

**WILSONVILLE CITY HALL
DEVELOPMENT REVIEW BOARD PANEL A**

MONDAY, APRIL 11, 2016 - 6:30 P.M.

I. **Call To Order:**

II. **Chairman's Remarks:**

III. **Roll Call:**

Mary Fierros Bower Kristin Akervall
James Frinell Fred Ruby
Ronald Heberlein Council Liaison Julie Fitzgerald

IV. **Citizen's Input:**

V. **City Council Liaison's Report:**

VI. **Welcome New DRB Member Fred Ruby**

VII. **Election Of 2016 Chair And Vice-Chair**
Chair Vice-Chair

VIII. **Consent Agenda:**

A. Approval of minutes of February 8, 2016 DRB Panel A meeting

Documents: [Feb 8 2016 Minutes.pdf](#)

IX. **Public Hearing:**

A. Resolution No. 325

Coca Cola Warehouse Expansion: Coca Cola Refreshments - Owner. Monte Pershall, Trecore Construction Management LLC - Applicant. The applicant is requesting approval of Stage I Preliminary Plan Revision, a Stage II Final Plan Revision and Site Design Review for a 35,120 Sq Ft warehouse addition, new automobile and bicycle parking spaces, landscaping and upgraded exterior lighting. The site is located at 9750 SW Barber Street on Tax Lot 103 of Section 14C, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, Oregon. Staff: Connie Randall.

Case Files: DB16-0001 - Stage I Preliminary Plan Revision
DB16-0002 - Stage II Final Plan Revision
DB16-0003 - Site Design Review

Documents: [Coca Cola SR.Exhibits.pdf](#), [Exhibit B1.pdf](#), [Exhibit B2.pdf](#)

X. **Board Member Communications:**

A. Results of the March 28, 2016 DRB Panel B meeting

Documents: [DRB-B March 28 2016 Results.pdf](#)

XI. **Staff Communications**

XII. **Adjournment**

Assistive Listening Devices (ALD) are available for persons with impaired hearing and can be scheduled for this meeting. The City will also endeavor to provide the following services, without cost, if requested at least 48 hours prior to the meeting.

- Qualified sign language interpreters for persons with speech or hearing impairments.
- Qualified bilingual interpreters.
- To obtain such services, please call the Planning Assistant at 503 682-4960

DEVELOPMENT REVIEW BOARD MEETING

MONDAY, APRIL 11, 2016

6:30 PM

VIII. Consent Agenda:

- A.** Approval of minutes from February 8, 2016 DRB
Panel A meeting

**Wilsonville City Hall
29799 SW Town Center Loop East
Wilsonville, Oregon**

**Development Review Board – Panel B
Minutes–February 8, 2016 6:30 PM**

I. Call to Order

Chair Fierros Bower called the meeting to order at 6:33 p.m.

II. Chair’s Remarks

The Conduct of Hearing and Statement of Public Notice were read into the record.

III. Roll Call

Present for roll call were: Mary Fierros Bower, Lenka Keith, Kristin Akervall, James Frinell, Ronald Heberlein, and City Council Liaison Julie Fitzgerald.

Staff present: Daniel Pauly, Barbara Jacobson, Chris Neamtzu, and Steve Adams

IV. Citizens’ Input This is an opportunity for visitors to address the Development Review Board on items not on the agenda. There were no comments.

V. City Council Liaison Report

No City Council Liaison report was provided due to Councilor Fitzgerald’s absence.

VI. Consent Agenda

A. Approval of minutes of January 11, 2016 DRB Panel A meeting

Ronald Heberlein moved to approve the January 11, 2016 DRB Panel A meeting minutes as presented. James Frinell seconded the motion, which passed unanimously.

VII. Public Hearings

A. **Resolution No. 323. Advance Road Middle School: Mr. Keith Liden, AICP, Bainbridge – Representative for West Linn-Wilsonville School District – Applicant/Owner.** The applicant is requesting approval of Stage II Final Plan, Site Design Review, Tentative Partition Plat, and Class 3 Sign Permit for a new public middle school. The subject site is located on Tax Lots 2000, 2300, 2400 and 2500 of Section 18, Township 3 South, Range 1 East, Willamette Meridian, City of Wilsonville, Clackamas County, Oregon. Staff: Daniel Pauly.

Case Files: DB15-0100 – Stage II Final Plan
 DB15-0101 – Site Design Review
 DB15-0102 – Tentative Partition Plat
 DB15-0107 – Class 3 Sign Permit

Chair Fierros Bower called the public hearing to order at 6:37 p.m. and read the conduct of hearing format into the record.

Kristin Akervall declared a conflict of interest, noting that she served on the Budget Committee for the school board, and recused herself from the public hearing.

Chair Fierros Bower, James Frinell, and Ronald Heberlein declared for the record that they had visited the site. No board member, however, declared a conflict of interest, bias, or conclusion from a site visit. No board member participation was challenged by any member of the audience.

Daniel Pauly, Associate Planner, announced that the criteria applicable to the application were stated on page 2 of the Staff report, which was entered into the record. Copies of the report were made available to the side of the room.

Mr. Pauly presented the Staff report via PowerPoint, noting the project's location and discussion the proposed applications for the approximately 27-acre middle school campus with the following comments:

- While the application materials called it the "Advance Road Middle School," he assured that would not be the actual name, noting that suggestions for the school's name could be made on the School District's website.
- In July, DRB Panel B and subsequently, City Council, approved the annexation, a Comprehensive Plan Zone Map Amendment, and Stage I Master Plan for the 40-acre property within the urban growth boundary (UGB) owned by the School District. That 40-acre Master Plan showed land areas designated for a middle school, future primary school, and public park (Slide 3). The previous action established the general uses of the site, but left the details of function and design for review by the Board this evening.
- Stage II Final Plan addressed whether the development would function properly.
 - The 27-acre campus would include an approximately 2-acre school building footprint; 5.5 acres of parking, circulation, and other paved areas; and just under 20 acres of sports fields, planted landscape areas, and a preserved natural area along the west edge of the property where a riparian area existed.
 - Phasing. Due to anticipated construction costs and short-term enrollment demand, the School District intended to complete the middle school in a couple phases.
 - The first phase would include the core facilities, such as the admin offices, library, cafeteria, and most of the vehicle parking, as well as the streets, driveways, sidewalks, utilities, and landscaping.
 - Construction would also begin on the sports field as part of Phase 1, but would probably include only grading and natural turf, which might later be turned to artificial turf.
 - Later, when additional funding and enrollment warranted, the District would complete the full build out of the school.
 - Circulation and Access. A new street, 63rd Ave, was proposed about midway between Wilsonville Rd and 60th Ave to serve the school, providing access from Advance Rd.
 - Another new public street called Hazel St would be constructed east-west in front of the school. At this time, Hazel St was proposed to end with a temporary cul-de-sac before reaching 60th Ave, since 60th Ave would not be improved to urban standards at this time. At some future time, the City would have the ability to extend Hazel St through to 60th Ave.
 - All the transportation improvements provided the appropriate routes for bikes, pedestrians, cars, buses, and various other vehicles that would visit the site.
 - The site design separated the school bus loading and unloading, as well as deliveries along the south side of the building, from the student drop-off for parents on the north side of the building and the main parking areas for the school. Separating these different conflicting uses as much as possible was an important criterion in the City's Development Code.
 - A bus stop would also be provided on the south side of Hazel St that could serve as a SMART bus route.
 - Parking. A 153-space parking lot was proposed to the north of the school a second, 85-space parking lot to the east of the school. The total 283 spaces fit within the required minimum and maximum parking range of 162 to 243 parking spaces.

- With regard to the phasing, the District might not elect to not build the entire parking lot at first based on the initial enrollment numbers, but based on those initial numbers, the proposed parking would still fall within the required range.
- Bicycle parking. A total of 100 staple bike racks would be provided, yielding a parking capacity for 200 bikes, 166 of which would be covered, which met the total amount required by Code at full build out. The proposed bicycle parking also met all the spacing and access requirements of the City's Code.
- The loading and service area would be on the south side of the school, providing access for truck deliveries, recycling, and trash vehicles. This area would also be shared with the bus route to avoid conflicts with passenger vehicles.
- The landscaping around the sports field, school, and internal parking lot were proposed to meet the City's general landscape standard in terms of location, design, and plant variety.
- Slides 14 and 15 indicated in yellow the primary areas where the high and low screen standards would apply in relation to the surrounding properties.
 - The City's high screen standard required a 6-ft hedge that would be 95 percent opaque year round. The riparian area along the west side of the site would provide quite a bit of screening from the Landover neighborhood, and some other trees would be planted along the school. A hedge would be being planted along the west side of the parking lot to ensure the City's 6-ft standard was met, because the riparian area up was quite a bit narrower there. The screening standard would also be met along the north side of the north parking area as well as along the east side of the east parking area.
 - Sometimes, storm water facilities prevented a hedge from going in a certain area. If this should happen, a condition of approval required that a 6-ft fence be installed to meet the City's screening standards at that location in lieu of the hedge.
 - The low screen standard, which typically applied between a parking lot and street, would be applied along 63rd Ave and Hazel St. All the appropriate materials were proposed.
- Another important point, in terms of the visibility off-site, would be the site lines.
 - One primary way the school would be screened from surrounding property owners was distance. The school building itself would be 500 or 600 ft from 60th Ave, and there was quite a lot of distance from Landover, as illustrated on Slide 16. The actual appearance height of the two-story structure with the distance would be lower than if the building was right next to the property line.
- Site Design Review. From the Staff's point of view, the architecture was attractively designed and appeared to meet all the City's standards. The durable materials that were proposed should last a long time and the design of the school should provide a nice amenity in the community.
 - Outdoor Lighting. The proposed parking lot lighting and wall packs on the school met the City's outdoor lighting standard.
 - The School District provided information about potential field lighting, but the City did not know its final design yet. The lighting standards were pretty cut and dried, so Staff recommended an administrative review once the Applicant finalized the field lighting to ensure it met all the performance standards and that no light spilled off site, either vertically or horizontally.
- The Tentative Partition Plat would consolidate and then divide the school-owned lots. Parcel 2 would be retained by the School District for the development of the middle school and future primary school. Parcel 1 would be deeded to the City for development as a park pursuant to prior agreements between the School District and the City which related to the other project that would be discussed later in the meeting.
 - Rights-of-way would be dedicated from these parcels as necessary once the street design was finalized. There would be no right-of-way dedication at that point, as that would come once the City had the final right-of-way widths.

- As a single tenant, the school's signs qualified for a Class 3 Sign Permit under the City's Sign Code
 - Building signs were proposed on the north, east, and west, all of which were well below what would be allowed for a building this size. All of the signs were a standard design, with cut out aluminum letters appropriately located on the different architectural features, and Staff believed the signage would be very attractive.
 - Additionally, the Applicant requested that the proposed monument sign be included now, so the School District would not have to return later when they decided to build it. The monument sign would be located at the first 63rd Ave entrance. The sign would have a brick-base with the name of the school and a manually changeable message board. The proposed monument sign was well below the allowed height and area, so everything was in conformance. The brick would also support the architecture of the school.
- He described revisions to two conditions of approval that had not been provided to the Board as follows:
 - Deleting the language in Condition PDA 3 as noted would broaden the applicability of the condition to other areas of the site should similar circumstances arise.
 - "Condition PDA 3. Where water quality facility installation ~~along the north property~~ prevents installation of landscaping to the high screen standard a fence meeting the fully sight-obscuring standard shall be installed between the water quality facility and the property line. See Finding A108."
 - A typographic error was corrected in Condition PDA 4 to state, "...~~location~~ *local* improvement..."

Chair Fierros Bower confirmed the loading area on the south side would be where buses came and deliveries were made. She asked if the driveway against the building on the east side would be a loading zone area. (Slide 8)

Mr. Pauly responded that area would have the same pavers as the rest of the plaza area on the south side. He noted caution would need to be taken, but deliveries would likely occur when no students were in the area. He assured safety standards would be met, noting that when designing a school with a pedestrian plaza all around it, a conflict would occur at some point if vehicles needed to access the school. However, as stated in the finding in the Staff report, this design really minimized that conflict; by nature there would have to be a place to cross the pedestrian area to get to the school building.

Ronald Heberlein confirmed that administrative review for the lighting on the field meant it would not return to the DRB for approval.

Mr. Pauly added an electrical engineer would do a photometric analysis to show that the horizontal and vertical foot-candles at the boundary lines either meet the performance standard or not, because it was a very objective standard. The Development Code allowed this type of situation to be reviewed administratively.

Mr. Heberlein stated the lighting impact to adjacent property owners had always been a fairly significant concern and he could see this being an area of concern with the sports field being so close to the Landover neighborhood.

Mr. Pauly explained the Outdoor Lighting Ordinance did provide protection to the neighbors because the brightness of the lights was really not a subjective matter. When the lighting standards were met, the light would go where it needed to be without any light pollution.

Mr. Heberlein asked if there were any examples of similar installations that had met the lighting ordinance in the city.

Mr. Pauly replied this situation would be fairly unique. Some large parking or storage areas, such as car dealerships, had met the standards, but no sports field lighting had been requested under this standard. He noted the sports field lighting at Memorial Park was exempt from the ordinance. If the DRB believed this should come back for review, it could, or request a Class 2 Review so the DRB and neighbors would be notified and have the opportunity to comment. Otherwise, it was objective enough to be a ministerial action, since it either met the standard or not.

Chair Fierros Bower noted there would be a nice tree buffer for lighting between the residential area and planned sports field, which was situated on the site appropriately, and she understood there would be cut off shields on the light fixtures.

Mr. Pauly added one standard in the Outdoor Lighting Ordinance included a curfew, which was typically 10 pm. The School District had requested an exception to be able to dim the lights at 11 pm instead due to safety concerns for activities that might run late. Staff supported this exception based on the information provided.

Mr. Heberlein noted the wording in Condition PDB 2 on Page 10 of 138 of the Staff report might have been a carryover from a previous application.

Mr. Pauly confirmed the first sentence of Condition PDB 2 should state, "...shall be installed prior to use of the expanded pole yard for training *occupancy of the school*".

Mr. Heberlein asked for further explanation regarding the turf. The plans showed the track and materials of the track, but did not discuss what it would look like with just the grass version. It seemed the Board was supposed to approve the grass version, where the sports field would not be fully built.

Mr. Pauly clarified that anywhere artificial turf was shown would just be level-graded with typical field grass. He added the Applicant's narrative went into a lot more detail than the plans.

Mr. Heberlein asked where the right-of-way improvements were being approved, noting no changes were discussed about changes to the Advance Rd area, safe access to the school from Wilsonville Rd to Advance Rd, or the sidewalks.

Mr. Pauly replied the Transportation System Plan (TSP) standards would be followed, adding further details were in the intergovernmental agreement (IGA) about which Mr. Adams could provide more detail.

Steve Adams, Development Engineering Manager, explained that all the off-site right-of-way improvements were included in a fairly extensive IGA the City signed with the School District in early December which was very detailed and thorough, and included construction changes on Boeckman Rd, Stafford Rd, and Advance Rd. The intersection there would become a signalized intersection and there would also be improvements on 63rd Ave and Hazel Rd.

Mr. Pauly noted Exhibit C2 was a copy of the signed IGA.

Mr. Heberlein noted Finding A29 discussed mean roof height. He understood mean roof height was the average roof height, but the requirement stated a maximum roof height of 35 ft. He asked if that normally corresponded to a mean roof height.

Mr. Pauly confirmed that how building height was measured was defined in Section 4.001 of the City's Code, which included using the mean height rather than the maximum height for a shed, mansard roof, or gabled roof.

Chair Fierros Bower asked for clarification on the upper external elevation on the right side of Slide 18 which showed a void in the screening of the mechanical equipment and the screen floating above the roofline.

Mr. Pauly replied the architect might have to explain that. He noted that from the City's process standpoint, if the School District ended up adding or moving mechanical or HVAC equipment around during construction and design, Staff would ensure it all had the appropriate screening during the final occupancy process. He did not believe the Applicant had completed their final mechanical plans yet, noting that screening was one thing that often changed as the final designs came together.

Chair Fierros Bower called for the Applicant's presentation.

Tim Woodley, Director of Operations, West Linn-Wilsonville School District, 2755 SW Borland Rd, Tualatin, OR, stated the Applicant had not prepared a formal presentation, as City Staff did an extraordinarily good job, but he members of the design team were available for questions. The School District appreciated the City's Planning, Legal, and Engineering Staffs, as well as all the others the School District had come to rely on over many years of working together to meet the needs of the children. City Staff's help and availability led to a superior design for the proposed school.

- He also commended the School District's long-standing, Citizen Long-Range Planning Committee, who had contemplated this school for many years. The School District had owned this property for a long time, and their exemplary partnership with the City was evident given that a parcel of the property would be a city park.
- As evidenced with the new Lowrie Primary School, the District recognized the value of the IGA, which provided so many details about the public works, streets, highways, roadways, utilities, etc. and required a lot of engineering expertise. The School District spent a lot of time with City Staff, especially Steve Adams, to determine the best way to create the appropriate infrastructure for the school property. The school board and City Council signed the IGA, laying out in detail all of the parameters regarding the construction of the new school.
- Getting kids and parents to and from the site safely, both in vehicles and via pedestrian ways, was very important. The School District had its own responsibilities around Safe Routes to Schools and mapping pedestrian ways for the kids, all of which was reflected in the application.
- Voters approved the funding of the school in November 2014 so the District knew there was good community support from the school. Wood Middle School was very crowded and this new school was necessary for the School District to continue providing a high quality education for Wilsonville's kids.
- As mentioned with regard to the phasing of the project, full build out would not be necessary in the beginning, but some expansion would be needed and the proposal would provide the all the amenities for full build out in the future. In the beginning, there would simply be fewer classrooms and the application showed how additional classrooms would be added in the future.
- He addressed the questions raised by the Board with these comments:
 - Staff's explanation related to the loading zone was correct. Every one of the District's schools had access with kids around all the time, but the District had found ways to have loading and off-loading occur during off-times, which integrated into the daily activity and stayed away from the front of the building where most pedestrian access took place.
 - With regard to the field and site lighting, he explained that modern technology made it easy to control and direct the light to not expand beyond the surfaces that were proposed to be lit. Very

sophisticated, computer managed controls would turn the lights on, off, and be dimmed at the appropriate times.

- The District took student and site security very seriously. Being able to have visual observation and access for emergency responders was of critical importance to the school and to the safety of the children. The lighting would help to provide that visibility at night.
- The typical design for a middle school included a full track with a field inside of it; however, this particular school would have what the District called, alternates. At the beginning, the track and field project would be publicly bid and provide the option of a graded grass field, which would be useful for soccer and lacrosse. The next level would be to construct a track around a grass infield. The District's ultimate build out would be a track with an all-weather turf field and lighting.
- Having recently constructed similar sports fields, the District was fully aware of the requirements regarding the direction of the lighting and the photometrics engineers would produce to make sure the light stayed on the field itself.
- He reiterated that the IGA contemplated all the utilities for the proposal, not only in relation to the school itself, but also future planning around the Frog Pond Area. The School District was in full agreement with that IGA, which was signed in December.
- As stated, a lot of building's design was still being done, including the sizing and location of the rooftop HVAC units. However, the District was fully aware of the City Code's screening requirements and would ensure that each unit was screened at the time of building permit.
- He thanked the Board and reiterated his appreciation for City of Wilsonville, particularly all the Staff.

Chair Fierros Bower commended the School District for the beautiful design of the school building.

Mr. Heberlein noted Sheet LU1.01 indicated that the north entrance to the north parking lot was not marked with contrasting paint for a crosswalk. The other parking lot entrances and exits were marked, so he asked whether this was intentional or an omission.

Carina Ruiz, Architect, Dull Olson Weekes Architects, confirmed there would be contrasting paint at that entry to the north parking lot as well.

Mr. Heberlein noted 200 bicycle parking spaces were proposed and asked if the District looked at bicycle parking at other middle schools to determine how many spaces were typically being used.

Mr. Woodley replied bicycle parking was a little under utilized at other middle schools and the District had not had an issue with inadequate bicycle parking. Wood Middle School was expanded and remodeled about 8 years ago to the City standards at the time, so he was certain the proposed bicycle parking would be more than adequate.

Chair Fierros Bower inquired why the islands between parking spaces on the east side of the building did not align with each other, while those on the north side were in alignment.

Ms. Ruiz believed this was done to maximize the amount of parking spaces before landscape islands were needed. It happened to work on the north parking lot because all the spaces radiated in the same direction. The parking spaces were laid out, starting from the driveway at the corner of Hazel Rd and 63rd Ave, and then maximized in the interior of the lot between the landscape islands, which was a fairly common parking lot layout.

Chair Fierros Bower called for public testimony in favor of, opposed and neutral to the applications.

William Ciz, 28300 SW 60th Ave, Wilsonville, OR 97070, said he lived essentially across the street from the property on the school site that was not inside the UGB. He noted he had already submitted

written testimony (Exhibit D1) concerning landscaping, screening and lighting along the east side of the school property. He continued with the following comments:

- When looking at the landscape plans, such as Sheets LU 2.0 and LU.01, he could not recognize what he believed would be adequate screening along the east side of the school site. His submitted testimony advocated for more intense screening along east side of the parking lot, around the cul-de-sac of Hazel Rd, and then down to the south.
 - He and his wife had walked to the site to get a perspective of what they would be seeing in a few years as far as how the school would shape up and how it might change or impact them.
 - One plus was the old Lowrie property. The house and some of the trees behind the house provided some real screening for a lot of his property, but the north half of the Lowrie property, particularly along the proposed water quality facility in the east parking lot, was a concern. From the Landscape Plan, he believed some cedar trees would be planted and Staff explained the high screening standard along there and that seemed pretty dense, but he would like to see some screening there to screen his property off from the parking lot.
 - He had spoken with Mr. Woodley earlier in the evening and he had discussed providing some screening along the Lowrie property, which was a real concern for him and his wife. As long as this was addressed with screening, they would be happy with either solution.
 - He would also like to see some screening, at least in the 3 ft to 5 ft range, along the cul-de-sac to block headlights in the evenings.
- The lighting concerns discussed in his email included eliminating some of the lighting along the cul-de-sac. When talking with Mr. Pauly last week, he had explained that was not something City Engineering would want to do.
- Because this school site seemed different that some school sites being so far removed from the urban population, he thought that would be acceptable. However, Mr. Pauly explained that was not something City Engineering would want to do. He understood the safety concerns and that things would change a bit, but there was not that much traffic along the cul-de-sac in the evenings now.
- His final concern regarded the school and parking lot lighting, which he would like dimmed at around 9 pm.
- He wanted to see these concerns addressed, either formally or informally, in this approval.

Chair Fierros Bower called for the Applicant's rebuttal.

Mr. Woodley said he had reviewed Mr. Ciz's testimony and appreciated his comments. He noted Mr. Ciz had been a good friend of the School District for many years, and he could appreciate his interests in the items he had discussed. It had been the School District's practice to recognize that as a public agency, they probably had more neighbors than anyone given all the school sites. The District took great pride in working with each neighbor regarding any specific issues they might have that related to their interaction with the school at their property lines. Even though not required by the City, the District did hold three public meetings, and one was specifically for the neighbors on the 60th Ave side. Mr. Ciz and his wife were in attendance at that meeting and did talk about some of their concerns.

- The request about the lighting pushed a bit against the District's need for site security. The schools were used a lot and evening activities at the school would occur, and many staff and patrons ~~whe~~ would be leaving the site late into the evening. It was very important that the District be able to provide them with safe access to their cars in the parking lot.
 - He reiterated that with modern lighting and controls, the District would be able to dim or turn off lights at specific times and he did not believe the District was contrary to that. The District did want to maintain the building parameter lights that were mounted right on the building to ensure good observation of the building proper.
 - The District preferred keeping the 11 pm curfew for the lights to dim or go off in the parking, as opposed to Mr Ciz's request of 9 pm, for the security of school staff and patrons. The District was committed, however, to using quality modern lights that minimize any glare off the site itself.

- He added lights could be mitigated with vegetation and the District was committed to working with specific neighbors about how to adjust the placement of trees, for example, to find the right locations in relation to the neighbors' homes or buildings.
 - He agreed a tall hedge or some taller, larger trees would be appropriate on the east side of the site. After talking with Mr. Ciz, he understood exactly that the area of concern was the area more open to 60th Ave on the north side of the Lowrie property, so the District was happy to have a condition or work with Mr. Ciz to install the appropriate hedges and/or trees in that particular are.

James Frinell asked what the distance would be between the Hazel Rd cul-de-sac and 60th Ave.

Mr. Woodley replied he was uncertain, but he guessed it was a couple of hundred feet.

Mr. Frinell responded that light from the headlights would not extend that far.

Mr. Woodley replied there could be some glare from headlights. He believed the District would defer to the City on that concern, as it was in the public right-of-way and the cul-de-sac itself extended a bit out onto the park property. He noted that whatever was planted in the right-of-way, such as trees, would have to be removed when the street was continued through.

Keith Liden, Land Use Planner, confirmed the distance was a little more than 200 ft from the end of the cul-de-sac to 60th Ave.

Mr. Frinell understood there would be the same issue with the driveway on the south side.

Mr. Pauly noted that driveway was more than 500 ft away.

Mr. Woodley added that driveway would not be used at night. It would be primarily for buses during the day. He confirmed the middle school start time was later.

Mr. Adams stated the City would be willing to install a 4-ft high cyclone fence at the east end of the Hazel St cul-de-sac to limit the amount of headlights that would be visible to 60th Ave. He noted the City had done this for new streets on the edge of residential areas in other parts of the city. A cyclone fence with slats would cut out about 90 percent of the lighting going through, even for tall trucks.

Chair Fierros Bower closed the public hearing at 7:33 pm.

Mr. Pauly said the Board had the option of adding conditions, but noted that Mr. Ciz and the School District had worked a lot together during the Frog Pond process, so he believed there was a willingness to work together and that the issues would be worked out with or without a condition, but that was up to the Board.

Ronald Heberlein moved to approve Resolution No. 323 with a revision to Condition PDA 3 and corrections to Conditions PDA 4 and PDB 2 as presented by Staff, and with an additional condition requiring that screening be installed at the end of the temporary cul-de-sac on Hazel St.

The revision and corrections to the conditions were as follows:

(Note: additional language in bold italicized text; deleted language struck through)

- Condition PDA 3. “Where water quality facility installation ~~along the north property~~ prevents installation of landscaping to the high screen standard a fence meeting the fully sight-obscuring standard shall be installed between the water quality facility and the property line. See Finding A108.”

- The first sentence of Condition PDA 4 was corrected to state, "...formation of a ~~location~~ *local* improvement District."
- The first sentence of Condition PDB 2 should state, "...shall be installed prior to ~~use of the expanded pole yard for training~~ *occupancy of the school*".

The motion was seconded by James Frinell and passed 3 to 0 to 0.

Chair Fierros Bower read the rules of appeal into the record.

- B. Resolution No. 321. Villebois Phase 4 North – Calais East at Villebois: Stacy Connery, AICP, Pacific Community Design, Inc. – representative for Fred Gast, Polygon NW Company- applicant.** The applicant is requesting approval of an Annexation and Zone Map Amendment from Rural Residential Farm Forest 5-Acre (RRFF-5) to Village (V) for the approximately 1 acre property located at 11700 SW Tooze Road, an Amendment to SAP North, a Preliminary Development Plan, Tentative Subdivision Plat, Type C Tree Plan, and Final Development Plan for a 63-lot single family subdivision in Villebois and associated improvements. The subject site is located on Tax Lots 1100, 1101 and 1203 of Section 15, and Tax Lot 8900 of Section 15BA, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, Oregon. Staff: Daniel Pauly

Case Files: DB15-0084 – Annexation (*Tax Lot 1203 only*)
 DB15-0085 – Zone Map Amendment (*Tax Lot 1203 only*)
 DB15-0086 – SAP North Amendment
 DB15-0087 – Preliminary Development Plan
 DB15-0088 – Tentative Subdivision Plat
 DB15-0089 – Type C Tree Plan
 DB15-0090 – Final Development Plan

The DRB action on the Annexation and Zone Map Amendment is a recommendation to the City Council.

This item was continued to this date and time certain at the January 11, 2016 DRB Panel A meeting.

Chair Fierros Bower called the public hearing to order at 7:37 p.m. and read the conduct of hearing format into the record. Kristin Akervall, Ronald Heberlein and Chair Fierros Bower declared for the record that they had visited the site. No board member, however, declared a conflict of interest, bias, or conclusion from a site visit. No board member participation was challenged by any member of the audience.

Daniel Pauly, Associate Planner, announced that the criteria applicable to the application were stated on page 2 of the Staff report, which was entered into the record. Copies of the report were made available to the side of the room.

Mr. Pauly presented the Staff report via PowerPoint, noting the proposed project's location and describing the proposed applications with these key *additional* comments:

- He explained that a majority of the subject site was originally purchased by the City to be the site of what was now the Lowrie school. Due to various issues, including extending utilities, the school site was relocated within Villebois and the subject area was now surplus land, which City Council elected to sell and was purchased by Polygon. The subject land actually had three owners: Polygon, who

owned the remaining tracts of the Calais subdivision; the City, who owned the property that was to be used for a primary school, and the Nims family, who owned a one-acre property, shown in dark gray on Slide 2, that was to be annexed.

- Annexation and Zone Map Amendment applications were generally contingent on City Council approval. In this case, only development on the portions on the Nims' property was contingent on Council approval, since the other areas had already been annexed and rezoned.
 - The Nims' one-acre property was the last piece of Villebois to be annexed into the City. This annexation was the culmination of a long process and a somewhat historic event.
 - The annexation was pretty straightforward as the Nims family, the electors, and residents of the site, had signed off on the annexation, which simplified the process and eliminated the need for a public vote or further elaborate process.
 - The Zone Map Amendment. Everything around the Nims property had already been rezoned to Village, so the request was to rezone the Nims property from the current County zoning to Village, which was consistent with the Comprehensive Plan. The same procedure had been used as the entire Villebois development was annexed and proposed for development.
 - The Specific Area Plan (SAP) North Amendment. Originally, only a small portion of SAP North was approved due to a number of uncertainties in the future. Eventually, every component of the SAP Plan for Calais was adopted, except for those things requiring property access.
 - The first component of the SAP Amendment involved adopting elements of the SAP that required access to the site and investigation, which included:
 - A historic resource inventory, where no significant findings were found and nothing required further study, review, or preservation on the property.
 - A tree inventory, which would also be discussed as part of the Type C Tree Plan, was also a required element that still needed to be adopted for this portion of SAP North.
 - The additional future area to the east would also need these two components adopted when the site was proposed for development.
 - The second component involved refinements. When SAP North was adopted for the remainder of future areas in Calais, the elements adopted essentially matched the Master Plan. As the designs progressed, certain elements now need to be changed from the Master Plan for a number of reasons.
 - These minor elements met the Code requirements to be designated as refinements. Therefore, the DRB could review them, eliminating the need to present them to the Planning Commission and City Council as amendments. He outlined the refinements as follows:
 - While the refinement was outside the project area, it was still within the authority to review as part of the application. As the City has progressed in the design of Tooze Rd and the safety considerations of removing one of the accesses to Tooze Rd had been evaluated, the Tooze Rd connection to the proposed Orleans Ave would be eliminated to meet the arterial standard and address safety concerns along Tooze Rd.
 - As discussed in the Staff report, circulation was assumed to be adequate enough to prevent significant congestion. There was also specific language under the refinement criteria stating that even if a change could be considered significant, if safety on an arterial was improved, it could be approved as a refinement.
 - Ultimately, the single access off Paris Ave would be connected with the initial Polygon construction. Polygon would build the street up to Tooze Rd, but the actual connection from Tooze Rd to Paris Ave would be made when the City made its improvements to Tooze Rd in the near future.
 - The next change, which involved adding green space and trails, could be done as an SAP or PDP refinement, but was instead being grouped with the other Master Plan refinements. The refinement criteria for parks and trails were concerned with reduction in function or usability of green spaces.

- Storm facility standards would also be updated from what had been designed years ago. This had been reviewed by Natural Resources and Engineering, who supported the specific conditions regarding this design in the Staff report.
- Land use and density. Since this site was originally intended for a school, there were questions about what type of housing should be located there. When the SAP was adopted, the colors from Figure 1 of the Master Plan were adopted. Based on that, the proposal was a mixture of Large, Standard, Small, and Medium lots.
 - The aggregate land-use categories in the refinement criteria grouped medium, standard, large and estate single-family and then small single-family with smaller units, like apartments and condominiums.
 - The proposed amendment request would be just under 3 percent change from the medium, standard, and large criteria. Due to the addition of the large lots, there would be fewer smaller lots, slightly less than a 10 percent change. Staff reviewed the figures closely and was comfortable with the request. Overall, the density was reduced within the 10 percent allowed by a refinement.
- Preliminary Development Plan. He reviewed the number of housing types and the location of the Large, Standard, Medium, and Small single-family housing types within the proposed development as shown on Slide 17. A total of 63 units were proposed for Calais East in Villebois.
 - Despite working with many restraints, the design team had given this project and product mix a lot of thought, consideration, and discussion, especially given that Council was involved as one of the sellers of the property. Staff was supportive of the project and also supported placing smaller, denser lots toward the middle and locating larger lots along the edge.
 - Due to the grades, especially on the northeast corner of the site (Slide 18). Some of the larger lots in the northeast corner would have daylight basements. There were also other slopes, so other homes would be accessed by stairs similar to what could be seen in other Polygon subdivisions.
 - The vehicle circulation indicated standard residential streets, alleys, and pedestrian paths.
 - Parking. The Code standard was met by the garage parking proposed, but Slide 20 showed additional parking beyond that provided in the garages.
 - He noted the additional parking available on the southern edge of the site along Trocadero Park, right next to the skate park which the Board had previously discussed to ensure sufficient parking for the skate park along Palermo St.
 - The Tentative Subdivision Plat reflected the Preliminary Development Plan. If all the lot sizes were within the allowances shown in the Pattern Book for the different types of lots.
 - The Type C Tree Plan was similar to that seen in other applications in that the trees were essentially grouped around the existing single-family home and the rest of site was open.
 - A lot of thought had been given to the development's design to use grading and move the streets around in order to preserve, an important Red Oak Tree, the highest-value tree. Some smaller, less valuable trees were in the middle of the street and would be removed.
 - Final Development Plan. There were two regional parks south of the site, but no neighborhood parks within this phase. A portion of the former school property had been approved to be built as Trocadero Park, Regional Park 5.
 - The pocket parks and linear greens all met the Community Elements Book standards for Villebois.
- He noted Exhibit B8, which was distributed to the Board at the dais, was an email from the Applicant requesting revisions to Conditions PDD 6 and PFE 1. His additional comments regarding the requested changes (Slide 27) were as follows:
 - With regard to Condition PDD 6, he noted that grades change over time, and if a significant amount of foundation became exposed, the City wanted to ensure it was architecturally enhanced to match the design of the home, which was standard. However, because of the daylight

basements, the Applicant wanted to clarify that daylight basements would have the standard siding that would otherwise be on the rear of the home, as it should not be in the public view shed.

- As with any homes facing a street, such as Tooze Rd or Grahams Ferry Rd, whatever was visible was required to be an enhanced elevation with grids and such.
- The requested change to Condition PFE 1 was a suggestion by the Applicant to allow for a bit more flexibility in the final design when working with public utility easements. The City Engineer was fine with the suggestion.
- He noted there had been a lot of discussion about the Red Oak Tree. Legal Staff did a final review of the application and discussed the matter with the Applicant, who understood the importance of the Red Oak and wanted to partner with the City to make sure the Red Oak was preserved. The Applicant supported a number of additions to the conditions of approval to ensure the Red Oak was protected properly during construction and that responsibility for maintenance of the Red Oak remained clear over time. He listed a number of additions to He read the following changes to the conditions into the record as follows:
 - Condition PDD 4 regarded the standard Operations and Maintenance (O&M) Agreement required in Villebois. The second line was amended to state, “the subdivision that clearly identifies ownership and maintenance for parks, *trees*, open space...”
 - He explained that the City partially owned and had agreed to help maintain Trocadéro Park when it was approved; knowing that whoever bought the property in the future would be obligated to help during the initial five-year HOA maintenance of the substantial park. Because a portion of the subject property included Trocadéro Park, the City attorney wanted to ensure both the tree and the maintenance of Trocadéro Park were reflected in the O&M Agreement; therefore the following sentence was added to Condition PDD 4:
 - **“Such agreement shall include maintenance by the HOA of Tree 70001, an important Red Oak, and a proportional share of maintenance of Regional Park 5 (RP-5) during the HOA maintenance period.** Such agreement shall be reviewed and approved by the City Attorney prior to recordation. See also Finding G4.”
 - In Condition PDF 4, additional language was also added after the word “following:” to state, **“Special care shall be taken in protecting Tree 70001, an important Red Oak along Tooze Rd.”**
 - Staff both understood and supported the City Attorney’s perspective that the City should put red flags whenever possible to highlight the fact that the Red Oak needed to be protected with every possible method.
 - He confirmed the Red Oak was in the public right-of-way and a portion of the root zone might go into Tract F, which was essentially there to protect the root zone.

Kristin Akervall asked for a definition of LOS F, which was included in Condition PFD3 on Page 13 of 112 of the Staff report that discussed the Traffic Analysis Report. She noted there had always been a lot of discussion about that particular intersection. (Grahams Ferry Rd/Tooze Rd)

Steve Adams, Development Engineering Manager, explained LOS was a measure of capacity at an intersection. City Code restricted maximum functioning of intersections, LOS D, which was about a 55-second delay in the intersection patterns. Once that time was exceeded, LOS E and LOS F were the next two measures. People get impatient waiting for the light and have to wait through a couple of cycles if the intersection was an LOS E or F, which were levels the City did not want per the City Code. Although the intersection was quiet now, the traffic engineer has said that once Villebois was completely built out, a signalized intersection would be needed because stop signs would not allow drivers to get through the intersection in a reasonable time during the PM Peak Hour. Those plans were being designed now. The condition was included because City Code required improvements to be planned and funded for developments to be approved past LOS D. The condition essentially noted that per City Code, Staff was working to get a signalized intersection installed prior to the intersection becoming too congested.

- He confirmed the estimated time for completing the construction was summer 2018, as stated in the condition. The initial condition from a couple of years ago stated the improvements would be completed in 2016 but they were not, due to funding, design changes, the acquisition of right-of-way, and additional City construction projects being undertaken in 2017.
 - The Kinsman Road Extension would begin within the next year, impacting Barber St and Boeckman Rd, which would be also be closed down for six weeks to two months for construction of a roundabout. Rather than having Boeckman Rd closed once for the roundabout and then closed again for street improvements on Tooze Rd and Grahams Ferry Rd, the City decided to push the construction back to limit the impacts in any given year to the citizens and businesses using Boeckman Rd.
- He did not have a sense of how long it would take before the intersection became congested, but noted the market had been good and Polygon anticipated building 300 plus homes a year. The City's goal was to complete the improvements sooner rather than later. While congestion was not currently a problem, it could be a delayed problem going forward.

Chair Fierros Bower asked for confirmation that all the proposed streets were 59-ft wide and could accommodate two rows of parked cars. She noted one street on Slide 20 looked crowded where the vehicles were placed graphically.

Mr. Adams replied the only street less than the standard width for two cars was Palermo St. He agreed Oslo St did look tight on the visual, but if built like the other streets, cars would be able to park on each side and also drive through. Oslo St was a completed street west of Paris Ave and he had never noticed a passing problem on that section. Oslo St should be the same width as it crossed the new piece of development.

- The L1 street cross-section was the same width due to a previous DRB concern about parking in front of the skateboard park. Parallel parking would be added for four or so cars by the future skateboard park in that regional park. Palermo St shrinks down to a width that allows parking only on the home site side, which was per a standard that had been in place since Villebois began because the developer did not want parking adjacent to the regional parks.

Mr. Heberlein understood Paris Ave had a given street width, but directly south of that, it was identified as a narrower street.

Mr. Adams responded that was correct, adding it was a common practice for streets to narrow to 20 ft when passing through regional parks since parking adjacent to the parks was not allowed.

Barber St was the only street that was wider due to the bike lanes. Surrey St and Villebois Dr south next to the farmers' market, for example, were 20-ft wide streets to allow traffic to pass by but not any parking adjacent to parks.

Mr. Pauly added Regional Park 4 and Regional Park 5 were on the other side where the street was narrower.

Chair Fierros Bower called for the Applicant's presentation.

Fred Gast, Polygon NW, 109 E 13th St, Vancouver, WA 98664, stated Polygon had been developing in the community for nearly six years, noting it had been refreshing to work with the professionals at the City. He thanked Staff for the effort they put into the applications because it was only through a lot of experience and a great deal of passion that they could get to the level of detail in a Staff report that was second to none in the area. Such detail allowed him to be brief in his presentation. He reviewed a short PowerPoint presentation with these comments:

- As noted by Staff, the refinement process only allowed a 10 percent limit. Polygon wanted to mirror what they developed in Calais I, namely bigger home sites, but they were limited on what could be called a medium-sized lot. While Polygon was required to have a certain number of small lots, they arranged them in such a way to have bigger houses than those typically found on a small lot. Although the land use comparisons looked different, the proposal was essentially a replay of what had been done at Calais. (Slide 1)
- The Site Plan the interaction within Calais, as well as the trees to the south in Regional Park 5 (RP-5), which Polygon would also be building.
- Architectural examples of homes Polygon had built in Calais 1 were displayed. These elevations would be carried forward into Calais 2, which included alley-loaded and front-loaded home sites.
- He noted Villebois was named by John Burns Real Estate Consulting, the biggest name in real estate consulting in America. Villebois was #45 of the top 50 Master Plan Communities in the United States but was Number 1 in the Pacific Northwest. More homes were sold in Villebois' Master Plan than any other in the Pacific Northwest, which demonstrated that the developers were doing something well here. The four builders in Villebois collectively achieved that result, which was something to be very proud of considering what was happening six years ago.

Ms. Akervall asked about the green space shown between Barcelona and Oslo St on Slide 1. She understood the houses would be facing each other and believed the green space looked pretty narrow.

Mr. Gast replied the green space was not as narrow as one might think; it was wider than an alleyway. The homes were set back off of the green and had front yard areas. Ideally, the Applicant would have preferred to have a street there, but there was not enough room, so they created a green street with richer landscaping, which had been done in other areas of Villebois; some being wider and some the same size. Polygon had heard differing opinions from its customers, but some people like the notion of having a front porch and watching their kids or a neighbor's children out in front. The same scenario had been developed at other communities outside of Villebois. It was not ideal, like being on Palermo St looking across the street at the park, but some people would prefer not to have to look at the skate park and would rather have a more close-knit community, so that would work for them.

- He confirmed there would be sidewalks in front, joining the homes and creating a courtyard feel.

Chair Fierros Bower asked if a detention pond was planned for the east side of the green space area.

Jim Lange, Pacific Community Design, clarified it was a rainwater facility, which was more for water-quality with a shallow depression, about 1-ft to 18-inches deep, containing wetland-like plants.

Mr. Heberlein asked what drove the decision to have the small sliver of open space between two properties shown on Slide 1 as a green tract near Amsterdam Ave.

Mr. Lange replied it was included to address the block standard because the block slightly exceeded the block standard. Given the distances between Barcelona St and Palermo St, the Code required that a pedestrian tract be included.

Mr. Heberlein asked what landscape treatments would be used and who would be responsible for maintenance.

Mr. Lange replied the homeowners association would be responsible for maintenance. The tract would include a sidewalk, shrubs, grass, and bark dust. He confirmed the tract was 15-ft wide and was in the Final Development Plan.

- He confirmed that Detail #4 on Sheet L2 of the Final Development Plan was correct, and that the sidewalk would terminated at the property line and then extended when the other side was developed, which was expected.

Mr. Heberlein asked how the expectation that it would be developed into a sidewalk connecting to another development was defined.

Mr. Pauly explained the streets north and south of the parcel were also connecting, so the same issue regarding a mid-block crossing would exist on the other half of the block in the adjacent development. It made sense that the sidewalk would be continued because a mid-block crossing would be required in the next property. He clarified that developer would be required to place a mid-block crossing in the same location.

Chair Fierros Bower called for public testimony in favor of, opposed and neutral to the application. Seeing none, she closed the public hearing at 8:21 pm.

James Frinell moved to approve Resolution No. 321 with the conditions noted in the Staff report and the amended conditions read into the record by Dan Pauly. Ronald Heberlein seconded the motion, which passed unanimously.

Chair Fierros Bower read the rules of appeal into the record.

VIII. Board Member Communications

A. Results of the January 25, 2016 DRB Panel B meeting

Daniel Pauly, Associate Planner explained Panel B had approved the first project, a behavior health facility, in the Coffee Creek Industrial Area within the Day Road Overlay which was now headed to City Council. It was a nice-looking building and included public art at the corner so the project should make a nice statement at the Coffee Creek entrance at the southeast corner of Day Rd and Boones Ferry Rd while also providing a needed service.

James Frinell noted an article in the *Wilsonville Spokesman* stated the original zoning was industrial and asked if a hospital was considered industrial.

Mr. Pauly confirmed the property had originally been zoned for industrial and that had not changed. Specific findings from by the Planning Director found that it was not only industrial, but also a regionally significant industrial area; therefore, some findings related to the number of jobs, the ability to provide off-peak trips, and a performance-based approach that provided the high-density as well as high-wage employment the City was looking for from industrial land. Both Staff and the DRB were comfortable with the findings used to support the use in that zone.

IX. Staff Communications

Daniel Pauly, Associate Planner, introduced Fred Ruby, a recent appointee to DRB Panel A.

Fred Ruby introduced himself to the Board, adding the combination of reviewing public and private projects allowed him to see how the Board worked. He stated he had been a resident since September 2015 and has enjoyed exploring Wilsonville. Originally from Beaverton, he was an attorney and recently retired from being a government attorney with the Oregon Department of Justice, adding he had enjoyed his occasionally interactions with cities and counties. He looked forward to serving on the Board.

Chris Neamtzu, Planning Director, noted he would see some Board members at the SMART Growth Conference this coming weekend in Portland.

X. Adjournment

The meeting adjourned at 8:27 p.m.

Respectfully submitted,

Paula Pinyerd, ABC Transcription Services, Inc. for
Shelley White, Planning Administrative Assistant

DEVELOPMENT REVIEW BOARD MEETING

MONDAY, APRIL 11, 2016

6:30 PM

IX. Public Hearing:

**A. Resolution No. 325. Coca Cola Warehouse Expansion:
Coca Cola Refreshments – Owner. Monte Pershall,
Trecore Construction Management LLC - Applicant.**

The applicant is requesting approval of Stage I Preliminary Plan Revision, a Stage II Final Plan Revision and Site Design Review for a 35,120 Sq Ft warehouse addition, new automobile and bicycle parking spaces, landscaping and upgraded exterior lighting. The site is located at 9750 SW Barber Street on Tax Lot 103 of Section 14C, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, Oregon. Staff: Connie Randall.

Case Files: DB16-0001 – Stage I Preliminary Plan Revision
DB16-0002 – Stage II Final Plan Revision
DB16-0003 – Site Design Review

**DEVELOPMENT REVIEW BOARD
RESOLUTION NO. 325**

A RESOLUTION ADOPTING FINDINGS AND CONDITIONS APPROVING A STAGE I PRELIMINARY PLAN REVISION, A STAGE II FINAL PLAN REVISION, AND SITE DESIGN REVIEW FOR A 35,120 SQ FT WAREHOUSE ADDITION, NEW AUTOMOBILE AND BICYCLE PARKING SPACES, LANDSCAPING, AND UPGRADED EXTERIOR LIGHTING. THE SUBJECT SITE IS LOCATED AT 9750 SW BARBER STREET ON TAX LOT 103 OF SECTION 14C, TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON. COCA COLA REFRESHMENTS – OWNER. MONTE PERSHALL, TRECORE CONSTRUCTION MANAGEMENT LLC – APPLICANT.

WHEREAS, an application, together with planning exhibits for the above-captioned development, has been submitted in accordance with the procedures set forth in Section 4.008 of the Wilsonville Code, and

WHEREAS, the Planning Staff has prepared staff report on the above-captioned subject dated April 4, 2016, and

WHEREAS, said planning exhibits and staff report were duly considered by the Development Review Board Panel A at a scheduled meeting conducted on April 11, 2016, at which time exhibits, together with findings and public testimony were entered into the public record, and

WHEREAS, the Development Review Board considered the subject and the recommendations contained in the staff report, and

WHEREAS, interested parties, if any, have had an opportunity to be heard on the subject.

NOW, THEREFORE, BE IT RESOLVED that the Development Review Board of the City of Wilsonville does hereby adopt the staff report dated April 4, 2016, attached hereto as Exhibit A1, with findings and recommendations contained therein, and authorizes the Planning Director to issue permits consistent with said recommendations for:

DB16-0001 through DB16-0003, Stage I Preliminary Plan Revision, Stage II Final Plan Revision, and Site Design Review for a 35,120 square foot warehouse addition, new automobile and bicycle parking spaces, landscaping, upgraded exterior lighting, and other improvements.

ADOPTED by the Development Review Board of the City of Wilsonville at a regular meeting thereof this 11th day of April, 2016 and filed with the Planning Administrative Assistant on _____. This resolution is final on the 15th calendar day after the postmarked date of the written notice of decision per *WC Sec 4.022(.09)* unless appealed per *WC Sec 4.022(.02)* or called up for review by the council in accordance with *WC Sec 4.022(.03)*.

Mary Fierros Bower, Chair, Panel A
Wilsonville Development Review Board

Attest:

Shelley White, Planning Administrative Assistant

Exhibit A1
Staff Report
Wilsonville Planning Division
Coca Cola Refreshments Warehouse Expansion

Development Review Board Panel 'A'
Quasi-Judicial Public Hearing

Hearing Date: April 11, 2016
Date of Report: April 6, 2016

Application Nos.: DB16-0001 Stage I Preliminary Plan Revision
DB16-0002 Stage II Final Plan Revision
DB16-0003 Site Design Review

Request/Summary: The Development Review Board is being asked to review a Class 3 Stage I Preliminary Plan Revision, Stage II Final Plan Revision, and Site Design Review for a 35,120 sq. ft. expansion of the Coca Cola Warehouse.

Location: The subject 26.2 acre property is partially developed and is located at 9750 SW Barber Street. It is located on the southeast corner of the intersection of SW Barber Street and SW Kinsman Road. It is more specifically described at Tax Lot 103 in Section 14C; Township 3South, Range 1 West; Willamette Meridian, Clackamas County, City of Wilsonville, Oregon.

Owner: Coca Cola Refreshments
521 Lake Kathy Drive
Brandon, FL 33510

Applicant: Monte Pershall
TreCore Construction Management, LLC
7101 NE 109th Street
Vancouver, WA 98686

Comprehensive Plan Designation: Industrial

Zone Map Classification: PDI (Planned Development Industrial)

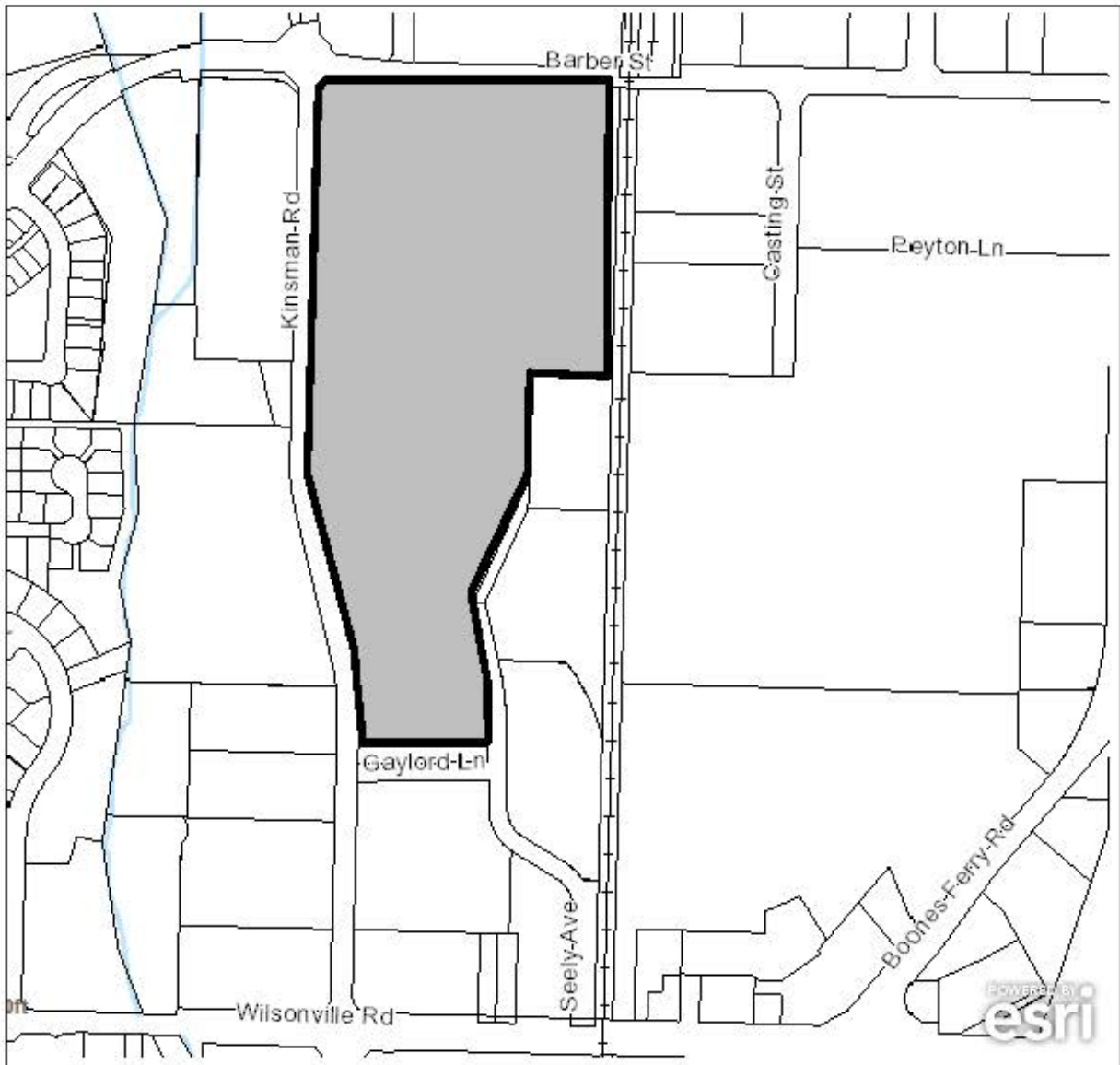
Staff Reviewers: Connie Randall, Associate Planner
Steve Adams PE, Development Engineering Manager
Kerry Rappold, Natural Resources Program Manager

Staff Recommendation: Approve with conditions the requested revised Stage I Master Plan, State II Final Plan, and Site Design Review request.

Applicable Review Criteria:

<u>Development Code:</u>	
Section 4.008	Application Procedures-In General
Section 4.009	Who May Initiate Application
Section 4.010	How to Apply
Section 4.011	How Applications are Processed
Section 4.014	Burden of Proof
Section 4.031	Authority of the Development Review Board
Subsection 4.035 (.04)	Site Development Permit Application
Subsection 4.035 (.05)	Complete Submittal Requirement
Section 4.110	Zones
Section 4.117	Standards Applying to Industrial Developments in Any Zone
Section 4.118	Standards Applying to Planned Development Zones
Sections 4.133.00 through 4.133.05	Wilsonville Road Interchange Area Management Plan (IAMP) Overlay Zone
Section 4.135	PDI: Planned Development Industrial Zone
Section 4.140	Planned Development Regulations
Section 4.154	On-site Pedestrian Access and Circulation
Section 4.155	Parking, Loading, and Bicycle Parking
Section 4.167	Access, Ingress, and Egress
Section 4.171	Protection of Natural Features and Other Resources
Section 4.175	Public Safety and Crime Prevention
Section 4.176	Landscaping, Screening, and Buffering
Section 4.177	Street Improvement Standards
Section 4.179	Mixed Solid Waste and Recyclables Storage in New Multi-Unit Residential and Non-Residential Buildings
Sections 4.199.20 through 4.199.60	Outdoor Lighting
Sections 4.300 through 4.320	Underground Utilities
Sections 4.400 through 4.445 as applicable	Site Design Review
<u>Other Planning Documents:</u>	
Wilsonville Comprehensive Plan	

Vicinity Map:



Background:

The Coca Cola bottling and warehouse facility was originally approved in 1986 and modified in 1987 and again in 2008 resulting in the 305,915 sq. ft. facility that exists today (Page 4 of Exhibit B1 and Sheet A1.1 of Exhibit B2). The current proposal, phase IV, will expand the facility by adding 35,120 sq. ft. of warehouse space on the southern end of the site. The applicant proposes to increase the facility by 35,120 sq. ft., an 11.5% increase in total building space, through the requested Stage I modification (DB16-0001).

Summary:

Stage I Master Plan Revision (DB16-0001)

The proposed Stage I Master Plan Revision seeks to add a fourth phase to the development, a warehouse extension immediately south of the existing warehouse building. The subject area is designated as pavement, truck parking and landscaping (sod) in the previous modified Stage I approval in 2008 (Case File DB08-0019).

Stage II Final Plan Revision (DB16-0002)

The Stage II Final Plan Revision proposes a single-story, 35,120 square foot warehouse building addition on the south side of the site. The existing truck parking and drive aisle will be restriped to accommodate the warehouse addition. Additional automobile and bicycle parking is provided in the northern portion of the site along with new parking lot landscape areas are proposed. A fire access drive around the warehouse addition is also proposed.

The remainder of the site remains the same.

Traffic is not expected to be impacted by the proposed warehouse addition. A waiver to the traffic report requirement has been granted by the Community Development Director (Exhibit A of Exhibit B1).

Site Design Review (DB16-0003)

The proposed warehouse addition is of standard designs for the industry and has been designed to match the existing buildings in terms of height, style, materials and colors. No new outdoor storage or uses beyond loading and unloading is proposed. The new landscaping has been professionally designed and includes appropriate sized and spaced plant materials.

Conclusion and Conditions of Approval:

Staff has reviewed the applicant’s analysis of compliance with the applicable criteria. The Staff report adopts the applicant’s responses as Findings of Fact except as noted in the Findings. Based on the Findings of Fact, information included in this Staff Report, and information received from a duly advertised public hearing, Staff recommends that the Development Review Board approve the proposed applications (DB16-0001 through DB16-0003) with the following conditions:

Planning Division Conditions:

Request A: DB15-0041 Stage I Preliminary Plan Revision

No conditions for this request

Request B: DB15-0042 Stage II Final Plan Revision

PDB 1. The approved final plan and stage II development schedule shall control the issuance of all building permits and shall restrict the nature, location and design of all uses. Minor changes in an approved development plan may be approved by the Planning Director through the Class I Administrative Review Process if such

changes are consistent with the purposes and general character of the development plan. All other modifications, including extension or revision of the stage development schedule, shall be processed in the same manner as the original application and shall be subject to the same procedural requirements. See Finding B16.

Request C: DB15-0043 Site Design Review

PDC 1.	Construction, site development, and landscaping shall be carried out in substantial accord with the Development Review Board approved plans, drawings, sketches, and other documents. Minor revisions may be approved by the Planning Director through administrative review pursuant to Section 4.030. See Findings C3 and C7.
PDC 2.	All landscaping required and approved by the Board shall be installed prior to issuance of Certificate of Occupancy for the warehouse addition, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City will be returned to the applicant. See Finding C10.
PDC 3.	The approved landscape plan is binding upon the applicant/owner. Substitution of plant materials, irrigation systems, or other aspects of an approved landscape plan shall not be made without official action of the Planning Director or Development Review Board, pursuant to the applicable sections of Wilsonville’s Development Code. See Finding C11.
PDC 4.	All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered as allowed by Wilsonville’s Development Code. See Findings C12 and C13.
PDC 5.	<p>The following requirements for planting of shrubs and ground cover shall be met:</p> <ul style="list-style-type: none"> • Non-horticultural plastic sheeting or other impermeable surface shall not be placed under landscaping mulch. • Native topsoil shall be preserved and reused to the extent feasible. • Surface mulch or bark dust shall be fully raked into soil of appropriate depth, sufficient to control erosion, and shall be confined to areas around plantings. • All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10” to 12” spread.

	<ul style="list-style-type: none"> • Shrubs shall reach their designed size for screening within three (3) years of planting. • Ground cover shall be equal to or better than the following depending on the type of plant materials used: gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 inch on center minimum. • No bare root planting shall be permitted. • Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting. • Appropriate plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations. • Compost-amended topsoil shall be integrated in all areas to be landscaped, including lawns. See Finding C19.
PDC 6.	All trees shall be balled and burlapped and conform in size and grade to "American Standards for Nursery Stock" current edition. See Finding C20.
PDC 7.	Plant materials shall be installed to current industry standards and be properly staked to ensure survival. Plants that die shall be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City. See Finding C24.
PDC 8.	All exterior mounted lighting shall not exceed a height of 40 feet.

The following Conditions of Approval are provided by the Engineering, Natural Resources, or Building Divisions of the City's Community Development Department or Tualatin Valley Fire and Rescue, all of which have authority over development approval. A number of these Conditions of Approval are not related to land use regulations under the authority of the Development Review Board or Planning Director. Only those Conditions of Approval related to criteria in Chapter 4 of Wilsonville Code and the Comprehensive Plan, including but not limited to those related to traffic level of service, site vision clearance, recording of plats, and concurrency, are subject to the Land Use review and appeal process defined in Wilsonville Code and Oregon Revised Statutes and Administrative Rules. Other Conditions of Approval are based on City Code chapters other than Chapter 4, state law, federal law, or other agency rules and regulations. Questions or requests about the applicability, appeal, exemption or non-compliance related to these other Conditions of Approval should be directed to the City Department, Division, or non-City agency with authority over the relevant portion of the development approval.

Building Division Conditions:

BD 1.	Requirements and Advisories: Building Division Requirements and Advisories listed in Exhibit C2 apply to the proposed development.
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Natural Resource Division Conditions:

NR 1.	Natural Resource Division Requirements and Advisories listed in Exhibit C3 apply to the proposed development.
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Master Exhibit List:

The following exhibits are hereby entered into the public record by the Development Review Board as confirmation of its consideration of the application as submitted. This is the exhibit list that includes exhibits for Planning Case File DB16-0001 through DB16-0003.

Planning Staff Materials

- A1.** Staff report and findings (this document)
- A2.** Staff's Presentation Slides for Public Hearing (to be presented at Public Hearing)

Materials from Applicant

- B1.** Applicant's Narrative and Submitted Materials (*under separate cover*)
 - Exhibit A Traffic Study Waiver
 - Exhibit B New Exterior Lighting Details and Photometric Report
 - Exhibit C Legal Description
 - Reduced Plans 11x17 (*same as Exhibit B2*)

- B2.** Drawings and Plans
 - A0.0 Title Sheet and Project Information
 - A1.1 Existing Site Plan
 - A2.1 Proposed Site Plan
 - A2.2 Building Floor Plan
 - A2.3 Enlarged Warehouse Addition Floor Plan
 - A2.4 Enlarged Plans
 - A3.1 Existing Building Elevations
 - A3.2 Warehouse Addition Building Elevations
 - A3.3 Warehouse Addition Building Sections
 - C1.0 Topographic and Boundary Survey
 - C1.1 Building Area Existing Conditions
 - C2.0 Preliminary Grading and Erosion Control Plan
 - C2.1 Preliminary Parking and Site Erosion Control
 - C3.0 Preliminary Utility Plan
 - C4.0 Preliminary Stormwater Management Plan
 - L1.0 Overall Landscape Plan (existing approved plan)
 - L1.1 Partial Site Landscape Plan (existing approved plan)
 - L1.2 Partial Landscape Plan (existing approved plan)
 - LT1.0 Photometric Site Lighting Plan

- B3.** Application
- B4.** Applicant Letter regarding exterior lighting dated March 4, 2016

Development Review Team Correspondence

- C1. Email from Steve Adams
- C2. Building Division Requirements and Advisories
- C3. Natural Resources Division Requirements and Advisories
- C4. Public Works Plan Review Comment Form

Background:

1. The statutory 120-day time limit applies to this application. The application was received on February 2, 2016. On February 22, 2016 staff conducted a completeness review within the statutorily allowed 30-day review period and found the application to be incomplete. On March 2, 2016, the Applicant submitted new materials. On March 4, 2016 the application was deemed complete. The City must render a final decision for the request, including any appeals, by July 2, 2016.

2. Surrounding land uses are as follows:

Compass Direction	Zone	Existing Use
North	PDI	Barber Street; SMART Central at Wilsonville Station
East	PDI	Railroad; Industrial
South	PDI	Gaylord Lane; Industrial
West	PDI	Kinsman Road; Industrial

3. Previous Planning Approvals:

- 86PC31 Stage I and II/Build Phase I
- 87PC20 Stage I Modification/Build Phase II
- 87DR17 Site Design Review – Phase II
- 90AR35 Solid Waste Area
- AR07-0030 Class I Administrative Review of Landscape Plan
- DB08-0019 Stage I Modification
- DB08-0020 Stage II
- DB08-0021 Type “C” Tree Removal Plan
- DB08-0022 Site Design Review – Phase III

4. The applicant has complied with Sections 4.013-4.031 of the Wilsonville Code, said sections pertaining to review procedures and submittal requirements. Notice of the application was mailed to property owners within 250 feet of the subject site and posted online and in three (3) standard locations for public notice on March 22, 2016 in accordance with Sections 4.012 of the City of Wilsonville Planning and Land Development Ordinance. The required public notices have been sent and all proper notification procedures have been satisfied.

Findings of Fact:

NOTE: Pursuant to Section 4.014 the burden of proving that the necessary findings of fact can be made for approval of any land use or development application rests with the applicant in the case.

General Information

Application Procedures-In General

Section 4.008

Review Criteria: This section lists general application procedures applicable to a number of types of land use applications and also lists unique features of Wilsonville's development review process.

Finding: These criteria are met.

Details of Finding: The application is being processed in accordance with the applicable general procedures of this Section.

Initiating Application

Section 4.009

Review Criterion: "Except for a Specific Area Plan (SAP), applications involving specific sites may be filed only by the owner of the subject property, by a unit of government that is in the process of acquiring the property, or by an agent who has been authorized by the owner, in writing, to apply."

Finding: This criterion is satisfied.

Details of Finding: The application has been submitted on behalf of the property owner, Coca Cola Refreshments, and is signed by an authorized representative.

Pre-Application Conference

Subsection 4.010 (.02)

Review Criteria: This section lists the pre-application process.

Finding: These criteria are satisfied.

Details of Finding: A Pre-application conferences were held on January 21, 2016 (PA15-0028) in accordance with this subsection.

Lien Payment before Approval

Subsection 4.011 (.02) B.

Review Criterion: "City Council Resolution No. 796 precludes the approval of any development application without the prior payment of all applicable City liens for the subject property. Applicants shall be encouraged to contact the City Finance Department to verify that there are no outstanding liens. If the Planning Director is advised of outstanding liens while an application is under consideration, the Director shall advise the applicant that payments must be made current or the existence of liens will necessitate denial of the application."

Finding: This criterion is satisfied.

Details of Finding: No applicable liens exist for the subject property. The application can thus move forward.

General Submission Requirements

Subsection 4.035 (.04) A.

Review Criteria: “An application for a Site Development Permit shall consist of the materials specified as follows, plus any other materials required by this Code.” Listed 1. through 6. j.

Finding: These criteria are satisfied.

Details of Finding: The applicant has provided all of the applicable general submission requirements contained in this subsection.

Zoning-Generally

Section 4.110

Review Criteria: “The use of any building or premises or the construction of any development shall be in conformity with the regulations set forth in this Code for each Zoning District in which it is located, except as provided in Sections 4.189 through 4.192.” “The General Regulations listed in Sections 4.150 through 4.199 shall apply to all zones unless the text indicates otherwise.”

Finding: These criteria are satisfied.

Details of Finding: As discussed below, the proposed development is in conformity with the applicable zoning district and general development regulations listed in Sections 4.150 through 4.199 have been applied in accordance with this Section.

Request A: DB16-0001 Stage I Preliminary Plan Revision

Planned Development Regulations

Planned Development Purpose

Subsection 4.140 (.01)

A1. **Review Criterion:** The proposed revised Stage I Master Plan shall be consistent with the Planned Development Regulations purpose statement which states, “The purposes of these regulations are to encourage the development of tracts of land sufficiently large to allow for comprehensive master planning, and to provide flexibility in the application of certain regulations in a manner consistent with the intent of the Comprehensive Plan and general provisions of the zoning regulations and to encourage a harmonious variety of uses through mixed use design within specific developments thereby promoting the economy of shared public services and facilities and a variety of complimentary activities consistent with the land use designation on the Comprehensive Plan and the creation of an attractive, healthful, efficient and stable environment for living, shopping or working.”

Finding: This criterion is satisfied.

Details of Finding: The proposal is to modify a development previously approved as a planned development.

Planned Development Lot Qualifications

Subsection 4.140 (.02)

A2. **Review Criterion:** “Planned Development may be established on lots which are suitable for and of a size to be planned and developed in a manner consistent with the purposes and objectives of Section 4.140.”

Finding: This criterion is satisfied.

Details of Finding: The property is of sufficient size to be developed in a manner consistent the purposes and objectives of Section 4.140.

- A3. **Review Criteria:** “Any site designated for development in the Comprehensive Plan may be developed as a Planned Development, provided that it is zoned “PD.” All sites which are greater than two (2) acres in size, and designated in the Comprehensive Plan for commercial, residential, or industrial use shall be developed as Planned Developments, unless approved for other uses permitted by the Development Code.”

Finding: These criteria are satisfied.

Details of Finding: The subject property is 26.2 acres, is designated for industrial development in the Comprehensive Plan, and is zoned Planned Development Industrial. The property has been and continues to be developed as a planned development in accordance with this subsection.

Ownership Requirements

Subsection 4.140 (.03)

- A4. **Review Criterion:** “The tract or tracts of land included in a proposed Planned Development must be in one (1) ownership or control or the subject of a joint application by the owners of all the property included.”

Finding: This criterion is satisfied.

Details of Finding: All the land subject to change under the proposal is under one ownership.

Professional Design Team

Subsection 4.140 (.04)

- A5. **Review Criteria:** “The applicant for all proposed Planned Developments shall certify that the professional services of the appropriate professionals have been utilized in the planning process for development. One of the professional consultants chosen by the applicant shall be designated to be responsible for conferring with the planning staff with respect to the concept and details of the plan.”

Finding: These criteria are satisfied.

Details of Finding: As can be found in the applicant’s submitted materials, appropriate professionals have been involved in the planning and permitting process. Babrak Amiri, P.E. with Associated Consultants, Inc. is the professional coordinator of the design team.

Planned Development Permit Process

Subsection 4.140 (.05)

- A6. **Review Criteria:** “All parcels of land exceeding two (2) acres in size that are to be used for residential, commercial or industrial development, shall, prior to the issuance of any building permit:

1. Be zoned for planned development;
2. Obtain a planned development permit; and
3. Obtain Development Review Board, or, on appeal, City Council approval.”

Finding: These criteria are satisfied.

Details of Finding: The subject property is 26.2 acres, is designated for industrial development in the Comprehensive Plan, and is zoned Planned Development Industrial.

The property has been and continues to be developed as a planned development in accordance with this subsection.

Comprehensive Plan Consistency

Subsection 4.140 (.06)

A7. **Review Criteria:** “The planning staff shall prepare a report of its findings and conclusions as to whether the use contemplated is consistent with the land use designated on the Comprehensive Plan.” “The applicant may proceed to apply for Stage I - Preliminary Approval - upon determination by either staff or the Development Review Board that the use contemplated is consistent with the Comprehensive Plan.”

Finding: These criteria are satisfied.

Details of Finding: The proposed project, as found elsewhere in this report, complies with the Planned Development Industrial zoning designation, which implements the Comprehensive Plan designation of ‘Industrial’ for this property. The entire property was previously approved for use by Coca Cola Refreshments, the current request is to expand the warehouse use on the site.

Application Requirements

Subsection 4.140 (.07)

A8. **Review Criteria:** This subsection establishes that the Development Review Board shall consider a Stage I Master Plan after completion or submission of a variety of application requirements.

Finding: These criteria are satisfied.

Details of Finding: Review of the proposed revised Stage I Master Plan has been scheduled for a public hearing before the Development Review Board in accordance with this subsection and the applicant has met all the applicable submission requirements as follows:

- The property affected by the revised Stage I Master Plan is under the sole ownership of Coca Cola Refreshments and the application has been signed by an authorized representative, William Godwin.
- The application for a revised Stage I Master Plan has been submitted on a form prescribed by the City.
- The professional design team and coordinator has been identified. See Finding A5.
- The applicant has stated the various uses involved in the Master Plan and their locations.
- The boundary affected by the Stage I Master Plan has not changed from the previous Stage I approval.
- Sufficient topographic information has been submitted.
- A tabulation of the land area to be devoted to various uses has been provided.
- The proposed development will be built in a single phase.
- Any necessary performance bonds will be required.
- No waivers have been requested.

Planned Development Industrial (PDI) Zone

Typically Permitted Uses

Subsection 4.135(.03)

A9. **Review Criteria:** This subsection list the allowed uses in the PDI Zone.

Finding: These criteria are satisfied.

Details of Finding: The proposal is to expand an existing warehouse use which has previously been approved for the site and found consistent with the zoning.

Block and Access Standards

Subsections 4.135(.04) and 4.131(.03)

A10. **Review Criteria:** “The Development Review Board shall determine appropriate conditions of approval to assure that adequate connectivity results for pedestrians, bicyclists, and motor vehicle drivers. Consideration shall be given to the use of public transit as a means of meeting access needs.”

Finding: These criteria are satisfied.

Details of Finding: No changes to blocks or access spacing are proposed.

Request B: DB16-0002 Stage II Final Plan Revision

Planned Development Regulations-Generally

Planned Development Purpose

Subsection 4.140 (.01)

B1. **Review Criterion:** The proposed Stage II Final Plan shall be consistent with the Planned Development Regulations purpose statement.

Finding: This criterion is satisfied.

Details of Finding: The proposed warehouse addition is phase IV of the industrial development of a 26.2 acre site. Phases I through III have been previously reviewed, approved and constructed.

Planned Developments Lot Qualifications

Subsection 4.140 (.02)

B2. **Review Criterion:** “Planned Development may be established on lots which are suitable for and of a size to be planned and developed in a manner consistent with the purposes and objectives of Section 4.140.”

Finding: This criterion is satisfied.

Details of Finding: The lot of the subject development site is of sufficient size to be developed in a manner consistent the purposes and objectives of Section 4.140.

B3. **Review Criteria:** “Any site designated for development in the Comprehensive Plan may be developed as a Planned Development, provided that it is zoned ‘PD.’ All sites which are greater than two (2) acres in size, and designated in the Comprehensive Plan for commercial, residential, or industrial use shall be developed as Planned Developments, unless approved for other uses permitted by the Development Code.”

Finding: These criteria are satisfied.

Details of Finding: The development site is 26.2 acres, is designated for industrial development in the Comprehensive Plan, and is zoned Planned Development Industrial. The property will be developed as a planned development in accordance with this subsection.

Ownership Requirements

Subsection 4.140 (.03)

B4. Review Criterion: “The tract or tracts of land included in a proposed Planned Development must be in one (1) ownership or control or the subject of a joint application by the owners of all the property included.”

Finding: This criterion is satisfied.

Details of Finding: The land included in the proposed Stage II Final Plan is under the single ownership of Coca Cola Refreshments and the application has been signed by an authorized representative, William. Godwin, Principal Engineer.

Professional Design Team

Subsection 4.140 (.04)

B5. Review Criteria: “The applicant for all proposed Planned Developments shall certify that the professional services of the appropriate professionals have been utilized in the planning process for development. One of the professional consultants chosen by the applicant shall be designated to be responsible for conferring with the planning staff with respect to the concept and details of the plan.”

Finding: These criteria are satisfied.

Details of Finding: As can be found in the applicant’s submitted materials, appropriate professionals have been involved in the planning and permitting process. Babrak Amiri, P.E. with Associated Consultants, Inc. is the professional coordinator of the design team.

Planned Development Permit Process

Subsection 4.140 (.05)

B6. Review Criteria: “All parcels of land exceeding two (2) acres in size that are to be used for residential, commercial or industrial development, shall, prior to the issuance of any building permit:

1. Be zoned for planned development;
2. Obtain a planned development permit; and
3. Obtain Development Review Board, or, on appeal, City Council approval.”

Finding: These criteria are satisfied.

Details of Finding: The subject property is 26.2 acres, is designated for industrial development in the Comprehensive Plan, and is zoned Planned Development Industrial. The property has been and will continue to be developed as a planned development in accordance with this subsection.

Stage II Final Plan Submission Requirements and Process

Timing of Submission

Subsection 4.140 (.09) A.

- B7. Review Criterion:** “Unless an extension has been granted by the Development Review Board, within two (2) years after the approval or modified approval of a preliminary development plan (Stage I), the applicant shall file with the City Planning Department a final plan for the entire development or when submission in stages has been authorized pursuant to Section 4.035 for the first unit of the development.”

Finding: This criterion is satisfied.

Details of Finding: The applicant is submitting a revised Stage II Plan concurrently with a revised Stage I Master Plan.

Development Review Board Role

Subsection 4.140 (.09) B.

- B8. Review Criterion:** “The Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.”

Finding: This criterion is satisfied.

Details of Finding: The Development Review Board is considering all applicable permit criteria set forth in the Planning and Land Development Code and staff is recommending the Development Review Board approve the application with conditions of approval.

Stage I Conformance, Submission Requirements

Subsection 4.140 (.09) C.

- B9. Review Criteria:** “The final plan shall conform in all major respects with the approved preliminary development plan, and shall include all information included in the preliminary plan plus the following:” listed 1. through 6.

Finding: These criteria are satisfied.

Details of Finding: The Stage II plans substantially conform to the proposed revised Stage I Master plan, which has been submitted concurrently. The applicant has provided the required drawings and other documents showing all the additional information required by this subsection.

Stage II Final Plan Detail

Subsection 4.140 (.09) D.

- B10. Review Criterion:** “The final plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the development or phase of development.”

Finding: This criterion is satisfied.

Details of Finding: The applicant has provided sufficiently detailed information to indicate fully the ultimate operation and appearance of the development, including a detailed site plan, landscape plans, and elevation drawings.

Submission of Legal Documents

Subsection 4.140 (.09) E.

B11. Review Criterion: “Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner’s association, shall also be submitted.”

Finding: This criterion is satisfied.

Details of Finding: No additional legal documentation is required for dedication or reservation of public facilities.

Expiration of Approval

Subsection 4.140 (.09) I. and Section 4.023

B12. Review Criterion: This subsection and section identify the period for which Stage II approvals are valid.

Finding: This criterion is satisfied.

Details of Finding: The Stage II Approval, along other associated applications, will expire two (2) years after approval, unless an extension is approved in accordance with these subsections.

Consistency with Plans

Subsection 4.140 (.09) J. 1.

B13. Review Criteria: “The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.”

Finding: These criteria are satisfied.

Details of Finding: The subject property has previously been zoned Planned Development Industrial consistent with the Industrial designation in the Comprehensive Plan. To staff’s knowledge, the location, design, size, and uses are consistent with other applicable plans, maps, and ordinances, or will be by specific conditions of approval.

Traffic Concurrency

Subsection 4.140 (.09) J. 2.

B14. Review Criteria: “That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity Manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City’s adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.” Additional qualifiers and criteria listed a. through e.

Finding: These criteria are satisfied.

Details of Finding: As shown in Exhibit A of Exhibit B1, a traffic waiver has been granted as the development is not expected to affect level of service.

Facilities and Services Concurrency

Subsection 4.140 (.09) J. 3.

B15. Review Criteria: “That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.”

Finding: These criteria are satisfied.

Details of Finding: Facilities and services, including utilities, are available and sufficient to serve the proposed development.

Adherence to Approved Plans

Subsection 4.140 (.09) L.

B16. Review Criteria: “The applicant shall agree in writing to be bound, for her/himself and her/his successors in interest, by the conditions prescribed for approval of a development. The approved final plan and stage development schedule shall control the issuance of all building permits and shall restrict the nature, location and design of all uses. Minor changes in an approved preliminary or final development plan may be approved by the Director of Planning if such changes are consistent with the purposes and general character of the development plan. All other modifications, including extension or revision of the stage development schedule, shall be processed in the same manner as the original application and shall be subject to the same procedural requirements.”

Finding: These criteria are satisfied or will be satisfied by Condition of Approval PDB 1.

Details of Finding: Condition of Approval PDB 1 ensures adherence to approved plans except for minor revisions by the Planning Director.

Standards Applying in All Planned Development Zones

Additional Height Guidelines

Subsection 4.118 (.01)

B17. Review Criterion: “In cases that are subject to review by the Development Review Board, the Board may further regulate heights as follows:

- A. Restrict or regulate the height or building design consistent with adequate provision of fire protection and fire-fighting apparatus height limitations.
- B. To provide buffering of low density developments by requiring the placement of three or more story buildings away from the property lines abutting a low density zone.
- C. To regulate building height or design to protect scenic vistas of Mt. Hood or the Willamette River.”

Finding: This criterion is satisfied.

Details of Finding: The proposed warehouse addition has a height of 38 feet which matches the existing buildings on site. Staff does not recommend the Development Review Board require a height less than the applicant proposes as the proposed height provides for fire protection access, does not abut a low density zone, and does not impact scenic views of Mt. Hood or the Willamette River.

Underground Utilities

Subsection 4.118 (.02)

B18. Review Criteria: “Underground Utilities shall be governed by Sections 4.300 to 4.320. All utilities above ground shall be located so as to minimize adverse impacts on the site and neighboring properties.”

Finding: These criteria are satisfied.

Details of Finding: No new above ground utilities or modifications to existing above ground utilities are proposed with the warehouse expansion.

Waivers

Subsection 4.118 (.03)

B19. Review Criteria: “Notwithstanding the provisions of Section 4.140 to the contrary, the Development Review Board, in order to implement the purposes and objectives of Section 4.140, and based on findings of fact supported by the record may” waive a number of standards as listed in A. through E.

Finding: These criteria are satisfied.

Details of Finding: No waivers are being requested.

Other Requirements or Restrictions

Subsection 4.118 (.03) E.

B20. Review Criteria: “Notwithstanding the provisions of Section 4.140 to the contrary, the Development Review Board, in order to implement the purposes and objectives of Section 4.140, and based on findings of fact supported by the record may adopt other requirements or restrictions, inclusive of, but not limited to, the following:” Listed 1. through 12.

Finding: These criteria are satisfied.

Details of Finding: No additional requirements or restrictions are recommended pursuant to this subsection.

Impact on Development Cost

Subsection 4.118 (.04)

B21. Review Criteria: “The Planning Director and Development Review Board shall, in making their determination of compliance in attaching conditions, consider the effects of this action on availability and cost. The provisions of this section shall not be used in such a manner that additional conditions, either singularly or cumulatively, have the effect of unnecessarily increasing the cost of development. However, consideration of these factors shall not prevent the Board from imposing conditions of approval necessary to meet the minimum requirements of the Comprehensive Plan and Code.”

Finding: These criteria are satisfied.

Details of Finding: It is staff’s professional opinion that neither the determination of compliance nor attached conditions unnecessarily increase the cost of development and no evidence has been submitted to the contrary.

Requiring Tract Dedications

Subsection 4.118 (.05)

B22. Review Criteria: “The Planning Director, Development Review Board, or on appeal, the City Council, may as a condition of approval for any development for which an application is submitted, require that portions of the tract or tracts under consideration be set aside, improved, conveyed or dedicated for the following uses:” Recreational Facilities, Open Space Area, Easements.”

Finding: These criteria are satisfied.

Details of Finding: No additional tracts are being required for the purposes given.

Habitat Friendly Development Practices

Subsection 4.118 (.09)

B23. Review Criteria: “To the extent practicable, development and construction activities of any lot shall consider the use of habitat-friendly development practices, which include:

- A. Minimizing grading, removal of native vegetation, disturbance and removal of native soils, and impervious area;
- B. Minimizing adverse hydrological impacts on water resources, such as using the practices described in Part (a) of Table NR-2 in Section 4.139.03, unless their use is prohibited by an applicable and required state or federal permit, such as a permit required under the federal Clean Water Act, 33 U.S.C. §§1251 et seq., or the federal Safe Drinking Water Act, 42 U.S.C. §§300f et seq., and including conditions or plans required by such permit;
- C. Minimizing impacts on wildlife corridors and fish passage, such as by using the practices described in Part (b) of Table NR-2 in Section 4.139.03; and
- D. Using the practices described in Part (c) of Table NR-2 in Section 4.139.03.”

Finding: These criteria are satisfied.

Details of Finding: The grading will be limited to that needed for the proposed improvements and no significant native vegetation would be retained by an alternative site design. Preliminary plans demonstrate that the City’s stormwater standards will be met limiting adverse hydrological impacts on water resources and will be verified on final plans during the construction permitting process. No impacts on wildlife corridors or fish passages have been identified.

Wilsonville Road Interchange Area Management Plan (IAMP) Overlay Zone

Where IAMP Regulations Apply

Section 4.133.02

B24. Review Criteria: “The provisions of this Section shall apply to land use applications subject to Section 4.004, Development Permit Required, for parcels wholly or partially within the IAMP Overlay Zone. Any conflict between the standards of the IAMP Overlay Zone and those contained within other chapters of the Development Code shall be resolved in favor of the Overlay Zone.”

Finding: These criteria are satisfied.

Details of Finding: The subject property is wholly within the IAMP Overlay Zone. The IAMP standards are thus being applied.

IAMP Permitted Land Uses

Section 4.133.03

B25. Review Criterion: “Uses allowed in the underlying zoning districts are allowed subject to other applicable provisions in the Code and this Section.”

Finding: This criterion is satisfied.

Details of Finding: Uses consistent with the underlying PDI zone are proposed.

Access Management

Section 4.133.04

In addition to the standards and requirements of Section 4.237 for land divisions and Street Improvement Standards in Section 4.177, parcels wholly or partially within the IAMP Overlay Zone are governed by the Access Management Plan in the Wilsonville Road Interchange Area Management Plan. The following applies to land use and development applications subject to Sections 4.133.02 Applicability.

Access Management Applicability

Subsections 4.133.04 (.01) – (.03)

B26. Review Criterion: “The provisions of Section 4.133.04 apply to:

- (.01) Development or redevelopment proposals for parcels two (2) acres or less that are subject to the requirements of Section 4.004 Development Permit.
- (.02) Planned Development applications, pursuant to Section 4.140, as part of Preliminary Approval (Stage One).
- (.03) Final Approval (Stage Two) Planned Development applications, pursuant to Section 4.140, to the extent that subsequent phases of development differ from the approved preliminary development plan, or where one or more of the following elements are not identified for subsequent phases:
 - A. Land uses.
 - B. Building location.
 - C. Building size.
 - D. Internal circulation.”

Finding: This criterion is satisfied.

Details of Finding: A planned development, including both Stage I and Stage II, is proposed within the IAMP Overlay Zone, the access management standards and requirements thus apply. However, no new accesses are proposed, and no accesses shown in the IAMP to be closed or otherwise restricted exist on the site.

Access Management Plan Consistency

Subsection 4.133.04 (.04) A.

B27. Review Criterion: “Access to public streets within the IAMP Overlay Zone shall be reviewed for consistency with the IAMP Access Management Plan.”

Finding: This criterion is satisfied.

Details of Finding: Existing access to SW Barber Street and SW Kinsman Road is being used, which is consistent with the IAMP Access Management Plan.

Joint ODOT Review

Subsection 4.133.04 (.04) A.

B28. Review Criterion: “Approval of access to City streets within the IAMP Overlay Zone shall be granted only after joint review by the City and the Oregon Department of Transportation (ODOT). Coordination of this review will occur pursuant to Section 4.133.05(.02).”

Finding: This criterion is satisfied.

Details of Finding: No new accesses are proposed and limited traffic impact is anticipated as the Community Development Director has approved a traffic waiver for the proposed project (Exhibit A of Exhibit B1).

Cross Access Easements

Subsection 4.133.04 (.05)

B29. Review Criteria: “Prior to approving access for tax lots that are identified in the Access Management Plan (see Table 3 and Figure 5 in the Wilsonville Road Interchange Area Management Plan), the City shall require that:” Listed 1 through 3.

Finding: These criteria are satisfied.

Details of Finding: No tax lots identified in the Access Management Plan are involved in the proposed development.

Traffic Impact Analysis

Subsection 4.133.01 (.01)

B30. Review Criteria: This subsection lists the requirements for a Traffic Impact Analysis in the IAMP Overlay Zone.

Finding: These criteria are satisfied.

Details of Finding: A waiver to the otherwise required Traffic Impact Analysis has been approved by the Community Development Director (Exhibit A of Exhibit B1).

Industrial Performance Standards

Industrial Performance Standards

Subsection 4.135 (.05)

B31. Review Criteria: “The following performance standards apply to all industrial properties and sites within the PDI Zone, and are intended to minimize the potential adverse impacts of industrial activities on the general public and on other land uses or activities. They are not intended to prevent conflicts between different uses or activities that may occur on the same property.” Standards listed A. through N.

Finding: These criteria are satisfied.

Details of Finding: The proposed project meets the performance standards of this subsection as follows:

- Pursuant to standard A (enclosure of uses and activities), all non-parking/loading activities and uses will be completely enclosed.
- Pursuant to standard B (vibrations), there is no indication that the proposed development will produce vibrations detectable off site without instruments.
- Pursuant to standard C (emissions), there is no indication the odorous gas or other

odorous matter would be produced by the proposed use.

- Pursuant to standard D (open storage), there is no new outdoor storage proposed.
- Pursuant to standard E (night operations and residential areas), there are no residential districts within 100 feet of the site.
- Pursuant to standard F (heat and glare), exterior operations are limited to loading and unloading activities. No exterior operations are proposed creating heat and glare.
- Pursuant to standard G (dangerous substances), the applicant has indicated that nothing will be stored in the warehouse that is a health or safety hazard for adjacent sites or uses.
- Pursuant to standard H (liquid and solid wastes), no waste products will be stored in the warehouse. No new connection to the public sewer system is proposed. Storm water from the new roof and paved surfaces will be discharged as indicated on the Civil Engineer's drawings. Staff has no evidence that the standards defined for liquid and solid waste in this subsection would be violated.
- Pursuant to standard I (noise), staff has no evidence that noise generated from the proposed operations would violate the City's Noise Ordinance and noises produced in violation of the Noise Ordinance would be subject to the enforcement procedures established in WC Chapter 6 for such violations.
- Pursuant to standard J (electrical disturbances), the applicant has indicated that the warehouse will not produce any electrical disturbances. Staff has no evidence that any prohibited electrical disturbances would be produced by the proposed project's operations.
- Pursuant to standard K (discharge of air pollutants), the applicant has indicated that the warehouse will not produce any air pollution. Staff has no evidence that any prohibited discharge would be produced by the proposed project.
- Pursuant to standard L (open burning), no open burning is proposed on the development site.
- Pursuant to standard M (outdoor storage), no outdoor storage is proposed.
- Pursuant to standard N (unused area landscaping), new landscape material is proposed. Any existing landscaping disturbed will be replaced with the same or similar plant materials. No unused areas will be bare.

On-site Pedestrian Access and Circulation

On-site Pedestrian Access and Circulation

Section 4.154

B32. Review Criteria: This section establishes standards for on-site pedestrian access and circulation.

Finding: This criterion is satisfied.

Explanation of Finding: Existing pedestrian facilities on the site will remain. No new exterior pathways are proposed. An interior striped safe walk zone not less than five feet wide is proposed to provide safe passage for employees walking within the building and provides a connection from the primary entrance to the proposed warehouse addition.

Parking and Loading

General Parking Provisions

Subsection 4.155(.02)

B33. Review Criteria: This subsection lists a number of general provisions for parking.

Finding: These criteria are satisfied.

Details of Finding: The applicant has provided sufficient information demonstrating compliance with the provisions in this subsection. Staff specifically notes the following:

- No variances or waivers to parking standards as outlined in provision A have been requested.
- All proposed parking spaces are accessible and useable for the purposes of parking.
- Parking standards apply to the additional 35,120 sq. ft. of warehouse space only. Current development standards are applied to the new parking areas.
- The property is under one owner and not shared by multiple property owners, consequently provision E is not applicable.
- Parking requirements are based on the proposed single-use of warehouse.
- No off-site parking is proposed.
- New parking spaces have a curb of at least six (6) inches high, located so as to prevent any portion of a motor vehicle from extending over the property line or interfering with required sidewalks or landscaping.
- New parking and maneuvering areas are paved and have suitable drainage.
- No compact parking spaces are proposed.

Minimum and Maximum Off-Street Parking Requirements

Subsection 4.155(.03)A.

B34. Review Criteria: "Parking and loading or delivery areas shall be designed with access and maneuvering area adequate to serve the functional needs of the site and shall:

1. Separate loading and delivery areas and circulation from customer and/or employee parking and pedestrian areas. Circulation patterns shall be clearly marked.
2. To the greatest extent possible, separate vehicle and pedestrian traffic."

Finding: These criteria are satisfied.

Details of Finding: Access and maneuvering areas have been designed to applicable standards. No evidence exists that they would not serve the functional needs of the proposed development. The primary employee parking and pedestrian areas (parking lots 1-4) are immediately north and west of the entrances to existing office/bottling facility building, with an additional employee parking area (parking lot 5) located west of the existing phase III warehouse and south of the existing vendor service building. An existing cross-striped pedestrian path connects the additional employee parking area (parking lot 5) to the existing phase III warehouse building. The loading and delivery area for the proposed warehouse addition is located on the west side of the proposed warehouse addition.

Minimum and Maximum Off-Street Parking Requirements

Subsection 4.155(.03)B.1.-3.

B35. Review Criteria: “Parking and loading or delivery areas shall be landscaped to minimize the visual dominance of the parking or loading area, as follows:” Listed 1. through 3.

Finding: These criteria are satisfied.

Details of Finding: Approximately 18 percent of the new parking area is landscaped, exceeding the required 10 percent. Planting areas with minimum dimensions of eight (8) feet wide by eight (8) feet long and spaced every eight (8) parking spaces area provided in the new parking area. The requirements of Subsection 3 are not applicable as the new parking areas accommodate 12 parking spaces.

Minimum and Maximum Off-Street Parking Requirements

Subsection 4.155(.03)C.

B36. Review Criterion: “Off Street Parking shall be designed for safe and convenient access that meets ADA and ODOT standards. All parking areas which contain ten (10) or more parking spaces, shall for every fifty (50) standard spaces, provide one ADA-accessible parking space that is constructed to building code standards, Wilsonville Code 9.000.”

Finding: This criterion is satisfied.

Details of Finding: The existing parking lots have 200 standard parking spaces and 8 ADA spaces for a total 208 spaces. The proposed 12 standard parking spaces will bring the total number of off street parking spaces to 220. Based on Section 1106 of the 2014 Oregon Structural Specialty Code, a total of 7 ADA accessible spaces are required for 201 to 300 parking spaces. The number of existing ADA parking spaces exceeds the code requirement and no additional ADA spaces are required.

Minimum and Maximum Off-Street Parking Requirements

Subsection 4.155(.03)G.

B37. Review Criteria: “Tables 5 shall be used to determine the minimum and maximum parking standards for various land uses. The minimum number of required parking spaces shown on Tables 5 shall be determined by rounding to the nearest whole parking space.”

USE	PARKING MINIMUMS	PARKING MAXIMUMS	BICYCLE MINIMUMS
f. Industrial			
2. Storage warehouse, wholesale establishment, rail or trucking freight terminal	.3 per 1,000 sq. ft.	.5 per 1,000 sq. ft.	1 per 20,000 sq. ft. Min. of 2

Finding: These criteria are satisfied.

Details of Finding: The proposed 35,120 sq. ft. warehouse addition requires 11 new parking spaces to be provided on site. The applicant is proposing 12 new parking spaces: 2 new spaces in parking lot 1, located in the northeast corner of the site; and 10 new spaces in parking lot 3, located on the north side of the site, on the west side of the existing bottling facility. Please note that there is an error in the “Provided Parking” table

on Sheet A2.1 of Exhibit B2, the proposal includes 2 new parking spaces in Lot 1, not 1, as shown on the plan. The proposed 12 new spaces exceed the minimum requirement of 11 spaces and is less than the maximum of 18 spaces.

Minimum and Maximum Off-Street Parking Requirements

Subsection 4.155(.03)H.-I.

B38. Review Criteria: These sections establish standards for electrical vehicle charging stations and motorcycle parking.

Finding: These criteria do not apply.

Explanation of Finding: No electrical vehicle charging stations or motorcycle parking is proposed.

Required Bicycle Parking – General Provisions

Subsection 4.155(.04)A.

B39. Review Criteria: “The required minimum number of bicycle parking spaces for each use category is shown in Table 5, Parking Standards.”

Finding: This criterion is satisfied.

Details of Finding: As shown in Finding B37, 2 new bicycle parking spaces are required for the 35,120 sq. ft. warehouse addition. A new bicycle rack accommodating 12 bicycles is proposed on the north end of the site, between parking lot 3 and the primary entrance to the existing bottling facility.

Standards for Required Bicycle Parking

Subsection 4.155(.04)B.

B40. Review Criteria: “Standards for Required Bicycle Parking

1. Each space must be at least 2 feet by 6 feet in area and accessible without moving another bicycle.
2. An aisle at least 5 feet wide shall be maintained behind all required bicycle parking to allow room for bicycle maneuvering. Where bicycle parking is adjacent to a sidewalk, the maneuvering area may extend into the right-of-way.
3. When bicycle parking is provided in racks, there must be enough space between the rack and any obstruction to use the space properly.
4. Bicycle lockers or racks, when provided, shall be securely anchored,
5. Bicycle parking shall be located within 30 feet of the main entrance to the building or inside a building, in a location that is easily accessible for bicycles. For multi-tenant developments, with multiple business entrances, bicycle parking may be distributed on-site among more than one main entrance.

Finding: This criterion is satisfied.

Details of Finding: The proposed bicycle rack accommodates 12 bicycles with a typical bicycle parking space measuring 2 feet by 6 feet. Adequate maneuvering area is provided north and south of the bicycle rack. The proposed bicycle rack will be installed on a new 10-foot by 20-foot reinforced concrete slab located within 30 feet of the primary entrance of the existing bottling facility.

Long-Term Bicycle Parking

Subsection 4.155(.04)C.

B41. Review Criteria: This section provided standards for long-term bicycle parking where six (6) or more bicycle parking spaces are required.

Finding: This criterion does not apply.

Details of Finding: The proposed warehouse addition is required to provide two (2) new bicycle parking spaces and does not meet the threshold for long-term bicycle parking. No long-term bicycle parking spaces are required.

Minimum Off-Street Loading Requirements

Subsection 4.155(.05)A

B42. Review Criteria: “Every building that is erected or structurally altered to increase the floor area, and which will require the receipt or distribution of materials or merchandise by truck or similar vehicle, shall provide off-street loading berths on the basis of minimum requirements as follows:” Requirements listed 1-5.

Finding: These criteria are satisfied.

Details of Finding: As shown in the table below, the applicant is proposing 4 loading berths, exceeding the number of berths required. The loading dock accommodates 4 berths and 52 feet wide by 45 feet deep with a height clearance of 16 feet.

Square Feet of Floor Area	Berths Required	Berths Provided
30,000 – 100,000	2	4

Other Development Standards

Access, Ingress, and Egress

Section 4.167

B43. Review Criterion: “Each access onto streets or private drives shall be at defined points as approved by the City and shall be consistent with the public's health, safety and general welfare. Such defined points of access shall be approved at the time of issuance of a building permit if not previously determined in the development permit.”

Finding: This criterion does not apply.

Details of Finding: No new access points are proposed. Existing access to SW Barber Street and SW Kinsman Road will remain.

Double-Frontage Lots

Section 4.169

B44. Review Criterion: “Buildings on double frontage lots (i.e., through lots) and corner lots must meet the front yard setback for principal buildings on both streets or tracts with a private drive.”

Finding: This criterion is satisfied.

Details of Finding: The subject property is on a corner lot. All building setbacks are met.

Natural Features and Other Resources

Section 4.171

B45. Review Criteria: This section provides for the protection of a number of natural features and other resources including: general terrain preparation, hillsides, trees and wooded areas, high

voltage powerline easements and rights of way and petroleum pipeline easements, earth movement hazard areas, soil hazard areas, historic resources, and cultural resources.

Finding: These criteria are satisfied.

Details of Finding: The proposed warehouse addition is the fourth phase of development on the property and consists of removing a portion of the paved site and some rough seed area. The required permit to start site preparation work has been issued. Additional permits are required for grading and excavation work, including an erosion control plan. There is an existing BPA transmission line easement along the east property line abutting the Oregon Electric Railroad right-of-way that will remain. There are no known petroleum pipeline easements. No trees are proposed to be removed. No other hillsides, powerline easements, etc. needing protection exist on the site.

Public Safety and Crime Prevention

Design for Public Safety

Subsection 4.175 (.01)

B46. **Review Criteria:** “All developments shall be designed to deter crime and insure public safety.”

Finding: These criteria are satisfied.

Details of Finding: Access to the warehouse addition is controlled via the checker station constructed with phase III or is provided internally through the existing buildings. Staff finds no evidence and has not received any testimony that the design of the site and warehouse addition would lead to crime or negatively impact public safety.

Addressing and Directional Signing

Subsection 4.175 (.02)

B47. **Review Criteria:** “Addressing and directional signing shall be designed to assure identification of all buildings and structures by emergency response personnel, as well as the general public.”

Finding: These criteria is satisfied.

Details of Finding: Addressing already exists on the site. No changes to existing signage are proposed.

Surveillance and Access

Subsection 4.175 (.03)

B48. **Review Criterion:** “Areas vulnerable to crime shall be designed to allow surveillance. Parking and loading areas shall be designed for access by police in the course of routine patrol duties.”

Finding: This criterion is satisfied.

Details of Finding: Truck parking areas and loading berths have existing pole lights to allow adequate surveillance by police. No areas of particular vulnerability to crime have been identified warranting additional surveillance.

Lighting to Discourage Crime

Subsection 4.175 (.04)

B49. **Review Criterion:** “Exterior lighting shall be designed and oriented to discourage crime.”

Finding: This criterion is satisfied.

Details of Finding: Lighting has been designed in accordance with the City’s outdoor

lighting standards (see Finding B57), which will provide sufficient lighting to discourage crime. New wall mounted exterior lighting will be provided at the warehouse addition. One additional pole light will be provided at the enlarged employee parking lot (lot 3).

Landscaping Standards

Landscaping Standards Purpose

Subsection 4.176 (.01)

B50. Review Criteria: “This Section consists of landscaping and screening standards and regulations for use throughout the City. The regulations address materials, placement, layout, and timing of installation. The City recognizes the ecological and economic value of landscaping and requires the use of landscaping and other screening or buffering to:” Listed A. through K.

Finding: These criteria are satisfied.

Details of Finding: In complying with the various landscape standards in Section 4.176 the applicant has demonstrated the Stage II Final Plan is in compliance with the landscape purpose statement.

Landscape Code Compliance

Subsection 4.176 (.02) B.

B51. Review Criteria: “All landscaping and screening required by this Code must comply with all of the provisions of this Section, unless specifically waived or granted a Variance as otherwise provided in the Code. The landscaping standards are minimum requirements; higher standards can be substituted as long as fence and vegetation-height limitations are met. Where the standards set a minimum based on square footage or linear footage, they shall be interpreted as applying to each complete or partial increment of area or length”

Finding: These criteria are satisfied.

Details of Finding: No waivers or variances to landscape standards have been requested. Thus all landscaping and screening must comply with standards of this section.

Intent and Required Materials

Subsections 4.176 (.02) C. through I.

B52. Review Criteria: These subsections identify the various landscaping standards, including the intent of where they should be applied, and the required materials.

Finding: These criteria are satisfied.

Details of Finding: There are two new landscape area proposed: a small area adjacent to the 2 new parking spaces in lot 1 in the northeast portion of the site, and a larger area of parking lot landscaping surrounding the 10 new parking spaces added to lot 3. As shown on Sheet A2.4 of Exhibit B2 required materials for each landscaping standard is provided as follows. In all area appropriate groundcover is provided for areas not otherwise occupied by shrubs and trees:

New Landscape Area

Area Description: Adjacent to new parking spaces in lots 1 and 3

Landscaping Standard: General Landscaping

Comments on Intent: Separates parking area from buildings and breaks up

and enhances the parking fields.

Required Materials: Trees and ground cover plants.

Materials Provided: Trees: October Glory Maple, and Brandywine Maple;
groundcover: Massachusetts Kinnikinnick, Eichoiz
Cotoneaster, and Blue Oat Grass.

Landscape Area and Locations

Subsection 4.176 (.03)

B53. Review Criteria: “Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.”

Finding: These criteria are satisfied.

Details of Finding: The previously approved landscape plan included 375,216 sq. ft. of landscaping, resulting in 32.8% of the site having landscape coverage. The current proposal will remove a portion of the existing grass located in the southern portion of the site, north of the existing stormwater facility, and add 525 sq. ft. of parking lot landscaping resulting in a net total of 327,298 sq. ft. of landscaping, or 28.6% of the site. This exceeds the required 15% coverage. New landscaping is proposed in two distinct areas as listed in Finding B52 above.

Buffering and Screening

Subsection 4.176 (.04)

B54. Review Criteria: “Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

- A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.
- B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.
- C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.
- D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.
- E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.
- F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.”

Finding: These criteria are satisfied.

Details of Finding: There is no new exterior mechanical equipment requiring screening. The existing perimeter landscaping as well as the existing chain link fence with sight obscuring vinyl slats around the perimeter of site will remain.

Landscape Plans

Subsection 4.176 (.09)

B55. Review Criteria: “Landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type, installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated.”

Finding: These criteria are satisfied.

Details of Finding: Applicant’s sheet A2.4 provides the required information for the new landscaping and sheets L1.0-L1.2 provide the required information for the existing landscaping.

Other Development Standards

Access Drives and Travel Lanes

Subsection 4.177 (.01) E.

B56. Review Criteria: This subsection sets standards for pedestrian, bicycle, and transit facility improvements to public streets or within public easements.

Finding: These criteria do not apply.

Details of Finding: There are no new improvements proposed within public streets or public easements.

Outdoor Lighting

Sections 4.199.20 through 4.199.60

B57. Review Criterion: This section states that the outdoor lighting ordinance is applicable to “Installation of new exterior lighting systems in public facility, commercial, industrial and multi-family housing projects with common areas” and “Major additions or modifications (as defined in this Section) to existing exterior lighting systems in public facility, commercial, industrial and multi-family housing projects with common areas.” In addition the exempt luminaires and lighting systems are listed.

Finding: These criteria are satisfied.

Details of Finding: The proposal is required to meet the Outdoor Lighting Standards. See Request C, Findings C27 through C34.

Underground Installation

Sections 4.300-4.320

B58. Review Criteria: These sections list requirements regarding the underground installation of utilities.

Finding: These criteria are satisfied.

Details of Finding: No new above ground utilities or modifications to existing above ground utilities are proposed with the warehouse expansion.

Site Design Review

Excessive Uniformity, Inappropriateness Design

Subsection 4.400 (.01) and Subsection 4.421 (.03)

- C1. **Review Criteria:** “The Board shall also be guided by the purpose of Section 4.400, and such objectives shall serve as additional criteria and standards.” “Excessive uniformity, inappropriateness or poor design of the exterior appearance of structures and signs and the lack of proper attention to site development and landscaping in the business, commercial, industrial and certain residential areas of the City hinders the harmonious development of the City, impairs the desirability of residence, investment or occupation in the City, limits the opportunity to attain the optimum use in value and improvements, adversely affects the stability and value of property, produces degeneration of property in such areas and with attendant deterioration of conditions affecting the peace, health and welfare, and destroys a proper relationship between the taxable value of property and the cost of municipal services therefor.”

Finding: These criteria are satisfied.

Explanation of Finding: Staff summarizes the compliance with this subsection as follows:

Excessive Uniformity: The proposed development is an addition to an existing industrial warehouse building, unique to the particular development context, and does not create excessive uniformity.

Inappropriate or Poor Design of the Exterior Appearance of Structures: The proposed warehouse addition uses building design, materials, and colors to match the existing development. No alternative design or appearance is practicable.

Inappropriate or Poor Design of Signs: No signs are proposed.

Lack of Proper Attention to Site Development: The appropriate professional services have been used to design the site, demonstrating appropriate attention being given to site development.

Lack of Proper Attention to Landscaping: Landscaping is provided exceeding the area requirements, has been professionally designed by a landscape architect, and includes a variety of plant materials, all demonstrating appropriate attention being given to landscaping.

Purposes and Objectives

Subsection 4.400 (.02) and Subsection 4.421 (.03)

- C2. **Review Criteria:** “The Board shall also be guided by the purpose of Section 4.400, and such objectives shall serve as additional criteria and standards.” “The City Council declares that the purposes and objectives of site development requirements and the site design review procedure are to:” Listed A through J.

Finding: These criteria are satisfied.

Explanation of Finding: The applicant has demonstrated compliance with the listed purposes and objectives. In short, the proposal provides a practical design appropriate for the development context of an industrial warehouse building.

Development Review Board Jurisdiction

Section 4.420

- C3. **Review Criteria:** The section states the jurisdiction and power of the Development Review Board in relation to site design review, including the application of the section that development is required in accord with plans, and variance information.

Finding: These criteria will be satisfied by Condition of Approval PDC 1.

Details of Finding: A condition of approval has been included to ensure construction, site development, and landscaping are carried out in substantial accord with the Development Review Board approved plans, drawings, sketches, and other documents. No building permits will be granted prior to Development Review Board approval. No variances are requested from site development requirements.

Design Standards

Subsection 4.421 (.01)

- C4. **Review Criteria:** “The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural styles is not included in these standards.” Listed A through G.

Finding: These criteria are satisfied.

Details of Finding: The applicant has provided sufficient information demonstrating compliance with the standards of this subsection.

Applicability of Design Standards

Subsection 4.421 (.02)

- C5. **Review Criteria:** “The standards of review outlined in Sections (a) through (g) above shall also apply to all accessory buildings, structures, exterior signs and other site features, however related to the major buildings or structures.”

Finding: These criteria are satisfied.

Details of Finding: Design standards have been applied to all buildings, structures, and other site features.

Conditions of Approval

Subsection 4.421 (.05)

- C6. **Review Criterion:** “The Board may attach certain development or use conditions in granting an approval that are determined necessary to insure the proper and efficient functioning of the development, consistent with the intent of the Comprehensive Plan, allowed densities and the requirements of this Code.”

Finding: This criterion is satisfied.

Details of Finding: No additional conditions of approval are recommended to ensure the proper and efficient functioning of the development.

Color or Materials Requirements

Subsection 4.421 (.06)

- C7. **Review Criterion:** “The Board or Planning Director may require that certain paints or colors of materials be used in approving applications. Such requirements shall only be applied when site development or other land use applications are being reviewed by the City.”

Finding: This criterion will be satisfied by Condition of Approval PDC 1.

Details of Finding: The applicant has proposed specific paints and colors to match the existing building. A condition of approval has been included to ensure construction is carried out in substantial accord with the Development Review Board approved plans, drawings, sketches, and other documents.

Submission Requirements

Section 4.440

- C8. **Review Criteria:** “A prospective applicant for a building or other permit who is subject to site design review shall submit to the Planning Department, in addition to the requirements of Section 4.035, the following:” Listed A through F.

Finding: These criteria are satisfied.

Details of Finding: The applicant has submitted the required additional materials, as applicable.

Time Limit on Approval

Section 4.442

- C9. **Review Criterion:** “Site design review approval shall be void after two (2) years unless a building permit has been issued and substantial development pursuant thereto has taken place; or an extension is granted by motion of the Board.”

Finding: This criterion is satisfied.

Details of Finding: The applicant has indicated that they will pursue development within 2 years and it is understood that the approval will expire after 2 years if a building permit hasn't been issued unless an extension has been granted by the board.

Landscape Installation or Bonding

Subsection 4.450 (.01)

- C10. **Review Criterion:** “All landscaping required by this section and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City shall be returned to the applicant.”

Finding: This criterion will be satisfied by Condition of Approval PDC 2.

Details of Finding: The condition of approval will assure installation or appropriate security.

Approved Landscape Plan

Subsection 4.450(.02)

C11. Review Criterion: “Action by the City approving a proposed landscape plan shall be binding upon the applicant. Substitution of plant materials, irrigation systems, or other aspects of an approved landscape plan shall not be made without official action of the Planning Director or Development Review Board, as specified in this Code.”

Finding: This criterion will be satisfied by Condition of Approval PDC 3.

Details of Finding: The condition of approval shall provide ongoing assurance this criterion is met.

Landscape Maintenance and Watering

Subsection 4.450(.03)

C12. Review Criterion: “All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered with Board approval.”

Finding: This criterion will be satisfied by Condition of Approval PDC 4.

Details of Finding: The condition of approval will ensure landscaping is continually maintained in accordance with this subsection.

Modifications of Landscaping

Subsection 4.450(.04)

C13. Review Criterion: “If a property owner wishes to add landscaping for an existing development, in an effort to beautify the property, the Landscape Standards set forth in Section 4.176 shall not apply and no Plan approval or permit shall be required. If the owner wishes to modify or remove landscaping that has been accepted or approved through the City’s development review process, that removal or modification must first be approved through the procedures of Section 4.010.”

Finding: This criterion will be satisfied by Condition of Approval PDC 4.

Details of Finding: The condition of approval shall provide ongoing assurance that this criterion is met by preventing modification or removal without the appropriate City review.

Natural Features and Other Resources

Protection

Section 4.171

C14. Review Criterion: This section provides for the protection of a number of natural features and other resources including: general terrain preparation, hillsides, trees and wooded areas, high voltage powerline easements and rights of way and petroleum pipeline easements, earth movement hazard areas, soil hazard areas, historic resources, and cultural resources.

Finding: This criterion is satisfied.

Details of Finding: The proposed design of the site provides for protection of natural features and other resources consistent with the proposed Stage II Final Plan for the site as well as the purpose and objectives of site design review (see Finding B45).

Landscaping

Landscape Standards Code Compliance

Subsection 4.176 (.02) B.

- C15. **Review Criterion:** “All landscaping and screening required by this Code must comply with all of the provisions of this Section, unless specifically waived or granted a Variance as otherwise provided in the Code. The landscaping standards are minimum requirements; higher standards can be substituted as long as fence and vegetation-height limitations are met. Where the standards set a minimum based on square footage or linear footage, they shall be interpreted as applying to each complete or partial increment of area or length.”

Finding: This criterion is satisfied.

Details of Finding: No waivers or variances to landscape standards have been requested. Thus all landscaping and screening must comply with standards of this section.

Intent and Required Materials

Subsections 4.176 (.02) C. through I.

- C16. **Review Criteria:** These subsections identify the various landscaping standards, including the intent of where they should be applied, and the required materials.

Finding: These criteria are satisfied.

Details of Finding: The minimum or higher standard has been applied throughout different landscape areas of the site and landscape materials are proposed to meet each standard in the different areas. Site Design Review is being reviewed concurrently with the Stage II Final Plan which includes a thorough analysis of the functional application of the landscaping standards (see Finding B52).

Landscape Area and Locations

Subsection 4.176 (.03)

- C17. **Review Criteria:** “Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.”

Finding: These criteria are satisfied.

Details of Finding: Consistent with the proposed Stage II Final Plan for the site, applicant’s Sheet A2.4 of Exhibit B2 indicates proposed landscaping. The previously approved landscape plan included 375,216 sq. ft. of landscaping, resulting in 32.8% of the site having landscape coverage. The current proposal will remove of a portion of the existing

grass located in the southern portion of the site, north of the existing stormwater facility, and add 525 sq. ft. of parking lot landscaping resulting in a net total of 327,298 sq. ft. of landscaping, or 28.6% of the site. This exceeds the required 15% coverage. New landscaping is proposed in two distinct areas as listed in Finding B52.

Buffering and Screening

Subsection 4.176 (.04)

C18. Review Criteria: “Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

- A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.
- B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.
- C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.
- D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.
- E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.
- F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.”

Finding: These criteria are satisfied.

Details of Finding: There is no new exterior mechanical equipment requiring screening. The existing perimeter landscaping as well as the existing chain link fence with sight obscuring vinyl slats around the perimeter of site will remain.

Shrubs and Groundcover Materials

Subsection 4.176 (.06) A.

C19. Review Criteria: This subsection establishes plant material and planting requirements for shrubs and ground cover.

Finding: These criteria are satisfied or will be satisfied by Condition of Approval PDC 5.

Details of Finding: The condition of approval requires that the detailed requirements of this subsection are met.

Plant Materials-Trees

Subsection 4.176 (.06) B.

C20. Review Criteria: This subsection establishes plant material requirements for trees.

Finding: These criteria are satisfied or will be satisfied by Condition of Approval PDC 6.

Details of Finding: The plants material requirements for trees will be met as follows:

- The condition of approval requires all trees to be B&B (Balled and Burlapped)
- The condition of approval requires all plant materials to conform in size and grade to “American Standard for Nursery Stock” current edition.”
- The applicant’s planting plan lists tree sizes meeting requirements.

Types of Plant Species

Subsection 4.176 (.06) E.

C21. **Review Criteria:** This subsection discusses use of existing landscaping or native vegetation, selection of plant materials, and prohibited plant materials.

Finding: These criteria are satisfied.

Details of Finding: The applicant has provided sufficient information in their landscape plan (sheet A2.4) showing the proposed landscape design meets the standards of this subsection.

Tree Credit

Subsection 4.176 (.06) F.

C22. **Review Criteria:** “Existing trees that are in good health as certified by an arborist and are not disturbed during construction may count for landscaping tree credit as follows:

Existing trunk diameter	Number of Tree Credits
18 to 24 inches in diameter	3 tree credits
25 to 31 inches in diameter	4 tree credits
32 inches or greater	5 tree credits:”
Maintenance requirements listed 1. through 2.	

Finding: These criteria are satisfied.

Details of Finding: The applicant is not requesting any of preserved trees be counted as tree credits pursuant to this subsection.

Exceeding Plant Standards

Subsection 4.176 (.06) G.

C23. **Review Criterion:** “Landscape materials that exceed the minimum standards of this Section are encouraged, provided that height and vision clearance requirements are met.”

Finding: This criterion is satisfied.

Details of Finding: The selected landscape materials do not violate any height or visions clearance requirements.

Landscape Installation and Maintenance

Subsection 4.176 (.07)

C24. **Review Criteria:** This subsection establishes installation and maintenance standards for landscaping.

Finding: These criteria are satisfied or will be satisfied by Condition of Approval PDC 7.

Details of Finding: The installation and maintenance standards are or will be met as follows:

- Plant materials are required to be installed to current industry standards and be properly staked to ensure survival
- Plants that die are required to be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City.
- Landscape Note 5 on the applicant’s sheet A2.4 provides for an irrigation system.

Landscape Plans

Subsection 4.176 (.09)

C25. Review Criterion: “Landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type, installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated.”

Finding: This criterion is satisfied.

Details of Finding: Applicant’s sheet A2.4 provides the required information for the new landscaping and sheets L1.0-L1.2 provide the required information for the existing landscaping.

Completion of Landscaping

Subsection 4.176 (.10)

C26. Review Criterion: “The installation of plant materials may be deferred for a period of time specified by the Board or Planning Director acting on an application, in order to avoid hot summer or cold winter periods, or in response to water shortages. In these cases, a temporary permit shall be issued, following the same procedures specified in subsection (.07)(C)(3), above, regarding temporary irrigation systems. No final Certificate of Occupancy shall be granted until an adequate bond or other security is posted for the completion of the landscaping, and the City is given written authorization to enter the property and install the required landscaping, in the event that the required landscaping has not been installed. The form of such written authorization shall be submitted to the City Attorney for review.”

Finding: This criterion is satisfied.

Details of Finding: The applicant has not requested to defer installation of plant materials.

Outdoor Lighting

Applicability

Sections 4.199.20 and 4.199.60

C27. Review Criterion: Section 4.199.20 states that the outdoor lighting ordinance is applicable to “Installation of new exterior lighting systems in public facility, commercial, industrial and multi-family housing projects with common areas” and “Major additions or modifications (as defined in this Section) to existing exterior lighting systems in public facility, commercial, industrial and multi-family housing projects with common areas.” In addition the exempt luminaires and lighting systems are listed. Section 4.199.60 identifies the threshold for major additions.

Finding: This criterion is satisfied.

Details of Finding: The proposed warehouse addition, considered in light of the site additions previously approved with phases II and III, qualify it as a major addition. All external lighting is subject to the Outdoor Lighting Ordinance.

Outdoor Lighting Zones

Section 4.199.30

C28. **Review Criterion:** “The designated Lighting Zone as indicated on the Lighting Overlay Zone Map for a commercial, industrial, multi-family or public facility parcel or project shall determine the limitations for lighting systems and fixtures as specified in this Ordinance.”

Finding: This criterion is satisfied.

Details of Finding: The project site is within LZ 2 and the proposed outdoor lighting systems will be reviewed under the standards of this lighting zone.

Optional Lighting Compliance Methods

Subsection 4.199.40 (.01) A.

C29. **Review Criteria:** “All outdoor lighting shall comply with either the Prescriptive Option or the Performance Option below.”

Finding: These criteria are satisfied.

Details of Finding: The applicant has elected to comply with the Performance Option.

Direct Uplight Lumens

Subsection 4.199.40 (.01) C. 1.

C30. **Review Criteria:** “The weighted average percentage of direct uplight lumens shall be less than the allowed amount per Table 9.” For LZ 2 the Maximum percentage of direct uplight lumens is less than 5%.

Finding: These criteria are satisfied.

Details of Finding: No direct uplight lumens are proposed.

Property Line Light Level

Subsection 4.199.40 (.01) C. 2.

C31. **Review Criteria:** “The maximum light level at any property line shall be less than the values in Table 9.” For LZ 2 the maximum light level for the horizontal plane is less than 0.2 footcandle, and the vertical plane is 0.4 footcandle.

Finding: These criteria are satisfied.

Details of Finding: As shown on Sheet LT1.0 of Exhibit B2 the maximum light levels will not be exceeded.

Mounting Height

Subsection 4.199.40 (.01) C. 3.

C32. **Review Criteria:** “The maximum pole or mounting height shall comply with Table 8.”

Table 8: Maximum Lighting Mounting Height In Feet			
Lighting Zone	Lighting for private drives, driveways, parking, bus stops and other transit facilities	Lighting for walkways, bikeways, plazas and other pedestrian areas	All other lighting
LZ 2	40	18	8

Finding: These criteria are satisfied or will be satisfied by Condition of Approval PDC 8.

Details of Finding: The applicant's narrative states that the maximum pole or mounting height for all exterior lighting is 12 to 35 feet. The location of building-mounted lighting is identified on Sheets A3.1 and A3.2, showing a maximum height of 35 feet. The location of pole mounted lighting is shown on Sheets A1.1 and A1.2, however the height of the poles is not identified. Conversations with the applicant revealed that the pole lights are approximately 25 feet tall. Condition of Approval PDC 8 ensures that all exterior mounted lighting is mounted less than 40 feet high.

Lighting Curfew

Subsection 4.199.40 (.02) D.

C33. **Review Criteria:** "All prescriptive or performance based exterior lighting systems shall be controlled by automatic device(s) or system(s) that:

1. Initiate operation at dusk and either extinguish lighting one hour after close or at the curfew times according to Table 10; or
2. Reduce lighting intensity one hour after close or at the curfew time to not more than 50% of the requirements set forth in the Oregon Energy Efficiency Specialty Code unless waived by the DRB due to special circumstances; and
3. Extinguish or reduce lighting consistent with 1. and 2. above on Holidays.
The following are exceptions to curfew:
 - a. Exception 1: Building Code required lighting.
 - b. Exception 2: Lighting for pedestrian ramps, steps and stairs.
 - c. Exception 3: Businesses that operate continuously or periodically after curfew."

In Table 10 the Lighting Curfew for LZ 3 is 10:00 PM.

Finding: These criteria are satisfied.

Details of Finding: The applicant proposes to dim outdoor lighting by 10 PM and has proposed luminaries with an integral occupancy motion sensor.

Standards and Submittal Requirements

Sections 4.199.40 and 4.199.50

C34. **Review Criteria:** These sections identify the Outdoor Lighting Standards for Approval and Submittal Requirements.

Finding: This criterion will be satisfied.

Details of Finding: All required materials have been submitted.

CITY OF WILSONVILLE

29799 SW Town Center Loop East
Wilsonville, OR 97070
Phone: 503.682.4960
Fax: 503.682.7025

Web: www.ci.wilsonville.or.us

Pre-Application meeting date:

Planning Division Development Permit Application

Final action on development application or zone change is required within 120 days in accordance with provisions of ORS 227.175

A pre application conference is normally required prior to submittal of an application. Please visit the City's website for submittal requirements

Incomplete applications will not be scheduled for public hearing until all of the required materials are submitted.

TO BE COMPLETED BY APPLICANT:

Please PRINT legibly

Applicant:

TreCore Construction Mgmt LLC

Address: 7101 NE 109th St, Vanc WA 98686

Phone: 360-574-7661

Fax: 360-574-0599

E-mail: monte@trecoreconstruction.com

Authorized Representative:

Monte Pershall

Address: 7101 NE 109th St; Vanc WA 98686

Phone: 360-213-7191

Fax: 360-574-0599

E-mail: monte@trecoreconstruction.com

Property Owner:

Coca-Cola Refreshments

Address: 521 Lake Kathy Dr, Brandon FL 33510

Phone: 770-624-7348 Bill Godwin

Fax:

E-mail: wgodwin@coca-cola.com

Property Owner's Signature:

Printed Name: William S. Godwin Date: 12/31/15

Applicant's Signature (if different from Property Owner):

Printed Name: Monte Pershall Date: 12/31/15

Site Location and Description:

Project Address if Available: 9750 SW Barbur St, Wilsonville OR 97070 Suite/Unit _____

Project Location: 9750 SW Barbur St Wilsonville OR 97070

Tax Map #(s): _____ Tax Lot #(s): 31W14C00103 County: Washington Clackamas

Request:

Project Type: Class I Class II Class III

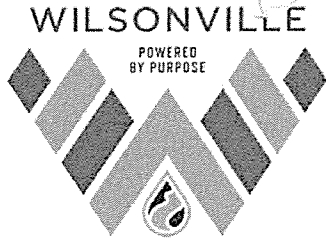
Residential Commercial Industrial Other (describe below)

Application Type:

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Appeal | <input type="checkbox"/> Comp Plan Map Amend | <input type="checkbox"/> Conditional Use |
| <input type="checkbox"/> Final Plat | <input type="checkbox"/> Major Partition | <input type="checkbox"/> Minor Partition | <input type="checkbox"/> Parks Plan Review |
| <input type="checkbox"/> Plan Amendment | <input type="checkbox"/> Planned Development | <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Request to Modify Conditions |
| <input type="checkbox"/> Request for Special Meeting | <input type="checkbox"/> Request for Time Extension | <input type="checkbox"/> Signs | <input type="checkbox"/> Site Design Review |
| <input type="checkbox"/> SROZ/SRIR Review | <input type="checkbox"/> Staff Interpretation | <input type="checkbox"/> Stage I Master Plan | <input type="checkbox"/> Stage II Final Plan |
| <input type="checkbox"/> Type C Tree Removal Plan | <input type="checkbox"/> Tree Removal Permit (B or C) | <input type="checkbox"/> Temporary Use | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Villebois SAP | <input type="checkbox"/> Villebois PDP | <input type="checkbox"/> Villebois PDP | <input type="checkbox"/> Waiver |
| <input type="checkbox"/> Zone Map Amendment | <input type="checkbox"/> Other | | |



City of Wilsonville
EXHIBIT B3 DB16-0001 et seq



29799 SW Town Center Loop East
Wilsonville OR 97070
Phone: 503.682.4960 Fax: 503.682.7025
Web: www.ci.wilsonville.or.us

Planning Division
Development Permit Application

Final action on development application or zone change is required within 120 days in accordance with provisions of ORS 227.175

A pre application conference is normally required prior to submittal of an application. Please visit the City's website for submittal requirements

Pre-Application Meeting Date: _____

Incomplete applications will not be scheduled for public hearing until all of the required materials are submitted.

Applicant:

Name: Monte Pershall
Company: Trecore Construction Management, LLC
Mailing Address: 7101 NE 109th St.
City, State, Zip: Vancouver, WA 98686
Phone: 360-574-7661 Fax: _____
E-mail: monte@trecoreconstruction.com

Authorized Representative:

Name: Monte Persall
Company: Trecore Construction Management, LLC
Mailing Address: 7101 NE 109th St.
City, State, Zip: Vancouver, WA 98686
Phone: 360-574-7661 Fax: _____
E-mail: monte@trecoreconstruction.com

Property Owner:

Name: Coca Cola Refreshments
Company: Coca Cola Refreshments
Mailing Address: 521 Lake Kathy Dr.
City, State, Zip: Bandon, FL 335110
Phone: 770-624-7348 Fax: _____
E-mail: wgodwin@coca-cola.com

Property Owner's Signature:

Printed Name: William J. Godwin Date: 02/01/16

Applicant's Signature: (if different from Property Owner)

Printed Name: Monte Pershall Date: 02/01/16

Site Location and Description:

Project Address if Available: 9750 SW Barbur St., Wilsonville, OR 97070 Suite/Unit _____
Project Location: 9750 SW Barbur St., Wilsonville, OR 97070
Tax Map #(s): _____ Tax Lot #(s): _____ County: Washington Clackamas

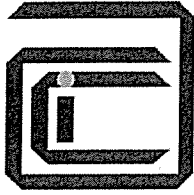
Request:

Project Type: Class I Class II Class III

Residential Commercial Industrial Other: _____

Application Type(s):

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Appeal | <input type="checkbox"/> Comp Plan Map Amend | <input type="checkbox"/> Parks Plan Review |
| <input type="checkbox"/> Final Plat | <input type="checkbox"/> Major Partition | <input type="checkbox"/> Minor Partition | <input type="checkbox"/> Request to Modify Conditions |
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| <input type="checkbox"/> Type C Tree Removal Plan | <input type="checkbox"/> Tree Permit (B or C) | <input type="checkbox"/> Temporary Use | <input type="checkbox"/> Other (describe) |
| <input type="checkbox"/> Villebois SAP | <input type="checkbox"/> Villebois PDP | <input type="checkbox"/> Villebois FDP | |
| <input type="checkbox"/> Zone Map Amendment | <input type="checkbox"/> Waiver(s) | <input type="checkbox"/> Conditional Use | |



Associated
Consultants,
Inc. Structural Engineers

March 4, 2016

Connie Randall
Associate Planner
City of Wilsonville, Planning Division
29799 SW Town Center Loop E
Wilsonville, OR 97070

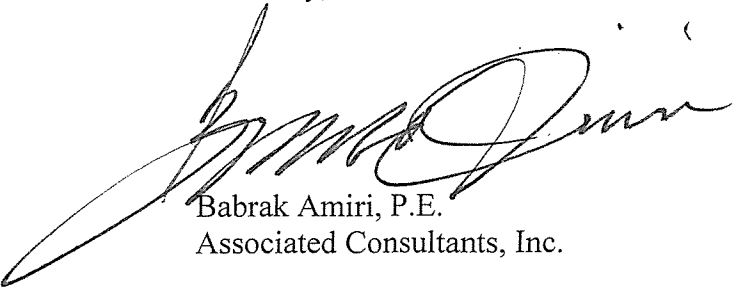
Subject: Existing Pole-mounted Light Fixtures
Warehouse Expansion to Existing Coca Cola Bottling Plant
9750 SQW Barber St., Wilsonville, OR 97070

Dear Connie,

This memo is to clarify our intention regarding exterior pole-mounted light fixtures (section 4.199 page 17 of the submitted narrative). We are assuming that similar to the existing wall-mounted fixtures the existing pole-mounted fixtures do not meet the current Oregon Energy efficiency Specialty Code (OEESC) requirements and therefore it is intended to replace them with the light fixture that is proposed for the new pole-mounted light fixtures

Please do not hesitate to contact us should you have any questions or require more information.

Sincerely,



Babrak Amiri, P.E.
Associated Consultants, Inc.



City of Wilsonville
EXHIBIT B4 DB16-0001 et seq

Randall, Connie

From: Adams, Steve
Sent: Thursday, March 24, 2016 4:04 PM
To: Randall, Connie
Cc: Kraushaar, Nancy
Subject: Coca-Cola Warehouse Addition, DB16-0002

Hi Connie,

Based on the improvements shown in the plans submitted for the DRB hearing (dated 2.26.2016), this project has no impact on public right-of-way nor on public utility infrastructure. Previously Nancy provided a waiver from the traffic study (dated 2.29.2016) based on minimal impact to the transportation system during the PM Peak Hour.

I assume Kerry provided comments regarding stormwater standards for the new addition. Engineering offers no additional conditions of approval for the proposed warehouse expansion.

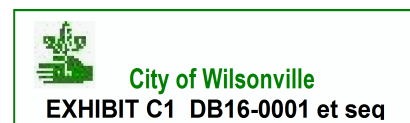
Thanks, Steve

Steve R. Adams, P.E.

Development Engineering Manager
City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070

ph: 503-682-4960
email: adams@ci.wilsonville.or.us

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Building Conditions, Requirements, & Advisories for Proposed Development

From: Don Walters, Plans Examiner, Building Division
To: Connie Randall, Associate Planner
Date: 3/15/16
Proposal: Coca-Cola Warehouse Expansion
Case File: DB16-0001, -0002, -0003

Building Division Conditions:

All Requests

BD 1. Requirements and Advisories: Building Division Requirements and Advisories listed in Exhibit C2 apply to the proposed development.

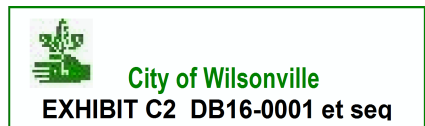


Exhibit C2
Building Division Requirements and Advisories

1. Accessible Parking

While the accessible parking and access as shown on the submitted drawings may prove to be acceptable, it is impossible to confirm code compliance with the limited information available at this time. Accessible parking and accessible access will be reviewed as part of the building permit plan review. The additional information available at plan review may require changes to the number and location of accessible parking spaces shown on these preliminary plans.

2. Building Occupancy

Addition is shown as a B / F2 / S2 occupancy. At the time of building permit application evidence shall be provided confirming that this is an F2 / S2 occupancy and not an F1 / S1 occupancy.

3. Fire-Flow Requirements

Fire calcs shall be submitted as part of the building permit application. Required fire-flow shall be figured using the methodology of the 2014 OFC Section B105. Tualatin Valley Fire & Rescue does not adapt the Occupancy Hazards Modifiers in sections B105.4 and B105.4.1. See the attached TVF&R letter dated March 8, 2016 and the TVF&R *New Construction: Policy Intent Guide*.



March 8, 2016

Connie Randall
Associate Planner
City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, Oregon
97070

Re: DB16-0001; 9750 SW Barber Street, Coca-Cola Warehouse Expansion
Tax lot ID: 31W14C 0103

Connie,

Thank you for the opportunity to review the proposed Coca-Cola warehouse expansion project. Tualatin Valley Fire & Rescue endorses this proposal predicated on the following criteria and conditions of approval:

1. **FIRE APPARATUS ACCESS ROAD DISTANCE FROM BUILDING AND TURNAROUNDS:** Access roads shall be within 150 feet of all portions of the exterior wall of the first story of the building as measured by an approved route around the exterior of the building or facility. An approved turnaround is required if the remaining distance to an approved intersecting roadway, as measured along the fire apparatus access road, is greater than 150 feet. (OFC 503.1.1)
2. **DEAD END ROADS:** Dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved turnaround. (OFC 503.2.5 & D103.1)
3. **ADDITIONAL ACCESS ROADS – COMMERCIAL/INDUSTRIAL: Buildings exceeding 30 feet in height or** three stories in height shall have at least two separate means of fire apparatus access. Buildings or facilities having a gross building area of more than 62,000 square feet shall have at least two approved separate means of fire apparatus access. Exception: Projects having a gross building area of up to 124,000 square feet that have a single approved fire apparatus access road when all buildings are equipped throughout with approved automatic sprinkler systems. (OFC D104)
4. **AERIAL FIRE APPARATUS ROADS:** Buildings with a vertical distance between the grade plane and the highest roof surface that exceeds 30 feet in height shall be provided with a fire apparatus access road constructed for use by aerial apparatus with an unobstructed driving surface width of not less than 26 feet. For the purposes of this section, the highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of the parapet walls, whichever is greater. Any portion of the building may be used for this measurement, provided that it is accessible to firefighters and is capable of supporting ground ladder placement. (OFC D105.1, D105.2)
5. **AERIAL APPARATUS OPERATIONS:** At least one of the required aerial access routes shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. The side of the building on which the aerial access road is positioned shall be approved by the fire code

official. Overhead utility and power lines shall not be located over the aerial access road or between the aerial access road and the building. (D105.3, D105.4)

6. **FIRE APPARATUS ACCESS ROAD WIDTH AND VERTICAL CLEARANCE:** Fire apparatus access roads shall have an unobstructed driving surface width of not less than 20 feet (26 feet adjacent to fire hydrants (OFC D103.1)) and an unobstructed vertical clearance of not less than 13 feet 6 inches. The fire district will approve access roads of 12 feet for up to three dwelling units and accessory buildings. (OFC 503.2.1 & D103.1)
7. **NO PARKING SIGNS:** Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20 feet of unobstructed driving surface, "No Parking" signs shall be installed on one or both sides of the roadway and in turnarounds as needed. Signs shall read "NO PARKING - FIRE LANE" and shall be installed with a clear space above grade level of 7 feet. Signs shall be 12 inches wide by 18 inches high and shall have red letters on a white reflective background. (OFC D103.6)

NO PARKING: Parking on emergency access roads shall be as follows (OFC D103.6.1-2):

1. 20-26 feet road width – no parking on either side of roadway (signage to indicate the no parking)
2. 26-32 feet road width – parking is allowed on one side (signage to indicate the no parking side)
3. Greater than 32 feet road width – parking is not restricted

8. **PAINTED CURBS:** Where required, fire apparatus access roadway curbs shall be painted red (or as approved) and marked "NO PARKING FIRE LANE" at 25 foot intervals. Lettering shall have a stroke of not less than one inch wide by six inches high. Lettering shall be white on red background (or as approved). (OFC 503.3)
9. **FIRE APPARATUS ACCESS ROADS WITH FIRE HYDRANTS:** Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet and shall extend 20 feet before and after the point of the hydrant. (OFC D103.1)
10. **SURFACE AND LOAD CAPACITIES:** Fire apparatus access roads shall be of an all-weather surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,500 pounds point load (wheel load) and 75,000 pounds live load (gross vehicle weight). Documentation from a registered engineer that the final construction is in accordance with approved plans or the requirements of the Fire Code may be requested. (OFC 503.2.3)
11. **TURNING RADIUS:** The inside turning radius and outside turning radius shall be not less than 28 feet and 48 feet respectively, measured from the same center point. (OFC 503.2.4 & D103.3)
12. **GATES:** Gates securing fire apparatus roads shall comply with all of the following (OFC D103.5, and 503.6):
 1. Minimum unobstructed width shall be not less than 20 feet (or the required roadway surface width), or two 10 foot sections with a center post or island.
 2. Gates serving three or less single-family dwellings shall be a minimum of 12 feet in width.
 3. Gates shall be set back at minimum of 30 feet from the intersecting roadway or as approved.
 4. Electric gates shall be equipped with a means for operation by fire department personnel
 5. Electric automatic gates shall comply with ASTM F 2200 and UL 325.
 6. Removable bollards are not an approved alternate to a swinging gate.
13. **TRAFFIC CALMING DEVICES:** Shall be prohibited unless approved by the Fire Code Official. (OFC 503.4.1)
14. **COMMERCIAL BUILDINGS – REQUIRED FIRE FLOW:** The minimum fire flow and flow duration for buildings other than one- and two-family dwellings shall be determined in accordance with residual pressure (OFC Appendix B Table B105.2). The required fire flow for a building shall not exceed the available GPM in the water delivery system at 20 psi.

Note: Appendix B, Section B106, Limiting Fire-Flow is also enforced, save and except for the following:

 - In areas where the water system is already developed, the maximum needed fire flow shall be either 3,000 GPM or the available flow in the system at 20 psi, whichever is greater.
 - In new developed areas, the maximum needed fire flow shall be 3,000 GPM at 20 psi.

- Tualatin Valley Fire & Rescue does not adopt Occupancy Hazards Modifiers in section B105.4-B105.4.1

15. **FIRE HYDRANTS – COMMERCIAL BUILDINGS:** Where a portion of the building is more than 400 feet from a hydrant on a fire apparatus access road, as measured in an approved route around the exterior of the building, on-site fire hydrants and mains shall be provided. (OFC 507.5.1)
 - This distance may be increased to 600 feet for buildings equipped throughout with an approved automatic sprinkler system.
 - The number and distribution of fire hydrants required for commercial structure(s) is based on Table C105.1, following any fire-flow reductions allowed by section B105.3.1. Additional fire hydrants may be required due to spacing and/or section 507.5 of the Oregon Fire Code.
16. **FIRE HYDRANT NUMBER AND DISTRIBUTION:** The minimum number and distribution of fire hydrants available to a building shall not be less than that listed in (OFC Table C105.1)
17. **FIRE DEPARTMENT CONNECTIONS:** A fire hydrant shall be located within 100 feet of a fire department connection (FDC) or as approved. Fire hydrants and FDC's shall be located on the same side of the fire apparatus access roadway or drive aisle. (OFC 912 & NFPA 13)

If you have questions or need further clarification, please feel free to contact me at (503) 259-1510.

Sincerely,

Jason Arn

Jason Arn
Deputy Fire Marshal II

Cc: File

Natural Resource Findings, Conditions, and Requirements for Proposed Development

From: Kerry Rappold, Natural Resources Program Manager
To: Connie Randall, Associate Planner
Date: March 18, 2016
Proposal: DB16-0002 – Coca Cola Warehouse Expansion

Natural Resources Division Conditions:

All Requests

NR 1. Natural Resource Division Requirements and Advisories listed in Exhibit C3 apply to the proposed development.
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Exhibit C3
Natural Resources Findings & Requirements

Stormwater Management Requirements

1. Submit a drainage report and plans. The report and plans shall demonstrate the proposed stormwater facilities satisfy the requirements of the 2015 Public Works Standards. Low Impact Development shall be utilized to the maximum extent practicable to mimic the natural runoff conditions of the pre-developed site.
2. Pursuant to the 2015 Public Works Standards, infiltration testing shall be conducted to determine the site's suitability for the proposed stormwater management facilities. Testing shall be conducted or observed by a qualified individual working under the supervision of a Professional Engineer, Registered Geologist, or Certified Engineering Geologist licensed in the State of Oregon.
3. Provide profiles, plan views, landscape information, and specifications for the proposed stormwater facilities consistent with the requirements of the 2015 Public Works Standards.
4. Pursuant to the 2015 Public Works Standards, the applicant shall submit an updated maintenance plan (including the City's stormwater maintenance and access easement) for the proposed stormwater facilities prior to approval for occupancy of the associated development.
5. Pursuant to the 2015 Public Works Standards, access shall be provided to all areas of the proposed stormwater facilities. At a minimum, at least one access shall be provided for maintenance and inspection.

Other Requirements

6. The applicant shall comply with all applicable state and federal requirements for the proposed construction activities (e.g., DEQ NPDES #1200-CN permit).
7. Pursuant to the City of Wilsonville's Ordinance No. 482, the applicant shall submit an erosion and sedimentation control plan. The following techniques and methods shall be incorporated, where necessary:
 - a. Gravel construction entrance;
 - b. Stockpiles and plastic sheeting;
 - c. Sediment fence;
 - d. Inlet protection (Silt sacks are recommended);
 - e. Dust control;
 - f. Temporary/permanent seeding or wet weather measures (e.g., mulch);
 - g. Limits of construction; and
 - h. Other appropriate erosion and sedimentation control methods.

Public Works Plan Review Comment Form

Plans for Review: Coca Cola Expansion

Return All Comments To: Connie Randall

Due Date: March 22, 2016

Name	Page No.	Comments	Engineering's Response
Randy Watson Pretreatment			
Jason Labrie Water		No Comments	
Folz/Havens Sewer			
Gering Cross Connection		New fire Hydrant will need to be turned so that the main valve opening (5 1/4) is perpendicular to the curb line.	
Arnie Gray Roads		No Comments	
Ralph Thorp Trees/Irrigation			
Blankenship/Reeder Park Maint			



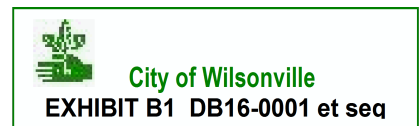
Project Description and Narrative

FOR

Warehouse Expansion Coca Cola Refreshments 9750 SW Barber St. Wilsonville, OR 97070



Associated
Consultants,
Inc. Structural Engineers



1340 SW Bertha Boulevard • Suite 200 • Portland, Oregon 97219
Phone: (503) 384-0460 • Fax: (503) 384-0459



Description of Proposed Warehouse Building Expansion

The proposed building consists of a single story building. New building is located to the south of the existing warehouse. Total floor area of the addition will be approximately 35,200 square feet and its height is to match the existing building (approximately 36 feet). Floor of the new building will match the elevation of the existing building's floor. The new building will have metal roof and metal siding which will be painted to match the existing building.

Structural system of the building will consist of steel roof deck, steel bar joists, joist girders and beams and steel columns. Building will be supported by conventional spread footings and the floor will be concrete slab on grade. Four new loading docks with ramps will be provided for the new building

Steel braced frames and flexible steel diaphragm will constitute the lateral force resisting system for the structure in both of the orthogonal directions. The new building will be seismically isolated from the existing building to the north. The new building will be connected to the existing warehouse via a 14' wide by 14' high opening in the existing wall.

The foundation system will consist of spread footings supported by native soil or engineered fill. Most of the site is relatively flat; however, an imported dirt mound (likely from excavation during previous development) is present on the southerly section of the new building. This dirt will be exported from the site prior to start of construction of the new building.

Approximately 60% of the footprint of the new building will replace existing paved area. Roof drain will be connected to the existing storm drain system. The site will be graded to drain to the existing and new catch basins as required. New paved drive way will be added to the end of existing drive behind the new building.

**CITY OF WILSONVILLE SITE DEVELOPMENT REVIEW NARRATIVE
WAREHOUSE ADDITION TO COCA COLA REFRESHMENTS
WILSONVILLE BOTTLING AND DISTRIBUTION CENTER**

Requests: Stage I Master Plan Revision
Stage II Final Plan Revision
Site Design Review

Project Location: 9750 SW Barber Street, Wilsonville, Oregon

Comprehensive
Plan Designation: Industrial

Zoning District: Planned Development Industrial (PDI)
Wilsonville Road IAMP Overlay

Property Owner: Coca Cola Bottling Company of Oregon
9750 SW Barber Street
Wilsonville, OR 97070

Applicant: Monte Pershall
Trecore Construction Management
101 NE 109th Street
Vancouver, WA 98686

Design Team
Coordinator: Babrak Amiri, P.E.
State of Oregon Certificate #18138
Associated Consultants, Inc.
100 E. 13th Street, Suite 10
Vancouver WA 98660

Architect: Kathy A. Dietrich, AIA, LEED AP BD+C
State of Oregon Certificate #6265
A2 Architects, LLC
8513 NE Hazel Dell Avenue, Suite 106
Vancouver, WA 98665

Civil Engineer: Bogdan Popescu, P.E., P.L.S.
State of Oregon Certificate #49718
BMP Design
12214 SE Mill Plain Blvd., Suite 203
Vancouver WA 98684

Electrical
Engineering: C.E.T.S. Inc.,
Engineering Services Division
1441 N. Northlake Way – Suite 214
Seattle WA 98103

PROJECT LOCATION



Vicinity Map

PROJECT DESCRIPTION

Existing Use

The site is developed with an existing main building that is used as a beverage bottling facility, including accessory warehouse and office space. This building consists of a single storage structure with two mezzanine areas. Existing site improvements include delivery truck loading docks at the west wall of the existing building together with existing parking areas for visitors, staff and trucks to the north, west and south of the existing building.

There are two smaller existing buildings west of the main building for vendor services and a truck check-in station. The undeveloped portions of the site are landscaped. Existing site utilities include domestic and fire water lines, sanitary

sewer lines and storm water lines and facilities. Site access is from existing driveways on Barber and Kinsman Streets

Proposed Use

Construct a one-story warehouse addition attached to the south wall of the existing main building. The new addition is 35,120 SF total floor area. The building addition will be the same height as the existing building. The project includes creation of a new interior opening at the south wall of the existing building, for interior circulation from the existing warehouse to the new warehouse.

Related concurrent interior alterations to the existing building (by separate permit) include installation of additional bottling equipment and conversion of a portion of the existing warehouse area to high pile storage of bins with PET preforms (plastic bottle material prior to filling).

Proposed Site Improvements

A new paved parking area will be constructed, enlarged the existing employee parking lot immediately west of the existing main building by 2,945 SF, with a total of (10) ten new parking spaces. New striping will add (2) two truck parking spaces at an existing paved area near the northeast corner of the existing building and (1) one additional parking space at an existing paved area at the northeast corner of the existing main building.

The existing fire lane between the building and the east property line will be extended around the new warehouse addition. No tree removal is proposed. The warehouse addition and new parking lot will displace existing landscaping. New landscaping will be installed at areas disturbed by construction.

The existing automatic fire sprinkler system will be modified and extended into the warehouse addition. An existing water supply line will be relocated to the south of the warehouse addition. A new fire hydrant will be provided near the southeast corner of the warehouse addition. New roof and parking lot stormwater will be discharged to the existing on site stormwater system. There is no plumbing in the warehouse addition and no changes are proposed to domestic water or sanitary sewer lines.

New outdoor lights will be mounted to the exterior walls of the warehouse addition. Existing outdoor lights mounted on the exterior walls of the existing building will be replaced with new luminaries that meet current Oregon Energy Efficiency Specialty Code requirements.

Proposed Schedule

The proposed warehouse addition is a design-build project with a fast-track construction schedule. Due to time constraints of the owner to utilize the completed project, the standard design and construction procedures and

timelines are compressed in order to meet the owner's schedule for use of the warehouse addition and associated improvements to the existing building. The project design-build team is committed to the following schedule.

Site Preparation Permit	January 15, 2016
Start Site Clearing Work	January 18, 2016
Pre-Application Conference	January 21, 2016
Stage I Master Plan Revision Review	February 1 - March 7, 2016
Stage II Final Plan Revision Review	February 1- March 7, 2016
Site Development Review	February 1- March 7, 2016
Building Permit Plan Review	March 7 - March 21, 2016
Site Development Review Appeal Period	March 7 – March 20, 2016
Start Interior Alteration Work	February 15, 2016
Start Construction Warehouse Addition	March 21, 2016
Complete Construction of All Work	September 01, 2016

Floor Area & Building Code Occupant Load by Use

Applicable Building Code: 2014 Oregon Structural Specialty Code

Existing Warehouse Storage	140,461 SF gross area	283 Occupants
New Warehouse Storage	35,120 SF gross area	70 Occupants
Manufacturing (Beverage Bottling)	120,275 SF gross area	1,203 Occupants
New PET Preform Storage	6,400 SF gross area	13 Occupants
Existing Office & Toilet Rooms	21,414 SF gross area	214 Occupants
Accessory Mechanical Rooms	17,365 SF gross area	58 Occupants
Totals – Main Building	341,035 SF gross area	1,841 Occupants

COMPLIANCE WITH APPLICABLE REVIEW CRITERIA & STANDARDS

Applicable Review Criteria: Planning and Land Development Ordinance:

Sections 4.014; 4.035; 4.117; 4.118; 4.133; 4.135; 4.139.04; 4.140; 4.155; 4.167; 4.171; 4.175; 4.176; 4.177; 4.179; 4.199; 4.400; 4.421; 4.430; 4.450.

4.014 BURDEN OF PROOF

The applicant must provide that the necessary findings of fact can be made for approval of the proposed project. Those findings are as stated in this narrative.

4.035 SITE DEVELOPMENT PERMITS

Procedures for Processing Site Development Permit: The proposed warehouse addition is subject to a Class III review process with a public hearing, in lieu of an Administrative Review process, due to the location of

the site in a Planned Development zone.

Site Development Permit Application: Required application materials, sufficient to describe the scope, size and impact of the proposed development, are submitted as follows:

1. Application form.
2. Narrative explaining the intent and nature of the proposed development.
3. Proof of property ownership
4. Legal description.
5. Site Development Review Drawings – 10 copies folded to 9" x 12" size.

Architectural Drawings

- A0.0 Cover Sheet & Project Information
- A1.1 Existing Site Plan
- A2.1 Proposed Site Plan
- A2.2 Building Floor Plan
- A2.3 Warehouse Addition Floor Plan
- A2.4 Enlarged Plans
- A3.1 Existing Exterior Elevations
- A3.2 Warehouse Addition Exterior Elevations
- A3.3 Building Sections

Civil Engineering Drawings

- C1.0 Existing Conditions
- C2.0 Preliminary Grading & Erosion Control Plan
- C2.1 Preliminary Parking & Erosion Control Plan
- C3.0 Preliminary Utility Plan
- C4.0 Preliminary Storm Water Management Plan

6. Existing Landscaping Drawings – 10 copies folded to 9" x 12" size.
 - L1.0 Existing Landscape Plan - Overall
 - L1.1 Existing Landscape Plan - Enlarged
 - L1.2 Existing Landscape Plan - Enlarged
7. Photometric Site Plan Drawings – 10 copies folded to 9" x 12" size.
 - LT1.0 Photometric Site Lighting Plan
8. Application fees.
9. List of property owners within 250 feet of the property, printed on label format.
10. Supplemental information:
 - Exhibit "A" - Request for traffic study waiver.

Exhibit "B" - Manufacturer's information for new and replacement exterior lighting (wall and pole mounted).
 Exhibit "C" – Legal Description

Other: Manufacturer's Metal Siding Color Sample – Bryer Company "Sandstone".

Complete Submittal Required: Revised application materials are submitted with this narrative, for determination of a complete application, so that the appropriate review can be scheduled.

4.117 STANDARDS APPLYING TO INDUSTRIAL DEVELOPMENTS IN ANY ZONE

The project is subject to performance standards specified in Section 4.135 (.05) for the PDI zone. Compliance with the Section 4.135 standards is addressed on the next page of this narrative. All applicable PDI zone standards are met.

4.118 STANDARDS APPLYING TO ALL PLANNED DEVELOPMENT ZONES

The project complies with applicable development standards for the PDI district, as noted below.

4.118 Planned Development Standard Compliance		
Standard	PDI Requirement	Warehouse Addition
Height Guidelines	None	N/A
Underground Utilities	4.300 - 4.320	See below

Construction of the building addition requires an additional fire hydrant, relocation of the existing fire water supply main and modifications to the existing on-site storm water system, as indicated on the Civil Engineering drawings. This work will be performed as approved by the City Engineer's office. New easements will be provided as needed.

4.133 WILSONVILLE ROAD INTERCHANGE AREA MANAGEMENT PLAN (IAMP) OVERLAY ZONE

Where The IAMP Regulations Apply: The regulations apply to the IAMP Overlay District.

Access Management: The project site is within the IAMP Overlay District and is subject to the Wilsonville Road Interchange Area Access Management Plan.

Administration: A Traffic Impact Analysis is required concurrent with the land use review process. No new street access is proposed with the project and the impact of any additional trips due to the warehouse addition will be de minimis. A waiver to the Traffic Impact Analysis requirement is therefore requested. See Exhibit "A".

4.135 PDI – PLANNED DEVELOPMENT INDUSTRIAL ZONE

Permitted Uses: Warehouses are a use typically permitted in the PDI zone.

PDC Zone Standards: PDC zone standards 4.131 (.02) Prohibited Uses and (.03) Block and Access Standards apply in the PDI zone.

Use: A warehouse is not a prohibited use.

Block and Access Standards: Adequate connectivity for pedestrians, bicyclists and motor vehicle drivers and use of public transit is required to be considered. Existing access to the site is adequate. There are public streets, sidewalks and public transit service that connect to the site along the Barber Street frontage. There are bike lanes serving the site along Kinsman and Barber Streets. There are three existing motor vehicle access driveways on Barber Street and two existing access driveways on Kinsman Road. No additional access driveways are proposed.

PDI Zone Performance Standards: The PDI performance standards are intended to minimize potential adverse impacts of industrial activities on the general public and other land uses or activities.

Location of Activities: The proposed warehouse use will be wholly inside the building except for loading and unloading activities.

Vibration: The warehouse use will not produce ground vibration that is perceptible without instruments at any property boundary line.

Emission of Odors: The warehouse use will not produce any odors.

Open Storage: Outdoor storage must comply with Section 4.176 Landscaping Screening and Buffering. Not applicable - there is no new open storage proposed.

Opening Location within 100 feet of Residential District: Not applicable - there is no Residential District within 100 feet of the site.

Heat and Glare: Not applicable - there are no residential properties

adjoining the site.

Dangerous Substances: Nothing will be stored in the warehouse that is a health or safety hazard for adjacent sites or uses.

Liquid and Solid Wastes: No waste products will be stored in the warehouse. No new connection to the public sewer is proposed. Storm water from new roof and paved surfaces will be discharged as indicated on the Civil Engineer's drawings.

Noise: The only noise generated will be delivery trucks accessing the loading docks.

Electrical Disturbances: The warehouse use will not produce any electrical disturbances.

Discharge Standards: The warehouse use will not produce any air pollution.

Open Burning: Not applicable.

Storage: Not applicable – no outdoor storage is proposed.

Landscaping: New plantings will be provided as indicated with the submittal drawings. Any existing landscaping disturbed during construction will be replaced with the same, or similar plant materials.

Other PDI Standards: The warehouse addition complies as follows.

4.135.5 (.06) PDI Standard Compliance		
Standard	PDI	Warehouse
Minimum Lot Size	No Limit	N/A
Maximum Lot Coverage	No Limit	N/A
Front Yard Setback (Barber Street)	30'	N/A
Rear Yard Setback (Gaylord Way)	30'	> 60'
Side Yard Setback (East Lot Line)	30'	60'
Side Yard Setback (Kinsman Street)	30'	> 60'
Railroad Siding Setback	0'	N/A

Standard	PDI	Warehouse
Corner Vision Clearance at Street Intersections & Driveways	N/A	N/A
Off-Street Parking	11 Spaces	12 Spaces
Bicycle Parking	2 Spaces	2 Spaces
Loading Berths	2 Berths	4 Berths
Signs	N/A - No Signs	N/A

4.140 PLANNED DEVELOPMENT REGULATIONS

Purpose: The warehouse addition complies with the stated purpose of the planned development regulations.

Lot Qualification: The existing site meets the lot qualifications for a planned development.

Ownership: The lot is in a single ownership, as required.

Professional Design: Appropriate professionals licensed by the State of Oregon have been used in the planning process for the warehouse addition, as indicated on page 1 of this submittal. The professional coordinator of the design team is Babrak Amiri, P.E.

Planned Development Permit Process: The site is zoned for planned development. A planned development permit is required for the warehouse addition, with approval by the Development Review Board. The review and approval process includes a pre-application conference (held on January 21, 2016), Preliminary Stage I review and Final Stage II review by the Development Review Board.

Staff Report: The planning staff will prepare a report of findings and conclusions as to whether the proposed use is consistent with the land use designated on the Comprehensive plan, prior to the Stage 1 review.

Preliminary Approval – Stage 1: The property owner / or the owner's authorized agent, will submit with this narrative an Application for Stage 1 review of the proposed site plan on the form prescribed by the City Planning Department. The application materials include those required for the Site Development Permit and also the information required by the Planned Development Regulations, accompanied by the following required information.

A boundary survey or a certified boundary description.

Topographic information.

Final Approval – Stage 2: The final site development drawings will include the following required information.

Location of water, sewerage and drainage facilities.

Preliminary building floor plans and elevations.

Preliminary Landscape plans.

Type and location of signs (none are proposed).

Topographic information required for the site development permit.

Location of all proposed uses.

Grading plan.

Copies of legal documents for dedication or reservation of public facilities.

Planned Development Permit Criteria:

Comprehensive Plan: The proposed development location, design, size and use is consistent with the Comprehensive Plan, which identifies the property as Industrial.

Traffic Generation: The traffic study (Dec. 2007) from Coca-Cola's last expansion indicated the expected impacts from warehouse expansion to be 0.17 trip per 1,000 SF (based on actual driveway counts). ITE average rate for industrial warehouse is 0.45, however the lower Coca-Cola rate is likely the result of the small percentage of office space that exists today (i.e. 4%). Because no office space is being added with the proposed 35,160 SF warehouse addition, office space will continue to be a small percentage of total building space (i.e. less than 4%).” Using the same traffic impact rate of 0.17 trip per 1,000 SF it is anticipated that additional traffic impacts will be minimal (ie 6 trips).

Mapping: The site is currently indicated on the City's zoning map as a PDI zone, so no map changes are needed.

Adherence to Approved Plan and Modification Thereof: The warehouse addition is a modification to the previously approved development plan for this site. A Master Plan revision is requested with this submittal.

Early Vesting of Traffic Generation: Not applicable.

4.154 ON-SITE PEDESTRIAN ACCESS AND CIRCULATION

Standards: The proposed new warehouse and employee parking area comply as follows.

Continuous Pathway System: An existing pedestrian pathway system extends throughout the development site which connects the building and parking to adjacent sidewalks and connects the primary building entrances to the parking lots. The existing sidewalk connection to the employee entrance from the employee parking lot west of the building will be extended with the expansion of the parking lot. Circulation to and from the warehouse addition will be via a safe walking zone marked on the floor inside the building.

Safe, Direct, and Convenient: No new exterior pedestrian pathways are proposed. Existing pathways within the site provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, public rights-of-way and crosswalks. The following criteria do not apply, as no new pathways are proposed. The existing pedestrian pathways appear to meet criteria a., b. and c. below, however this has not been field verified.

- a. Pedestrian pathways are to be designed primarily for pedestrian safety and convenience, are free from hazards and provide a reasonably smooth and consistent surface.
- b. Pedestrian pathways are to be reasonably direct, following routes between destinations that do not involve a significant amount of unnecessary out-of-direction travel.
- c. Pedestrian pathways are to connect to all primary building entrances and be consistent with the Americans with Disabilities Act (ADA) requirements.
- d. Provision of an internal bicycle and pedestrian pathway does not apply since there are no parking lots larger than three acres in size on the site.

Vehicle/Pathway Separation: Except as required for crosswalks, the existing pathways that abut a driveway or street are vertically or horizontally separated from the vehicular lane. No new pathways are proposed, so this criteria does not apply.

Crosswalks: Pathways that cross a parking area or driveway are clearly marked with contrasting paint. No new pathways are proposed, so this criteria does not apply.

Pathway Width and Surface: Primary pathways are required to be constructed of concrete or asphalt and be not less than five (5) feet wide. The proposed interior striped safe walking zone is a concrete floor surface and the striping is not less than five (5) feet wide.

Signage: The new interior pedestrian safe walking zone is clearly marked with appropriate standard signs.

4.155 GENERAL REGULATIONS – PARKING, LOADING & BICYCLE PARKING

General Provisions: The proposed new parking areas comply with the following applicable requirements.

Curbs: New off-street parking spaces have a curb at least 6 inches high, located so as to prevent any portion of a motor vehicle from extending over the property line or interfering with required screening or sidewalks.

Paving and Drainage: The new off-street parking and maneuvering areas are paved and have suitable drainage.

Landscaping: The new parking area will meet the following applicable requirements.

Minimum Parking Lot Landscaping: 10% of the new parking area is landscaped. Area calculations are indicated on the landscape plan.

Tree Planting Areas: Planting areas of minimum dimensions of 8 ft. wide x 8 ft. long and spaced every 8 parking spaces are provided at the new parking area. Tree planting ratio of one tree per 8 parking spaces or fraction thereof is met. Total of 2 trees are required and 3 trees are provided. The specified deciduous interior parking lot trees will provide a branching clearance of 7 ft. minimum at maturity. The “Brandywine” Maple has a 12 ft. crown spread in 12 years. The “October Glory” Maple has a 35 ft. crown spread at maturity.

Design Standards: Parking spaces are designed to comply with ADA and ODOT standards, with ADA parking spaces constructed to building code requirements.

Existing parking lots have 200 standard spaces and 8 ADA accessible spaces = 208 spaces total. With the proposed new 12 standard parking spaces, there will be a total of 220 on-site parking spaces. Based on Section 1106 of the 2014 Oregon Structural Specialty Code, a total of 7 ADA accessible parking spaces are required for 201 to 300 parking spaces. Since there are more than the required number of existing spaces, no additional ADA parking spaces are needed or provided.

Bicycle Parking Spaces: The minimum parking standards for off-street parking for

the warehouse addition is as follows:

Use	Parking Min.	Parking Max.	Bicycle Min.
Warehouse	0.3 per 1 KSF	0.5 per 1 KSF	1 per 20 KSF; Min. of 2

Off-Street Parking Spaces: The applicable parking ratios require the following additional on-site parking:

Use	Parking Min.	Parking Proposed	Parking Max.	Bicycle Min.	Bicycle Proposed
Warehouse (35.12 KSF)	11	12	N/L	2	2

Off-Street Loading Berths: The minimum number of off-street loading berths required for the warehouse addition is 2 spaces (12 ft. x 25 ft.). A total of 4 new loading docks will be constructed with the warehouse addition.

Carpool and Vanpool Parking: Required for new industrial development. Not applicable for existing development.

4.167 GENERAL REGULATIONS – ACCESS, INGRESS, AND EGRESS

Does not apply. No new access points are proposed. All of the existing access driveways will remain.

4.171 GENERAL REGULATIONS – PROTECTION OF NATURAL FEATURES & OTHER RESOURCES

The purpose of these standards is to protect valued natural features and cultural resources.

General Terrain Preparation: The required permit to start site preparation work has been issued. Additional permits are required for grading and excavation work, including an erosion control plan.

Hillsides: Does not apply to the project site.

Trees and Wooded Areas: Does not apply. No tree removal is proposed.

High Voltage Powerline Easements and Rights of Way and Petroleum Pipeline Easement: There is an existing BPA transmission line easement along the east property line abutting the Oregon Electric Railroad right of way. This easement will remain. There are no known petroleum pipeline easements.

Geologic & Soils Hazards: Does not apply to the project site.

Historic Protection: Does not apply to the project site.

Alteration and Development Criteria – Cultural Resources: Does not apply to the project site.

4.175 PUBLIC SAFETY AND CRIME PREVENTION

No changes are proposed to building addressing. No new directional signage is proposed. Truck parking areas and loading berths have existing pole lights to allow adequate surveillance by police. New wall mounted exterior lighting will be provided at the warehouse addition. One additional parking lot pole light will be provided at the enlarged employee parking area west of the existing building.

4.176 LANDSCAPING, SCREENING AND BUFFERING

Landscape Area: A portion of the existing landscaping will be removed in order to construct the warehouse addition and extend the fire truck access lane. More than the required 15% of the site area will remain landscaped, as indicated on the drawings.

Buffering and Screening: New exterior mechanical equipment is required to be screened. There is no new exterior mechanical equipment associated with the warehouse addition. In industrial zones, screening is not required for loading docks and truck parking. The existing chain link fence with sight obscuring vinyl slats around the perimeter of the site will remain.

Parking Area Landscaping: Drawings L1.0, L1.1 and L1.2 show the existing parking area landscaping which meets the criteria of landscaping a minimum of 10% of the existing parking area. Enlarged plans of the new parking areas on drawing A2.4 show parking lot landscaping that meets the criteria of a minimum of 10% of the parking area.

View of Parking Areas Screened from Public Right of Way: No changes are proposed to the existing screening for the off-street parking areas. The existing plant materials meet the criteria to screen the on-site parking areas with low and medium height shrubs.

Plant Materials: The existing plant materials will be retained as shown on drawings L1.0, L1.1 and L1.2, with two exceptions.

1 - Existing Landscaping Impacted by the Warehouse Addition: The existing grass will be removed to construct the warehouse addition and new fire truck access lane. The remaining un-paved areas will be re-planted with grass. No existing trees or shrubs will be removed.

2 - Existing Landscaping Impacted by the Parking Lot Expansion: Portions of the existing groundcover surrounding the existing employee parking area will be removed at the areas affected by construction of the new

paved parking spaces and bicycle rack. No existing trees or shrubs will be removed. Existing trees located south of the parking lot expansion will be protected during construction. New trees and groundcover will be added as indicated on the submittal drawings.

New plant materials will comply with the following requirements, as noted on the landscape plan:

Shrubs and Ground Cover: Ground cover plants and shrubs to be of sufficient size and number to meet these standards within three (3) years of planting. Non-horticultural plastic sheeting or other impermeable surface will not be placed under mulch. Native topsoil shall be preserved and reused to the extent feasible. Surface mulch or bark dust are to be fully raked into soil of appropriate depth, sufficient to control erosion, and are confined to areas around plantings. Areas exhibiting only surface mulch, compost or bark dust is not to be used as a substitute for planted areas.

1. Shrubs: All shrubs to be well branched and typical of their type as described in current AAN Standards and equal to or better than 2-gallon containers and 10" to 12" spread.
2. Ground cover: Shall be equal to or better than the following depending on the type of plant materials used: gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting.
3. Turf or lawn: Does not cover more than ten percent (10%) of the total landscaped area. Irrigation drainage runoff from lawns is to be retained within the proposed new lawn areas.
4. Plant Materials Under Trees or Large Shrubs: Appropriate plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.
5. Topsoil: Compost-amended topsoil must be integrated in all areas to be landscaped, including lawns.

Trees: The new trees to be planted on site are specified to meet the requirements of being well-branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards, supplied balled and burlapped and grouped as follows:

1. Primary trees that define, outline or enclose major spaces, such as Oak, Maple, Linden, and Seedless Ash, with minimum of 2" caliper.

2. Secondary trees that define, outline or enclose interior areas, such as Columnar Red Maple, Flowering Pear, Flame Ash, and Honey Locust, with minimum of 1-3/4" to 2" caliper.
3. Accent trees that to add color, variation and accent to architectural features, such as Flowering Pear and Kousa Dogwood, with 1-3/4" minimum caliper.
4. Large conifer trees such as Douglas Fir or Deodar Cedar to be installed at a minimum height of eight (8) feet.
5. Medium-sized conifers such as Shore Pine, Western Red Cedar or Mountain Hemlock to be installed at a minimum height of five to six (5 to 6) feet.

Special Requirements for Large Buildings: The warehouse addition is about thirty-eight (38) feet in height and the total building area with the addition is more than 50,000 SF in footprint area. Landscaping for buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area is to meet additional requirements as follows:

1. At maturity, trees shall be at least one-half the height of the building to which they are closest, and building walls longer than 50 feet shall require tree groups located no more than fifty (50) feet on center, to break up the length and height of the façade. The new deciduous trees proposed for the planting area between the west wall of the existing building and the expanded employee parking will meet this criteria.
2. Either fully branched deciduous or evergreen trees may be provided. New trees will be deciduous. There are three (3) existing evergreen trees immediately south of the expanded employee parking area.
3. New trees are specified to meet the following standards.
 - a. Deciduous trees:
 - i. Minimum height of ten (10) feet; and
 - ii. Minimum trunk diameter (caliper) of 2 inches (measured at four and one-half [4 1/2] feet above grade).
 - b. Evergreen trees: Minimum height of twelve (12) feet.

Landscape Plans:

Existing Landscaping: Drawings L1.0, L1.1 and L1.2 show the type, installation size, number and placement of existing plant materials, as established in the previous phase of construction completed in 2008.

New Landscaping: Drawings A2.1 and A2.4 indicate the proposed new landscaping. There are three areas with new landscaping:

1 - The existing grassy mound, located east and south of the proposed warehouse addition, is being removed. After construction of the warehouse addition and fire truck lane, the remaining unpaved area will be re-graded and re-seeded with grass. Refer to A2.1 Proposed Site Plan.

2 - New deciduous trees, groundcover and lawn will be provided at the expanded employee parking area west of the existing building. Refer to A2.4 Enlarged Parking Lot Landscape Plan.

3 - New groundcover landscaping will be provided adjacent to the 2 new parking spaces at the northeast corner of the existing building. Refer to A2.4 Enlarged Site Plan at Northeast Corner.

4.177 STREET IMPROVEMENT STANDARDS

The project site has frontage on the north on SW Barber Street and on the west on SW Kinsman Road. The site also abuts SW Gaylord Way on the south. A private street, Seely Avenue, is located abutting to the east, but does not serve the site. There are no proposed improvements within the public street rights of way.

4.179 MIXED SOLID WASTE & RECYCLABLES STORAGE

The existing storage space for mixed solid waste and source separated recyclables is located inside the building and will be unchanged. No additional capacity will be added. The applicant contracts for the mixed solid waste & recyclables to be hauled off site. The City's local trash hauler does not pick up any materials from this site.

4.199 OUTDOOR LIGHTING

Three existing wall pack light fixtures and one pole light at the existing truck parking area will be eliminated due to construction of the new addition. Eleven new wall pack light fixtures will be installed at the perimeter of the warehouse addition (at east, west and south walls). One new pole light will be added at the employee parking lot expansion, west of the existing building. The same fixture will be used for both wall and pole mounted lighting - refer to Exhibit "B".

Under the requirements of Section 4.199.60, the project is considered a major modification since to the cumulative gross floor area of the current warehouse addition plus the prior additions constructed after July 2, 2008 is more than 50% of the gross pre-existing floor area.

The existing wall mounted outdoor lighting was evaluated and found to be non-compliant with the current Oregon Energy Efficiency Specialty Code (OEESC). Therefore the existing wall mounted outdoor lighting will be replaced with new luminaires that are in compliance with the OEESC.

4.199.10 Outdoor Lighting in General: The outdoor lighting standards apply to both the new and the existing outdoor lighting, with the intent to minimum glare, light trespass and preserve the dark night sky.

4.199.20 Applicability: Both new and existing outdoor lighting are required to comply with the approval criteria in this section.

4.199.30 Lighting Overlay Zones: The project site is within Lighting Zone LZ 2.

4.199.40 Lighting Systems Standards for Approval: The outdoor lighting will comply with the Performance Option and meet the following criteria, as demonstrated by a complete photometric analysis.

1. Weighted average percentage of direct uplight lumens:

Required: Less than 5%.

Provided: 0%

2. Maximum allowable light level at any property line:

Required horizontal plane at grade: Less than 0.2 foot candles.

Required vertical plane facing the project side, from grade to mounting height of highest mounted luminaire: Less than 0.4 foot candles.

Provided: Refer to Photometric Site Lighting Plan LT1.0.

3. Maximum wattage of luminaires:

Required: 100 watts fully shielded.

Provided: 85 watts full cutoff.

4. Luminaires are not to be mounted so as to permit aiming or use in any way other than in the manner maintaining the required shielding classification. This requirement will be met by the new and replacement luminaires.

5. Maximum pole or mounting height for driveways and parking:

Required: 40 ft.

Provided: 12 to 35 ft.

Lighting Controls Required: Lighting controls are required for new and existing outdoor lighting as follows:

1. Initiate operation at dusk and extinguish lighting either one hour after close or at 10:00 PM curfew time; or
2. Reduce lighting intensity one hour after close or at the curfew time to not more than 50% of the requirements set forth in the Oregon Energy Efficiency Specialty Code unless waived by the DRB due to special circumstances; and
3. Extinguish or reduce lighting consistent with 1. and 2. above on Holidays.

The following are exceptions to the curfew requirements:

Exception 1: Building Code required lighting.

Exception 2: Lighting for pedestrian ramps, steps and stairs.

Exception 3: Businesses that operate continuously or periodically after curfew.

Lighting Controls Provided: All new and replacement luminaries will have an integral occupancy motion sensor – refer to Exhibit “B”.

4.199.50 Submittal Requirements:

1. Statement of Lighting Method – The Performance Option will be used for the design of the outdoor lighting.
2. Lighting Zone Map – Not Applicable, as the entire property is in zone LZ 2.
3. Documentation of lighting specifications for new lighting including luminaire description, manufacturer, mounting, mounting height (indicated on drawings), lamp type, lamp watts, ballast, optical system/distribution and accessories such as shields.

Provided: Refer to Exhibit “B”.

Calculations demonstrating compliance with Oregon Energy Efficiency Specialty Code, Exterior Lighting.

Provided: Calculations were completed by the Electrical Engineer.

4. Coordination of lighting with landscaping.
 Provided: New lighting is coordinate with the landscaping.
5. Hours of lighting curfew.
 Provided: The new lighting has motion sensor controls.
6. Site lighting plan:
 Required: Horizontal iso-candle lines, or the output of a point-by-point computer calculation of the horizontal illumination of the site, showing property lines and light levels immediately off of the subject property.
 Provided: Refer to Photometric Site Lighting Plan LT1.0.
7. Required: For each side of the property, the output of a point-by-point vertical foot-candle calculation showing illumination in the vertical plane at the property line from grade to at least 10 feet higher than the height of the tallest pole.
 Provided: Refer to Photometric Site Lighting Plan LT1.0.
8. Required: A site lighting plan prepared by a qualified licensed engineer (selected by the applicant).
9. Provided: LT1.0 Photometric Site Lighting Plan.

4.199.60 Major Additions or Modifications to Pre-Existing Sites:

The new warehouse addition is considered a major addition since the cumulative floor area of the proposed warehouse with the prior additions added after July 2, 2008 is more than 50% of the gross pre-existing floor area. Therefore all luminaires on the site (new and existing) must comply with the requirements of section 4.199.

Total Pre-Existing Bldg. Floor Area:	305,875 SF
Pre-Existing Floor Area - Before 7-2-08:	147,239 SF Bottling Facility
Pre-Existing Floor Area - After 7-2-08:	158,636 SF Warehouse
New Warehouse Addition Floor Area:	35,120 SF Addition
Cumulative Floor Area - After 7-2-08	193,756 SF (132%)

4.400 SITE DESIGN REVIEW

Purpose: The proposed modifications to the project site and the warehouse addition have been designed to meet the City's purposes and objectives for site design review, as described in this section of the zoning code.

4.421 CRITERIA & APPLICATION OF DESIGN STANDARDS

The warehouse addition complies with the standards as follows.

Preservation of Landscaping: All existing landscaping will remain that is not impacted by construction of the warehouse addition, fire truck access lane and expansion of the employee parking lot. No tree removal is required. Minimal site grading is needed to construct the building addition, parking lot expansion, bicycle parking area and new truck loading docks. The existing mounded area in the vicinity of the building addition is being removed, but this does not impact adjacent properties.

Relation of Proposed Buildings to Environment: The site is already mostly developed. There are no steep slopes, native vegetation or wildlife habitat that are impacted by the proposed work.

Drives, Parking & Circulation: No new driveways are proposed. The primary building entrance for employees and customers will remain at the existing location. The warehouse addition will be accessed from inside the existing building. At the expanded employee parking lot, a new sidewalk will be constructed, providing safe pedestrian access from the new parking area to an existing building entrance.

Surface Water Drainage: Storm water from the new pavement at the expanded employee parking lot, new loading dock area and new building rooftop will be piped underground and connected to the existing on-site storm water system.

Utility Service: No new sanitary sewer piping is required. The method of storm sewer treatment, detention and disposal and details for the proposed relocation of an existing fire supply main are indicated on the Civil Drawings.

Advertising Features: No new signage or advertising is proposed with the warehouse addition.

Special Features: Minor modifications to striping and placement of existing truck parking areas are proposed. These areas will continue to be screened from surrounding properties by the existing sight obscuring fence and landscaping.

Paint and Colors of Materials: The design intent is that the pre-finished metal siding, flashing, downspouts and scuppers at the warehouse addition will match the primary body color of the existing building, as indicated on the drawings. A sample of the proposed siding color (The Bryer Company "Sandstone") is provided. The new exterior luminaires, metal guardrails, doors and frames will match the color ("Charcoal") of those items at the existing building. New bollards will be painted "Safety Yellow", to match existing bollards.

4.430 LOCATION, DESIGN & ACCESS STANDARDS FOR MIXED SOLID WASTE & RECYCLING AREAS

These standards do not apply. Solid waste and recycling storage areas inside the existing building will be unchanged. The property owner uses their own truck fleet to remove recyclables and solid waste from the site. Existing access to the storage areas is unchanged. There are no exterior storage areas for recyclables or trash.

4.450 INSTALLATION OF LANDSCAPING

These standards apply to new landscaping work associated with the warehouse addition and associated new parking spaces.

Installation Requirements: All required landscaping is to be installed prior to issuance of the building occupancy permit. If this timing is not possible, the applicant will provide the required security to assure installation within six months of occupancy.

Variation from Approved Landscaping: All required landscaping is to be installed in accordance with the City approved landscape plans, including provision of design-build irrigation systems. Substitutions of plant materials will not be made without prior review and approval of the Planning Director or Development Review Board.

Maintenance: All required landscaping is to be maintained in a manner as approved by the City.

Modifications: New landscaping may be added at the property owner's discretion. Any modification or removal of landscaping that is approved through the site development review process is to be submitted to the City for review and approval.

- End of Narrative -

EXHIBIT A

REQUEST FOR TRAFFIC STUDY WAIVER



Community Development
29799 SW Town Center Loop East
Wilsonville, OR 97070
Phone 503-682-4960
Fax 503-682-7025
TDD 503-682-0843
Web www.ci.wilsonville.or.us

February 29, 2016

Attn: Babrak Amiri, P.E.
Associated Consultants, Inc.
100 East 13th Street, Suite 10
Vancouver, Washington 98660

RE: ***Coca Cola Bottling Plant
Warehouse Expansion Project
Request for Waiver of Traffic Study***

Dear Mr. Amiri,

This letter is in response to your request for approval of a waiver of the requirement for a traffic impact study (Study) in association with the proposed ***Coca Cola Bottling Plant - Warehouse Expansion Project***.

In the information provided in your letter, dated February 19, 2016, you have stated that the proposed expansion would add 35,160 square feet to the warehouse. Based on the December 2007 traffic study done with the last Coca Cola expansion project, information presented indicated that the anticipated impacts from warehouse expansion would be 0.17 trips per 1,000 square feet (based on actual driveway counts done at the time). The ITE average rate for industrial warehouse is 0.45; however, the lower rate for this facility is likely the result of the small percentage of office space that exists today (approximately 4% of the total area).

Since there will be no changes in the office space with the proposed 35,160 SF warehouse addition, office space will continue to be a small percentage of total building area. Using the same traffic impact rate of 0.17 trips per 1,000 square feet, it is anticipated that additional traffic impact will be minimal (approximately 6 trips).

Based on the above findings, a recommendation to waive the Study will be forwarded to the Development Review Board (DRB). Irrespective of the Staff recommendation to waive the analysis, the DRB may determine that a Study is necessary to make a recommendation or decision concerning the proposed project. A copy of this letter is being forwarded to the Planning Division and will be entered into the application file.

Sincerely,

A handwritten signature in blue ink that reads "Nancy Kraushaar".

Nancy Kraushaar, P.E.
Community Development Director

cc: Chris Neamtzu, Planning Director
Steve Adams, Development Engineer Manager

City of Wilsonville
Community Development Department
Engineering and Planning Divisions

29799 SW Town Center Loop E
Wilsonville, OR 97070
Phone: 503 682-4960; Fax 503 682-7025
adams@ci.wilsonville.or.us

This form must be completed and returned to Steve Adams, Development Engineering Manager, to initiate a traffic Scope of Services, a request for a traffic study waiver, a determination of de minimus traffic impact, or other traffic-related issues.

REQUEST FOR TRAFFIC STUDY – PLEASE READ COMPLETELY

Traffic Study Scope of Services Waiver from Traffic Study requirement

Other Traffic Related Request _____

Requested by: TreCore Construction mgmt Date: 12/31/15

Property address: 9750 SW Barbur St Wilsonville OR 97070-9233

Legal description: 31W14C00103
Tax lot(s) **Section** S.W. 1/4 Sec 14 //T.3S.R.1W. W.M.

Project name: New Blow Molding and Filling Line Installation

Property owner: Coca-Cola Refreshments
Name:
Address: 521 Lake Kathy Dr, Brandon FL 33510-3945

Applicant: TreCore Construction Management LLC
Name:
Address: 7101 NE 109th St Vancouver WA 98686

Authorized representative:
(Contact person)*
Name: Monte Pershall

Company: TreCore Construction Management LLC

Address: 7101 NE 109th St Vancouver WA 98686

Phone: 360-574-7661 Email: monte@trecoreconstruction.com

***Note: This person will receive all correspondence regarding traffic analysis.**

Process: A Request, along with a site plan and project description must be submitted to the Engineering Division. The request is forwarded to the City's traffic consultant who will prepare a Scope of Services, which will include the necessary fee. The prepared Scope will be reviewed by the Engineering Division, and once approved, will be forwarded to the authorized representative listed above. When the applicant reviews and submits the fee indicated in the Scope of Services, the scope will be authorized by Staff and forwarded to the traffic consultant. When the traffic study has been received and approved by the City's Engineering Division, it will be forwarded to the applicant and the Planning Division.

A request for a Waiver from a traffic study will be reviewed by the Community Development Director and the Engineering Division and the requestor will be notified by mail.

Note: If the project description and/or site plan change from what was originally submitted, additional traffic analysis and fees may be required.



Associated
Consultants,
Inc. Structural Engineers

February 19, 2016

Mr. Steve Adams, P.E.
Development Engineering Manager
City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070

Subject: Traffic Study
Warehouse Expansion to Existing Coca Cola Bottling Plant
9750 SQW Barber St., Wilsonville, OR 97070

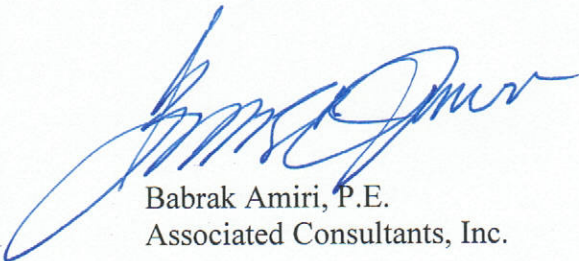
Dear Mr. Adams,

The subject project is a warehouse addition to an existing bottling and distribution building. A traffic study was conducted during the last expansion in 2007. This traffic study indicated that the expected impacts from warehouse expansion would be 0.17 trips per 1,000 square feet (based on actual driveway counts). The ITE average rate for industrial warehouse is 0.45; however, the lower rate for this facility is likely the result of the small percentage of office space that exists today (approximately 4% of the total area).

Since there will be no changes in the office space with the proposed 35,160 square feet warehouse addition, office space will continue to be a small percentage of total building area. Using the same traffic impact rate of 0.17 trips per 1,000 square feet, it is anticipated that additional traffic impact will be minimal (approximately 6 trips).

Based on the above, we request that the traffic study requirement of the design review be waived. Please do not hesitate to contact us should you have any questions or require more information.

Sincerely,



Babrak Amiri, P.E.
Associated Consultants, Inc.

EXHIBIT B

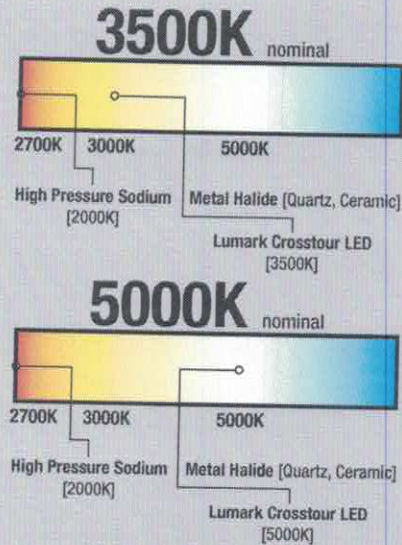
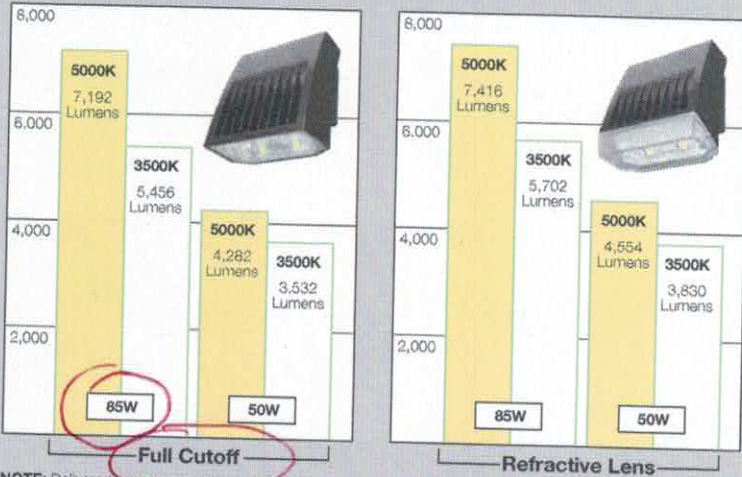
NEW EXTERIOR LIGHTING

Scalable Illumination

Optical Excellence

Crosstour MAXX LED Wall Pack Luminaires deliver up to 7,416 lumens. Brilliant white 5000K or warm 3500K CCT color temperature LEDs provide uniform white light similar to traditional metal halide sources. Excellent color rendering with superior thermal management and optimized reflector and refractive technology make the Crosstour MAXX LED Wall Pack Luminaire a superior performer.

Delivered Lumens

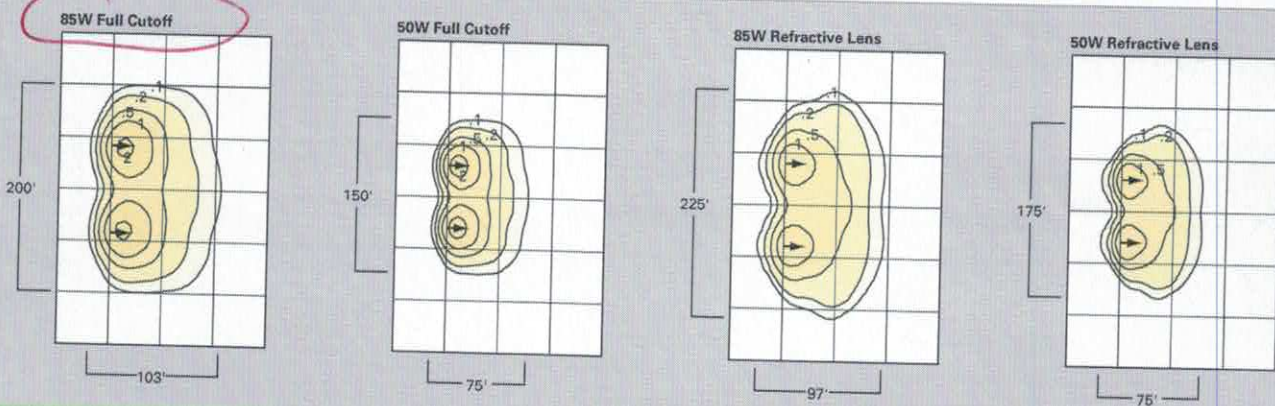


NOTE: Delivered lumens are estimated. See IES photometric files.

Typical Application

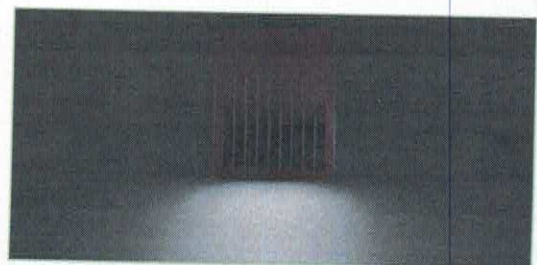
Fixture	Lumens	Illumination Distribution Pattern	Forward Throw	Mounting Height	Street Side Illumination	B.U.G. Rating*	Metal Halide Equivalent
Full Cutoff Models							
85W Full Cutoff	7,192	200'	103'	12'-25'	90%	B1-U1-G1	400W
50W Full Cutoff	4,282	150'	75'	12'-25'	90%	B1-U1-G1	250W
Refractive Lens Models							
85W Refractive Lens	7,416	225'	97'	12'-35'	78%	B1-U3-G2	400W
50W Refractive Lens	4,554	175'	75'	12'-35'	78%	B1-U3-G2	250W

NOTE: Based on two fixtures, .91 LLF (Light Loss Factor). 1 XTOR9ARL B.U.G. Rating is B1-U3-G3.



Dark Sky Compliant Illumination

Highly polished optical reflector is optimized to project the light in a forward throw direction. When installed in a downlight orientation, the full cutoff door provides focused illumination with zero uplight and minimal high angle illumination while retaining superior uniformity.

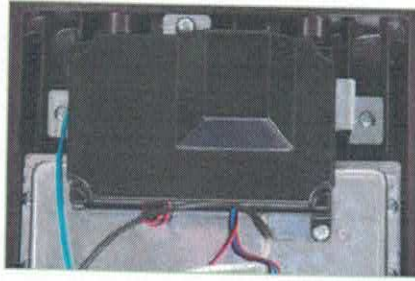


Options and Accessories



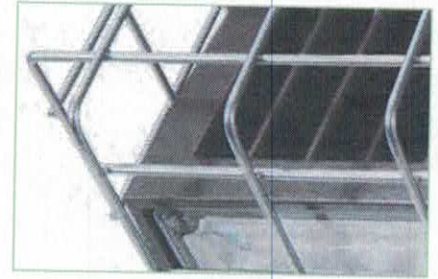
Photocontrol (PC1/PC2)

Supplied with gasketed button photocontrol for installing in one of the four 1/2" NPT threaded conduit openings. Available in 120V (PC1), 208-277V (PC2).



Cold Weather Battery Pack (CBP)

90-minute emergency battery back-up system supplied with nickel-metal hydride battery pack and electronic circuitry. Instantly transfer power from utility to battery upon utility power loss.

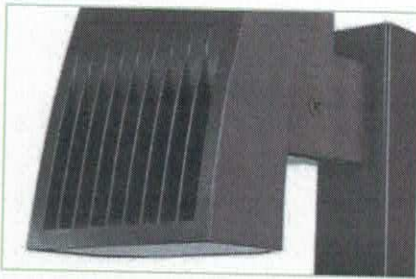


Wire Guard (WG/TORMX)

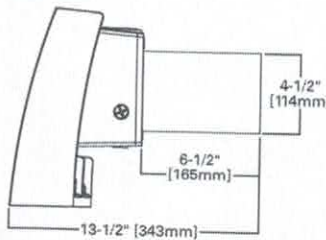
Steel wire guard protects the Crosstour MAXX LED Luminaire against impaled objects. Secure wire guard via the four 1/2" eye-loop openings.

Pole Mount Arm (PMA)

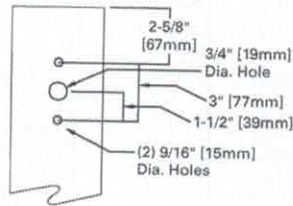
Extruded aluminum 6" arm features internal bolt guides for supplied twin support rods. Supplied with round pole adapter plate. Optional tenon adapter fits 2-3/8" or 3-1/2" O.D. Tenon.



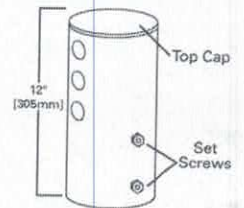
ARM MOUNT



TYPE "C" DRILL PATTERN



TENON ADAPTER



(Fits 2-3/8" or 3-1/2" O.D. Tenon)

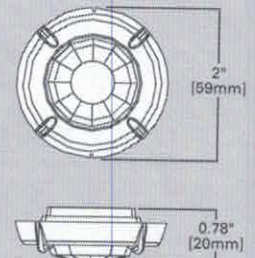
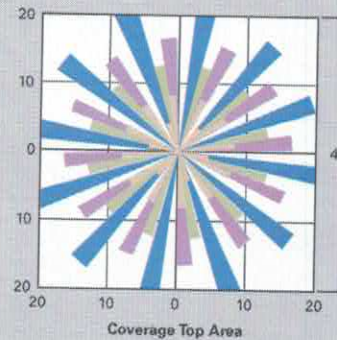
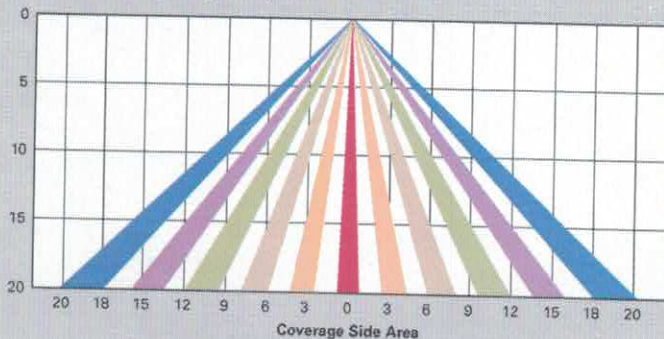
On/Off or Bi-Level Motion Sensor (MS)

Optional integral occupancy sensor can further advance energy savings. When the surrounding area of the luminaire is unoccupied, the sensor has the ability to reduce light level and power consumption. Available in 9'-20' mounting heights in on/off operation with standard drivers and bi-level operation with optional dimming driver. Bi-level motion sensor is pre-set to approximately 50% energy reduction with a time delay of 15 minutes.



Detection Patterns

For mounting heights up to 20'.



Energy Savings and Light Distribution

Uniform Illumination

The LED light engine is optimized for energy-efficient performance. With effective thermal management, precise positioning of the LED package assembly and a highly reflective vacuum metallized or matte finish reflector, Crosstour MAXX LED Wall Pack Luminaires provides uniform illumination, enhanced safety and a comfortable visual experience.

Typical Light Distributions



NOTE: Mounting heights are 12'-25' (50W model) and 12'-35' (85W models). Simulation rendering using AGI32 software (85W full cutoff shown).

Reduced Energy Consumption

Operating and maintenance cost of a lighting system are dramatically impacted by the specified lamp source and electrical system. Total system input watts and fixture operating life should be the driving considerations when addressing energy consumption and total cost of ownership. Energy savings increase when energy consumption is reduced and maintenance intervals are extended.

Annualized Energy Savings/Cost Comparison

Fixture	Hours Day / Year	Life (Hours)	Wattage	Cost / Year at \$0.10 kWh*	Relamp / Fixture*	Total Energy Cost / Fixture	Savings per Fixture	% Savings
50W Crosstour LED Wall Pack	9 / 3,285	60,000	50W	\$16.43	\$0.00	\$16.43	\$140.40	90%
250W Metal Halide Wall Pack		15,000	291W	\$95.59	\$61.23	\$156.82		
85W Crosstour LED Wall Pack	9 / 3,285	60,000	85W	\$27.92	\$0.00	\$27.92	\$161.19	85%
400W Metal Halide Wall Pack		20,000	452W	\$148.48	\$40.63	\$169.11		

NOTE: * Cost = (Watts x 10 Hours Per Day x 365 Days per Year) / 1,000 = Daily Kilowatt hour (kWh). kWh x .10 cents/kWh = Cost/year at .10 kWh. Relamp is averaged over the life of the lamp.

Energy Savings/Equivalency/Cross Reference Guide

Crosstour Series	Replacement Scale	HID Equivalency	Lamp System	HID Wattage	HID Rated Average Life (Hours)	Crosstour LED Wattage †	Crosstour LED Life (Hours) ‡	Energy Savings
XTOR5A XTOR5ARL	200W - 250W HID	Up to 250W MH	200W Pulse Start Metal Halide	232W	15,000	50W	> 60,000	78%
			250W Pulse Start Metal Halide	291W	15,000			83%
			250W Probe Start Metal Halide	295W	10,000			83%
			250W High Pressure Sodium	295W	24,000			63%
XTOR9A XTOR9ARL	320W - 400W HID	Up to 400W MH	320W Pulse Start Metal Halide	368W	20,000	85W	> 60,000	77%
			400W Pulse Start Metal Halide	452W	15,000			81%
			400W Probe Start Metal Halide	462W	20,000			82%
			400W High Pressure Sodium	464W	24,000			82%

NOTE: † Nominal lumens prior to optical and configuration losses based on 5000K CCT ambient. 5A=4,282 Lumens, 5ARL=4,554 Lumens, 9A=7,192 Lumens, 9ARL=7,416 Lumens.
‡ Hours-of-life based on 85% lumen maintenance.

Ordering Information

Sample Number: XTOR5A-N-WT-PC1

Series	LED Kelvin Color	Housing Color	Options (Add as Suffix)
Full Cutoff XTOR5A=50W XTOR9A=85W Reflective Lens XTOR5ARL=50W XTOR9ARL=85W	—=Bright White (Standard), 5000K N=Neutral Warm White, 3500K	—=Carbon Bronze (Standard) WT=Summit White	347V=347V ^{1,2,9} 480V=480V ^{1,2,9} PC1=Photocontrol 120V PC2=Photocontrol 277V ² DIM=0-10V Dimming Driver ³
Accessories (Order Separately) PMA=Pole Mount Arm (C Drilling) with Round and Square Adapter ¹ HA=50°C High Ambient ⁴ MS-L20=On/Off Motion Sensor, 9'-20' Mounting Height ^{1,2,4,6} MS/DIM-L20=Motion Sensor for Dimming Operation ^{1,2,4,6,7} CBP=Cold Weather Battery Pack ^{1,2,4,8}			

WG-XTORMX=Wire Guard PB120V=Field Installed 120V Photocontrol PB277V BUTTON PC=Field Installed 277V Photocontrol ² VA1040-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon ¹⁰ VA1041-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon ¹⁰ VA1042-XX=3 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon ¹⁰ VA1043-XX=4 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon ¹⁰ VA1044-XX=2 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon ¹⁰ VA1045-XX=3 @ 90° Tenon Adapter for 3-1/2" O.D. Tenon ¹⁰	VA1046-XX=2 @ 120° Tenon Adapter for 3-1/2" O.D. Tenon ¹⁰ VA1033-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon ¹⁰ MA1034-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon ¹⁰ VA1035-XX=3 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon ¹⁰ VA1036-XX=4 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon ¹⁰ VA1037-XX=2 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon ¹⁰ VA1038-XX=3 @ 90° Tenon Adapter for 2-3/8" O.D. Tenon ¹⁰ VA1039-XX=2 @ 120° Tenon Adapter for 2-3/8" O.D. Tenon ¹⁰
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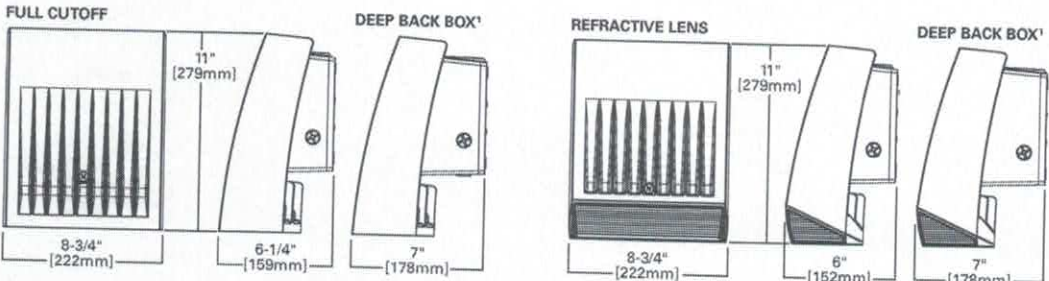
NOTES: 1 Deep back box is standard for 347V, 480V, CBP, PMA, MS-L20 and MS/DIM-L20. 2 Use PC2 with 347V or 480V option for photocontrol. Factory wired to 208-277V load. 3 Not available with HA option. 4 Thru-branch wiring not available with HA option. 5 120V or 277V only. 6 For use in downlight orientation only. Optimal coverage at mounting heights of 9'-20'. 7 Factory set to 50% power reduction after 15 minutes of inactivity. Dimming driver included. 8 Operating temperatures -20°C to 25°C. 9 Not available with CBP option. 10 Replace "XX" with CB for carbon bronze or WT for summit white.

Stock Ordering Information

50W Series (Full Cutoff)	85W Series (Full Cutoff)
XTOR5A=50W, 5000K, Carbon Bronze XTOR5A-PC1=50W, 5000K, 120V PC, Carbon Bronze XTOR5A-WT=50W, 5000K, Summit White XTOR5A-N=50W, 3500K, Carbon Bronze	XTOR9A=85W, 5000K, Carbon Bronze XTOR9A-PC1=85W, 5000K, 120V PC, Carbon Bronze XTOR9A-WT=85W, 5000K, Summit White XTOR9A-PC2=85W, 5000K, 208-277V PC, Carbon Bronze XTOR9A-480V=85W, 5000K, 480V, Carbon Bronze
50W Series (Reflective Lens)	85W Series (Reflective Lens)
XTOR5ARL=50W, 5000K, Reflective Lens, Carbon Bronze XTOR5ARL-PC1=50W, 5000K, Reflective Lens, 120V PC, Carbon Bronze XTOR5ARL-WT=50W, 5000K, Reflective Lens, Summit White XTOR5ARL-N=50W, 3500K, Reflective Lens, Carbon Bronze	XTOR9ARL=85W, 5000K, Reflective Lens, Carbon Bronze XTOR9ARL-PC1=85W, 5000K, Reflective Lens, 120V PC, Carbon Bronze XTOR9ARL-WT=85W, 5000K, Reflective Lens, Summit White XTOR9ARL-PC2=85W, 5000K, Reflective Lens, 208-277V PC, Carbon Bronze XTOR9ARL-480V=85W, 5000K, Reflective Lens, 480V, Carbon Bronze

NOTES: 1 Five-day quick ship models available. See specification sheet or stock guide for a complete listing.

Dimensions



NOTES: 1 Deep back box standard for 347V, 480V, PMA, MS-L20, and MS/DIM-L20 options. See page 8 for pole mounting options and dimensions.

Lumen Maintenance

Ambient Temperature	TM-21 Lumen Maintenance	Theoretical L70 (Hours)
50W Model 72,000 Hours		
25°C	90%	> 332,000
40°C	90%	> 324,000
50°C	90%	> 324,000
85W Model 36,000 Hours		
25°C	92%	> 157,000
40°C	91%	> 134,000
50°C	86%	> 86,000

Additional Information

Compliances	Technical Data (Electronic Driver)	EPA Effective Projected Area (Square Feet)	Shipping Data (Approximate Net Weight)
UL and cUL Wet Location Listed IP66 Ingress Protection Rated LM79 / LM80 Compliant NOM Compliant Models Lighting Facts® Registered DesignLights™ Consortium Qualified* ARRA Compliant RoHS Compliant 3G Vibration Tested UL924 Listed (CBP Models)	-40°C/40°C Minimum Temperature External Supply Wiring 90°C Minimum Optional 50°C (IHA) Ambient Temperature Rating 120V-277V, 50/60 Hz 347V or 480V, 60 Hz	XTOR5A/XTOR9A=0.54 With Pole Mount Arm=0.98	12-15 lbs. (5.4-6.8 kgs.)

* See www.designlights.org.



Scan this QR Code to learn more about Crosstour LED Wall Pack / Floodlight Luminaire.



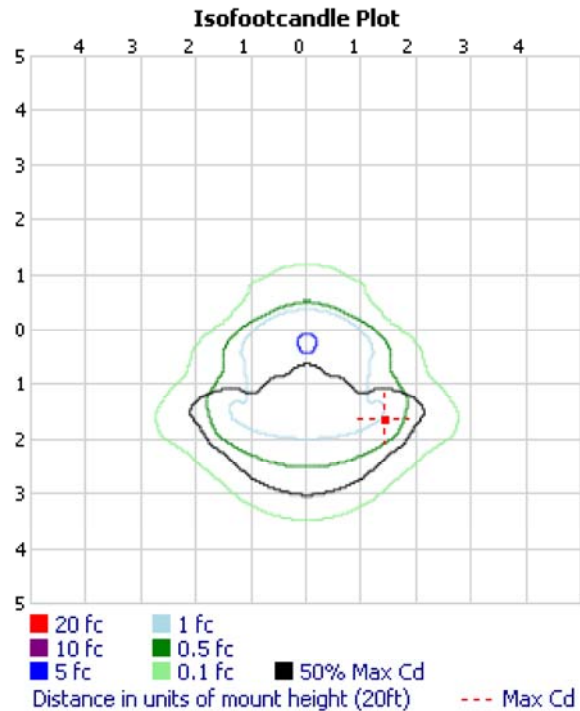
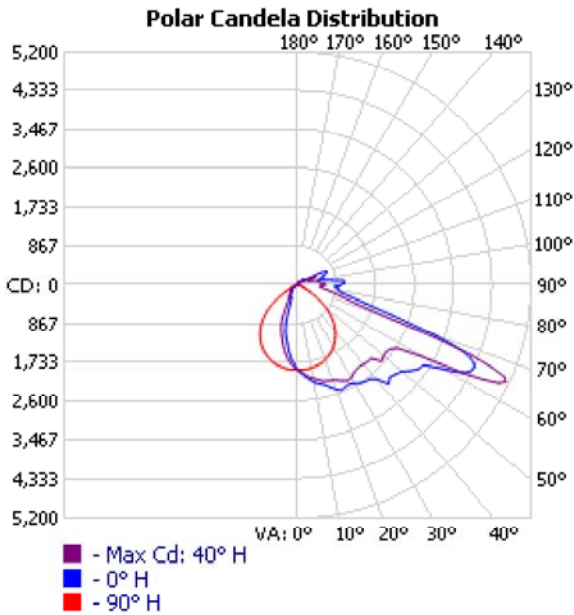
OUTDOOR PHOTOMETRIC REPORT

CATALOG: XTOR9ARL



MANUFACTURER: EATON - LUMARK (FORMER COOPER LIGHTING)
 TEST #: P25595
 TEST LAB: INNOVATIONS CENTER-P2
 CATALOG: XTOR9ARL
 DESCRIPTION: LUMARK CROSSTOUR LED BRONZE 90W WALL PACK
 LAMP: (1) 5000K CITIZEN LED
 LAMP OUTPUT: TOTAL LUMINAIRE LUMENS: 7366.1, **ABSOLUTE PHOTOMETRY ***
 BALLAST / DRIVER: (1) ELECTRONIC DRIVER
 INPUT WATTAGE: 82
 LUMINOUS OPENING: RECTANGLE W/LUMINOUS SIDES (L: 4", W: 8", H: 2")
 Max Cd: 5,115.0 AT HORIZONTAL: 40°, VERTICAL: 65°
 Roadway Class: SHORT, TYPE III

No
Photo
Available



*TEST BASED ON ABSOLUTE PHOTOMETRY WHERE LAMP LUMENS=LUMENS TOTAL.
 *CUTOFF CLASSIFICATION AND EFFICIENCY CANNOT BE PROPERLY CALCULATED FOR ABSOLUTE PHOTOMETRY.

VISUAL PHOTOMETRIC TOOL 1.2.47 COPYRIGHT 2016, ACUITY BRANDS LIGHTING.
 THIS PHOTOMETRIC REPORT HAS BEEN GENERATED USING METHODS RECOMMENDED BY THE IESNA. CALCULATIONS ARE BASED ON PHOTOMETRIC DATA PROVIDED BY THE MANUFACTURER, AND THE ACCURACY OF THIS PHOTOMETRIC REPORT IS DEPENDENT ON THE ACCURACY OF THE DATA PROVIDED. END-USER ENVIRONMENT AND APPLICATION (INCLUDING, BUT NOT LIMITED TO, VOLTAGE VARIATION AND DIRT ACCUMULATION) CAN CAUSE ACTUAL PHOTOMETRIC PERFORMANCE TO DIFFER FROM THE PERFORMANCE CALCULATED USING THE DATA PROVIDED BY THE MANUFACTURER. THIS REPORT IS PROVIDED WITHOUT WARRANTY AS TO ACCURACY, COMPLETENESS, RELIABILITY OR OTHERWISE. IN NO EVENT WILL ACUITY BRANDS LIGHTING BE RESPONSIBLE FOR ANY LOSS RESULTING FROM ANY USE OF THIS REPORT.



OUTDOOR PHOTOMETRIC REPORT
 CATALOG: XTOR9ARL



ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-30	1,372.1	18.6%
0-40	2,229.0	30.3%
0-60	4,328.6	58.8%
60-90	2,286.0	31%
70-100	1,127.2	15.3%
90-120	619.9	8.4%
0-90	6,614.7	89.8%
90-180	751.5	10.2%
0-180	7,366.1	100%

LUMENS PER ZONE

Zone	Lumens	% Total	Zone	Lumens	% Total
0-10	177.6	2.4%	90-100	277.3	3.8%
10-20	490.7	6.7%	100-110	188.4	2.6%
20-30	703.8	9.6%	110-120	154.1	2.1%
30-40	856.9	11.6%	120-130	58.3	0.8%
40-50	990.5	13.4%	130-140	35.9	0.5%
50-60	1,109.1	15.1%	140-150	20.8	0.3%
60-70	1,436.2	19.5%	150-160	13.3	0.2%
70-80	569.3	7.7%	160-170	3.2	0%
80-90	280.6	3.8%	170-180	0.1	0%

ROADWAY SUMMARY

Distribution:	TYPE III, SHORT	
Max Cd, 90 Deg Vert:	958.0	
Max Cd, 80 to <90 Deg:	987.0	
	Lumens	% Lamp
Downward Street Side:	5,732.9	77.8%
Downward House Side:	880.0	11.9%
Downward Total:	6,612.9	89.8%
Upward Street Side:	709.8	9.6%
Upward House Side:	41.8	0.6%
Upward Total:	751.5	10.2%
Total Lumens:	7,364.4	100%

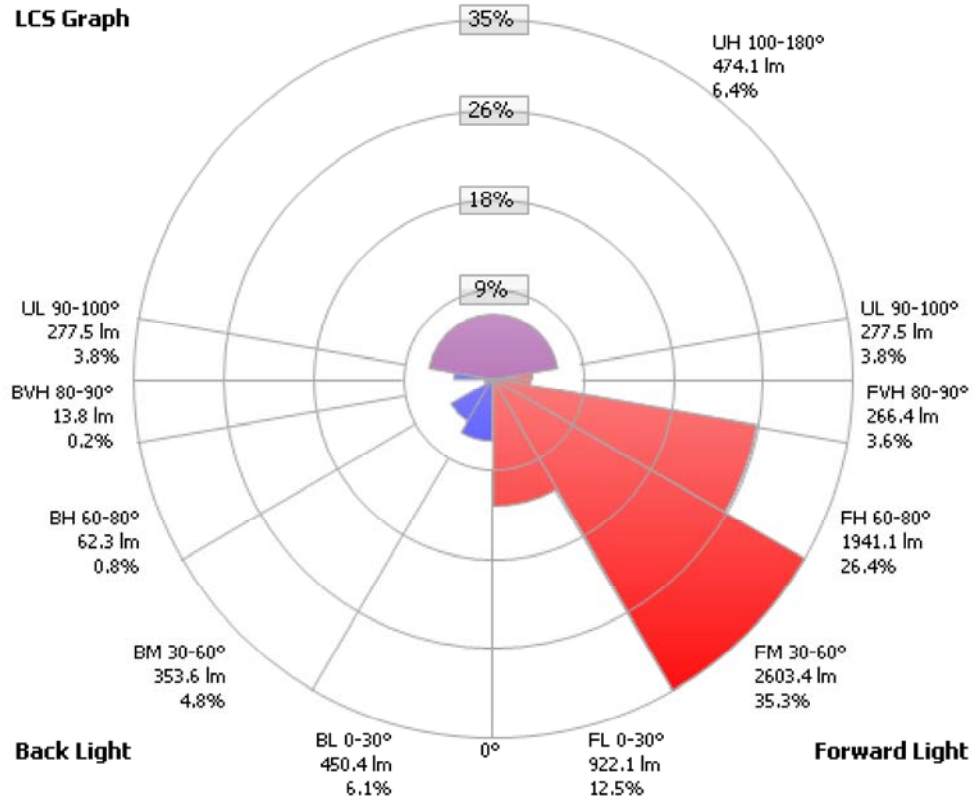
LCS TABLE

BUG RATING	B1 - U3 - G3	
FORWARD LIGHT	LUMENS	LUMENS %
Low(0-30):	922.1	12.5%
Medium(30-60):	2,603.4	35.3%
High(60-80):	1,941.1	26.4%
Very High(80-90):	266.4	3.6%
BACK LIGHT		
Low(0-30):	450.4	6.1%
Medium(30-60):	353.6	4.8%
High(60-80):	62.3	0.8%
Very High(80-90):	13.8	0.2%
UPLIGHT		
Low(90-100):	277.5	3.8%
High(100-180):	474.1	6.4%
TRAPPED LIGHT:	1.7	0%

OUTDOOR PHOTOMETRIC REPORT
CATALOG: XTOR9ARL



LCS Graph



Back Light

Forward Light

Scale = Max LCS %

Trapped Light: 1.7lm, 0%

OUTDOOR PHOTOMETRIC REPORT
CATALOG: XTOR9ARL



CANDELA TABLE - TYPE C

	0	10	20	30	40	50	60	70	80	90	100	110	120	130	140	150	160	170	180	
0	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899	1899
5	2058	2049	2051	2047	2046	2042	2056	2029	2016	2010	2019	1996	2000	1984	1964	1952	1957	1909	1896	
10	2204	2194	2191	2184	2180	2176	2175	2136	2121	2111	2106	2072	2063	2040	2003	1980	1962	1907	1873	
15	2306	2295	2286	2283	2284	2273	2268	2231	2219	2196	2174	2135	2122	2088	2035	2001	1970	1893	1841	
20	2483	2466	2448	2446	2432	2390	2356	2296	2263	2221	2206	2164	2145	2100	2038	2000	1949	1853	1782	
25	2513	2510	2513	2526	2525	2496	2482	2413	2356	2285	2223	2147	2124	2087	2020	1979	1912	1793	1698	
30	2528	2518	2508	2496	2467	2425	2418	2396	2393	2363	2296	2184	2109	2042	1994	1949	1870	1724	1592	
35	2629	2621	2599	2578	2543	2484	2429	2349	2292	2252	2272	2221	2124	2014	1934	1899	1798	1625	1457	
40	2745	2728	2683	2645	2594	2522	2474	2396	2307	2193	2135	2095	2116	1995	1876	1820	1707	1508	1296	
45	2906	2899	2886	2874	2848	2820	2744	2505	2323	2236	2127	1971	1932	1934	1818	1729	1613	1367	1108	
50	3011	3010	2985	2968	2921	2843	2756	2623	2494	2358	2230	1979	1779	1721	1755	1625	1470	1180	891	
55	3280	3234	3190	3133	3031	2921	2811	2668	2508	2324	2168	1940	1776	1606	1553	1465	1247	946	613	
60	3765	3804	3752	3711	3661	3588	3448	3283	3205	3022	2736	2292	1930	1493	1203	1132	928	644	319	
65	4345	4361	4377	4387	4538	4692	4915	5040	5115	4612	3505	2955	2125	1237	808	623	467	270	167	
70	3250	3169	3156	3064	2986	2750	2563	2328	2379	2140	2273	2379	1937	1113	492	263	186	141	109	
75	1554	1527	1486	1412	1327	1219	1108	1010	1032	1203	1271	1152	1002	627	278	141	112	92	74	
80	987	987	959	912	846	767	686	651	667	915	799	584	380	198	123	98	90	69	54	
85	920	921	908	880	833	775	701	634	497	505	458	357	259	152	86	64	64	53	40	
90	955	958	948	926	877	832	825	805	618	423	392	371	233	136	80	59	49	41	32	
95	1033	1038	1014	994	943	875	805	731	518	465	525	461	269	130	83	58	45	36	28	
100	600	593	563	550	530	520	527	586	453	459	462	300	180	164	127	72	48	34	25	
105	516	534	563	617	690	743	686	548	347	285	288	250	159	105	95	57	39	29	24	
110	618	616	595	566	523	476	425	337	245	217	300	272	190	103	64	46	38	31	21	
115	712	709	695	684	671	628	577	541	458	273	205	219	190	128	71	47	36	30	20	
120	239	233	218	212	200	203	207	206	204	175	159	140	107	80	58	38	24	18	15	
125	148	151	156	159	160	163	167	179	196	174	127	96	82	68	49	30	19	18	15	
130	161	163	166	172	177	177	172	154	128	117	104	80	65	53	43	30	20	18	16	
135	142	139	130	124	111	104	102	91	90	92	86	76	59	48	35	25	19	17	16	
140	79	78	77	78	79	80	79	78	80	79	75	77	66	51	31	22	17	14	13	
145	68	67	69	69	71	71	72	78	85	85	69	62	55	41	30	16	14	13	12	
150	75	77	81	83	86	90	89	85	85	87	80	66	50	37	21	13	13	12	12	
155	84	84	83	84	80	78	74	72	68	58	45	33	24	16	12	12	12	13	13	
160	54	53	53	52	50	44	40	36	32	24	19	14	9	10	11	12	12	12	12	
165	24	23	23	21	20	17	14	12	9	7	7	7	8	9	10	10	10	10	10	
170	2	2	2	2	3	3	3	4	5	5	6	6	7	7	8	9	9	9	9	
175	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
180	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	

EXHIBIT C

LEGAL DESCRIPTION

802

OK

WARRANTY DEED—STATUTORY FORM
INDIVIDUAL GRANTOR



JOHN KINSMAN Grantor,
conveys and warrants to ORE-CAL Coca-Cola Bottling Company, a corporation

Grantee, the following described real property free of encumbrances
except as specifically set forth herein situated in Clackamas County, Oregon, to-wit:

A parcel of land situated in the Southwest 1/4 Section 14, Township 3
South, Range 1 West, Willamette Meridian, Wilsonville, Clackamas County,
Oregon more particularly described as follows:

Commencing at the South 1/4 corner of said Section 14; thence South
89 59'24" West along the South line thereof 159.85 feet to a point in
the Westerly line of the Oregon Electric Railroad (Burlington Northern)
right of way, 50 feet wide; thence North 00 01'45" West along said line
2079.05 feet to the true point of beginning; thence South 89 47'08" West
818.63 feet to a point in the Easterly line of Kinsman Road, a dedicated

(IF SPACE INSUFFICIENT, CONTINUE DESCRIPTION ON REVERSE SIDE)

The said property is free from encumbrances except for an easement created by instrument
recorded September 22, 1941 in Book 285, Page 307 in favor of the
United States of America.

The true consideration for this conveyance is \$762,300.00 (Here comply with the requirements of ORS 93.030)

Dated this 2nd day of July, 1986

John Kinsman

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DE-
SCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND
USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING
THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE
PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR
COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES.

STATE OF OREGON, County of Multnomah) ss.

This instrument was acknowledged before me on July 2nd, 1986.

by JOHN KINSMAN

Katherine Miller

Notary Public for Oregon

My commission expires April 13, 1989

(SEAL)

Insured by First American Title Insurance Company of Oregon.

WARRANTY DEED

JOHN KINSMAN GRANTOR
ORE-CAL Coca-Cola GRANTEE
10300 S.W. Greenburg Rd.
Portland, OR 97223 GRANTEE

After recording return to:
First American Title Ins. Co.
310 S. W. 4th Ave.
Portland, OR 97204

Until a change is requested, all tax statements
shall be sent to the following address:
ORE-CAL Coca-Cola Bottling Co.
10300 S.W. Greenburg Road
Portland, OR 97223

street, 60 feet wide; thence North 00 12'35" West along said line 531.84 feet to its intersection with the South line of Barber Street, a dedicated street, said point being 30.00 feet Southerly of the centerline of said street (when measured at right angles); thence North 89 47'08" East along said South line 820.30 feet to its intersection with the West line of the Oregon Electric Railroad right of way, aforesaid; thence South 00 01'45" East along said West line 531.84 feet to the point of beginning.

SEALED DOCUMENT ²⁴⁶⁶⁹ 86-24669 RECORDED JUL 7 1986 10:26 A M JUANITA N. ORR, County Clerk

2



Coca-Cola Refreshments

14655 Wicks Blvd.
San Leandro, CA 94577

T 510.667.6300

F 510.352.9415

City of Wilsonville

William Godwin Principal Engineer has been selected as the owner's representative to authorize capital spend, change orders, and permit applications as well as other items relative to the expansion of the warehouse and addition of the new production line.

Address of location:

9750 SW Barber Street

Wilsonville, OR 97070

Contact information:

William Godwin

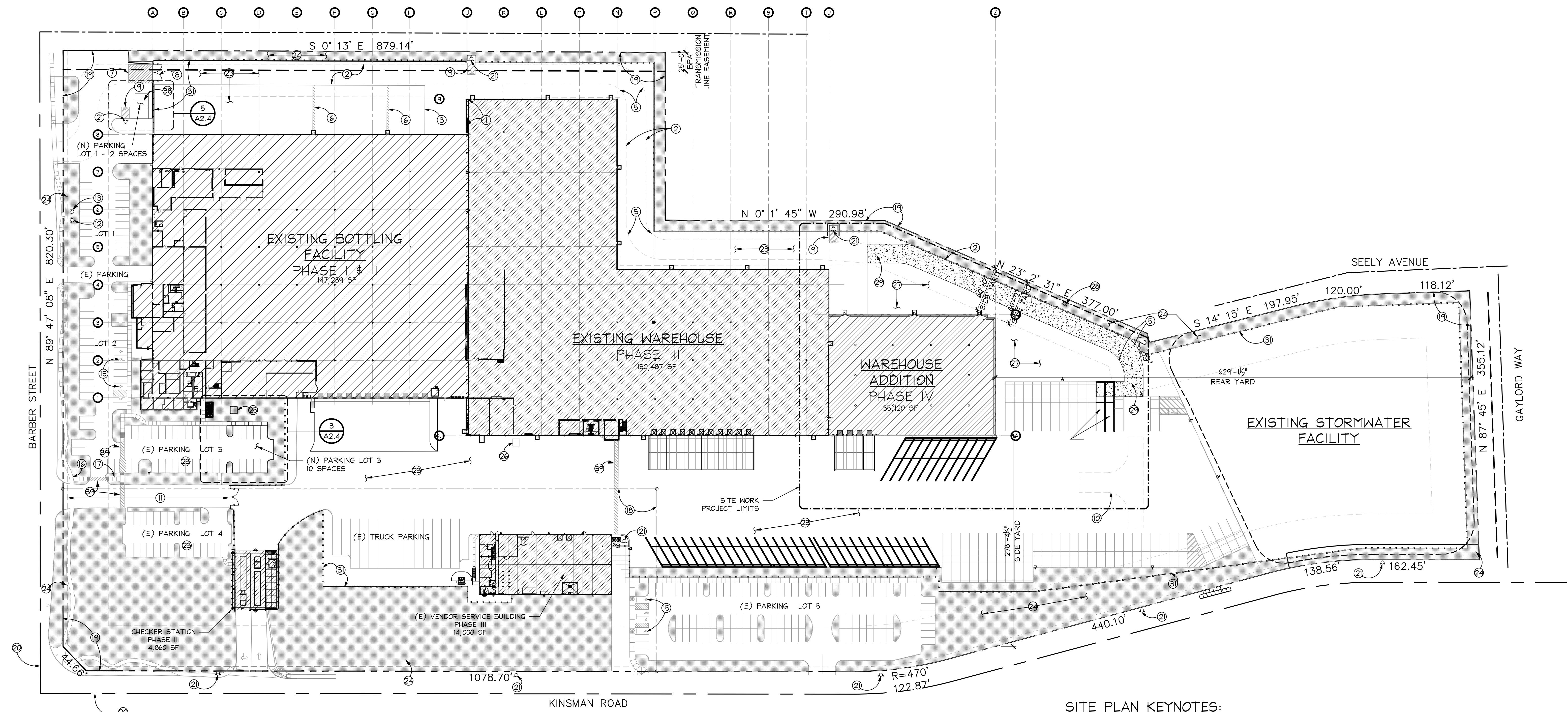
Principal Engineer

wgodwin@coca-cola.com

(770) 624-7348



A2 Architects, LLC
8513 N.E. HAZEL DELL AVE.,
SUITE 102
VANCOUVER, WASHINGTON



PROPOSED SITE PLAN
1/64" = 1'-0"

SITE COVERAGE:

BUILDING FOOTPRINTS: 351,706 SQ FT (30.8% COVERAGE)
HARD SURFACE AREA: 463,416 SQ FT (40.6% COVERAGE)
LANDSCAPED AREA: 327,298 SQ FT (28.6% COVERAGE)
1,142,420 SQ FT (100% COVERAGE)

LANDSCAPING REQUIREMENTS:

15% OF DEVELOPED SITE AREA: 1,142,420 SQ FT
15% = 171,363 SQ FT

PARKING REQUIREMENTS:

(N) WAREHOUSE ADDITION:
35,120 SF @ 0.3/1,000 SF = 11 SPACES

PROVIDED PARKING:

LOT 1: 22 STD SPACES (E)
1 STD SPACE (N)
LOT 2: 25 STD SPACES (E)
4 ADA SPACES (E)
LOT 3: 34 STD SPACES (E)
10 STD SPACES (N)
LOT 4: 24 STD SPACES (E)
LOT 5: 95 STD SPACES (E)
4 ADA SPACES (E)
TOTAL: 211 STD SPACES
4 ADA SPACES

BICYCLE PARKING:

EXISTING: 10 SPACES
NEW: 2 SPACES
TOTAL: 12 SPACES

SITE PLAN KEYNOTES:

- ① (E) FIRE RISER & FIRE DEPARTMENT ACCESS DOOR
- ② (E) FIRE APPARATUS ACCESS LANE. ALL PAVED AREAS ALONG FIRE LANE ARE 26'0" IN WIDTH OR WIDER
- ③ (E) 3" WIDE PAINT STRIPE DENOTING EDGE OF ALLOWED PALLET STORAGE AREA & LETTERING DENOTING "LIMIT LINE OF STORAGE" PLACED AT 75'0" ON CENTER MAX.
- ④ (E) 6" HIGH LETTERING DENOTING "NO STORAGE" AT 100' INTERNALS ALONG FIRE LANE AT EAST & SOUTH SIDES OF PROPOSED EXPANSION
- ⑤ FIRE LANE RADIUS COMPLIES WITH REQUIRED 28.0' INSIDE & 48.0' OUTSIDE RADIUS
- ⑥ (E) 3.0' WIDE MIN CROSS-STRIPPED AREA DENOTING "NO STORAGE" TO ALLOW FOR ACCESS TO DOORS FROM FIRE LANE
- ⑦ (E) 32.0' x 25.0' CROSS-STRIPPED AREA DENOTING "NO PARKING - FIRE LANE"
- ⑧ (E) 22.0' (TOTAL WIDTH) SWING GATE w/ KNOW BOX FOR FIRE DEPARTMENT ACCESS
- ⑨ (E) 10.0' x 15.0' CROSS-STRIPPED AREA IN FRONT OF FIRE HYDRANTS DENOTING "NO PARKING" FOR ACCESS TO HYDRANTS
- ⑩ DENOTES REQUIRED SPACE FOR FIRE TRUCK HAMMERHEAD TURN AROUND
- ⑪ (E) GATE & FIRE DEPARTMENT ACCESS
- ⑫ (E) FIRE DEPARTMENT CONNECTION
- ⑬ (E) FIRE DEPARTMENT CONNECTION
- ⑭ (E) 3.0' WIDE CROSS-STRIPPED PEDESTRIAN PATHWAY w/ TACTILE WARNING STRIPS ALONG EACH SIDE. PROVIDED FOR CONNECTION TO PUBLIC WAY
- ⑮ (E) ADA PARKING SPACES - (4) TOTAL
- ⑯ EXIT TERMINATION & CONNECTION TO PUBLIC WAY
- ⑰ (E) 5.0' WIDE CONCRETE SIDEWALK
- ⑱ ASSUMED PROPERTY LINE BETWEEN BUILDINGS
- ⑲ PROPERTY LINE
- ⑳ CENTERLINE OF STREET ROW
- ㉑ (E) FIRE HYDRANT
- ㉒ AREA OF (E) LANDSCAPING TO BE REMOVED & REPLANTED w/ LAWN
- ㉓ (E) PAVEMENT
- ㉔ (E) LANDSCAPING
- ㉕ (N) PGE SUPPLIED TRANSFORMER (PRELIMINARY LOCATION)
- ㉖ (N) EQUIPMENT
- ㉗ (N) LANDSCAPING (SOD)
- ㉘ (N) FIRE HYDRANT
- ㉙ (N) PAVEMENT - SEE CIVIL DRAWINGS
- ㉚ (N) BICYCLE RACK - 12 SPACES
- ㉛ (E) CHAIN LINK FENCE w/ SIGHT OBSCURING VINYL SLATS
- ㉜ (N) PAINTED STRIPING, TYP
- ㉝ (N) CONCRETE CURB & SIDEWALK
- ㉞ (N) CONCRETE CURB
- ㉟ (N) POLE LIGHT - MATCH HEIGHT OF (E) PARKING LOT POLE LIGHTS
- ㊱ (E) POLE LIGHT
- ㊲ (N) REINF CONCRETE SLAB w/ COMPACTED GRANULAR FILL
- ㊳ (N) PARKING SPACE
- ㊴ (E) CROSS-STRIPPED PEDESTRIAN PATHWAY

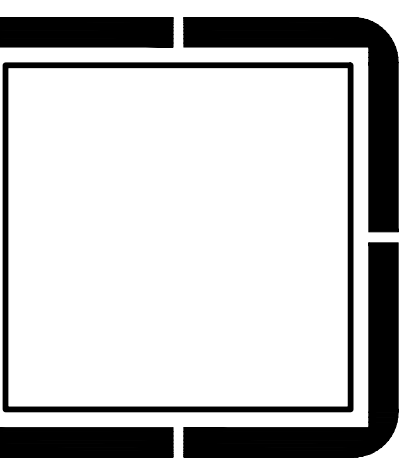
NOTES:

- ① NO (N) FENCING IS PROPOSED
- ② NO (N) SIGNAGE IS PROPOSED

BOTTLING & DISTRIBUTION CENTER
 WAREHOUSE ADDITION
 9750 SW BARBER STREET
 WILSONVILLE, OR 97070
 Refreshments
 Coca-Cola

SHEET TITLE: PROPOSED SITE PLAN	DESIGNED BY: C. JENKINS
DATE: 10/26/2016	PROJECT NO.:
SCALE:	16-1802

SITE DEVELOPMENT REVIEW DRAWINGS



A2 Architects, LLC
 8513 N.E. HAZEL DELL AVE.,
 SUITE 102
 VANCOUVER, WASHINGTON

BOTTLING & DISTRIBUTION CENTER
 WAREHOUSE ADDITION
 9750 SW BARBER STREET
 WILSONVILLE, OR 97070



REVISIONS

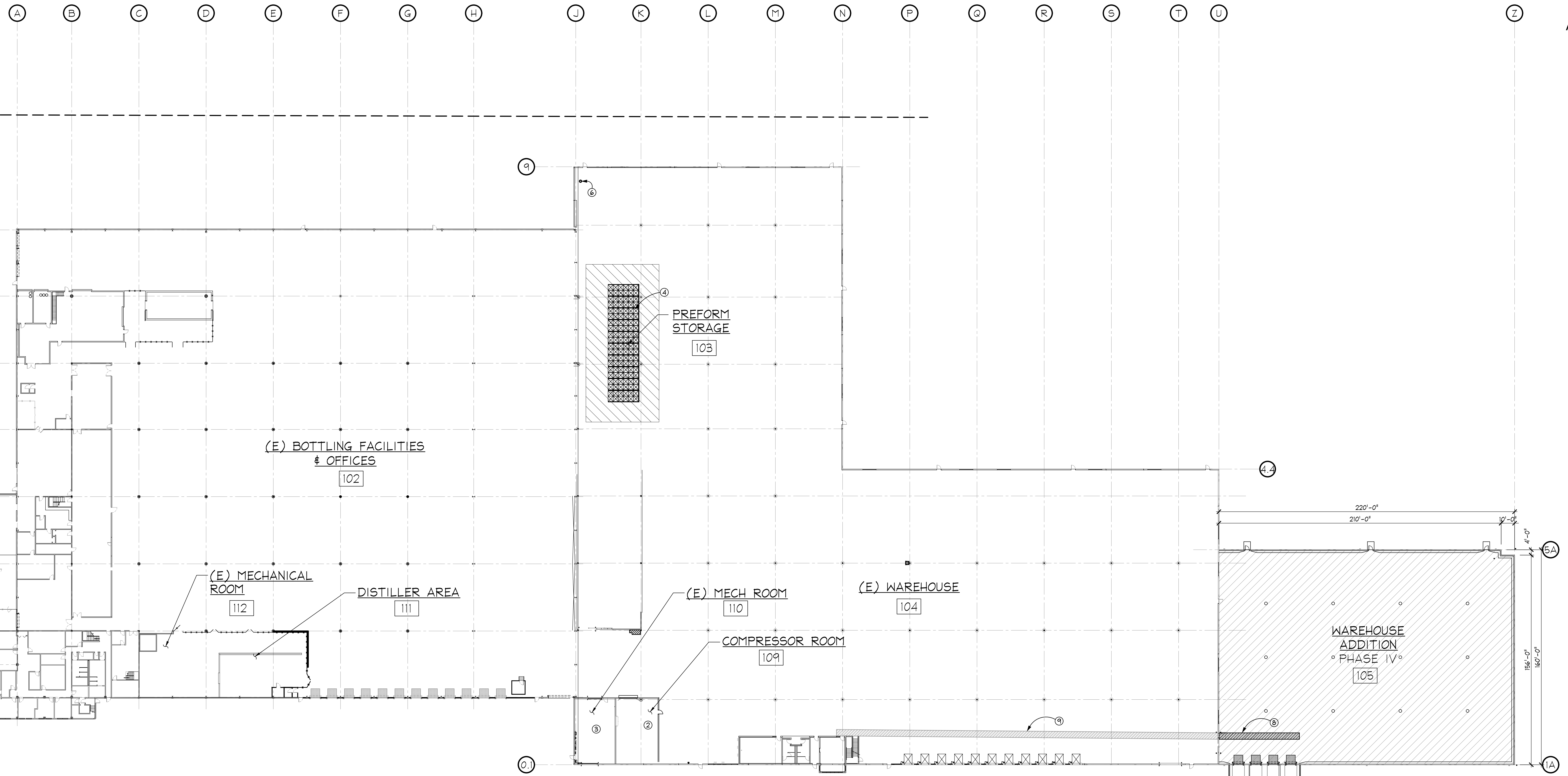
VERIFY SCALE
<p>BASE ON ONE FOOT ON ORIGINAL DRAWING</p> <p>IF NOT ONE FOOT ON SCALE ACCORDINGLY</p>

SHEET TITLE: BUILDING FLOOR PLAN	DESIGNED BY: C. JENKINS
-------------------------------------	----------------------------

DATE: 10/26/2016	PROJECT NO.:
PROJECT NO.:	16-1802

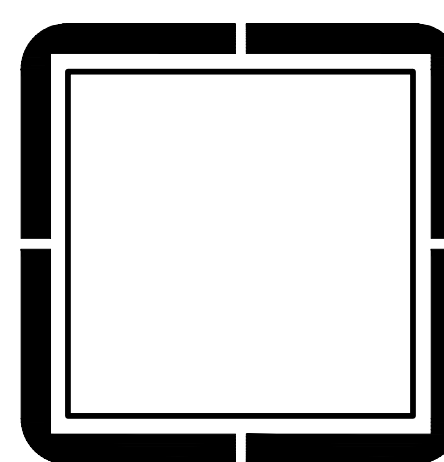
SHEET NO.
A2.2

SITE DEVELOPMENT REVIEW DRAWINGS



1 BUILDING FLOOR PLAN
 1/32" = 1'-0"

- KEYNOTES:**
- ① (N) LOADING DOCK
 - ② COMPRESSOR EQUIPMENT
 - ③ STORAGE TANKS & MECH. EQUIPMENT
 - ④ PREFORM STORAGE CONTAINERS
 - ⑤ NOT USED
 - ⑥ (E) FIRE SPRINKLER WATER RISER & DCDA
 - ⑦ (E) PRIMARY BUILDING ENTRANCE
 - ⑧ SAFE WALKING ZONE - "SAFETY YELLOW" PAINTED STRIPING ON FLOOR, MIN WIDTH = 5'-0". VERIFY LOCATION w/ OWNER PRIOR TO COMMENCEMENT OF PAINTING
 - ⑨ EXISTING STRIPED SAFE WALKING ZONE. FIELD VERIFY LOCATION & MINIMUM 5'-0" WIDTH



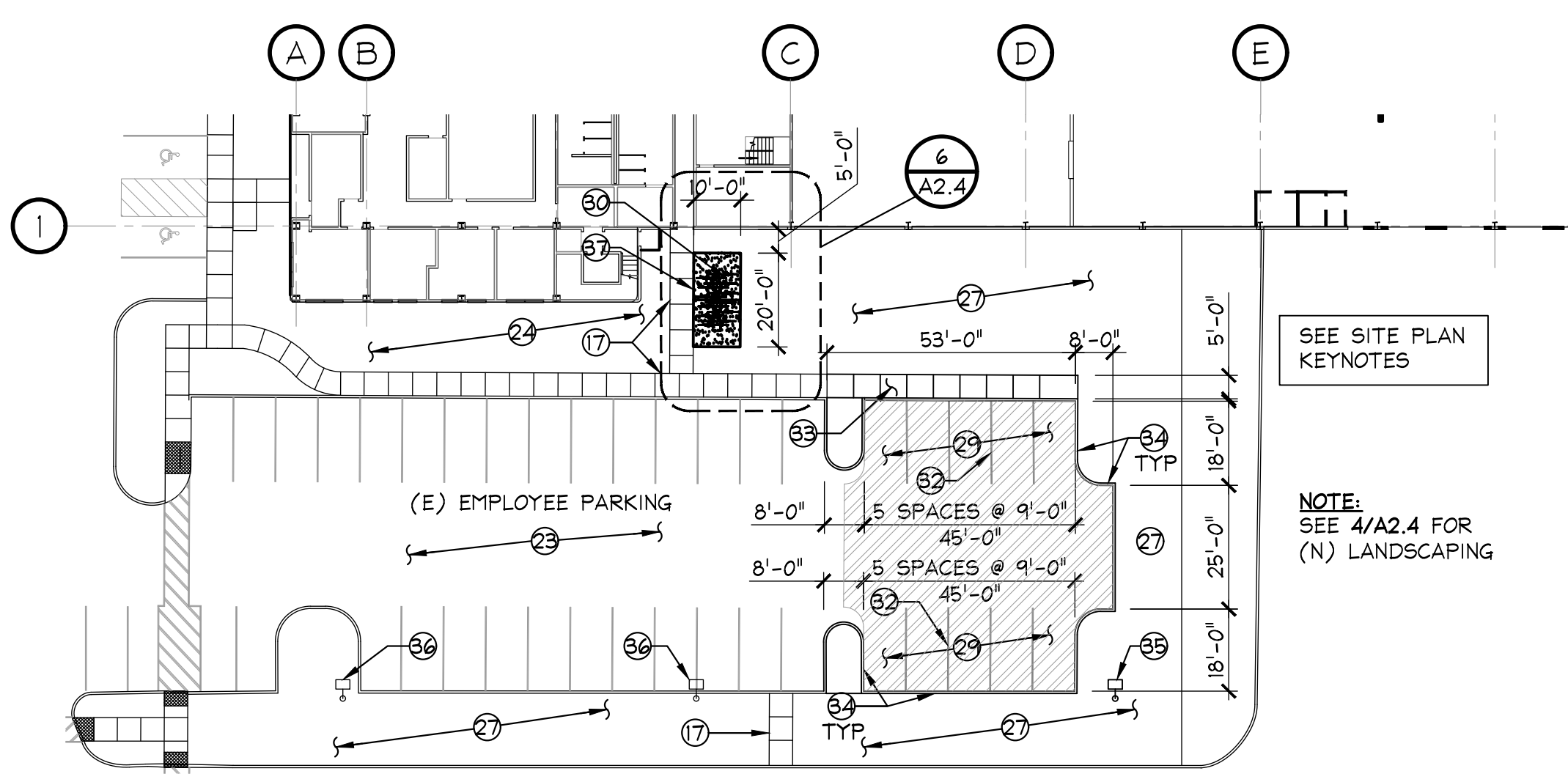
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SUITE 102
VANCOUVER, WASHINGTON

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WAREHOUSE ADDITION
9750 SW BARBER STREET
WILSONVILLE, OR 97070

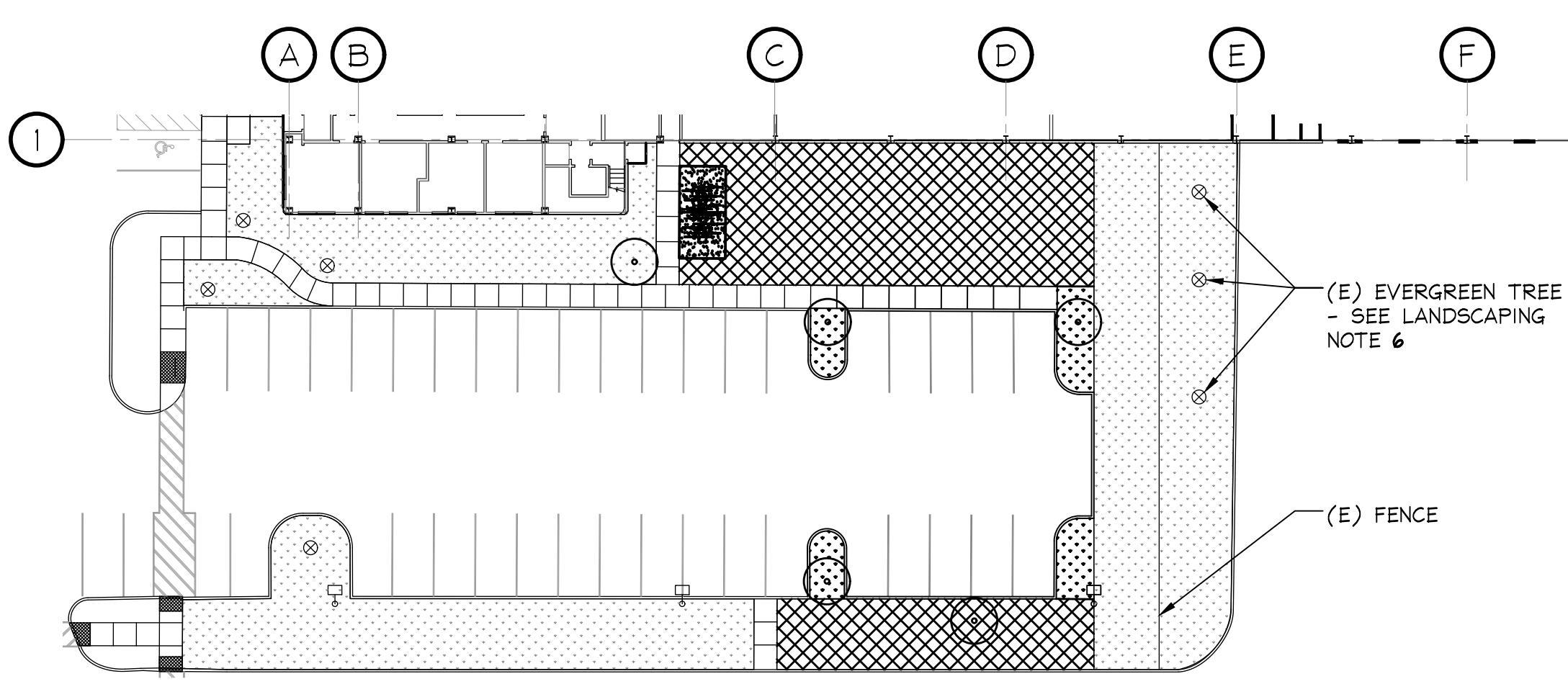


REVISIONS	
VERIFY SCALE	DATE: 10/26/2016
SHEET TITLE	ENLARGED PLANS
DESIGNER	C. JENKINS
PROJECT NO.	16-1802

SITE DEVELOPMENT REVIEW DRAWINGS
SHEET NO.
A2.4



3 ENLARGED PARKING LOT PLAN
1" = 30'-0"



LEGEND:

- ⊗ EXISTING TREE TO REMAIN
- ▨ EXISTING LAWN
- ▩ NEW LAWN
- ▧ NEW GROUND COVER PER PLANT LIST
- NEW TREE - SPECIES PER PLANT LIST

PLANT LIST:

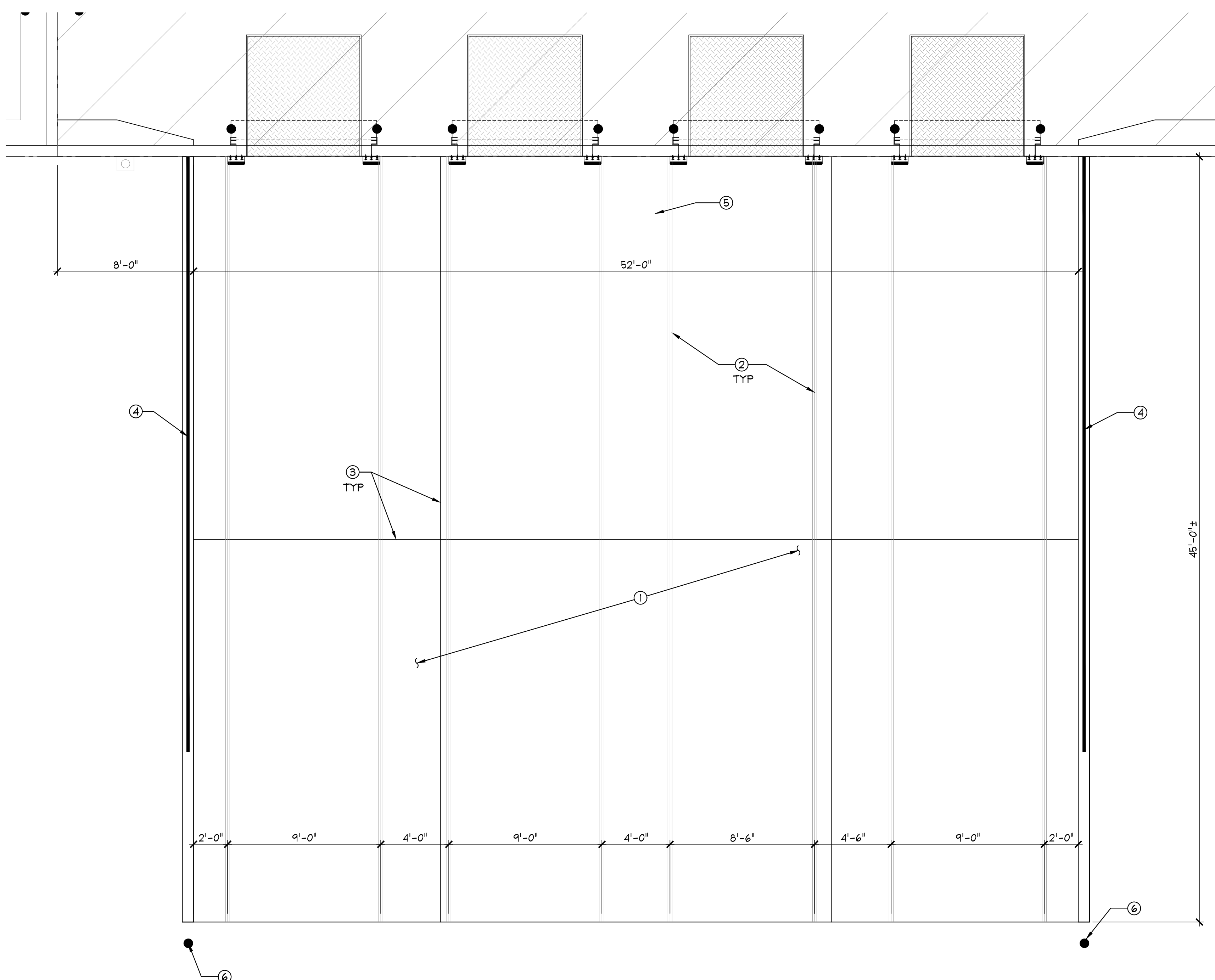
LATIN NAME / Common Name	SIZE	SPACING	HEIGHT
GROUND COVER - CONTRACTOR'S OPTION			
ARCTOSTAPHYLOS UVA-URSI "MASS." Massachusetts Kinnikinnick	1 gal.	3' o.c.	--
COTONEASTER DAMMERI "EICHOLZ" Eicholz Cotoneaster	1 gal.	4' o.c.	--
HELICTOTRICHON SEMPERVIREN Blue Oat Grass	1 gal.	2' o.c.	--
TREES - CONTRACTOR'S OPTION			
ACRE RUBRUM "OCTOBER GLORY" October Glory Maple	2" cal.	AS SHOWN	10'-0" MIN
ACRE RUBRUM "BRANDYWINE" Brandywine Maple	2" CAL.	AS SHOWN	10'-0" MIN

LANDSCAPING CALCULATIONS:

NEW PAVED PARKING	2,945 SF
REQ'D LANDSCAPING	10 x 2,945 = 195 SF
LANDSCAPING PROVIDED	525 SF

LANDSCAPING NOTES:

- CONTRACTOR IS TO VERIFY ALL PLANT QUANTITIES.
- ADJUST PLANTINGS IN THE FIELD AS NECESSARY.
- PROJECT IS TO BE IRRIGATED BY AN AUTOMATIC, UNDERGROUND SYSTEM WHICH WILL PROVIDE FULL COVERAGE FOR ALL PLANT MATERIAL. SYSTEM IS TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. GUARANTEE SYSTEM FOR A MINIMUM OF ONE YEAR. SHOW DRIP SYSTEMS AS ALTERNATE BID ONLY.
- ALL PLANTS ARE TO BE FULLY FOLIAGED, WELL BRANCHED, AND TRUE TO FORM.
- LANDSCAPE CONTRACTOR IS TO COORDINATE WITH THE GENERAL CONTRACTOR IN REGARDS TO REPAIRING OR REPLACING EXISTING LANDSCAPING DAMAGED DURING CONSTRUCTION.
- PROVIDE PROTECTION FOR EXISTING TREES DURING CONSTRUCTION.
- GROUNDCOVER SHALL BE EQUAL TO OR BETTER THAN THE PLANTING SIZE AND SPACING INDICATED AND SUFFICIENT TO COVER AT LEAST 80% OF THE BARE SOIL IN REQUIRED LANDSCAPE AREAS WITHIN THREE (3) YEARS OF PLANTING.
- PRESERVE AND RE-USE NATIVE TOPSOIL TO THE EXTENT FEASIBLE. INTEGRATE COMPOST-AMENDED TOPSOIL IN ALL AREAS TO BE LANDSCAPED.
- ALL TREES SHALL BE TYPICAL OF THEIR TYPE AS DESCRIBED IN CURRENT AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS AND SHALL BE BALLED AND BURLAPPED.
- TREES: DECIDUOUS TREES SHALL HAVE A MINIMUM HEIGHT OF (10) TEN FEET AT PLANTING. EVERGREEN TREES SHALL HAVE A MINIMUM HEIGHT OF (12) TWELVE FEET AT PLANTING.
- SHRUBS: ALL SHRUBS TO BE WELL BRANCHED AND TYPICAL OF THEIR TYPE AS DESCRIBED IN CURRENT AAN STANDARDS AND EQUAL TO OR BETTER THAN 2-GALLON CONTAINERS AND 10' TO 12" SPREAD.
- PLANT MATERIALS UNDER TREES OR LARGE SHRUBS. APPROPRIATE PLANT MATERIALS SHALL BE INSTALLED BENEATH THE CANOPIES OF TREES AND LARGE SHRUBS TO AVOID THE APPEARANCE OF BARE GROUND IN THOSE LOCATIONS.
- NON-HORTICULTURAL PLASTIC SHEETING OR OTHER IMPERMEABLE SURFACE WILL NOT BE PLACED UNDER MULCH. SURFACE MULCH OR BARK DUST ARE TO BE FULLY RAKED INTO SOIL OF APPROPRIATE DEPTH, SUFFICIENT TO CONTROL EROSION, AND ARE CONFINED TO AREAS AROUND PLANTINGS. AREAS EXHIBITING ONLY SURFACE MULCH, COMPOST OR BARK DUST ARE NOT USED AS SUBSTITUTES FOR PLANT AREAS.



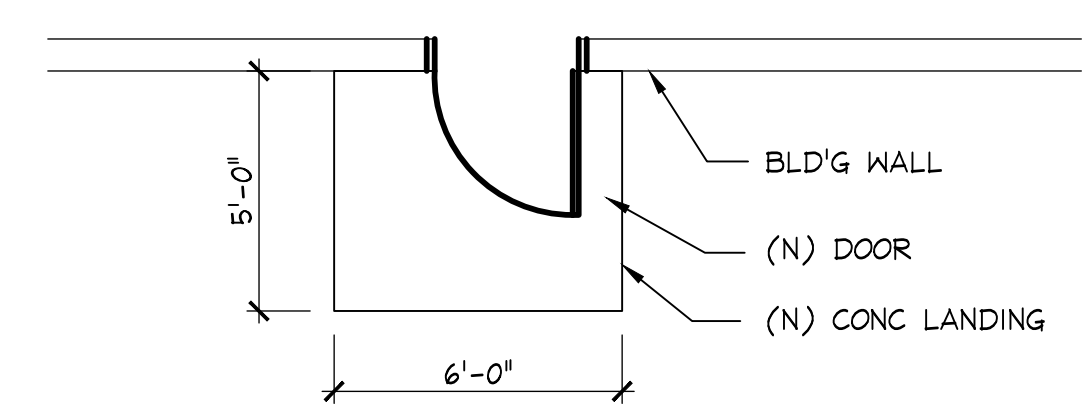
1 ENLARGED LOADING DOCK PLAN
1/4" = 1'-0"

SITE PLAN KEYNOTES:

- (E) FIRE RISER & FIRE DEPARTMENT ACCESS DOOR
- (E) FIRE APPARATUS ACCESS LANE. ALL PAVED AREAS ALONG FIRE LANE ARE 26'-0" IN WIDTH OR WIDER
- (E) 3' WIDE PAINT STRIPE DENOTING EDGE OF ALLOWED PALLET STORAGE AREA & LETTERING DENOTING "LIMIT LINE OF STORAGE" PLACED AT 75'-0" ON CENTER MAX.
- (E) 6' HIGH LETTERING DENOTING "NO STORAGE" AT 100' INTERNALS ALONG FIRE LANE AT EAST & SOUTH SIDES OF PROPOSED EXPANSION
- FIRE LANE RADIUS COMPLIES WITH REQUIRED 28'-0" INSIDE & 48'-0" OUTSIDE RADIUS
- (E) 3'-0" WIDE MIN CROSS-STRIPPED AREA DENOTING "NO STORAGE" TO ALLOW FOR ACCESS TO DOORS FROM FIRE LANE
- (E) 32'-0" x 25'-0" CROSS-STRIPPED AREA DENOTING "NO PARKING - FIRE LANE"
- (E) 22'-0" (TOTAL WIDTH) SWING GATE w/ KNOW BOX FOR FIRE DEPARTMENT ACCESS
- (E) 10'-0" x 15'-0" CROSS-STRIPPED AREA IN FRONT OF FIRE HYDRANTS DENOTING "NO PARKING" FOR ACCESS TO HYDRANTS
- DENOTES REQUIRED SPACE FOR FIRE TRUCK HAMMERHEAD TURN AROUND
- (E) GATE & FIRE DEPARTMENT ACCESS
- (E) FIRE DEPARTMENT CONNECTION
- (E) FIRE DEPARTMENT CONNECTION
- (E) 3'-0" WIDE CROSS-STRIPPED PEDESTRIAN PATHWAY w/ TACTILE WARNING STRIPS ALONG EACH SIDE. PROVIDED FOR CONNECTION TO PUBLIC WAY
- (E) ADA PARKING SPACES - (4) TOTAL
- EXIT TERMINATION & CONNECTION TO PUBLIC WAY
- (E) 5'-0" WIDE CONCRETE SIDEWALK
- ASSUMED PROPERTY LINE BETWEEN BUILDINGS
- PROPERTY LINE
- CENTERLINE OF STREET ROW
- (E) FIRE HYDRANT
- AREA OF (E) LANDSCAPING TO BE REMOVED & REPLANTED w/ LAWN
- (E) PAVEMENT
- (E) LANDSCAPING
- (N) PGE SUPPLIED TRANSFORMER (PRELIMINARY LOCATION)
- (N) EQUIPMENT
- (N) LANDSCAPING (SOD)
- (N) FIRE HYDRANT
- (N) PAVEMENT - SEE CIVIL DRAWINGS
- (N) BICYCLE RACK - 12 SPACES
- (E) CHAIN LINK FENCE w/ SIGHT OBSCURING VINYL SLATS
- (N) PAINTED STRIPING, TYP
- (N) CONCRETE CURB & SIDEWALK
- (N) CONCRETE CURB
- (N) POLE LIGHT - MATCH HEIGHT OF (E) PARKING LOT POLE LIGHTS
- (E) POLE LIGHT
- (N) REINFC CONCRETE SLAB w/ COMPACTED GRANULAR FILL
- (N) PARKING SPACE

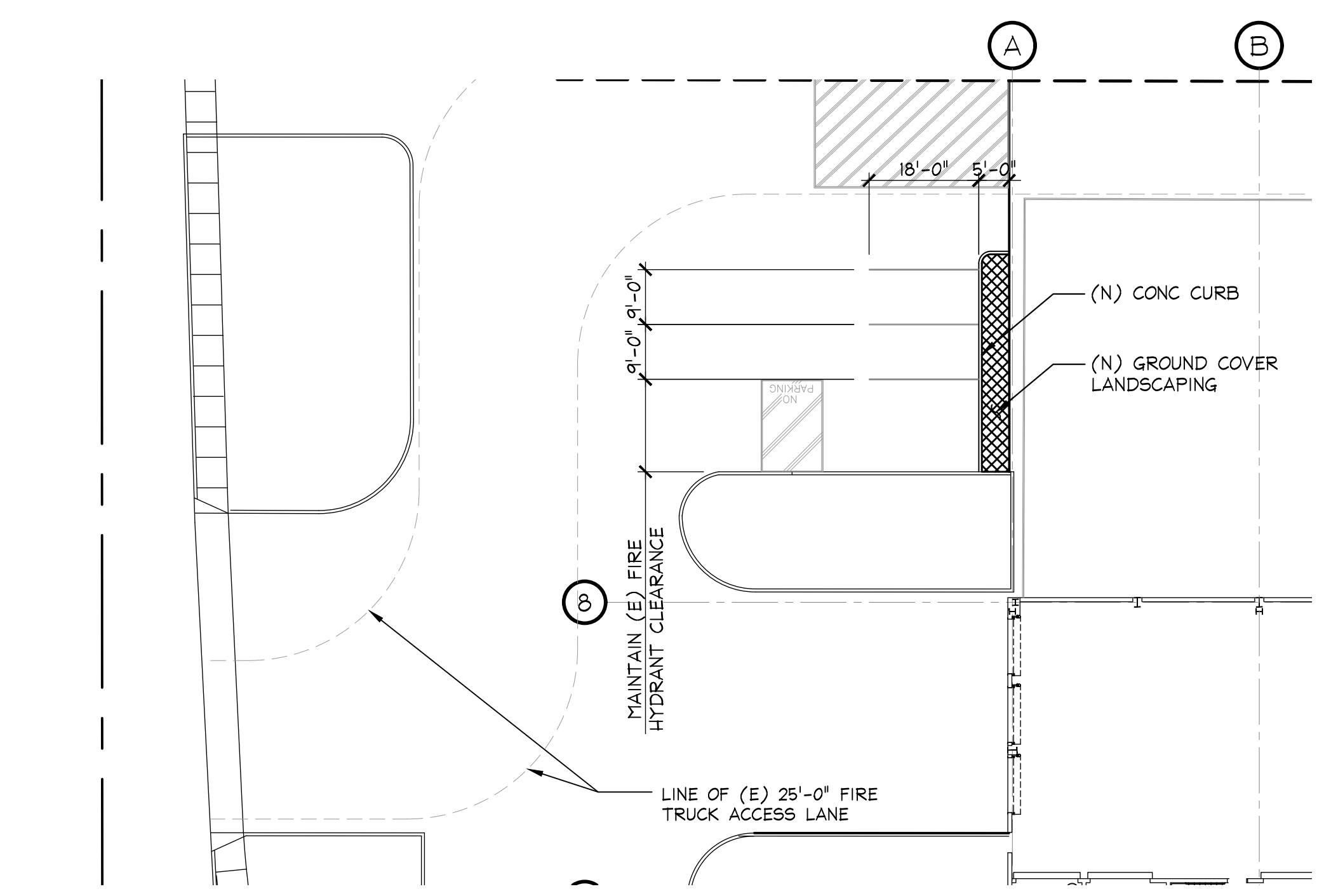
KEYNOTES

- (N) TRUCK DOCK SLAB
- (N) PAINTED STRIPING
- CONTROL JOINT
- (N) GUARDRAIL
- (N) CATCH BASIN
- (N) BOLLARD TO MATCH (E) PAINT "SAFETY YELLOW"

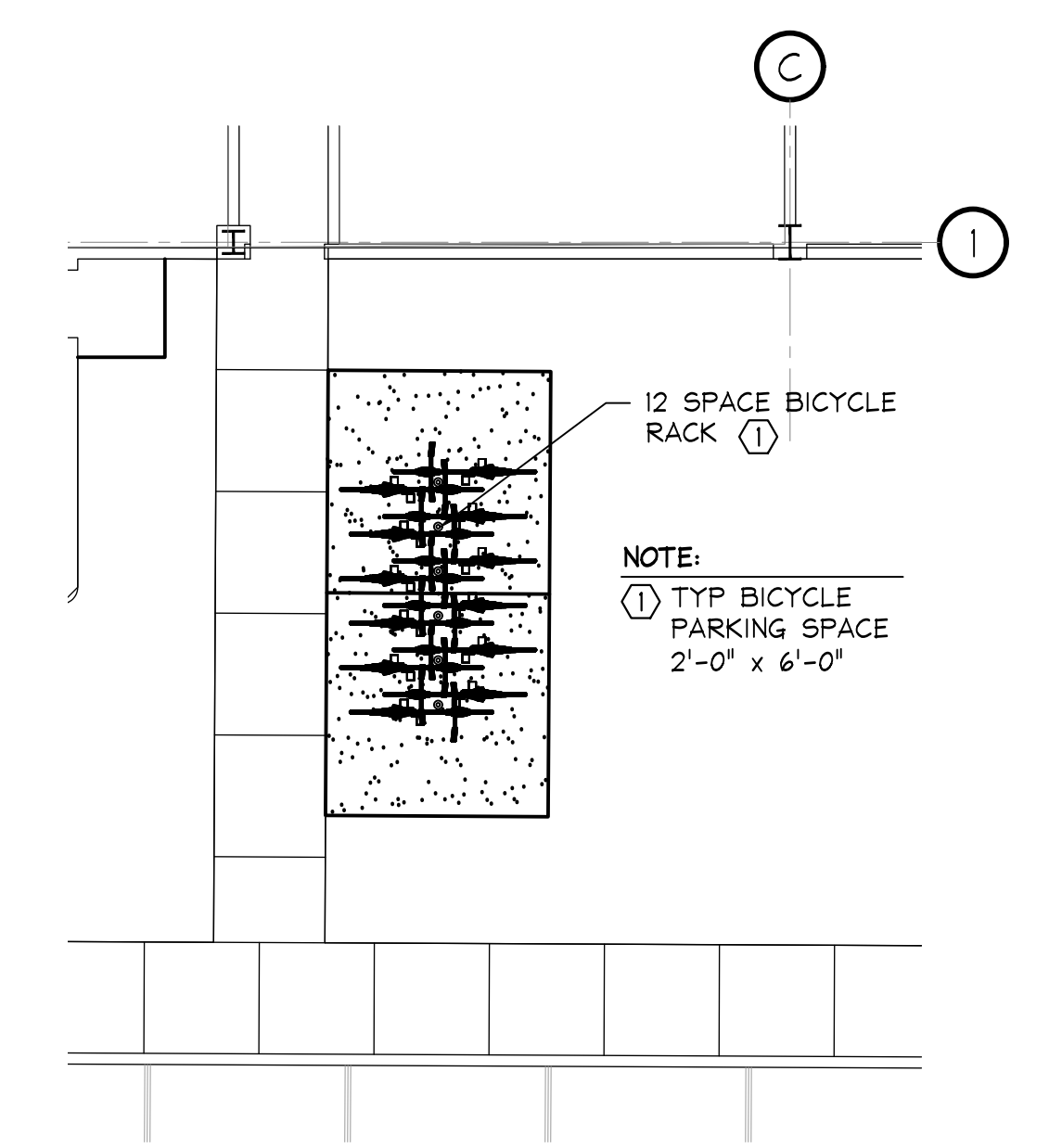


2 TYP EGRESS DOOR ENLARGED PLAN
1/4" = 1'-0"

4 ENLARGED PARKING LOT LANDSCAPING PLAN
1" = 30'-0"

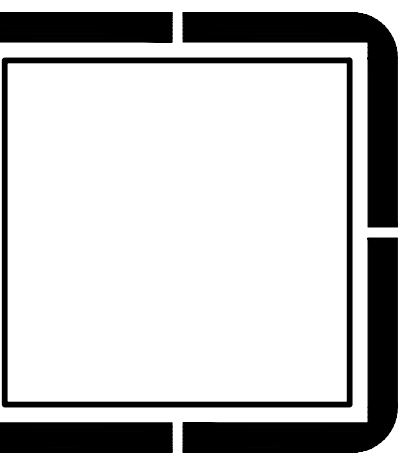


5 ENLARGED SITE PLAN AT NORTHEAST CORNER
1" = 20'-0"

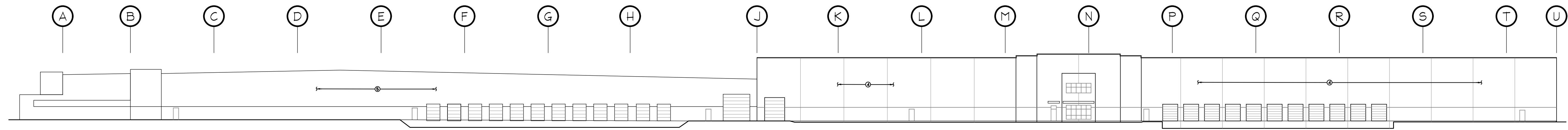


6 ENLARGED SITE PLAN AT BICYCLE PARKING
1/8" = 1'-0"

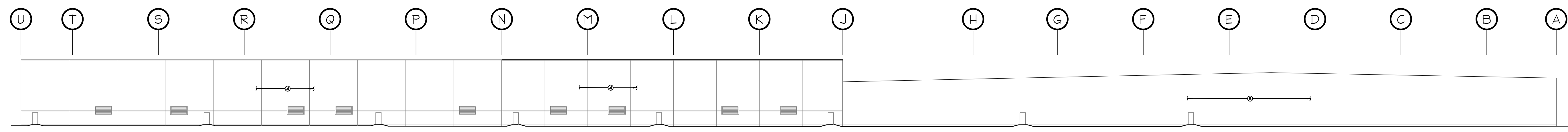
SITE DEVELOPMENT REVIEW DRAWINGS



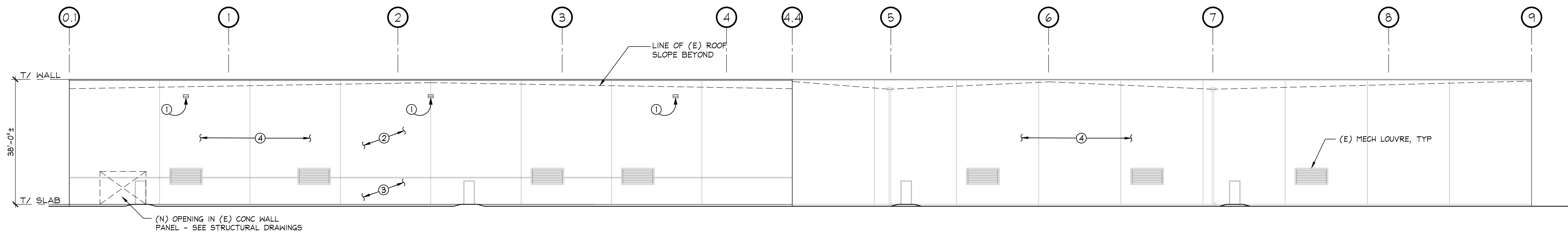
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1 EXISTING BUILDING ELEVATION - WEST
 1/32" = 1'-0"



2 EXISTING BUILDING ELEVATION - EAST
 1/32" = 1'-0"



3 EXISTING BUILDING ELEVATION - SOUTH
 1/16" = 1'-0"

- KEYNOTES:**
- ① REMOVE (E) LIGHT FIXTURE
 - ② (E) PAINT COLOR #1
 - ③ (E) PAINT COLOR #2
 - ④ (E) CONCRETE WALL PANEL, TYP
 - ⑤ (E) METAL SIDING

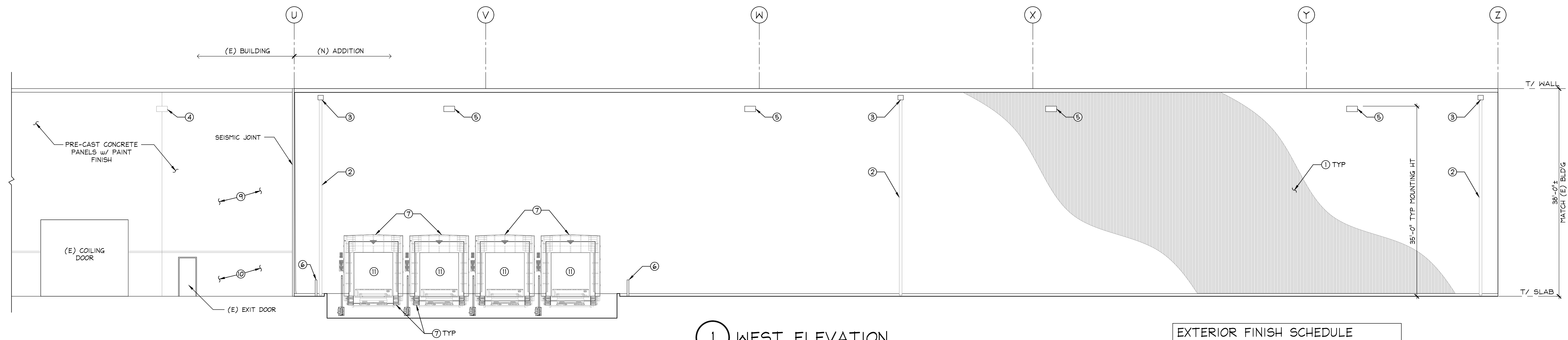
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REVISIONS	VERIFY SCALE <small>ASK FOR ONE FOOT ON ORIGINAL DRAWING</small> <small>IF YOU ARE NOT ON ORIGINAL DRAWING, SCALE ACCORDINGLY.</small>
SHEET TITLE EXISTING BUILDING ELEVATIONS	DRAWN BY C. JENKINS
DATE 10/26/2016	PROJECT NO. 16-1822

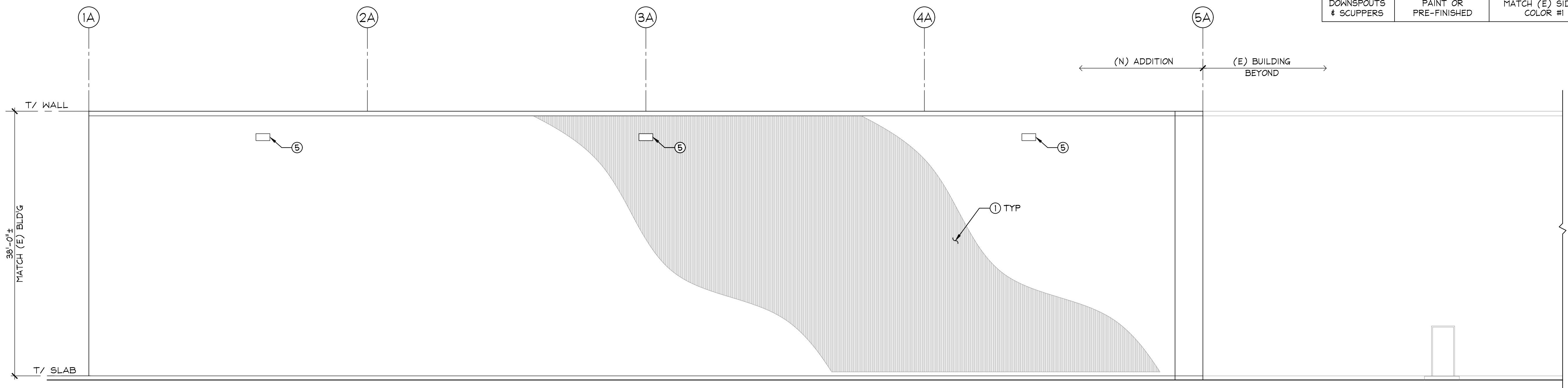
SHEET NO.
A3.1

SITE DEVELOPMENT REVIEW DRAWINGS



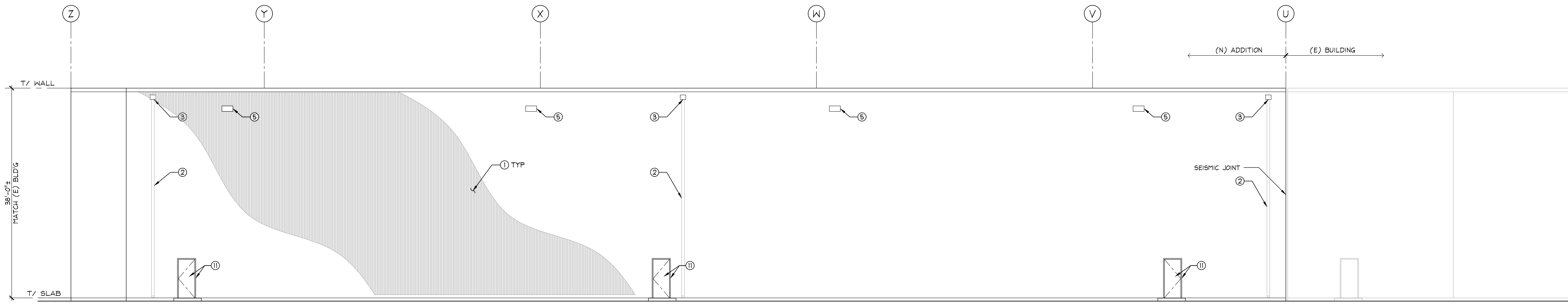
1 WEST ELEVATION
1/8" = 1'-0"

ITEM	FINISH	REMARKS
METAL SIDING & FLASHING	PRE-FINISHED BY MFR	MATCH (E) SIDING COLOR #1
OVERHEAD DOORS	PRE-FINISHED BY MFR	MATCH (E) O.H. DOOR COLOR #3
H.M. DOORS & FRAMES	PAINT	MATCH (E) H.M. DOOR COLOR #3
DOWNSPOUTS & SCUPPERS	PAINT OR PRE-FINISHED	MATCH (E) SIDING COLOR #1

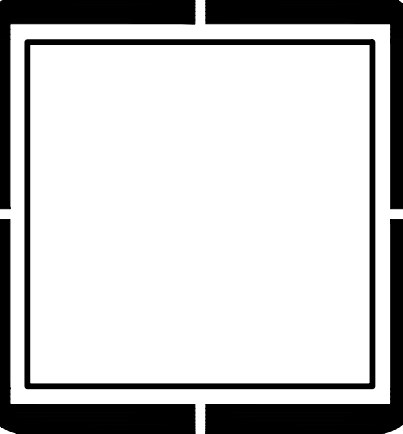


2 SOUTH ELEVATION
1/8" = 1'-0"

- KEYNOTES:**
- ① METAL WALL PANEL TO MATCH (E) PAINT COLOR #1
 - ② DOWNSPOUT TO MATCH (E) PAINT COLOR #1
 - ③ SCUPPER
 - ④ (E) WALL PACK LIGHTING
 - ⑤ (N) WALL PACK LIGHTING TO MATCH (E)
 - ⑥ GUARDRAIL TO MATCH (E)
 - ⑦ DOCK SHELTER
 - ⑧ DOCK BUMPER
 - ⑨ PAINT COLOR #1 "SANDSTONE"
 - ⑩ PAINT COLOR #2 "WARM GRAY"
 - ⑪ (N) DOOR & FRAME - PAINT COLOR #3 "CHARCOAL"



3 EAST ELEVATION
1/8" = 1'-0"



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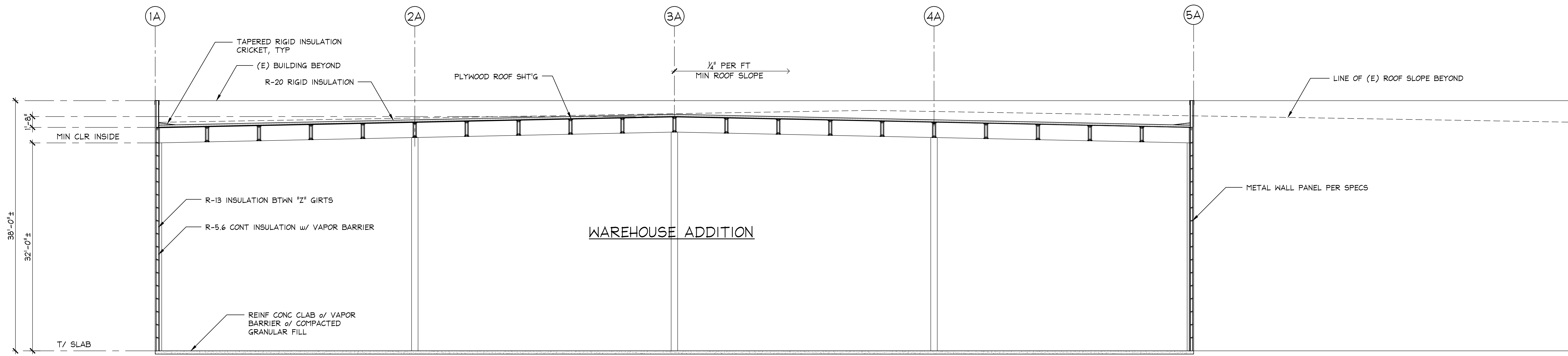
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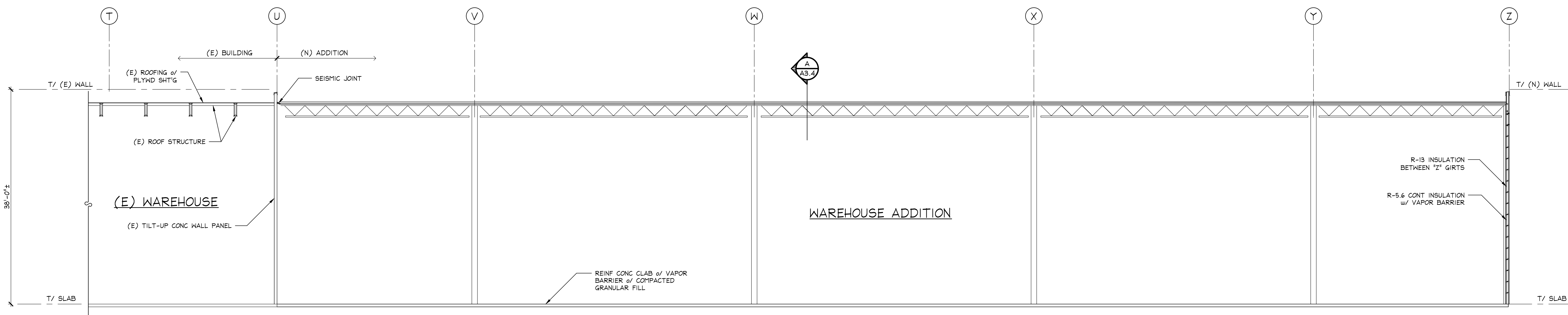
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DATE 10/26/2016	PROJECT NO. 16-1802

SHEET NO.
A3.2

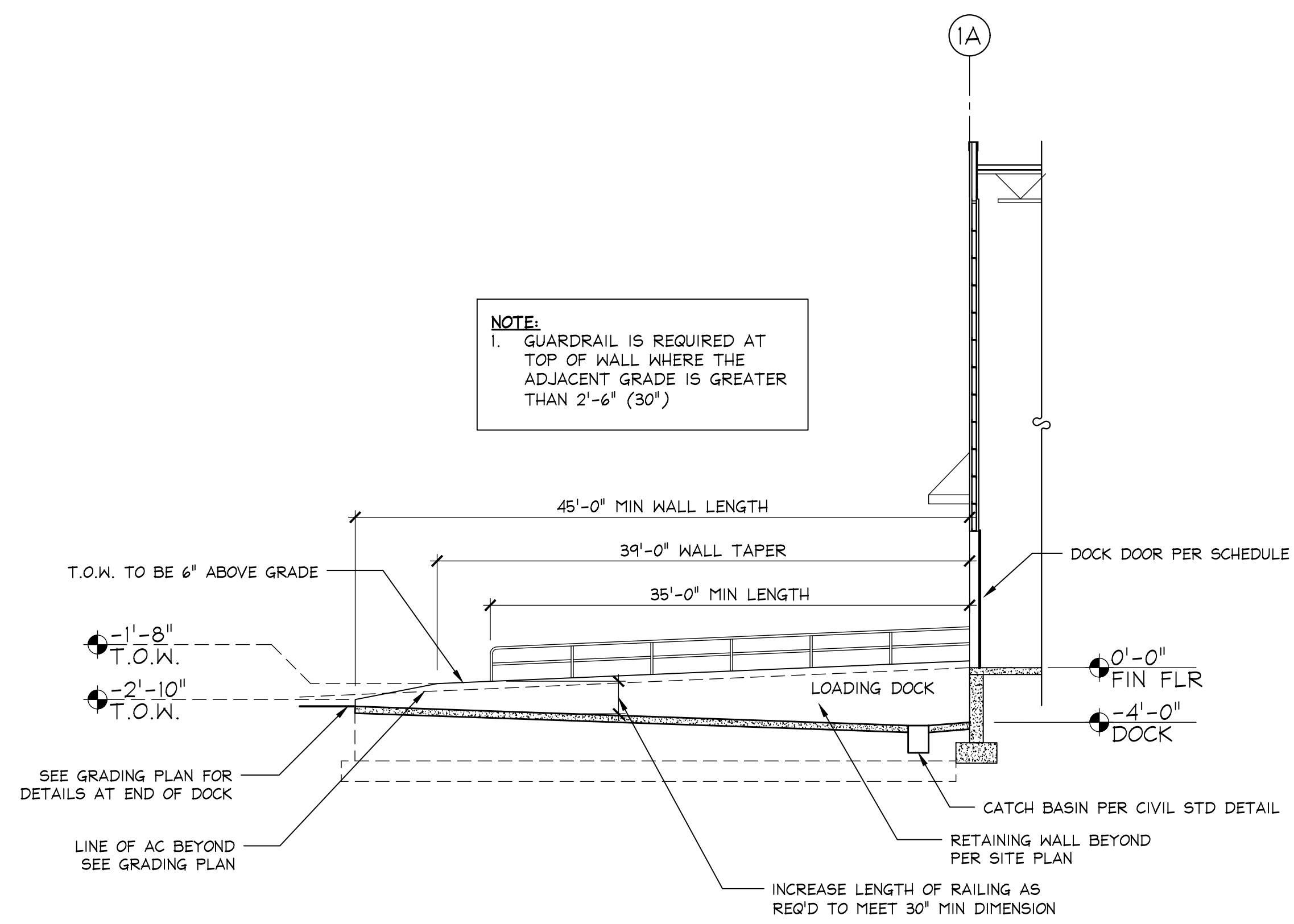
SITE DEVELOPMENT REVIEW DRAWINGS



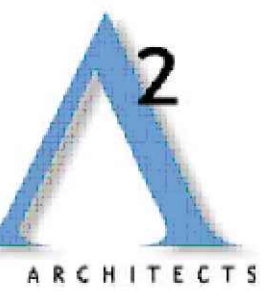
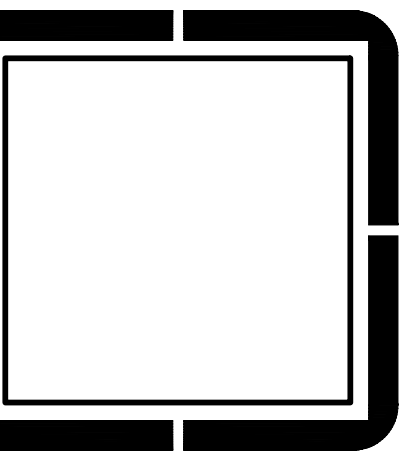
A BUILDING SECTION
1/8" = 1'-0"



B BUILDING SECTION
1/8" = 1'-0"



C LOADING DOCK SECTION
1/8" = 1'-0"



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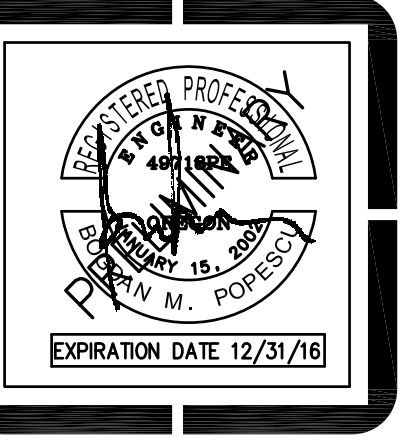
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VERIFY SCALE
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IF NOTING AND/OR SCALES DIFFERENTIALLY

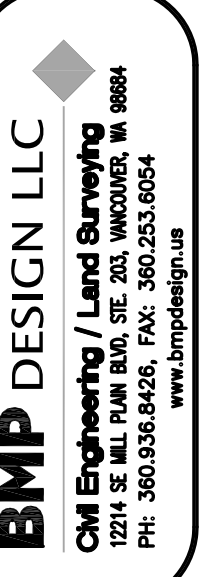
SHEET TITLE WAREHOUSE ADDITION BUILDING SECTIONS	DESIGNED BY C. JENNINGS
DATE 02/01/2016	PROJECT NO. 15-1822

SITE DEVELOPMENT REVIEW DRAWINGS

SHEET NO.
A3.3

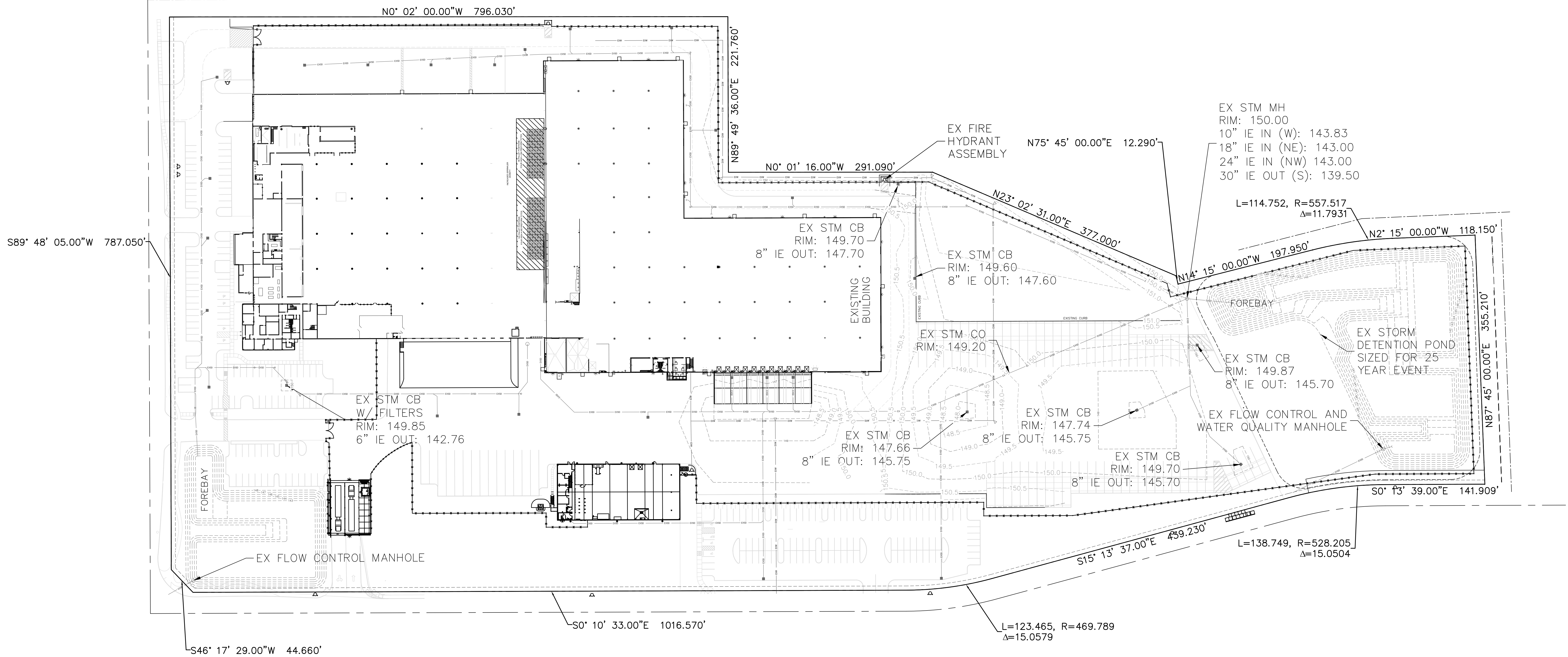
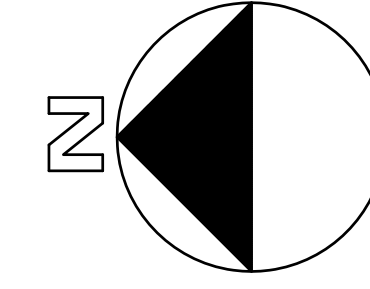
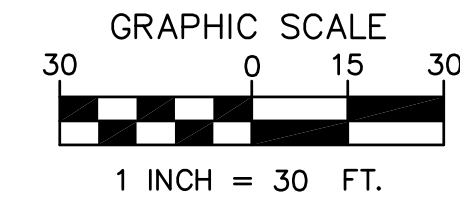


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LEGEND

- — — — — PROPERTY LINE
- - - - - 150 - - - - - EXISTING CONTOUR LINE
- 150 — — — — PROPOSED CONTOUR LINE
- ● — ● — — — — EROSION CONTROL FENCE
- EXW — — — — EXISTING PUBLIC WATER LINE
- W — W — — — — PROPOSED PUBLIC WATER LINE
- EXSD — — — — EXISTING STORM DRAIN LINE
- SD — SD — — — — PROPOSED STORM DRAIN LINE
- ▒ AC AREA TO BE REGRADED



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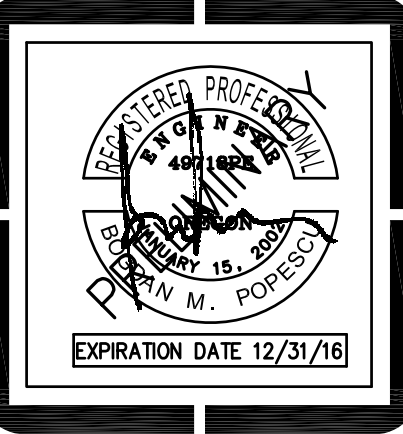
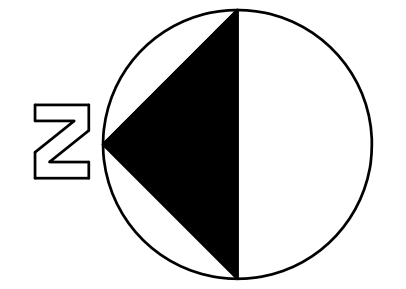
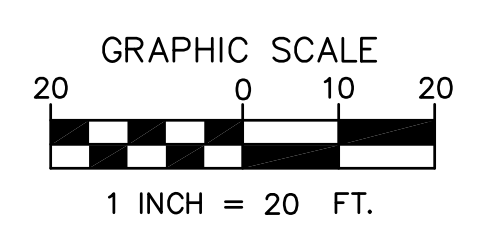
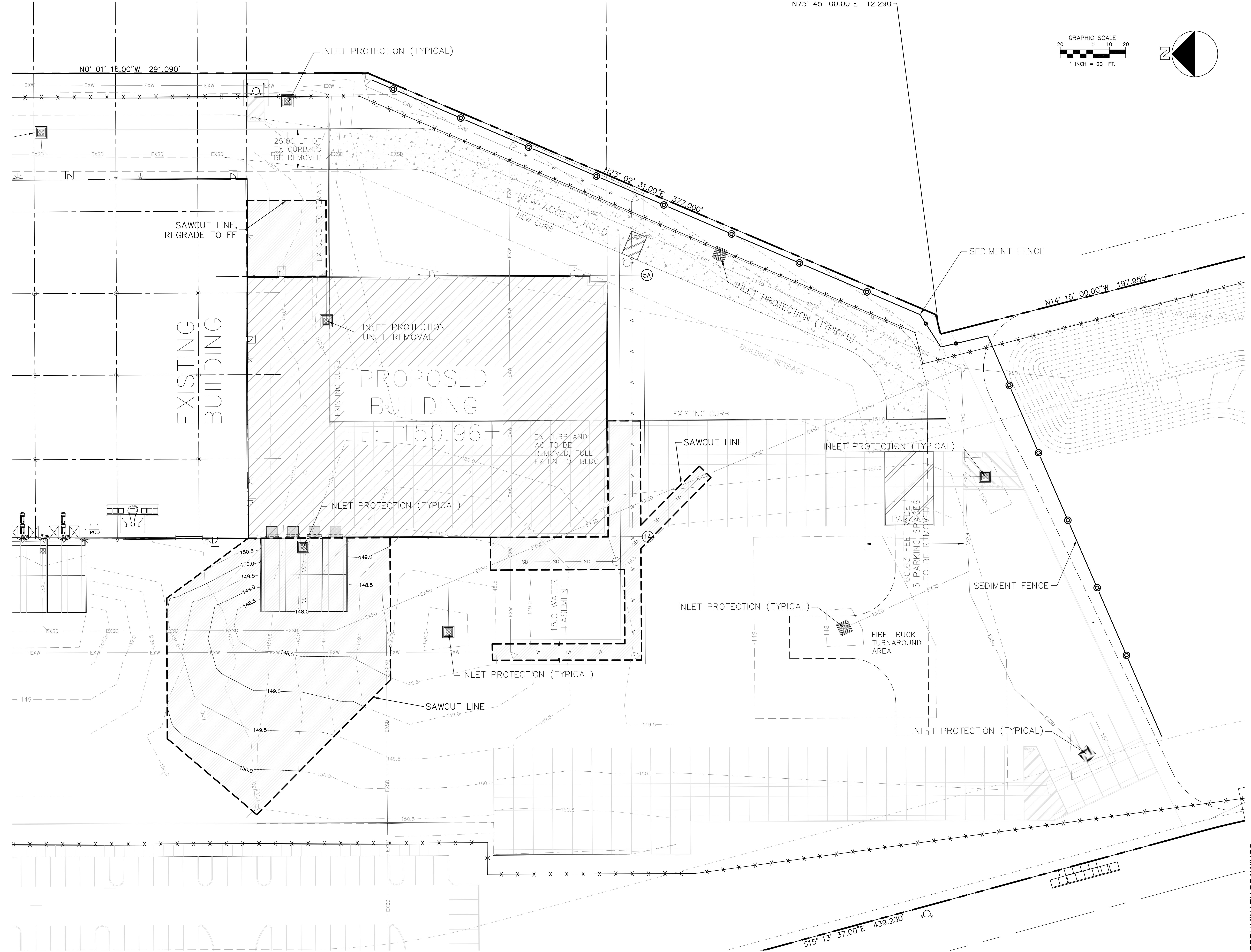


REVISIONS	

SHEET TITLE: TOPOGRAPHIC AND BOUNDARY SURVEY
 DATE: 2/25/2016
 DRAWN BY: ST. CASE
 CHECKED BY: ST. CASE
 BMP PROJ #16101

SHEET NO. C1.0

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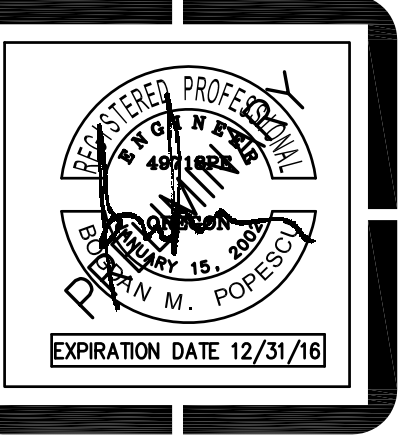


NO.	REVISIONS

VERIFY SCALE DRAW BY: [] CHECKED BY: [] IN FIELD: [] SCALES: []	PRELIMINARY GRADING AND EROSION CONTROL PLAN DATE: 2/25/2016 PROJECT: ST. CASE BMP PROJ #16101
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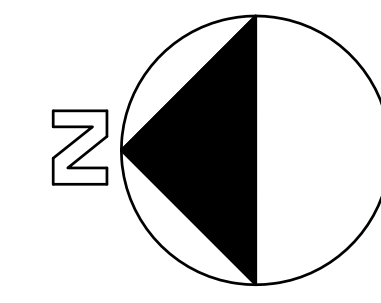
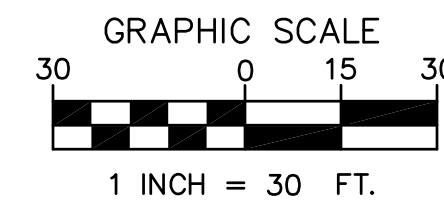
PRELIMINARY DRAWINGS

SHEET NO.
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P.O. Box 306, Wilsonville, OR 97150
www.bmpdesign.com



N0° 02' 00.00"W 796.030'

N89° 49' 36.00"E 221.760'

37.050'

Barber Street

2 NEW PARKING SPACES

TRAVEL PATH TO WORK AREA

INLET PROTECTION (TYPICAL)

INLET PROTECTION (TYPICAL)

EX STM CB
W/ FILTERS
RIM: 149.85
6" IE OUT: 142.76

EXTEND 5'
CONCRETE
SIDEWALK

10 NEW
PARKING
SPACES

FOREBAY

EX FLOW CONTROL MANHOLE

INCREASED PERIMETER
DENSITY

INCREASED PERIMETER
DENSITY

CONCRETE PAD
BIKE PARKING
SEE ARCH. PLANS

SEE SHEET
C2.0

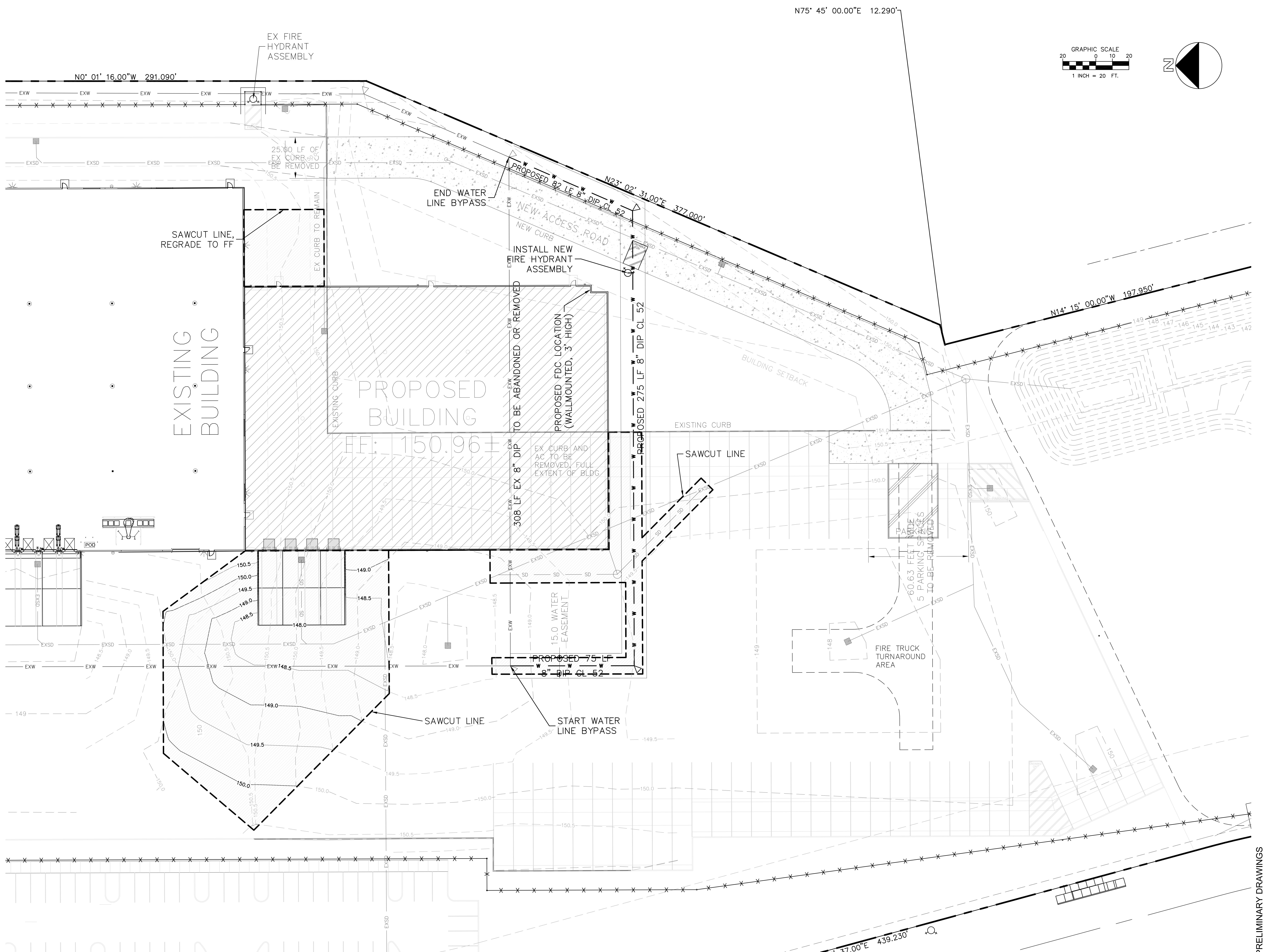
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REVISIONS
VERIFY SCALE DRAW BY: [] CHECKED BY: [] DATE: []
PRELIMINARY PARKING AND SITE EROSION CONTROL
DATE: 2/25/2016 PROJECT: [] DRAWN BY: [] CHECKED BY: [] SCALE: AS SHOWN
PROJECT NO.: [] SHEET NO.: []

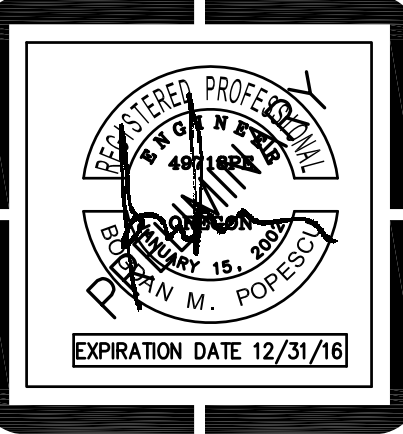
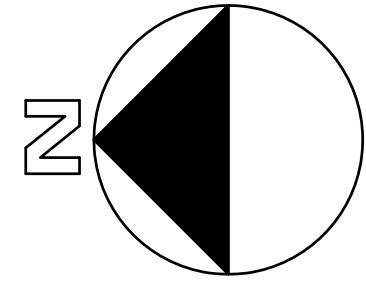
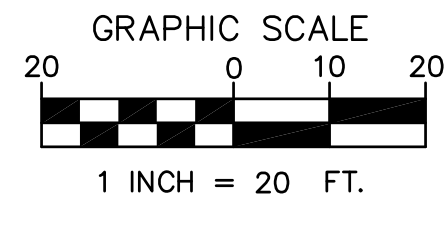
PRELIMINARY DRAWINGS

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C2.1



N75° 45' 00.00"E 12.290'

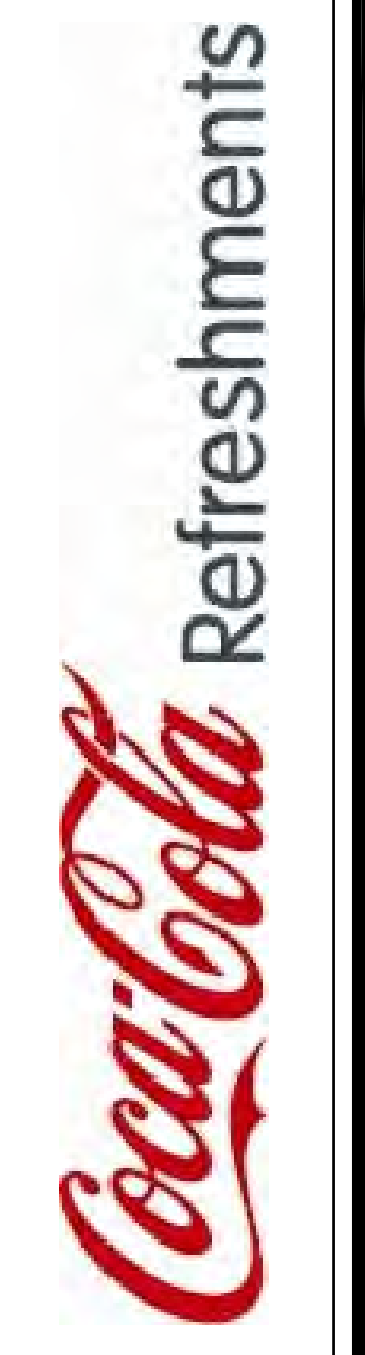
N0° 01' 16.00"W 291.090'



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BMP DESIGN LLC
 Civil Engineering / Land Surveying
 1011 S. W. BARBER ST., SUITE 100, WILSONVILLE, OR 97150
 PH: 503.336.3333 FAX: 503.336.3334
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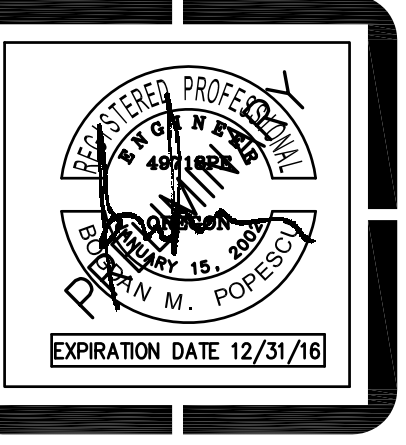
**BOTTLING & DISTRIBUTION CENTER
 WAREHOUSE ADDITION**
 9750 SW BARBER STREET
 WILSONVILLE, OR 97070



REVISIONS
VERIFY SCALE
PRELIMINARY UTILITY PLAN
DATE: 2/25/2016
PROJECT: ST. CASE
DRAWN BY: ST. CASE
CHECKED BY: ST. CASE
PROJECT NO.: BMP-PRI-16101

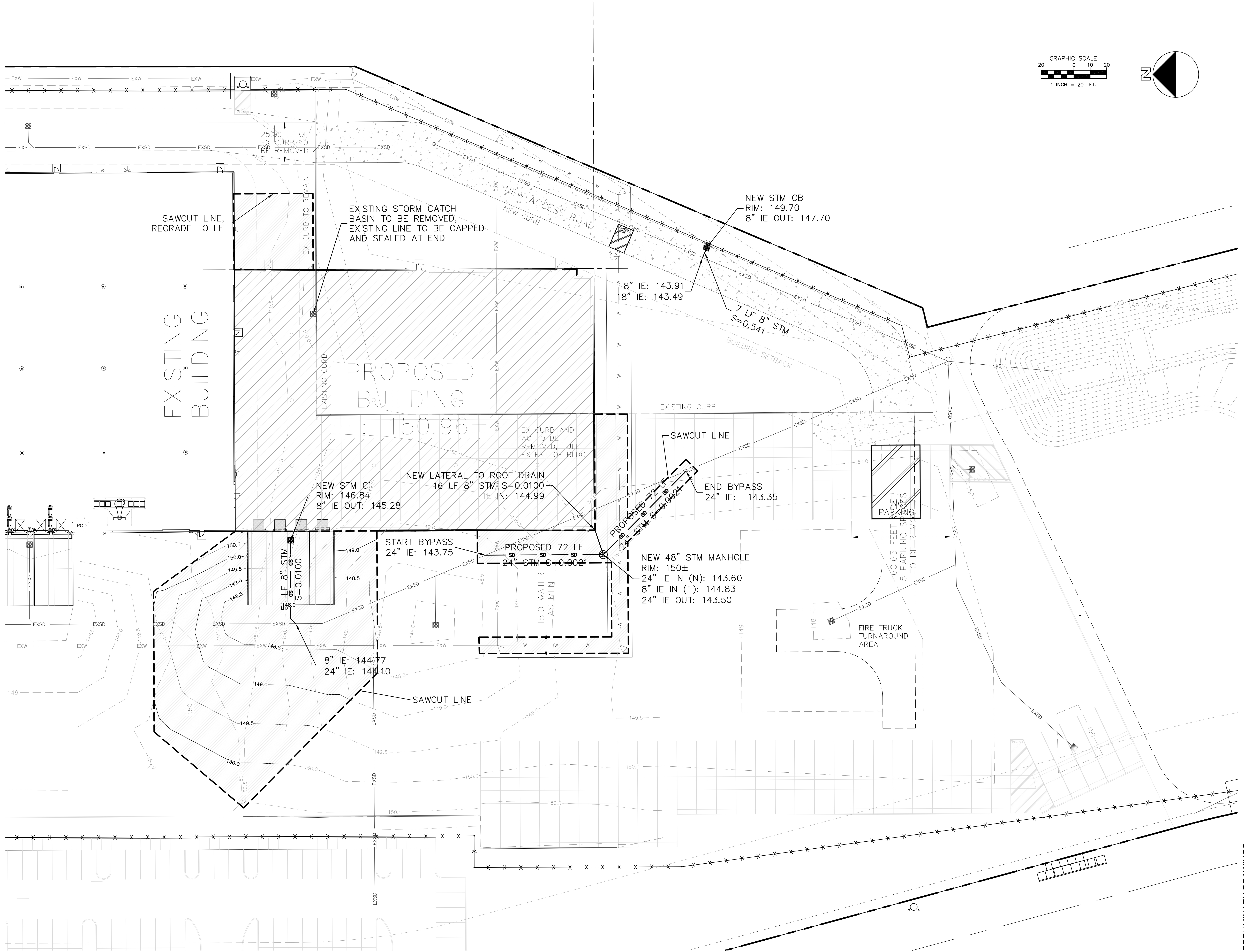
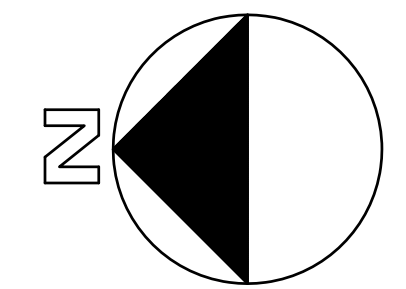
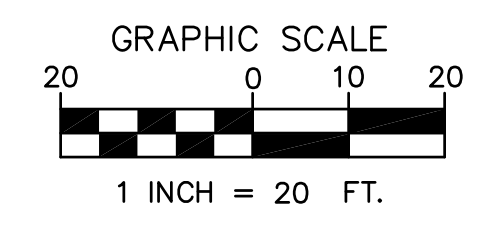
PRELIMINARY DRAWINGS

SHEET NO.
C3.0



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BOTTLING & DISTRIBUTION CENTER
WAREHOUSE ADDITION
9750 SW BARBER STREET
WILSONVILLE, OR 97170



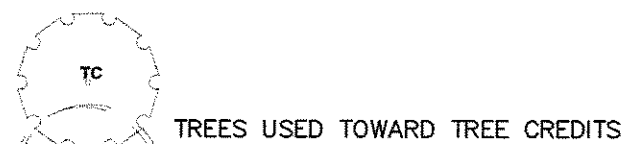
REVISIONS	VERIFIED SCALE	PRELIMINARY STORMWATER MANAGEMENT PLAN	SHEET TITLE
	DATE OF ONE INCH OR SMALLER SCALE: _____	DATE: 2/25/2016	PRELIMINARY STORMWATER MANAGEMENT PLAN
	DATE OF ONE INCH OR SMALLER SCALE: _____	DESIGNED BY: ST. CASE	DATE: 2/25/2016
	DATE OF ONE INCH OR SMALLER SCALE: _____	DRAWN BY: ST. CASE	PROJECT NO.: BMP-PRL-16101

PRELIMINARY DRAWINGS

SHEET NO.
C4.0

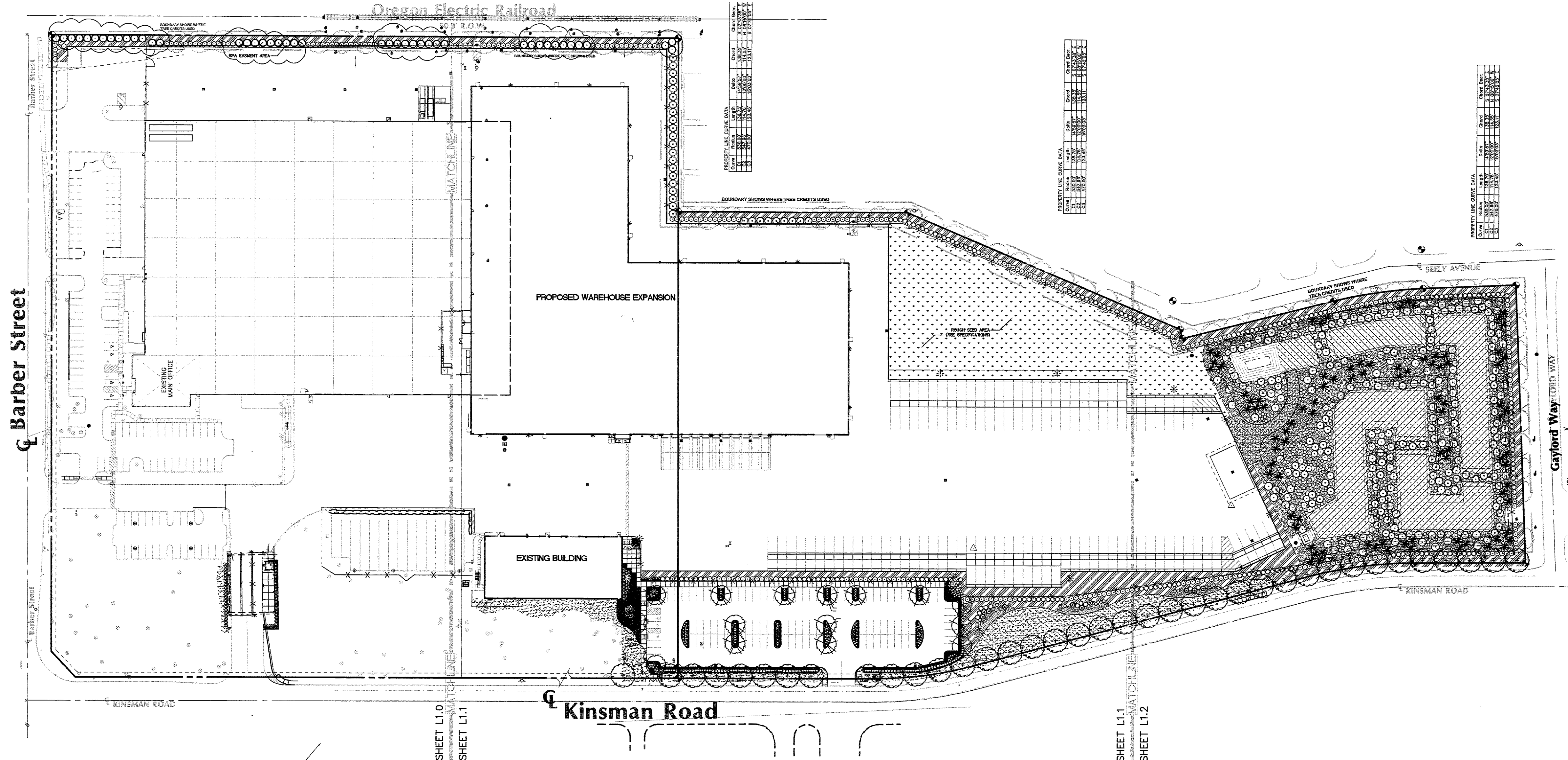
PLANT LIST:

#	SYM	LATIN NAME/ Common Name	SIZE	SPACING
GROUND COVER & PERENNIALS				
563	AUI	ARCTOSTAPHYLOS UVA-URSI "MASS." Massachusetts Kinnikinnick	1 gal.	3' o.c.
2,183	CDE	COTONEASTER DAMMERI "EICHOLZ" Eicholz Cotoneaster	1 gal.	4' o.c.
96	HS	HELIOTRICHON SEMPERVIRENS Blue Oat Grass	1 gal.	2' o.c.
SHRUBS				
91	AEG	ABELIA GRAND. "EDWARD GOUCHER" Edward Goucher Abelia	5 gal.	4' o.c.
198	AUC	ARBUTUS UNEDO "COMPACTA" Compact Strawberry Tree	5 gal.	6' o.c.
86	BMW	BUXUS MICROPHYLLA "WINTER GEM" Winter Gem Littleleaf Boxwood	2 gal.	3' o.c.
119	CPU	CISTUS PURPUREUS Purple Rock Rose	2 gal.	3' o.c.
97	CSK	CORNUS SERICEA "KELSEY" Kelsey Red-Osier Dogwood	1 gal.	30" o.c.
80	EAC	EUONYMUS ALATA "COMPACTA" Dwarf-Winged Euonymus	5 gal.	4' o.c.
102	MAC	MAHONIA AQUIFOLIUM "COMPACTA" Compact Oregon Grape	2 gal.	3' o.c.
280	MC	MYRICA CALIFORNICA Pacific Wax Myrtle	5 gal.	6' o.c.
117	NDF	NANDINA DOMESTICA "FIREPOWER" Firepower Nandina	1 gal.	32' o.c.
TREES				
11	AC	ACER CIRCINATUM Vine Maple (Min. 4 Stem)	6-7' ht.	As shown
2	BJ	BETULA JAQUEMONTII Jacquemontii Birch	2" cal.	As shown
2	PCB	PYRUS CALLERYANA "AUTUMN BLAZE" Autumn Blaze Pear	2" cal.	As shown
TREES (SUBSTITUTED VEGETATION IN BPA EASEMENT)				
44	JCB	JUNIPERUS CHINENSIS "BLUE POINT" Blue Point Juniper	5 gal.	As Shown
TREES (MITIGATION)				
30	CL	CUPRESSOCYPARIS LEYLANDII Leyland Cypress	6-7' ht.	As shown
37	FOR	FRAXINUS OXYCARPA "RAYWOOD" Raywood Ash	3" cal.	As shown
12	PCB	PYRUS CALLERYANA "AUTUMN BLAZE" Autumn Blaze Pear	2" cal.	As shown



PLANT LIST: WATER QUALITY POND (WILSONVILLE STANDARDS)

#	SYM	LATIN NAME/ Common Name	SIZE	SPACING
AQUATICS				
6,574	CO	CAREX OBNUPA Slough Sedge	Plugs	1 per 2 s.f.
7,745	EP	ELEOCHARIS PALUSTRIS Spike Rush	Plugs	1 per 2 s.f.
5,344	SM	SCIRPUS MICROCARPUS Small-fruited Bulrush	Plugs	1 per 2 s.f.
SHRUBS				
63	AC	ACER CIRCINATUM Vine Maple (Min. 4 Stem)	6-7' ht. 1 gal. min.	As shown
260	HD	HOLIDISCUS DISCOLOR Ocean Spray	1 gal.	4' o.c.
343	MA	MAHONIA AQUIFOLIUM Oregon Grape	1 gal.	4' o.c.
311	PC	PHYSOCARPUS CAPITATUS Western Ninebark	1 gal.	4' o.c.
280	RN	ROSA NUTKANIA Nootka Rose	1 gal.	4' o.c.
284	RS	RIBES SANGUINEUM Red Flowering Currant	1 gal.	4' o.c.
342	SA	SYMPHORICARPOS ALBA Snowberry	1 gal.	4' o.c.
TREES (ALL USED TOWARD MITIGATION)				
50	AR	ALNUS RUBRA Red Alder	2" cal. min.	As shown
29	AR	ALNUS RUBRA Red Alder	2" cal. min.	As shown
89	DF	PSEUDOTSUGA MENZIESII Douglas Fir	6' ht. min.	As shown
46	FL	FRAXINUS LATIFOLIA Oregon Ash	2" cal. min.	As shown
100	TP	THUJA PLICATA Western Red Cedar	6' ht. min.	As shown



OVERALL SITE PLAN

OUTLINE SPECIFICATIONS PLANTING AND SEEDING:

GENERAL: All plants shall conform to all applicable standards of the latest edition of the "American Association of Nurserymen Standards", A.N.S.I. Z60.1 - 1973. Meet or exceed the regulations and laws of Federal, State, and County regulations, regarding the inspection of plant materials, certified as free from hazardous insects, disease, and noxious weeds, and certified fit for sale in Oregon.

The apparent silence of the Specifications and Plans as to any detail, or the apparent omission from them of a detailed description concerning any point, shall be regarded as meaning that only the best general practice is to prevail and that only material and workmanship of first quality are to be used. All interpretations of these Specifications shall be made upon the basis above stated.

Landscape contractor shall perform a site visit prior to bidding to view existing conditions.

PERFORMANCE QUALITY ASSURANCE: Use adequate numbers of skilled workmen who are thoroughly trained and experienced in the necessary horticultural practices and who are completely familiar with the specified requirements and methods needed for the proper performance of the work of this section.

NOTIFICATION: Give Landscape Architect minimum of 2 days advance notice of times for inspections. Inspections at growing site does not preclude Landscape Architect's right of rejection of deficient materials at project site. Each plant failing to meet the above mentioned "Standards" or otherwise failing to meet the specified requirements as set forth shall be rejected and removed immediately from the premises by the Contractor and at his expense, and replaced with satisfactory plants or trees conforming to the specified requirements.

SUBSTITUTIONS: Only as approved by the Landscape Architect or the Owner's Representative.

GUARANTEE AND REPLACEMENT: All plant material shall be guaranteed from final acceptance for one full growing season or one year, whichever is longer. During this period the Contractor shall replace any plant material that is not in good condition and producing new growth (except that material damaged by severe weather conditions, due to Owner's negligence, normally unforeseen peculiarities of the planting site, or lost due to vandalism). Guarantee to replace, at no cost to Owner, unacceptable plant materials with plants of same variety, age, size and quality as plant originally specified. Conditions of guarantee on replacement plant shall be same as for original plant.

Landscape Contractor shall keep on site for Owner's Representative's inspection, all receipts for soil amendment and topsoil deliveries.

PROTECTION: Protect existing roads, sidewalks, and curbs, landscaping, and other features remaining as final work. Verify location of underground utilities prior to doing work. Repair and make good any damage to service lines, existing features, etc. caused by landscaping installation.

PLANT QUALITY ASSURANCE: Deliver direct from nursery. Maintain and protect roots of plant material from drying or other possible injury. Store plants in shade and protect them from weather immediately upon delivery, if not to be planted within four hours.

Nursery stock shall be healthy, well branched and rooted, formed true to variety and species, full foliaged, free of disease, injury, defects, insects, weeds, and weed roots. Trees shall have straight trunks, asymmetrical tips, and have an intact single leader. All Plants: True to name, with one of each bundle or lot tagged with the common and botanical name and size of the plants in accordance with standards of practice of the American Association of Nurserymen, and shall conform to the Standardized Plant Names, 1942 Edition.

Container-grown stock: Small container-grown plants, furnished in removable containers, shall be well rooted to ensure healthy growth. **Grow container plants in containers a minimum of one year** prior to delivery, with roots filling container but not root bound. Bare root stock: Roots well-branched and fibrous. Balled and burlapped (B&B): Ball shall be of natural size to ensure healthy growth. Ball shall be firm and the burlap sound. No loose or made ball will be acceptable.

TREES REMOVED = 393
MITIGATION TREES REQUIRED (2" cal. min.) = 393
MITIGATION TREES PROPOSED (2" cal. min.) = 393
79 NEW SITE TREES
314 WATER QUALITY POND TREES

TOTAL PROPOSED SITE TREES = 138
TOTAL PROPOSED WATER QUALITY TREES = 314
TOTAL PROPOSED TREES = 452
TREES CREDITS FOR RETAINED TREES = 307
TREES CREDITS USED = 54
(Boundary of tree credit application noted on Landscape Plans)
(see sheet T31.4 for tree calculations)

TREES (ALL USED TOWARD MITIGATION)

Landscape plan shall include finished grades and even distribution of topsoil to meet planting requirements. Grades and slopes shall be as indicated. Planting bed grades shall be approximately 3" below adjacent walks, paving, finished grade lines, etc., to allow for bark application. Finish grading shall remove all depressions or low areas to provide positive drainage throughout the area.

SOIL MIX: Prepare soil mix in each planting hole by mixing: 2 part native topsoil (no subsoil) 1 part compost (as approved)

Thoroughly mix in planting hole and add fertilizers at the following rates:
Small shrubs - 1/8 lb./plant
Shrubs - 1/3 to 1/2 lb./plant
Trees - 1/3 to 1 1/2 lb./plant

FERTILIZER: For trees and shrubs use Commercial Fertilizer "A" Inorganic (5-4-3) with micro-nutrients and 50% slow releasing nitrogen. For initial application in fine seed lawn areas use Commercial Fertilizer "B" (8-16-8) with micro-nutrients and 50% slow-releasing nitrogen. For lawn maintenance fertilizer is not recommended but if neccessade Commercial Fertilizer "C" (22-16-8) with micro-nutrients and 50% slow-releasing nitrogen. **DO NOT** apply fertilizer to Water Quality Swale or Pond.

PLANTING TREES AND SHRUBS: Plant upright and face to give best appearance or relationship to adjacent plants and structures. Place 6" minimum, lightly compacted layer of prepared planting soil under root system. Loosen and remove twine binding and burlap from top 1/2 of root balls. Cut off cleanly all broken or frayed roots, and spread roots out. Stagger Plants in rows. Backfill planting hole with soil mix while working each layer to eliminate voids.

When approximately 2/3 full, water thoroughly, then allow water to soak away. Place remaining backfill and dish surface around plant to hold water. Final grade should keep root ball slightly above surrounding grade, not to exceed 1". Water again until no more water is absorbed. Initial watering by irrigation system is not allowed.

STAKING OF TREES: Stake or guy all trees. Stakes shall be 2" X 2" (nom.) quality tree stakes with point. They shall be of Douglas Fir, clear and sturdy. Stake to be minimum 2/3 the height of the tree, not to exceed 8'-0". Drive stake firmly 1"-6" below the planting hole. Tree ties for deciduous trees shall be "Chainlock" (or better). For Evergreen trees use "Gro-Strait" Tree Ties (or a reinforced rubber hose and guy wires) with guy wires of a minimum 2 strand twisted 12 ga. wire.

MULCHING OF PLANTINGS: Mulch planting areas with aged, medium grind fire or hemlock bark (aged at least 6 months) to a depth of 2" in ground cover areas and 2 1/2" in shrub beds. Apply evenly, not higher than grade of plant as it came from the nursery, and rake to a smooth finish. Water thoroughly, then hose down planting area with fine spray to wash leaves of plants.

FINE LAWN AREAS: In fine lawn area apply Commercial Fertilizer Mix "B" at 4.5 lbs. Per 1,000 sq. ft. and rake into soil surface. Establish an even, fine textured seeded meeting grades, surfaces and texture. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

ROUGH SEED AREA: In rough seeded area, establish an evenly graded seedbed. Sow seed with a mechanical spreader at the uniform rates as noted below. Rake seed lightly to provide cover.

SEED: Bluegrass seed conforming to applicable State laws. No noxious weed seeds. Submit Guaranteed analysis. **Fine Lawn Seed Mix:** To contain 50% Top Hat Perennial Ryegrass, 30% Derby Supreme Ryegrass, 20% Longfellow Chewings Fescue (Hobbs and Hopkins Pro-Time 303 Lawn Mix or as approved) Sow Seed at 5 lbs. / 1,000 sq. ft. **Rough Seed Mix:** To Contain: 60% Perennial Ryegrass, 15% Eureka Hard Fescue, and 20% Herbaceous Plants and Clover (Hobbs and Hopkins Pro-Time 703 PDX, or approved equal). Sow at 2 lbs. Per 1,000 sq. ft.

MAINTENANCE OF SEEDED AREAS: **Fine Lawn Areas:** shall be maintained by watering, mowing, reseeding, and weeding for a minimum of 60 days after seeding. After 30 days, or after the second mowing, apply Commercial Fertilizer Mix "C" at 5 lbs. per 1,000 sq. ft. Mow and keep at 1 1/2" to 2" in height. Remove clippings and dispose of off site.

GENERAL MAINTENANCE: Protect and maintain work described in these specifications against all defects of materials and workmanship, through final acceptance. Replace plants not in normal healthy condition at the end of this period. Water, weed, cultivate, mulch, reset plants to proper grade or upright position, remove dead wood and do necessary standard maintenance operations. Irrigate when necessary to avoid drying out of plant materials, and to promote healthy growth.

CLEAN-UP: At completion of each division of work all extra material, supplies, equipment, etc., shall be removed from the site. All walks, paving, or other surfaces shall be swept clean, mulch areas shall have debris removed and any soil cleared from surface. All areas of the project shall be kept clean, orderly and complete.

OTTEN LANDSCAPE ARCHITECTS Inc. OIO
3933 SW Kelly Avenue • Suite B • Portland, Oregon 97239-4393
Phone (503) 972-0311 • Fax (503) 972-0314 • www.ottensla.com

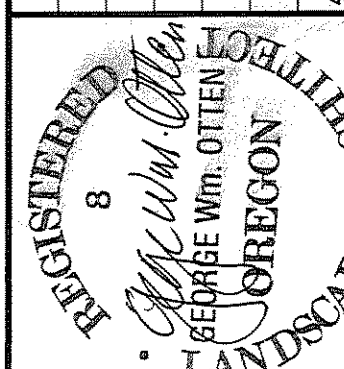
Coca-Cola
BOTTLING AND DISTRIBUTION CENTER
9750 SW BARBER STREET
WILSONVILLE, OR. 97070
FACILITY EXPANSION AND REMODEL
OVERALL LANDSCAPE PLAN

DATE	AUGUST 2008
SCALE	PROJ. NO.
AS NOTED	207390
DRAWN	CHECKED
KP	JLO

SHEET NO
L1.0

REVISION #10 11-04-09

NO.	DATE	REVISIONS
1	11/04/08	OWNER REVISIONS
2	10/07/08	REVISED PER ENGINEERING COMMENTS AND B.P.A. REQUIREMENTS
3	10/01/08	REVISIONS PER ENGINEER/PLANNING COMMENTS (1st)



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DEVELOPMENT REVIEW BOARD MEETING

MONDAY, APRIL 11, 2016

6:30 PM

X. Board Member Communications:

**A. Agenda Results from the March 28, 2016 DRB
Panel B meeting**

City of Wilsonville

Development Review Board Panel B Meeting Meeting Results

DATE: MARCH 28, 2016	
LOCATION: 29799 SW TOWN CENTER LOOP EAST, WILSONVILLE, OR	
TIME START: 6:30 P.M.	TIME END: 9:02 P.M.

ATTENDANCE LOG

BOARD MEMBERS	STAFF
Aaron Woods	Daniel Pauly
Shawn O'Neil	Barbara Jacobson
Richard Martens	Steve Adams
Samy Nada	
Samuel Scull	
City Council Liaison: Julie Fitzgerald	

AGENDA RESULTS

AGENDA	ACTIONS
CITIZENS' INPUT	None.
ELECTION OF 2016 CHAIR AND VICE-CHAIR	
<ul style="list-style-type: none"> Chair 	Shawn O'Neil elected as Chair
<ul style="list-style-type: none"> Vice Chair 	Richard Martens elected as Vice-Chair
CONSENT AGENDA	
A. Approval of January 25, 2016 Minutes	A. Approved as presented with Samy Nada and Sam Scull abstaining
PUBLIC HEARING	
<p>A. Resolution No. 324. 14-Lot Single-Family Subdivision: Beth Ann Boeckman and Karen and Marvin Lewallen – Owners. The applicant is requesting approval of a Comprehensive Plan Map Amendment from Residential 0-1 dwelling units per acre to Residential 4-5 dwelling units per acre, a Zone Map Amendment from Residential Agriculture-Holding (RA-H) to Planned Development Residential 3 (PDR-3), a Stage I Master Plan, Stage II Final Plan, Site Design Review, Type C Tree Plan, Waivers and Tentative Subdivision Plat for a 14-lot single-family subdivision located at 28500 and 28530 SW Canyon Creek Road South. The subject site is located on Tax Lots 900 and 1000 of Section 13B, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, Oregon. Staff: Daniel Pauly</p> <p>Case Files: DB15-0108 – Comprehensive Plan Map Amendment DB15-0109 – Zone Map Amendment DB15-0110 – Stage I Master Plan DB15-0111 – Stage II Final Plan DB15-0112 – Site Design Review DB15-0113 – Type C Tree Plan DB15-0114 – Waivers</p>	<p>A. Exhibits A4, D6, and D7 were added to the record. Resolution 324 was continued to April 25, 2016 to allow Staff and the Applicant to address concerns about traffic studies, the setback waiver, density, layout, and traffic safety. Vote was 4 to 1 with Richard Martens opposed.</p>

DB15-0115 – Tentative Subdivision Plat	
<i>The DRB action on the Comprehensive Plan Map Amendment and Zone Map Amendment is a recommendation to the City Council.</i>	
BOARD MEMBER COMUNICATIONS	None.
A. Results of the February 8, 2016 DRB Panel A meeting	
STAFF COMMUNICATIONS	None.