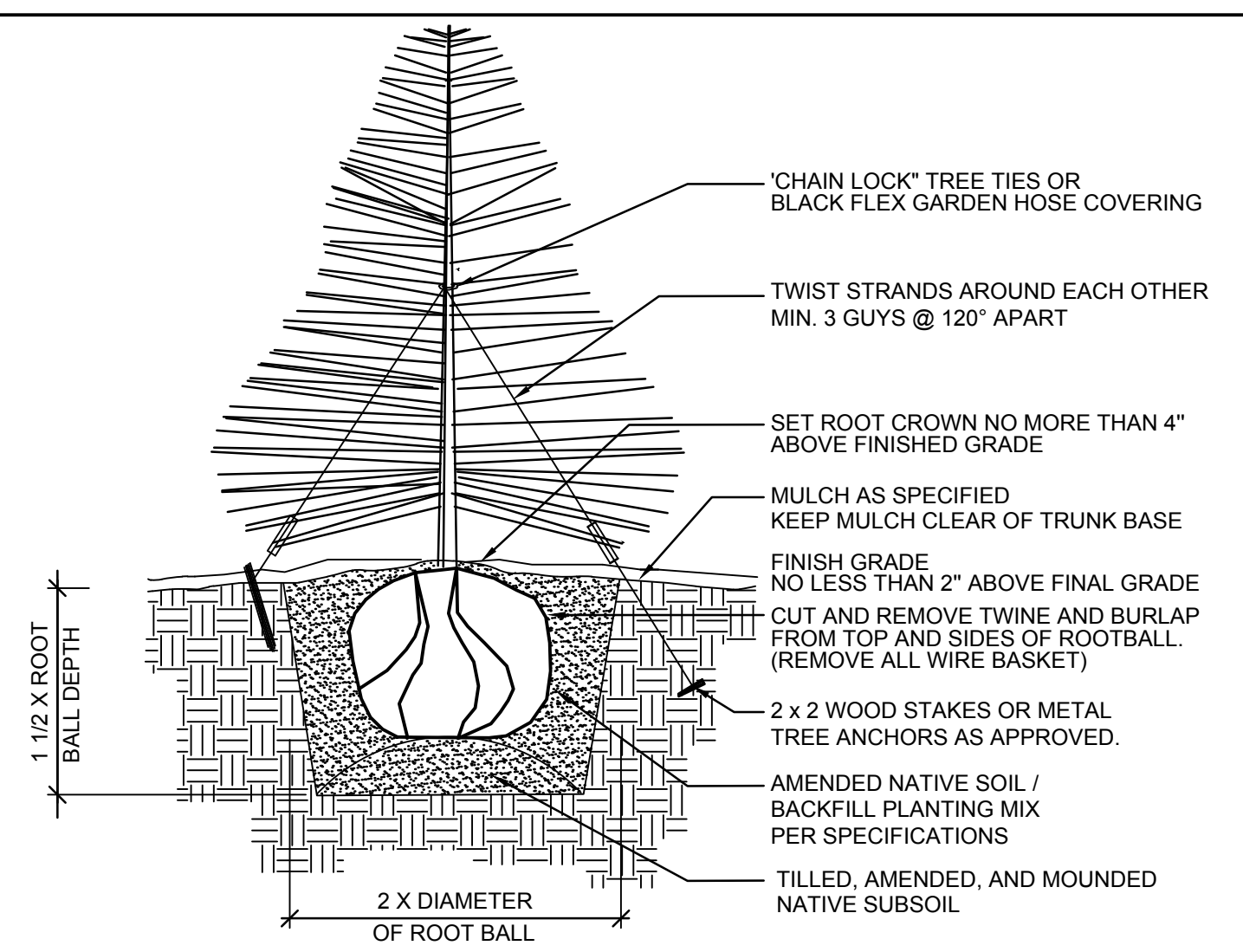
N:\proj\395-057\09 Drawings\03 Planning_Sheets - Planning Submittal\Landscape\FDP_395057_DETAILS-002-LA-FDP.dwg - SHEET.L1 May, 15 - 4:00 PM kel



TREE STAKING DETAIL

SCALE: N.T.S.

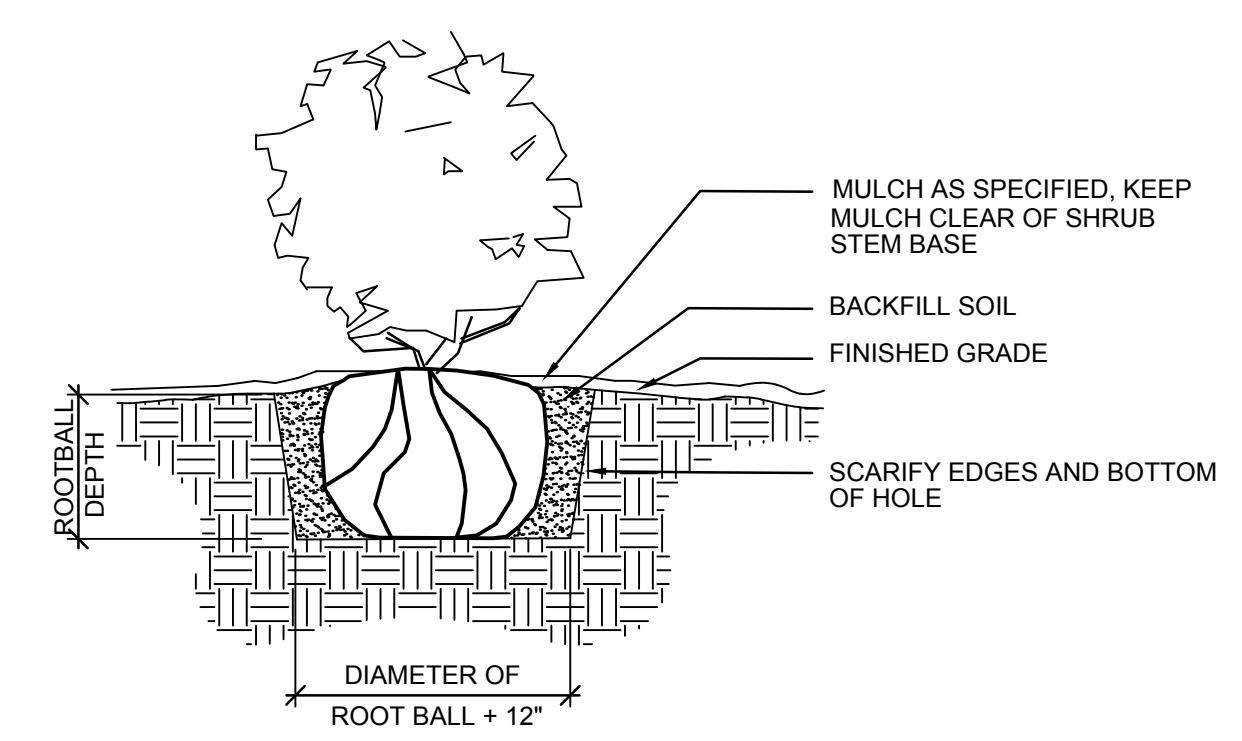
1
L4



CONFIER TREE GUYING DETAIL

SCALE: N.T.S.

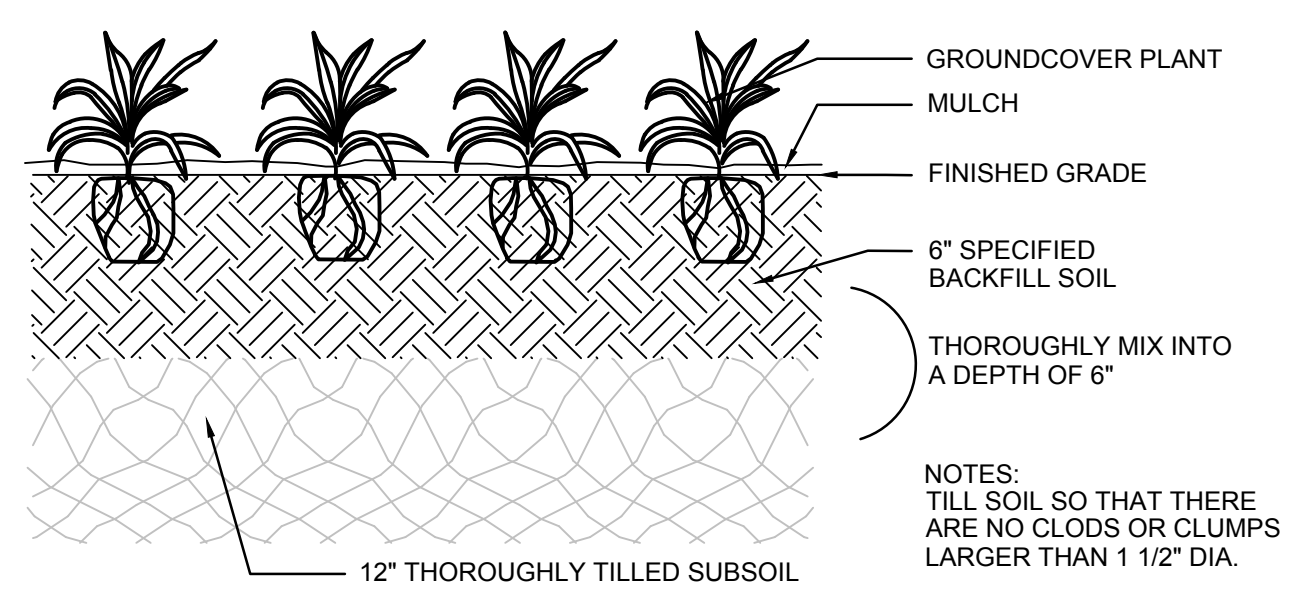
2
L4



SHRUB PLANTING DETAIL

SCALE: N.T.S.

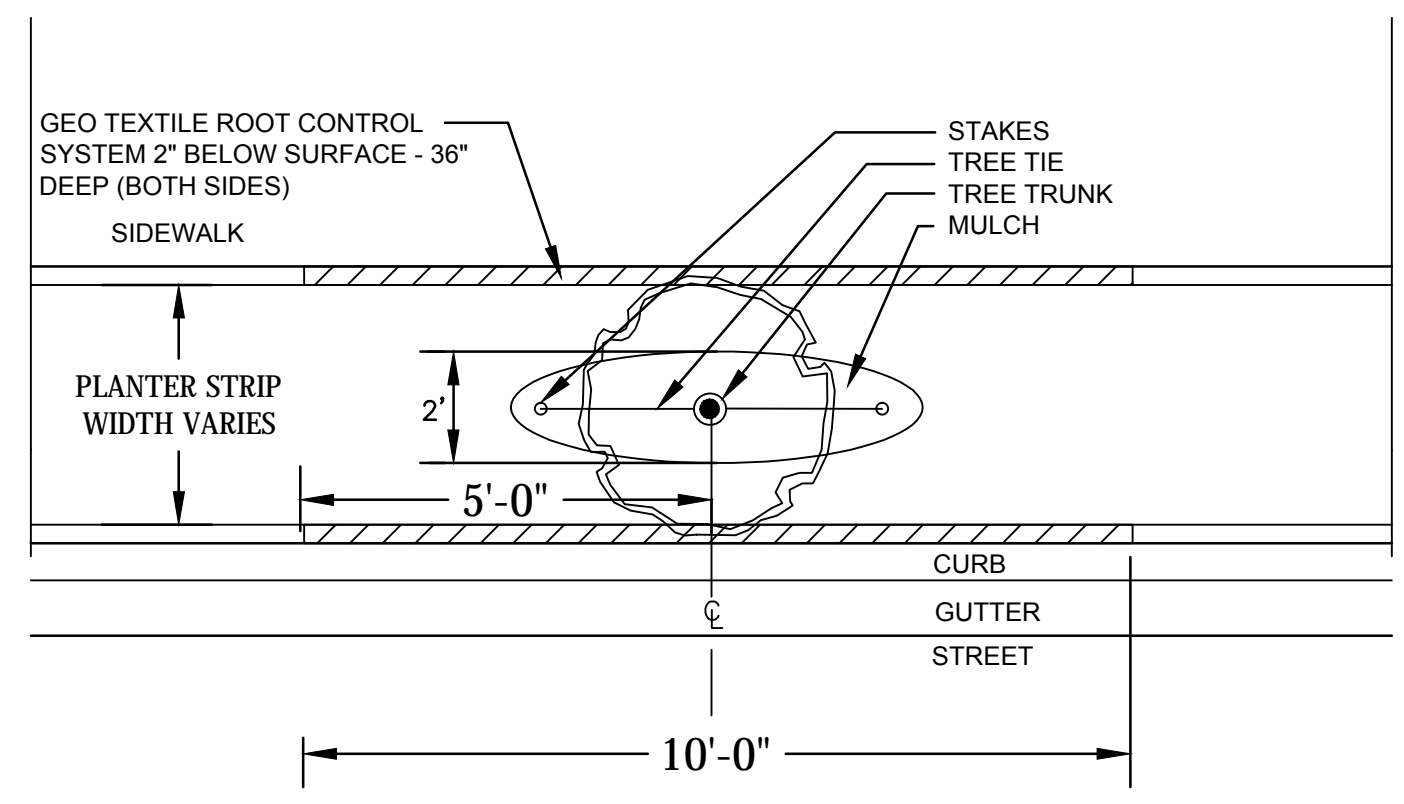
3
L4



GROUNDCOVER PLANTING DETAIL

SCALE: N.T.S.

4
L4



TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S.

5
L4

GENERAL NOTES: LANDSCAPE PLAN

1. THE CONTRACTOR SHALL VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO ODR.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN A BARK MULCH BED, UNLESS NOTED OTHERWISE.
5. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
7. CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
8. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT TAG AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
9. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
10. WITH THE EXCEPTION OF THOSE TREES INDICATED ON THE TREE REMOVAL PLAN, CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ODR. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE ODR.
11. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY ODR TO ADJUST TREE LOCATIONS.
12. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE ODR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
13. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
14. BACK FILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN: ONE PART FINE GRADE COMPOST TO ONE PART TOPSOIL BY VOLUME, BONE MEAL PER MANUFACTURE'S RECOMMENDATION, AND SLOW RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATION.
15. GROUND COVERS AND PERENNIALS SHALL BE PLANTED WITH A MAXIMUM 2 INCH COVER OF BARK MULCH WITH NO FOLIAGE COVERED.
16. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
17. ALL PLANT MATERIALS SHALL BE NURSERY GROWN WITH HEALTHY ROOT SYSTEMS AND FULL BRANCHING, DISEASE AND INSECT FREE AND WITHOUT DEFECTS SUCH AS SUN SCALD, ABRASIONS, INJURIES AND DISFIGUREMENT.
18. ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE AND QUANTITY SPECIFIED. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SUB-STANDARD RESULTS CAUSED BY REDUCTION IN SIZE AND/OR QUANTITY OF PLANT MATERIALS.
19. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

ELEVATION DATUM: NAVD 88



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

FDP 7C
VILLEBOIS
ROW HOMES

Final
Development
Plan

PLANTING
DETAILS &
NOTES

1ST SUBMITTAL DATE 4/29/2015

L4



MANUFACTURER: FUNCTION FIRST BIKE SECURITY
 MODEL: THE BIKE RIB
 MATERIAL: STEEL PIPE
 FINISH: BLACK AND POWDERCOATED
 SIZE: 1.25" SCHEDULE 40 STEEL PIPE, 18"W x 32"H

BIKE RACK

SCALE: N.T.S

1
L5

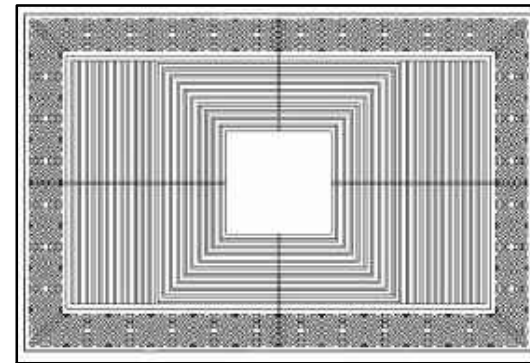


MANUFACTURER: LANDSCAPE FORMS
 MODEL: THE PLAINWELL LITTER RECEPTACLE WITH DOME
 MATERIAL: STEEL
 FINISH: BLACK AND POWDERCOATED
 SIZE: 30" DIAMETER, 38" HEIGHT, 35 GALLON CAPACITY

TRASH RECEPTACLE

SCALE: N.T.S

2
L5



MANUFACTURER: URBAN ACCESSORIES
 MODEL: CHINOOK
 FINISH: CAST IRON
 SIZE: 4'X6'

TREE GRATE W/BASALT CURB

SCALE: N.T.S

4
L5

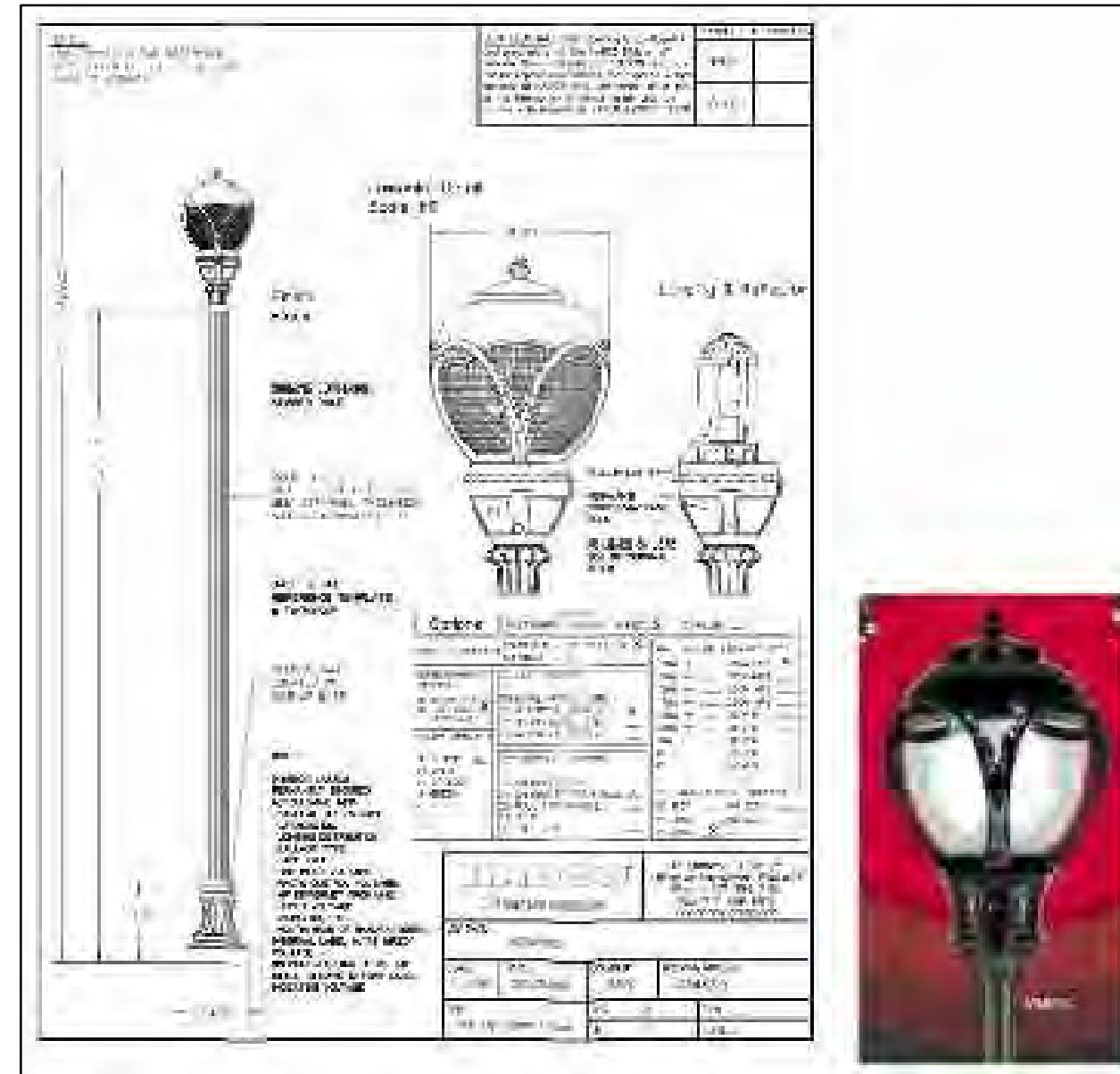


URBAN / GREENWAY BENCH
 MANUFACTURER: LANDSCAPE FORMS
 MODEL: THE PLAINWELL SERIES
 MATERIAL: METAL, ALUMINUM SEAT
 FINISH: BLACK POWDERCOATED
 SIZE: 72" LENGTH

BENCH

SCALE: N.T.S

5
L5

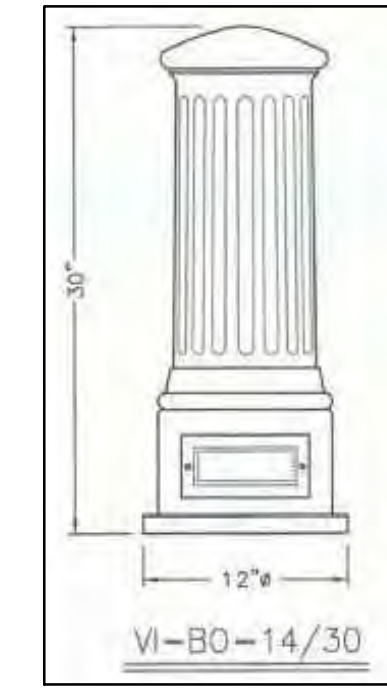


MANUFACTURER: HADCO
 LUMINAIRE: HADCO S8867E (SINGLE), S8867N (TWIN)
 POLE: 14" DECORATIVE CAST ALUMINUM P-2065-14-A
 FOOTING: AB CHANGE - C11242NG4TK W/ROUND MOUNTING PLATE
 FINISH: BLACK

LIGHT POLE

SCALE: N.T.S

6
L5



MANUFACTURER: VISCO
 MODEL: VI-BO-14L
 FINISH: BLACK POWDER COAT
 SIZE: 30" H x 12" Dia.

URBAN BOLLARD

SCALE: N.T.S

3
L5



PAVER CONCRETE BAND

SCALE: N.T.S

7
L5



SCORED CONCRETE CROSSWALK

SCALE: N.T.S

11
L5



EXPOSED AGGREGATE BAND

SCALE: N.T.S

8
L5



CONCRETE UNIT PAVERS WITH HELL-PROOF POLYMERIC SAND JOINTS
 MANUFACTURER: WILLAMETTE GRAYSTONE
 MODEL: AQUABRIC PERMEABLE CONCRETE
 COLOR: AUTUMN BLEND
 FINISH: CENTURY
 SIZE: 5" X 10" X 60MM - HARRINGBONE PATTERN

PAVERS

SCALE: N.T.S

9
L5



PERMEABLE CONCRETE UNIT PAVERS AT ON-STREET PARKING STALLS
 MANUFACTURER: WILLAMETTE GRAYSTONE
 MODEL: AQUAPAVE PERMEABLE CONCRETE PAVER
 COLOR: GRAY
 FINISH: STACKED
 SIZE: 9.5 X 9.5" X 80MM

PAVERS

SCALE: N.T.S

10
L5



PERMEABLE CONCRETE UNIT PAVERS AT VEHICULAR AREAS
 MANUFACTURER: WILLAMETTE GRAYSTONE
 MODEL: AQUAPAVE PERMEABLE CONCRETE PAVER
 COLOR: CHARCOAL
 FINISH: CENTURY
 SIZE: 5" X 10" X 80MM - HARRINGBONE PATTERN

PAVERS

SCALE: N.T.S

12
L5

ELEVATION DATUM: NAVD 88

N:\proj\395-057-09 Drawings\03 Planning_Sheets - Planning Submittal\Landscapes - FDP\395057.DETAILS-01-LA-FDP.dwg - SHEET L1 May 26, 15 - 3:59 PM kel



POLYGON NW COMPANY



GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

**FDP 7C
VILLEBOIS
ROW HOMES**

Final
Development
Plan

**LANDSCAPE
DETAILS &
MATERIALS**

1ST SUBMITTAL DATE 4/29/2015

L5



BROWNSTONE 3-PLEX

3/16" = 1'-0"

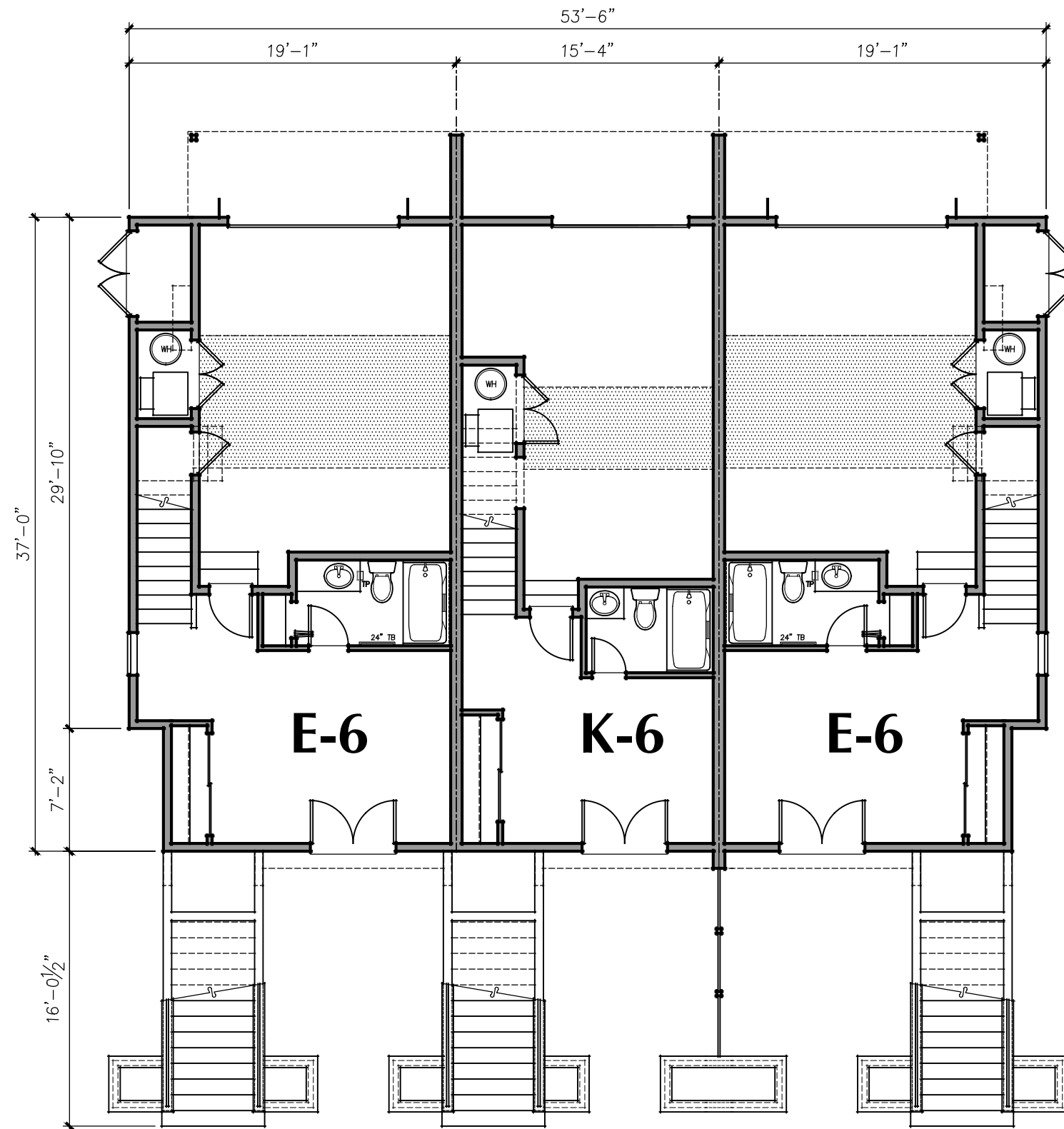
FRONT ELEVATION



BROWNSTONE 3-PLEX

3/16" = 1'-0"

REAR ELEVATION

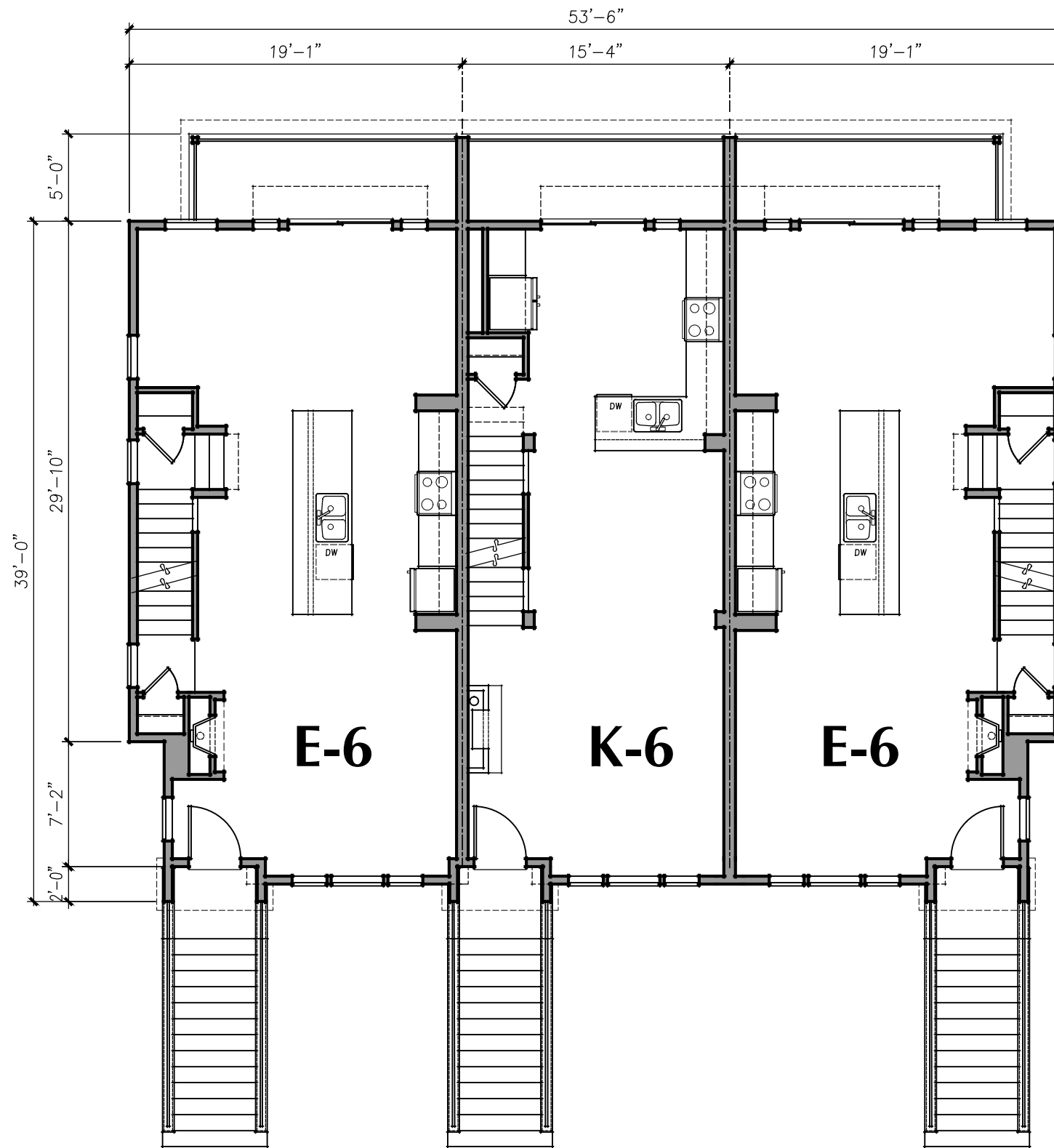


3-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

BROWNSTONE ROWHOUSES

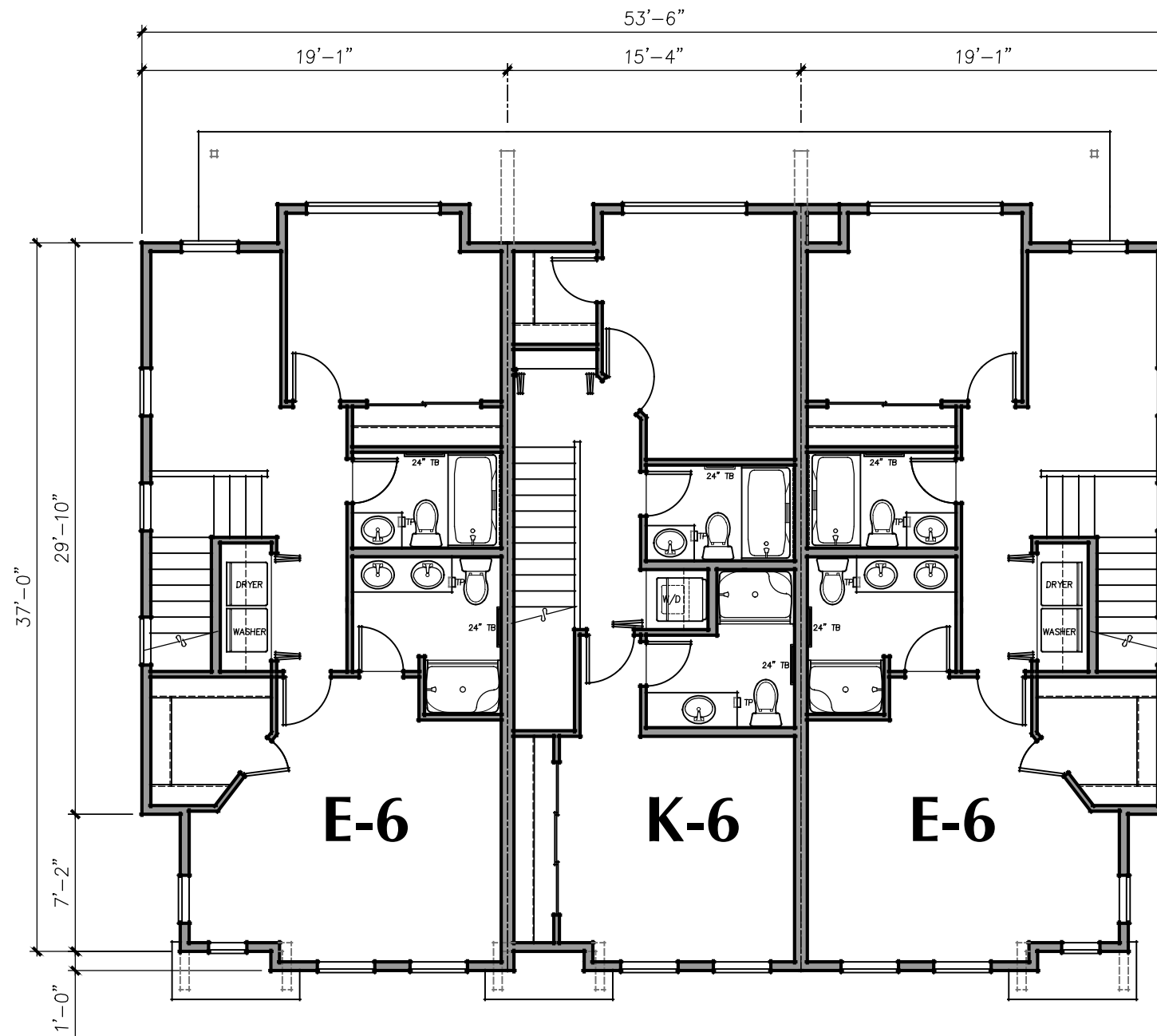


3-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

BROWNSTONE ROWHOUSES



3-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

BROWNSTONE ROWHOUSES



BROWNSTONE 4-PLEX

3/16" = 1'-0"

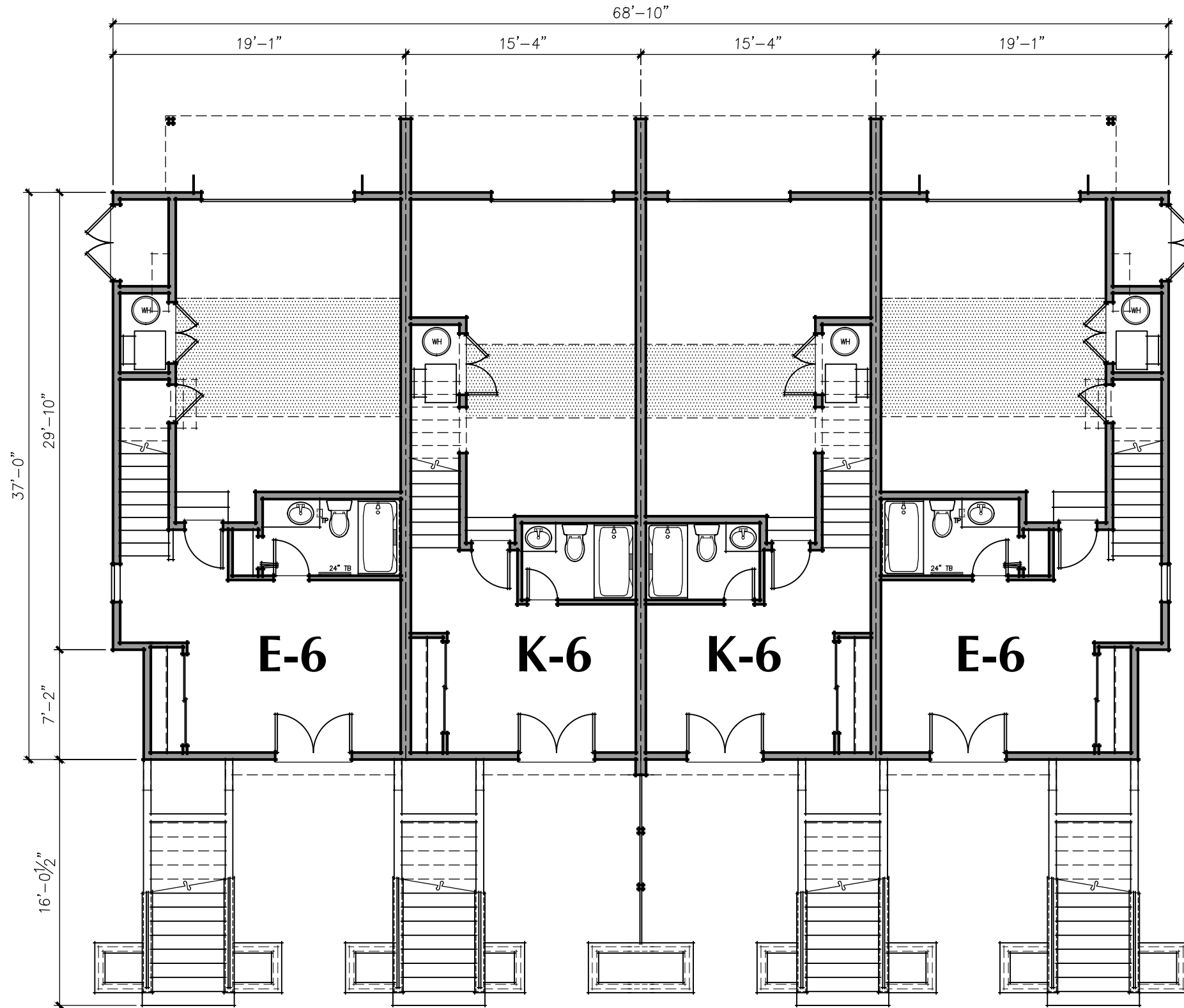
FRONT ELEVATION



BROWNSTONE 4-PLEX

3/16" = 1'-0"

REAR ELEVATION

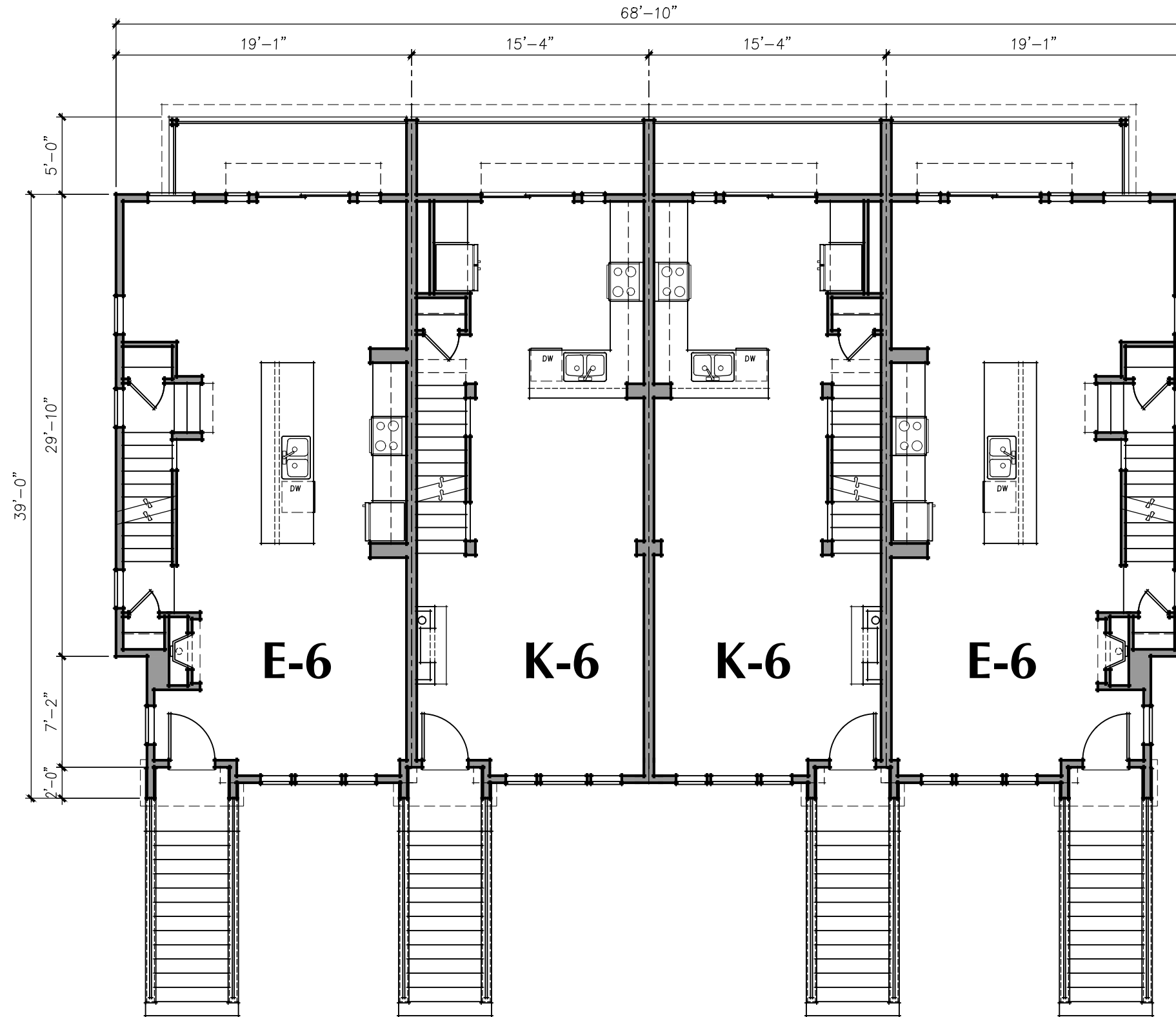


4-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

BROWNSTONE ROWHOUSES

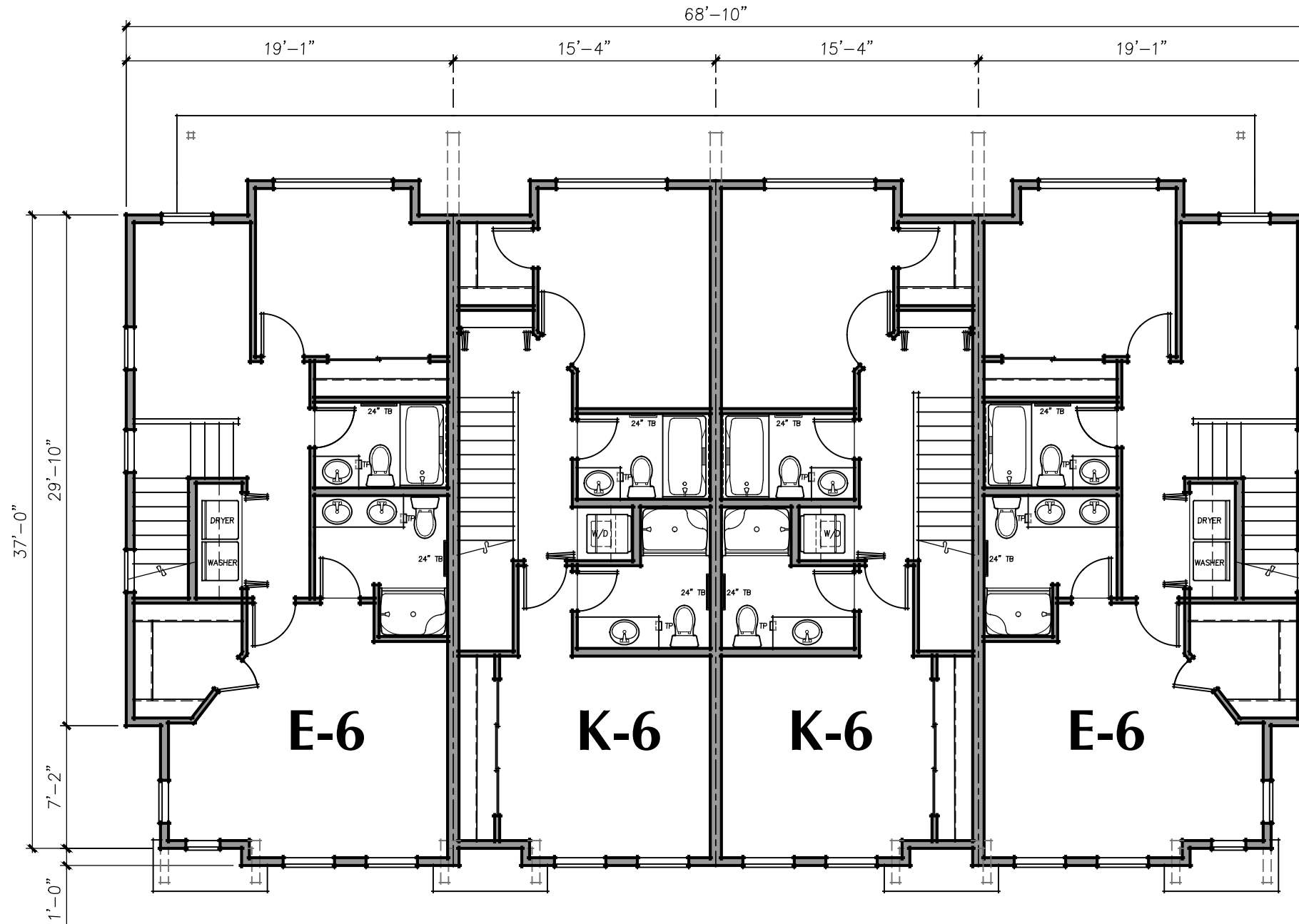


4-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

BROWNSTONE ROWHOUSES



4-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

BROWNSTONE ROWHOUSES



BROWNSTONE 5-PLEX

3/16" = 1'-0"

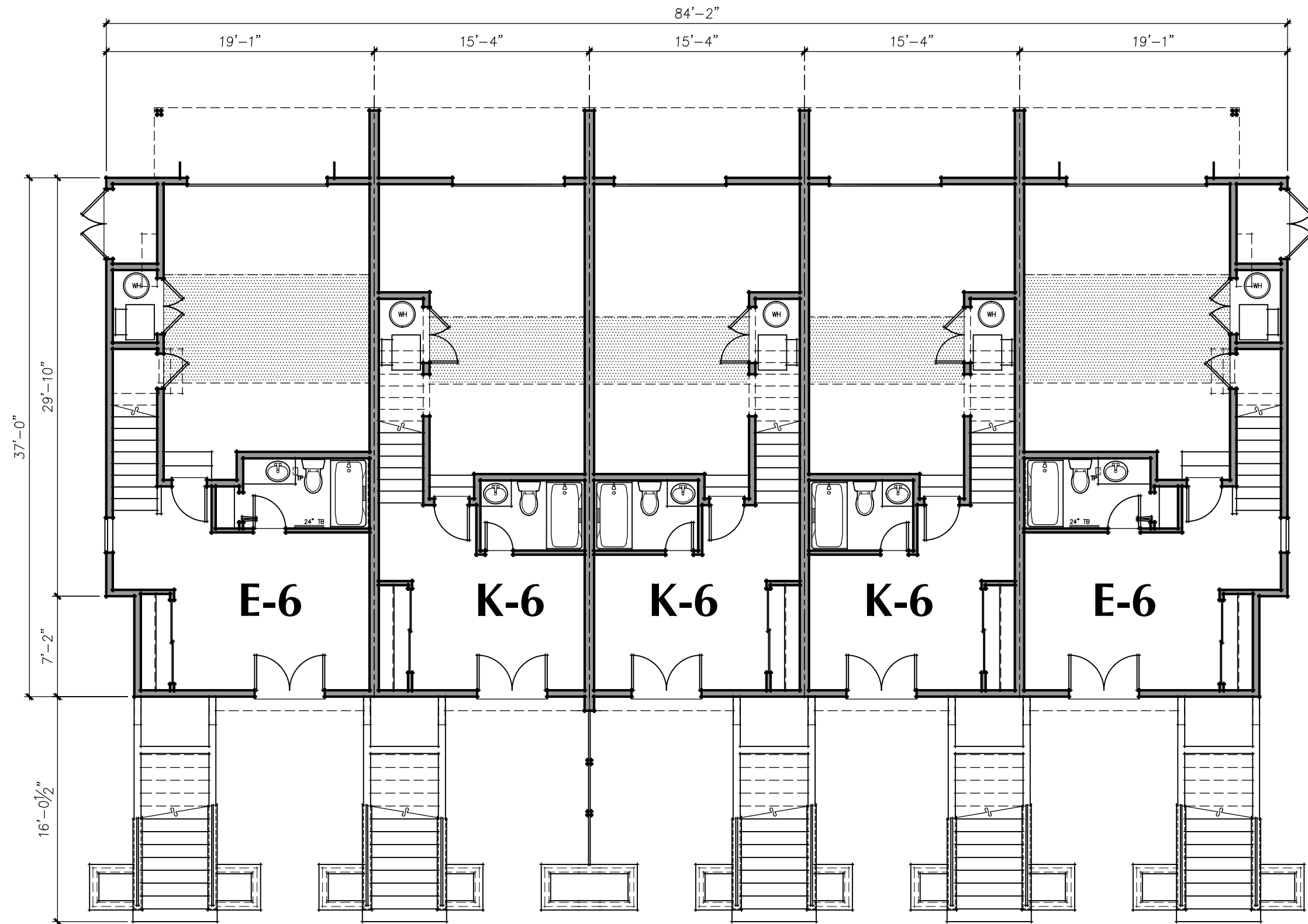
FRONT ELEVATION



BROWNSTONE 5-PLEX

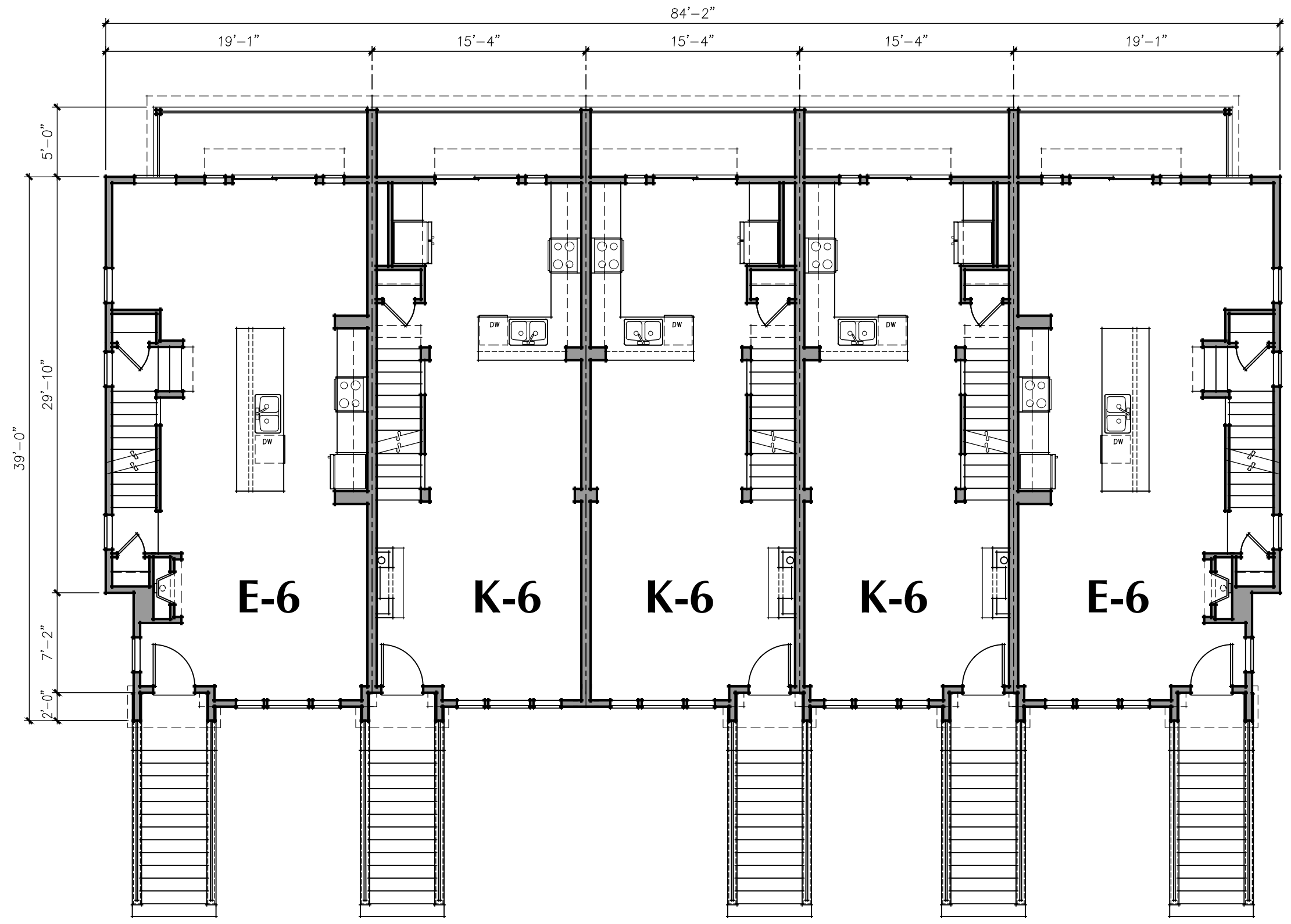
3/16" = 1'-0"

REAR ELEVATION



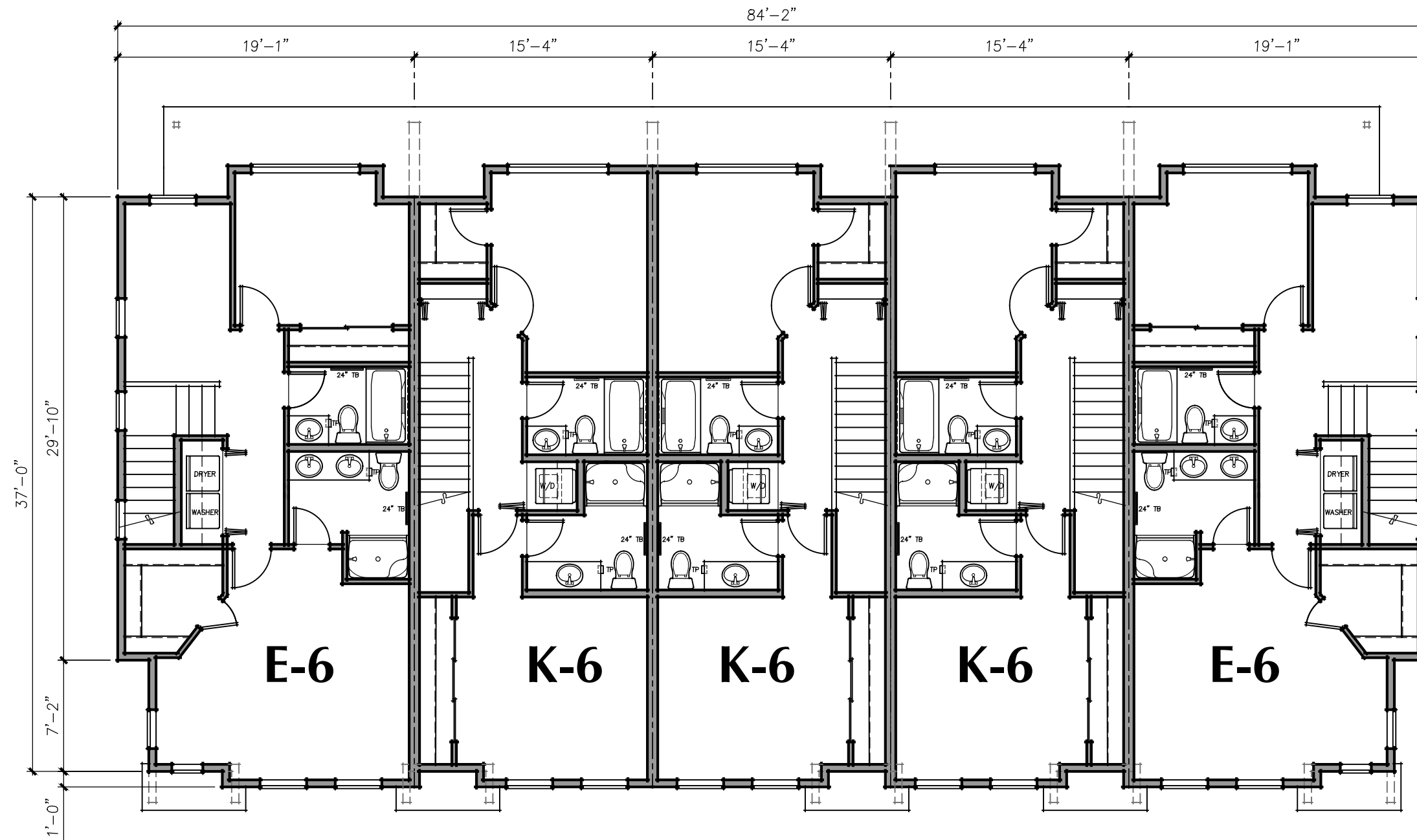
5-Plex
1/8" = 1'-0"

LOWER LEVEL PLAN
BROWNSTONE ROWHOUSES



5-Plex
 1/8" = 1'-0"

MIDDLE LEVEL PLAN
 BROWNSTONE ROWHOUSES



5-Plex
 1/8" = 1'-0"

UPPER LEVEL PLAN
 BROWNSTONE ROWHOUSES



BROWNSTONE 6-PLEX

3/16" = 1'-0"

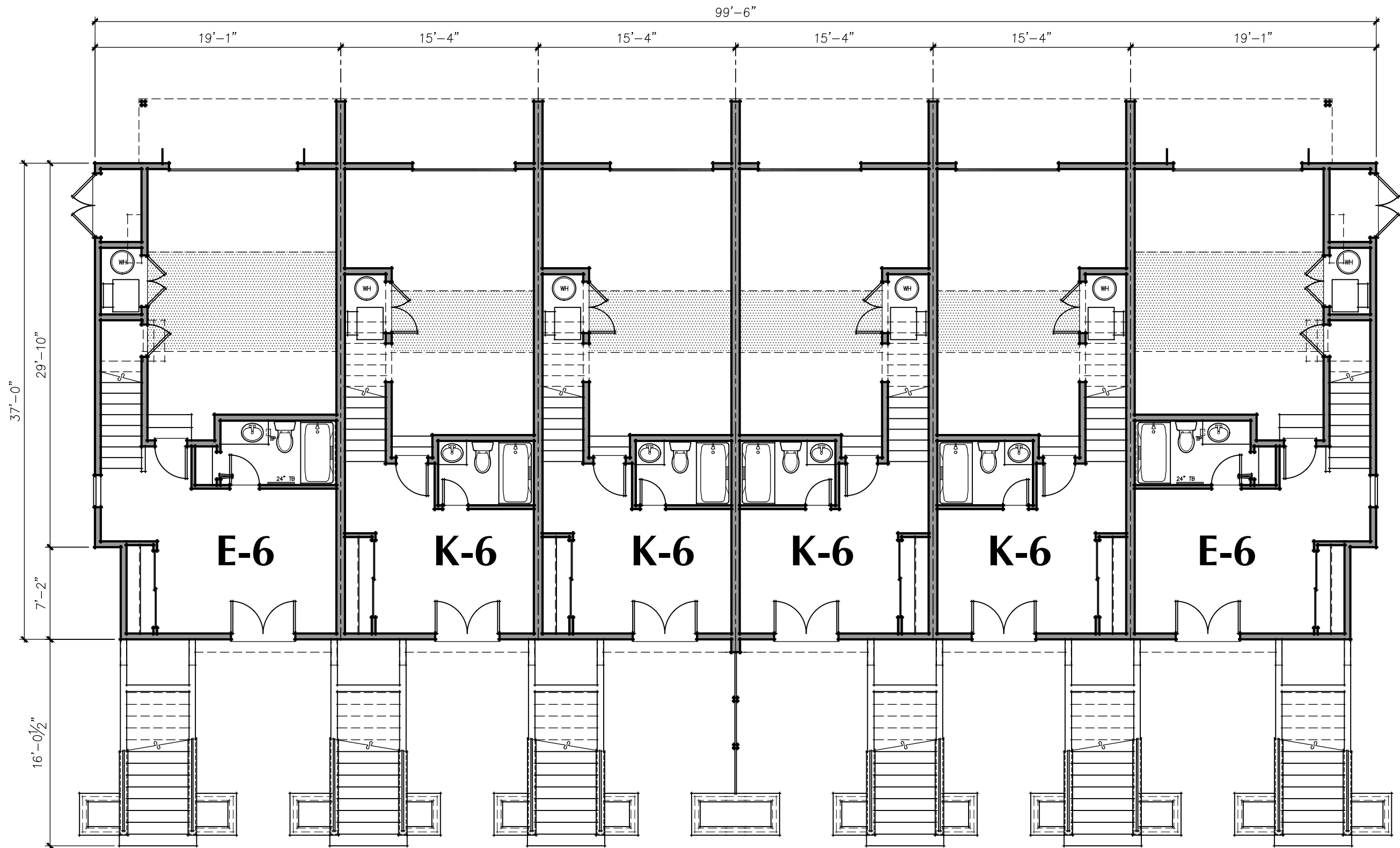
FRONT ELEVATION



BROWNSTONE 6-PLEX

3/16" = 1'-0"

REAR ELEVATION

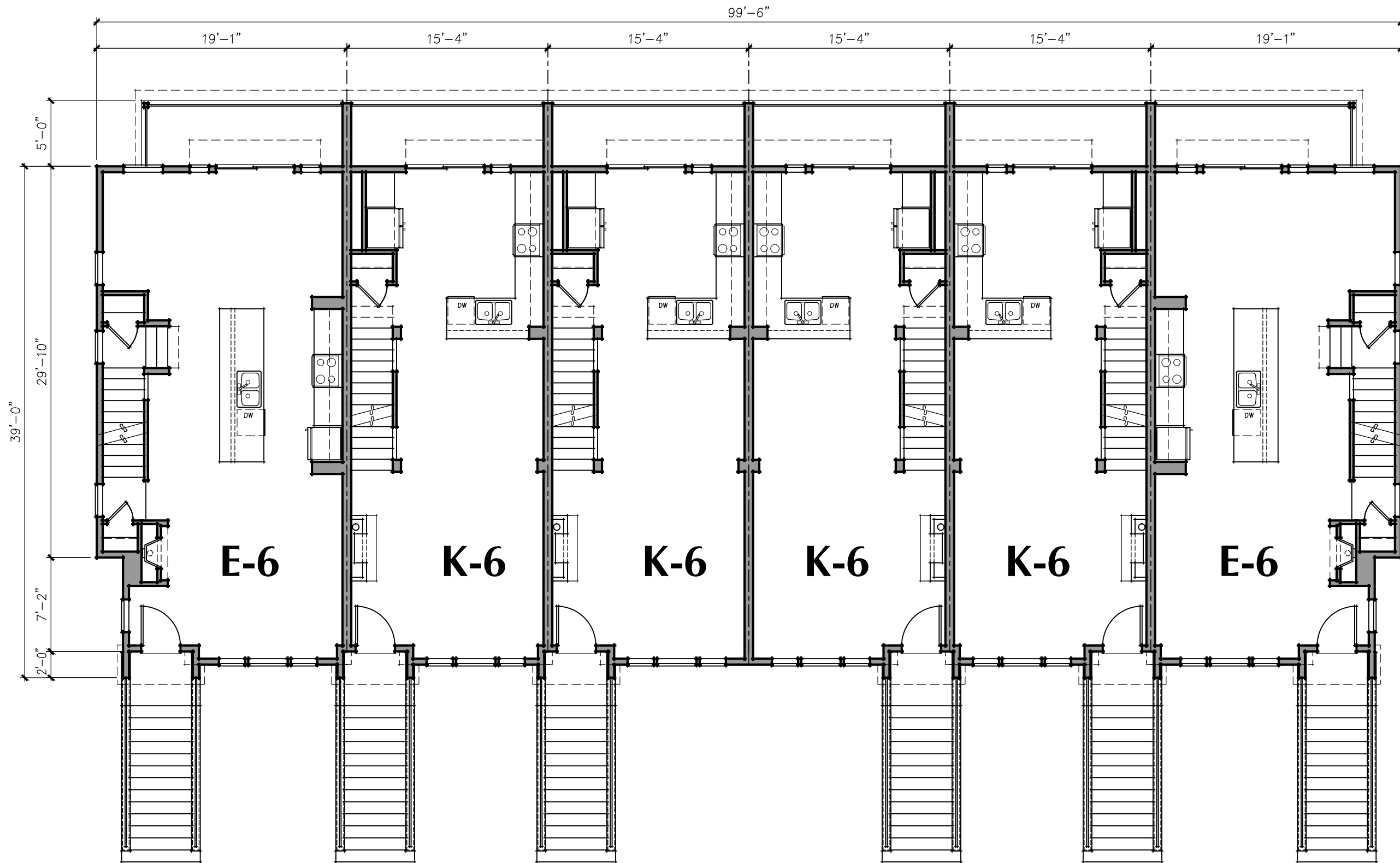


6-Plex

1/8" = 1'-0"

LOWER LEVEL PLAN

BROWNSTONE ROWHOUSES

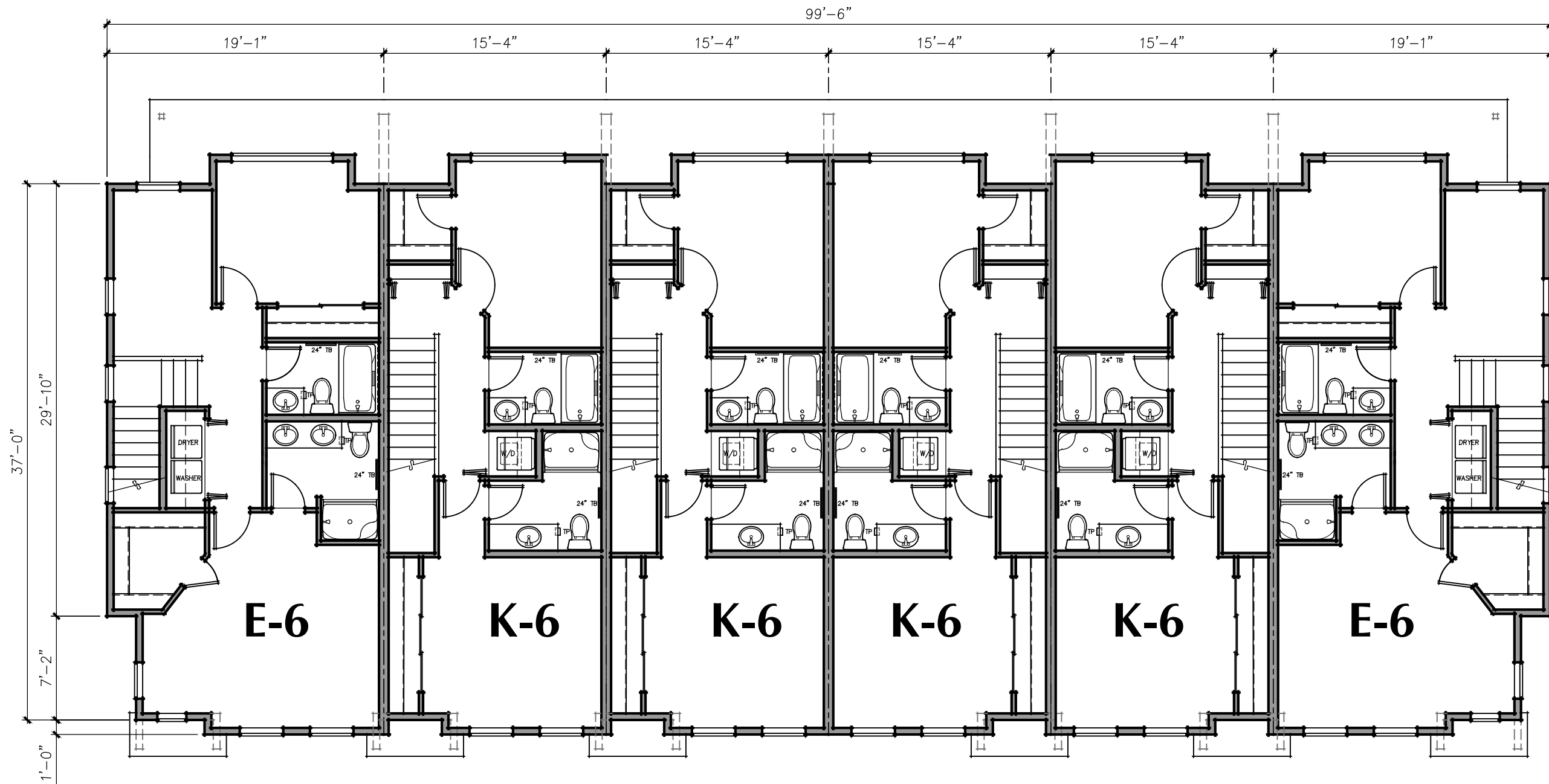


6-Plex

1/8" = 1'-0"

MIDDLE LEVEL PLAN

BROWNSTONE ROWHOUSES



6-Plex

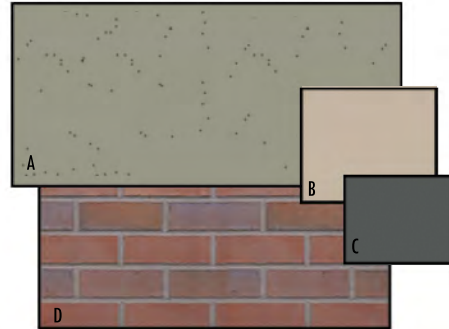
1/8" = 1'-0"

UPPER LEVEL PLAN

BROWNSTONE ROWHOUSES

Color Legend

- A BODY**
STUCCO PANEL SIDING
SW GREEN EARTH (7748)
- B ACCENT 1**
WOOD TRIM, COLUMNS,
METAL DOWNSPOUTS
& PRECAST ELEMENTS
SW PAVILLION BEIGE (7512)
- C ACCENT 2**
DOORS
SW LAUREL WOODS (7749)
- D BRICK VENEER**
AUTUMN BLEND - SMOOTH



NOTE:
DOWNSPOUTS SHALL CONNECT
WITH STREET'S DRAINAGE AS PER
RAINWATER MANAGEMENT PLAN

BROWNSTONE STYLE

3/16" = 1'-0"

SIDE ELEVATION



LONDON 3-PLEX

3/16" = 1'-0"

FRONT ELEVATION

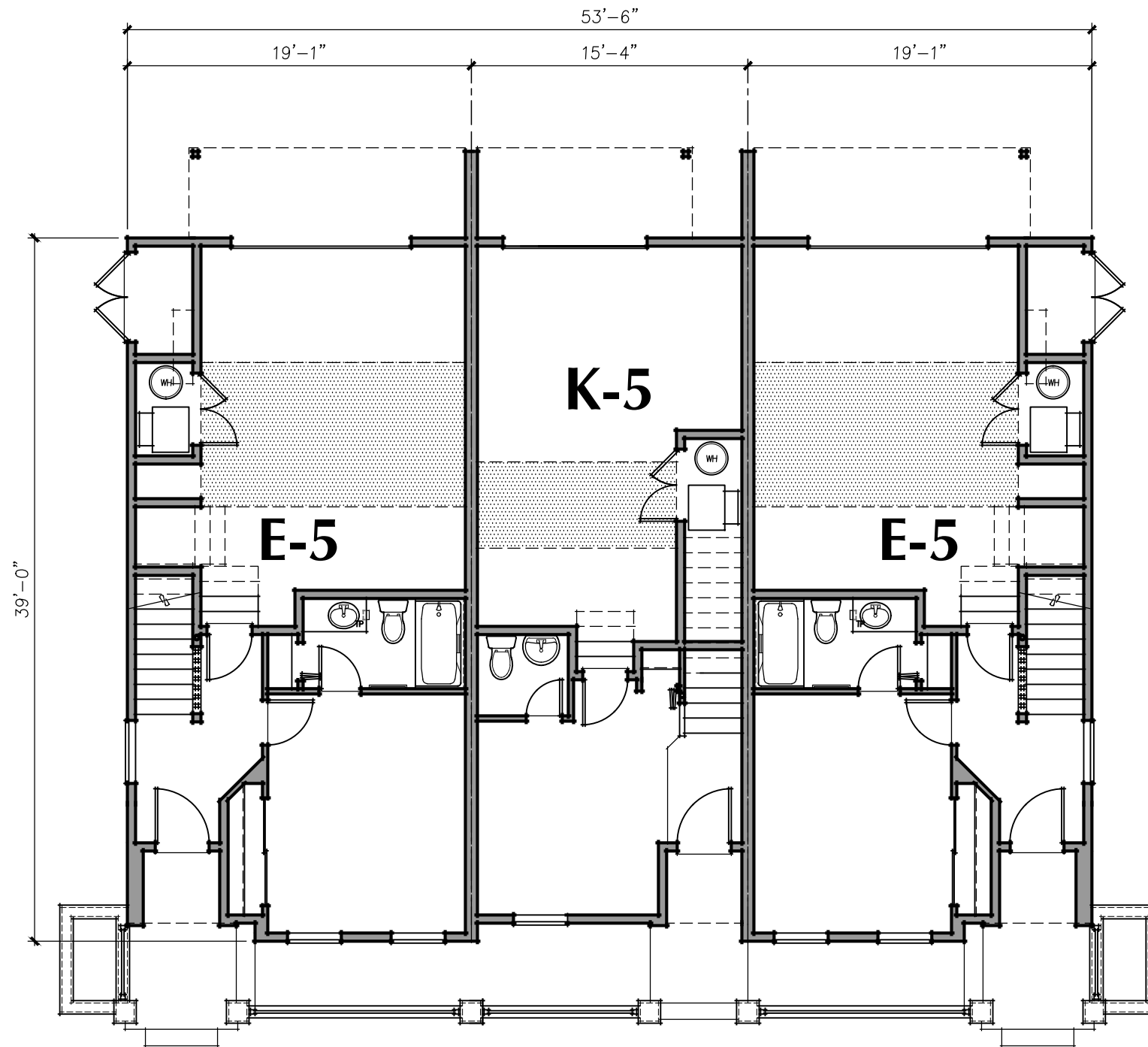


3-PLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES

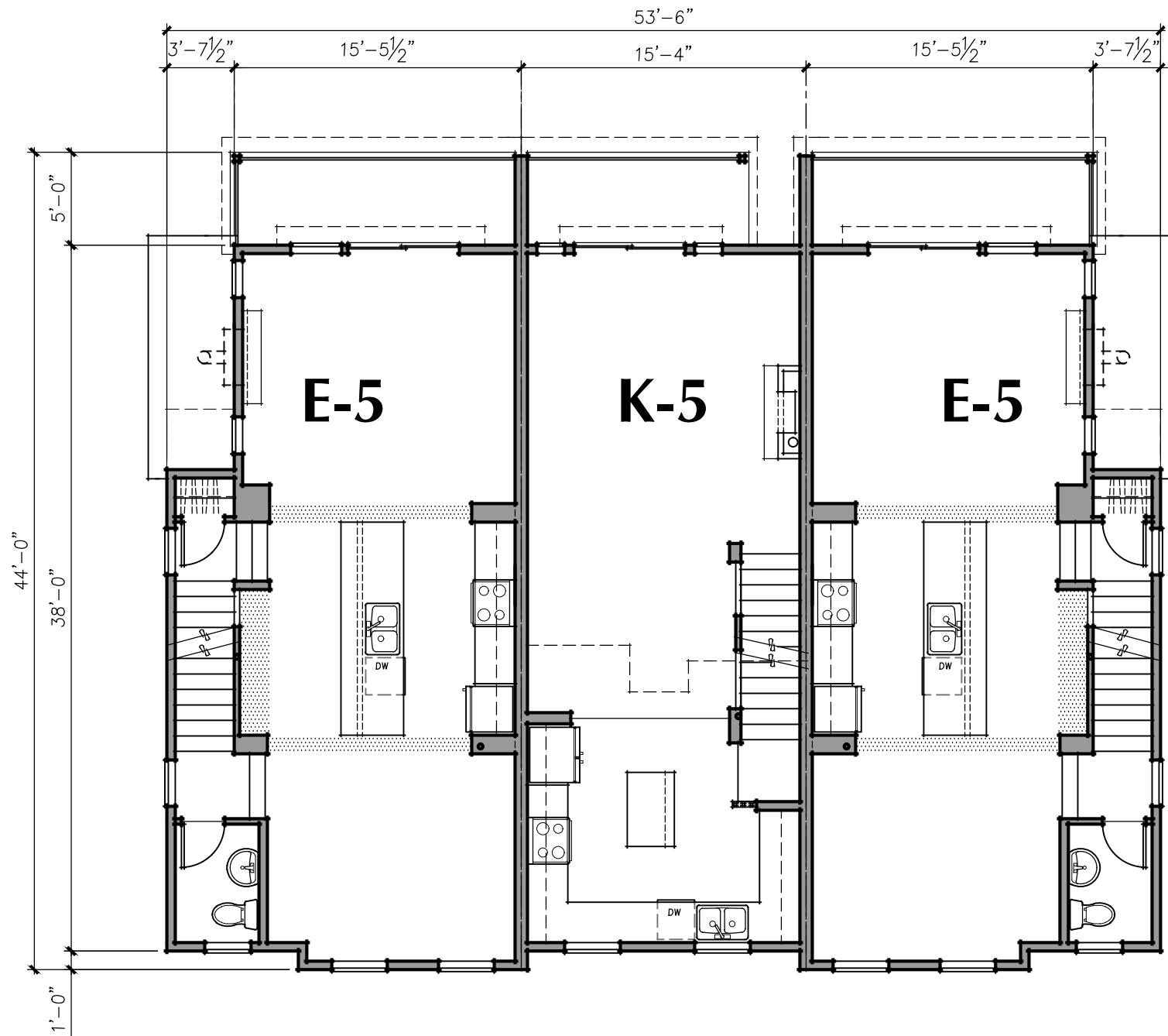


3-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

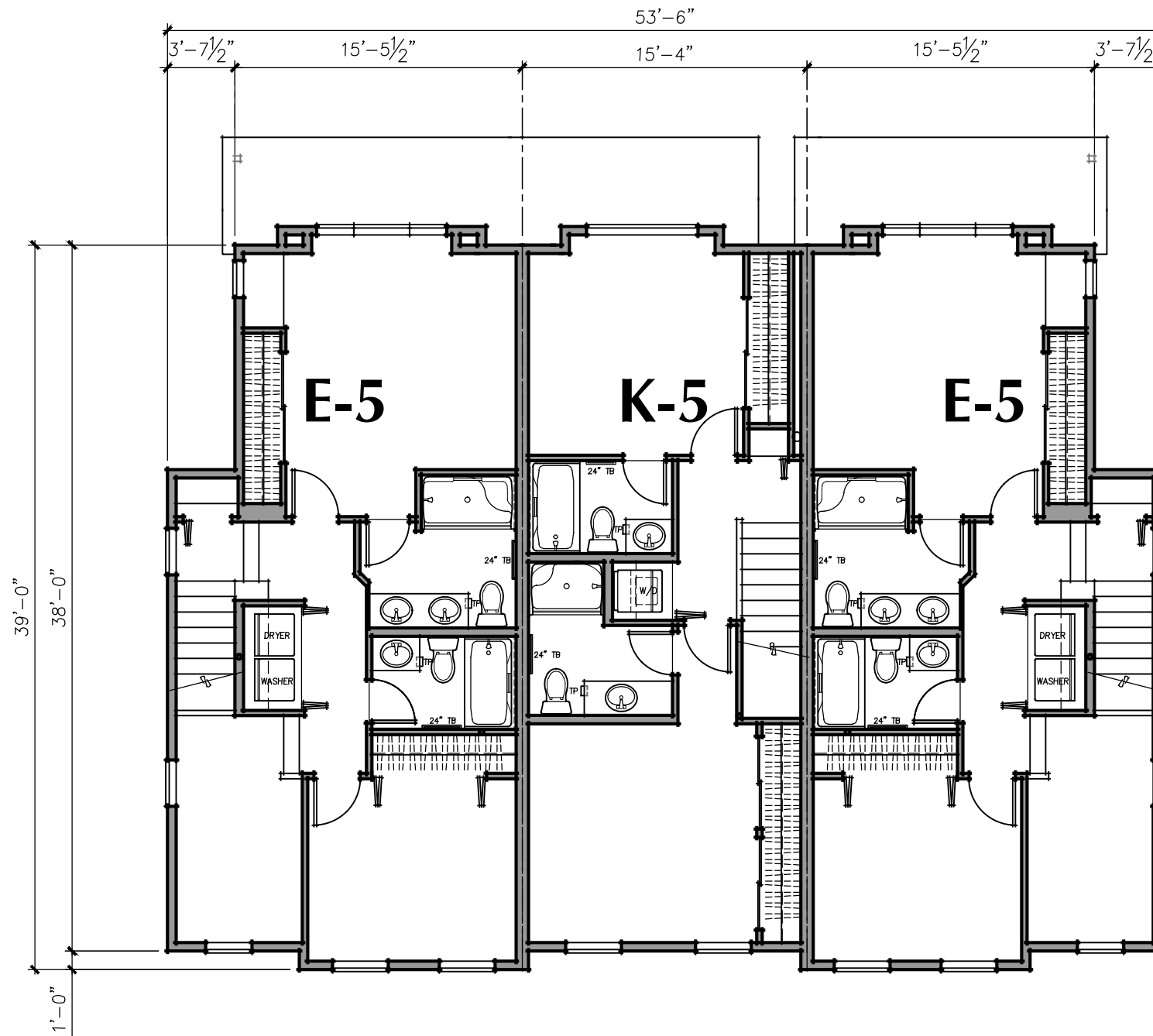


3-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES



3-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES



LONDON 4-PLEX

3/16" = 1'-0"

FRONT ELEVATION

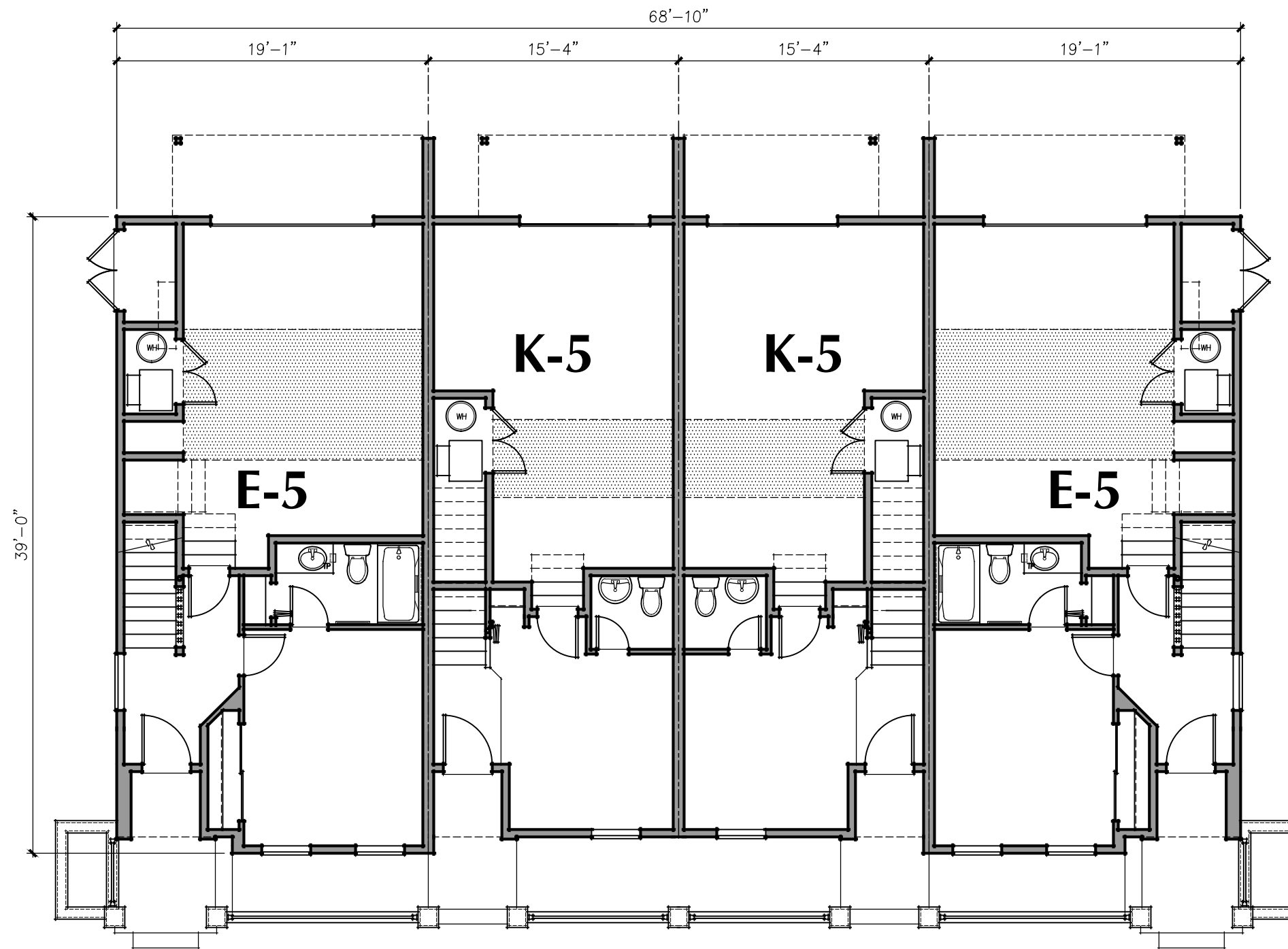


4-PLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES

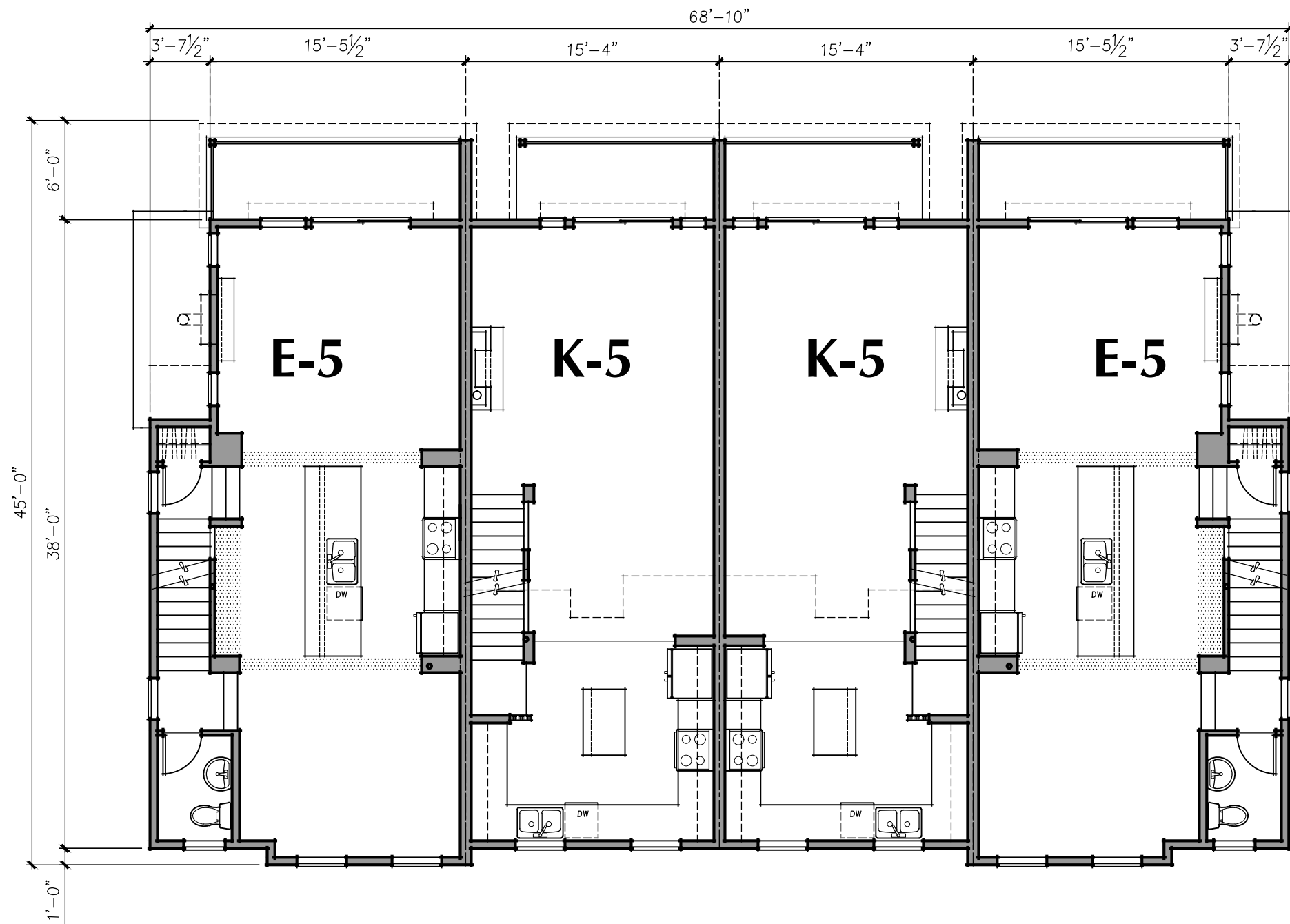


4-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

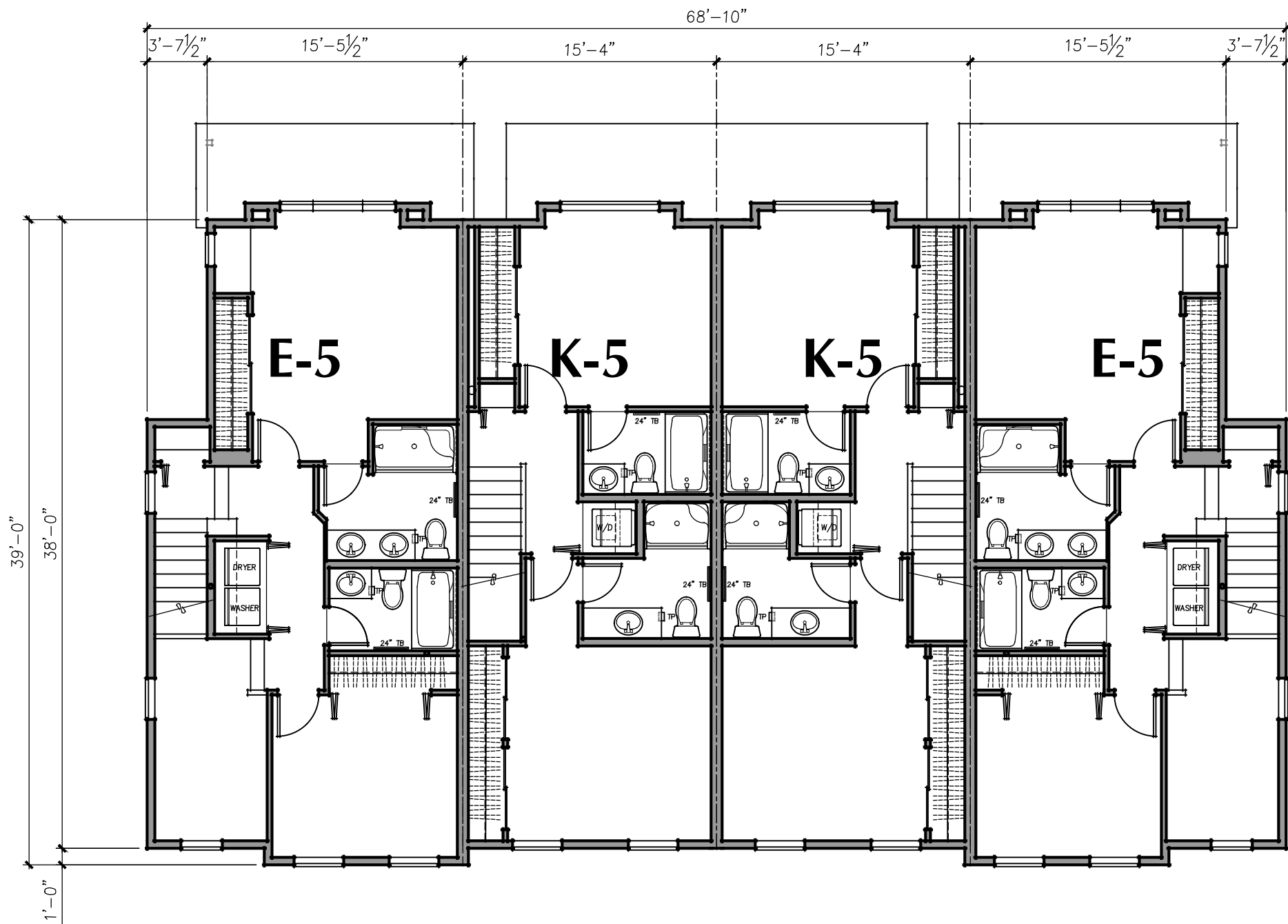


4-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES



4-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES



LONDON 5-PLEX

3/16" = 1'-0"

FRONT ELEVATION

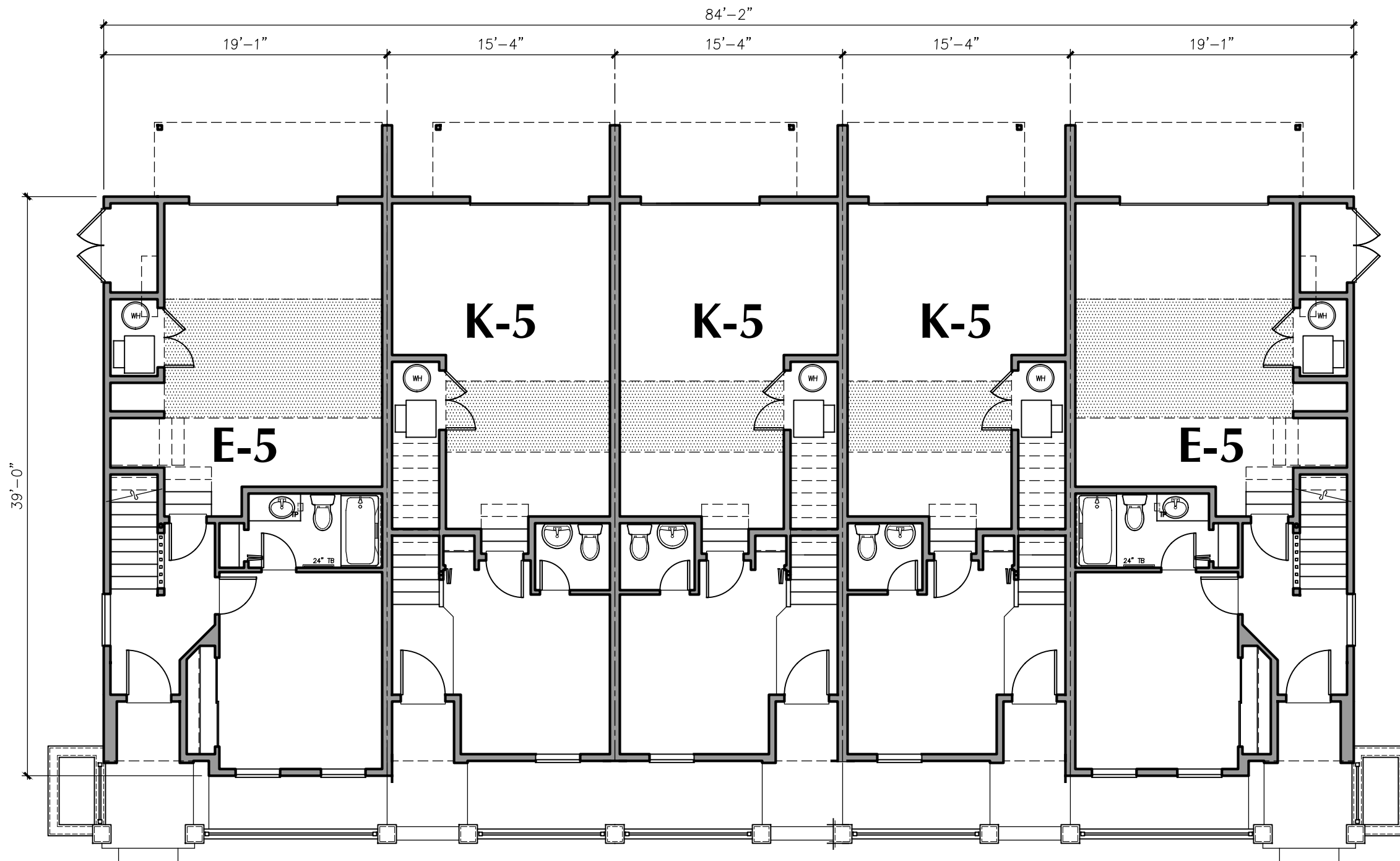


5-PLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES

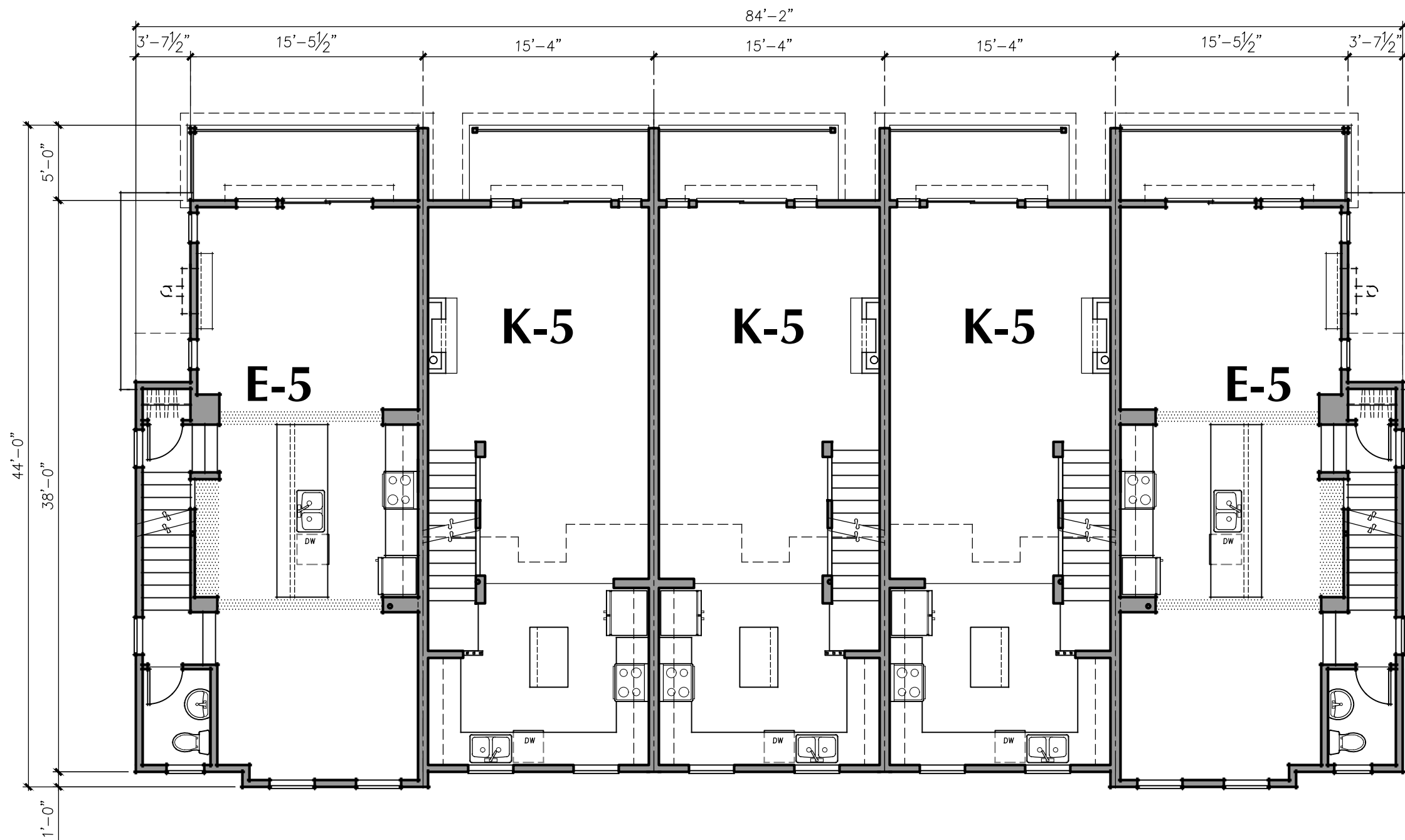


5-PLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

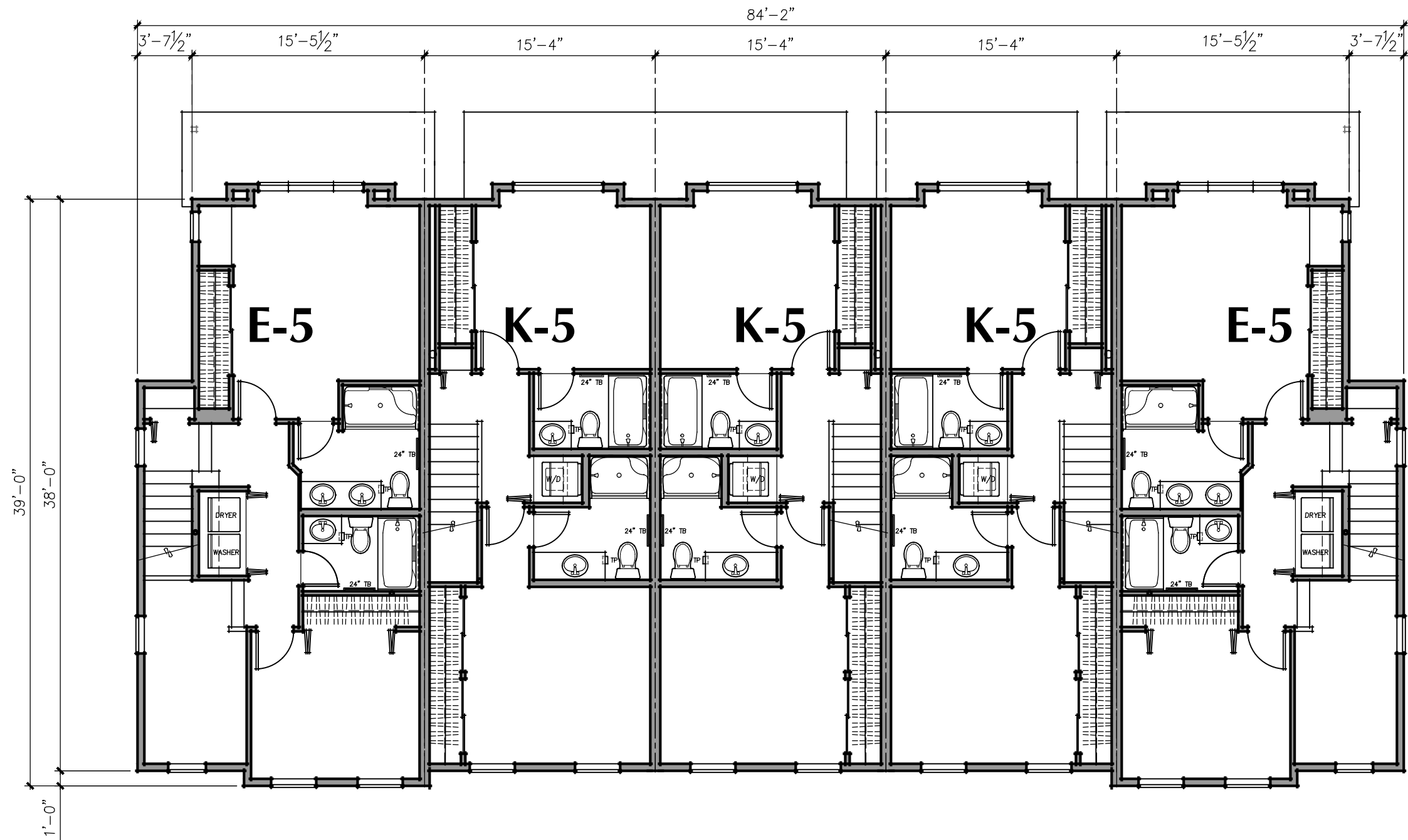


5-PLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES



5-PLEX

1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES



LONDON DUPLEX

3/16" = 1'-0"

FRONT ELEVATION

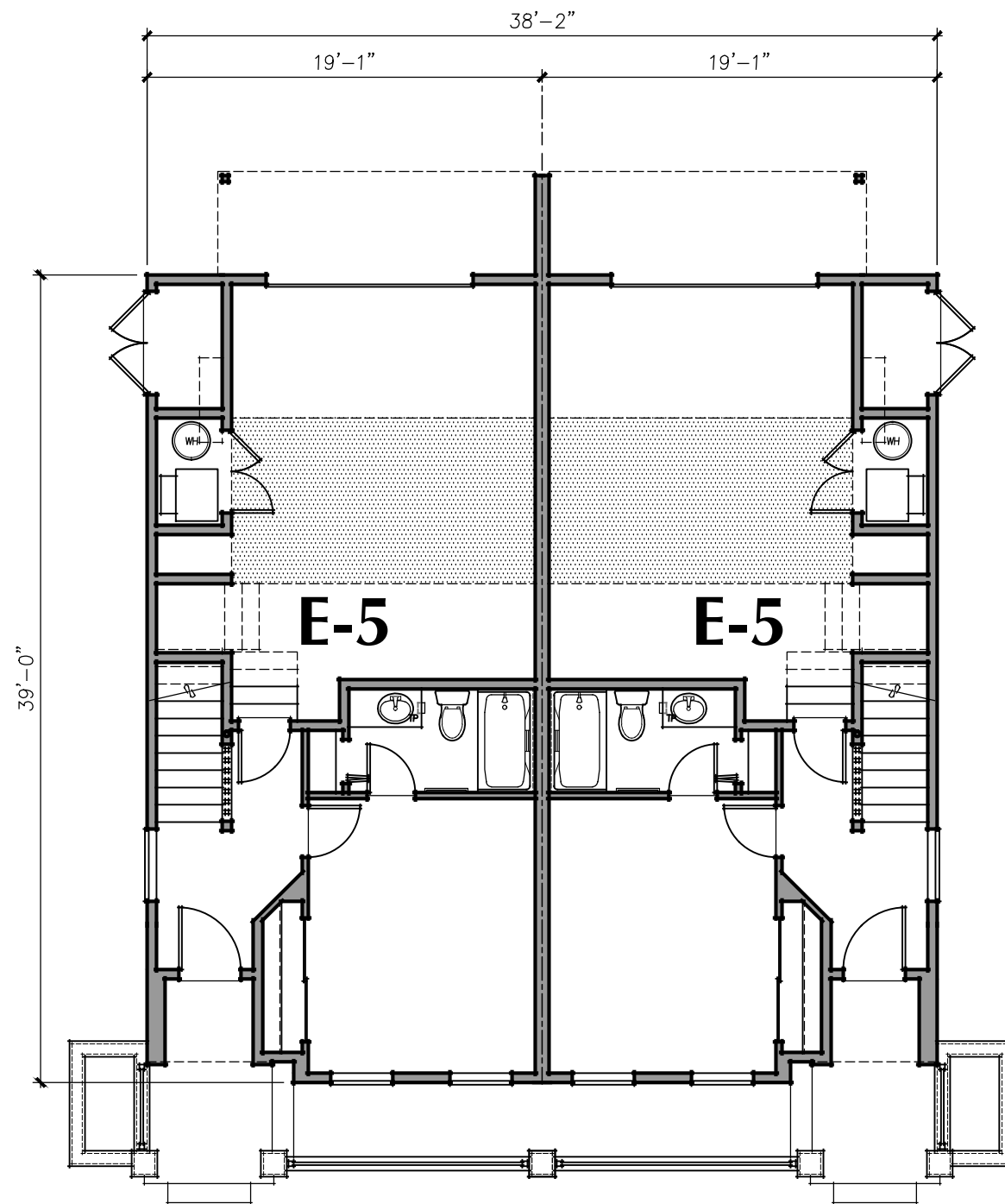


DUPLEX

3/16" = 1'-0"

REAR ELEVATION

LONDON ROWHOUSES

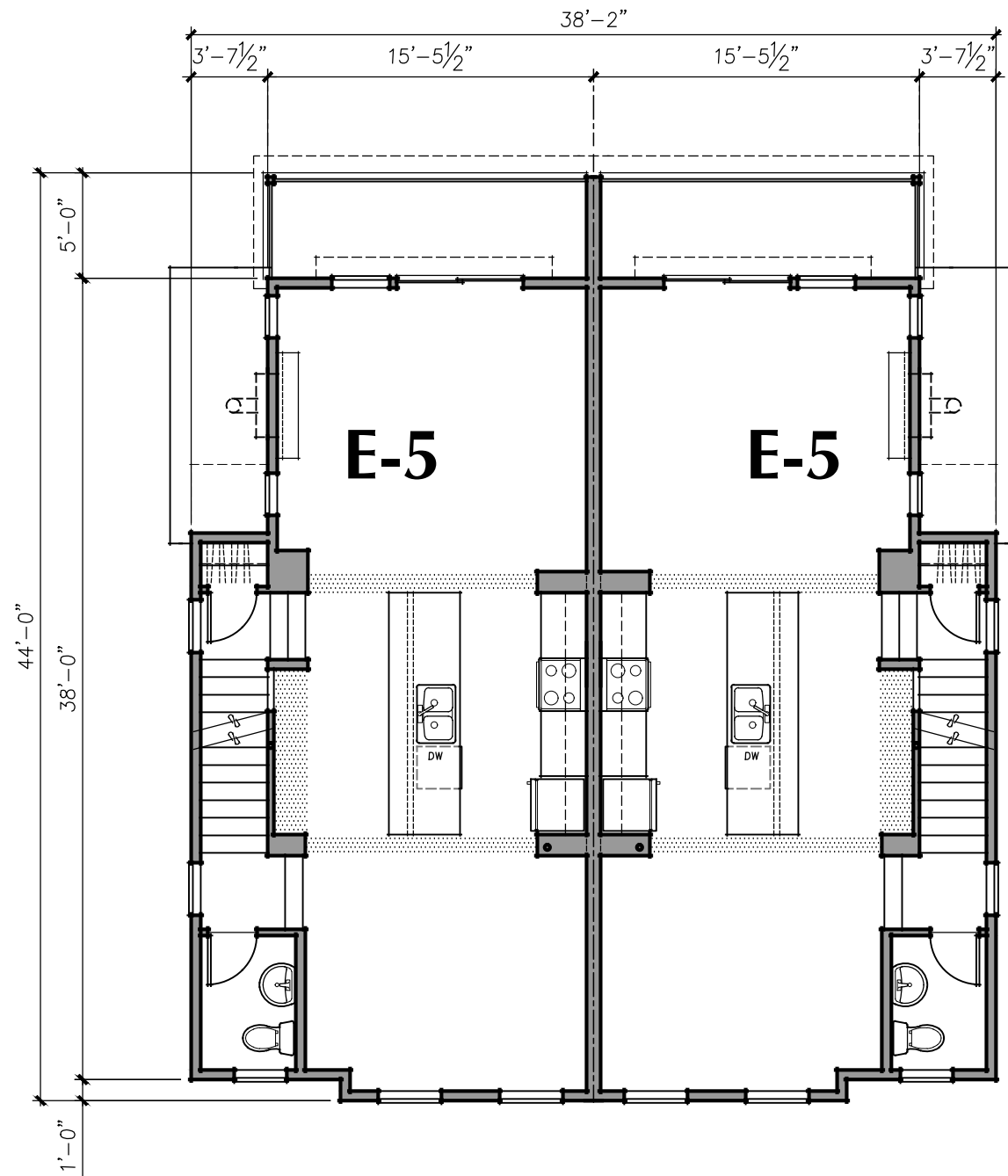


DUPLEX

1/8" = 1'-0"

LOWER LEVEL PLAN

LONDON ROWHOUSES

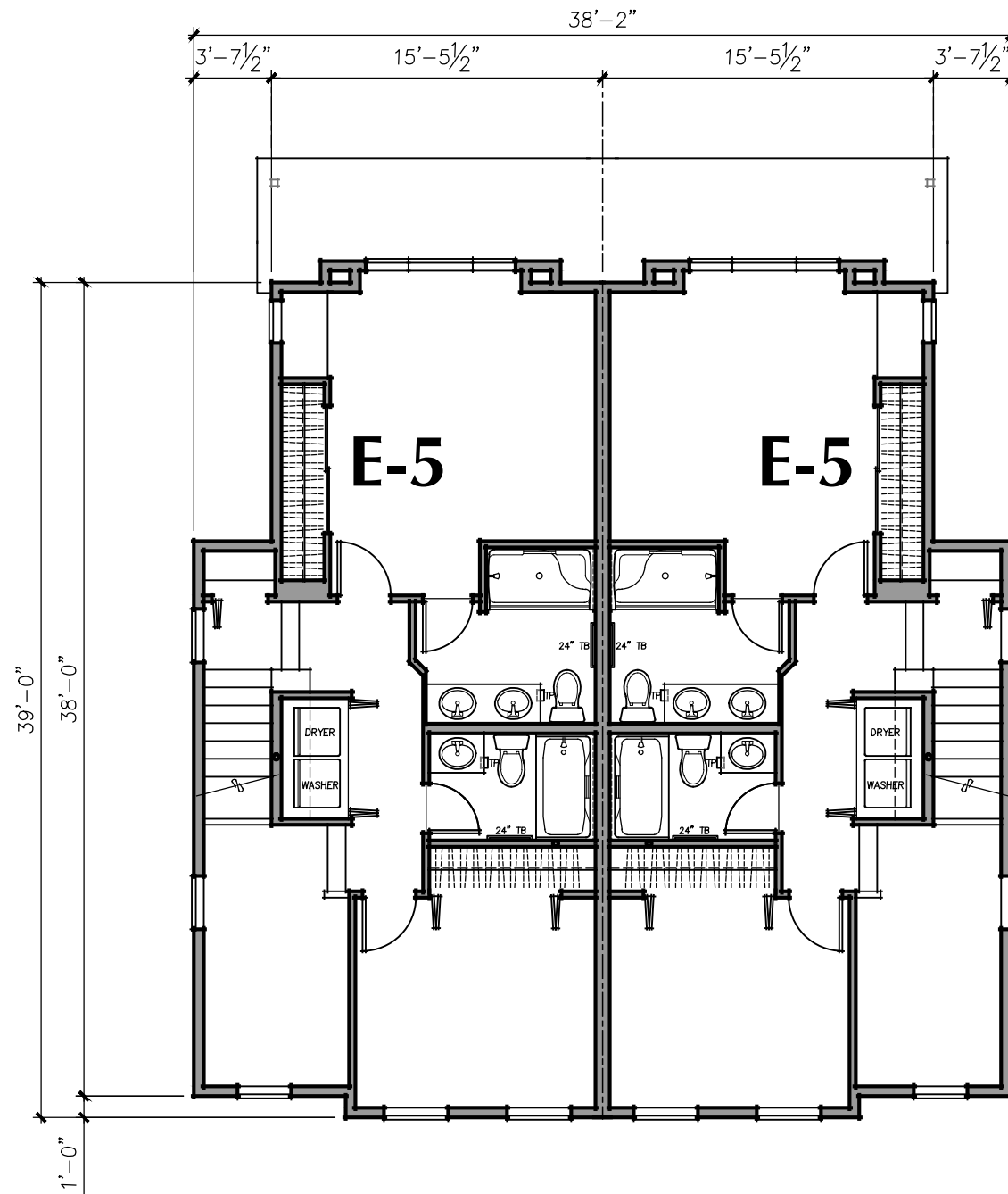


DUPLEX

1/8" = 1'-0"

MIDDLE LEVEL PLAN

LONDON ROWHOUSES



DUPLEX

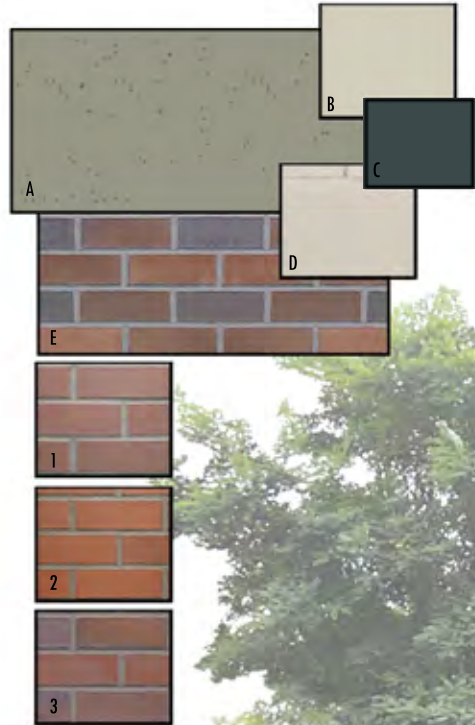
1/8" = 1'-0"

UPPER LEVEL PLAN

LONDON ROWHOUSES

Color Legend

- (A) BODY**
STUCCO PANEL SIDING
SW GREEN EARTH (7748)
- (B) ACCENT 1**
TRIM, COLUMNS, AND
METAL DOWNSPOUTS
SW SEDATE GRAY (6169)
- (C) ACCENT 2**
DOORS
SW CASCADES (7623)
- (D) BASE**
ARRISCRAFT THIN-CLAD
MONOCHROMATIC LIMESTONE
- (E) BRICK VENEER**
FOREST BLEND - SMOOTH
OTHER BRICK VENEER (SEE FRONT ELEV.)
(1) ROYAL PLUMB
(2) INCA - SMOOTH
(3) AUTUMN BLEND - SMOOTH



NOTE:
DOWNSPOUTS SHALL CONNECT WITH
THE STREET'S DRAINAGE AS PER
RAINWATER MANAGEMENT PLAN

LONDON STYLE

SIDE ELEVATION

3/16" = 1'-0"

DEVELOPMENT REVIEW BOARD MEETING

MONDAY, JULY 13, 2015

6:30 PM

VIII. Board Member Communications:

**A. Agenda Results from the June 22, 2015 DRB Panel
B meeting**

City of Wilsonville

Development Review Board Panel B Meeting Meeting Results

DATE:	JUNE 22, 2015	
LOCATION:	29799 SW TOWN CENTER LOOP EAST, WILSONVILLE, OR	
TIME START:	6:30 P.M.	TIME END: 8:25 P.M.

ATTENDANCE LOG

BOARD MEMBERS	STAFF
Aaron Woods	Blaise Edmonds
Dianne Knight	Michael Wheeler
Shawn O'Neil	Barbara Jacobson
Richard Martens	
City Council Liaison: Julie Fitzgerald	
Cheryl Dorman was absent	

AGENDA RESULTS

AGENDA	ACTIONS
CITIZENS' INPUT	None.
CONSENT AGENDA	
A. Approval of April 27, 2015 Minutes	A. Approved 4-0
PUBLIC HEARING	
A. Resolution 305. Site Design Review for Two Single-Family Dwellings: Rupp Family Builders Inc. – representative for Brock Ludlow – owner/applicant. The applicant is requesting approval of a Site Design Review Plan for development of two single family dwellings on two lots of record within the Old Town Overlay Zone. The site is located at 31020 SW Boones Ferry Road on Tax Lot 800, Section 23DB, T3S-R1W, Clackamas County; Wilsonville, Oregon. Staff: Michael Wheeler	A. Resolution 305 was approved as presented, with staff conditions, and a condition that the exterior staircase be eliminated was added.
Case Files: DB15-0023 –Site Design Review	
BOARD MEMBER COMUNICATIONS	None.
A. Results of the May 11, 2015 DRB Panel A meeting	
STAFF COMMUNICATIONS	None.

RECORDED BY: SW