

Villebois

Villebois Village Center Mixed-Use Development

Villebois Village Center Apartments Buildings A, B & C and Surface Parking Area on Site D

Lot 76 Zone Change, Specific Area Plan Amendment, Preliminary Development
Plan and Modifications, Final Development Plan & Tree Plan

The City of Wilsonville, Oregon March 2021 (rev. May 2021)

Applicant:

Rudy Kadlub
Costa Pacific Communities
14350 SE Industrial Way
Clackamas, OR 97015
[P] 503-314-8014

Applicant's Representative:

Stacy Connery, AICP
Pacific Community Design, Inc
12564 SW Main Street
Tigard, Oregon 97223
[P] 503-941-9484



TABLE OF CONTENTS
FOR
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
VILLEBOIS VILLAGE CENTER APARTMENTS:
BUILDINGS 'A' & 'B' ON LOT 76, BUILDING 'C' ON LOT 73,
AND SURFACE PARKING AREA ON LOT 12

SECTION I)	GENERAL INFORMATION <ul style="list-style-type: none">A) INTRODUCTORY NARRATIVEB) FORMSC) OWNERSHIP DOCUMENTATIOND) TVF&R PERMITE) REPUBLIC SERVICES COMPLIANCE LETTERSF) TRAFFIC IMPACT ANALYSIS
SECTION II)	ZONE CHANGE FOR LOT 76 <ul style="list-style-type: none">A) SUPPORTING COMPLIANCE REPORTB) ZONE CHANGE MAPC) LEGAL DESCRIPTION & EXHIBIT
SECTION III)	SPECIFIC AREA PLAN AMENDMENT FOR LOTS 73 & 76 <ul style="list-style-type: none">A) SUPPORTING COMPLIANCE REPORTB) VILLEBOIS CENTER ARCHITECTURAL STANDARDS (VCAS)
SECTION IV)	PRELIMINARY DEVELOPMENT PLANS (INCLUDES MODIFICATIONS TO PDP 1C AND 2C) <ul style="list-style-type: none">A) SUPPORTING COMPLIANCE REPORT FOR LOT 73 OF PDP 2CB) REDUCED DRAWINGS FOR LOT 73 OF PDP 2CC) UTILITY AND DRAINAGE REPORT FOR LOT 73 OF PDP 2CD) SUPPORTING COMPLIANCE REPORT FOR LOT 76 OF PDP 12CE) REDUCED DRAWINGS FOR LOT 76 OF PDP 12CF) UTILITY AND DRAINAGE REPORTS FOR LOT 76 OF PDP 12CG) SUPPORTING COMPLIANCE REPORT FOR LOT 12 OF PDP 1CH) REDUCED DRAWINGS FOR LOT 12 PDP 1CI) UTILITY AND DRAINAGE REPORT FOR LOT 12 PCP 1CJ) UPDATED SAP UNIT COUNTSK) TRAFFIC ANALYSISL) TREE REPORTM) CONCEPTUAL ELEVATIONS
SECTION V)	FINAL DEVELOPMENT PLANS <ul style="list-style-type: none">A) SUPPORTING COMPLIANCE REPORT FOR LOT 73 OF PDP 2CB) REDUCED DRAWINGS FOR LOT 73 OF PDP 2CC) ELEVATIONS, FLOOR PLANS & DETAILS FOR LOT 73 OF PDP 2CD) SUPPORTING COMPLIANCE REPORT FOR LOT 76 OF PDP 12CE) REDUCED DRAWINGS FOR LOT 76 OF PDP 12CF) ELEVATIONS, FLOOR PLANS & DETAILS FOR LOT 76 OF PDP 12CG) SUPPORTING COMPLIANCE REPORT FOR LOT 12 OF PDP 1CH) REDUCED DRAWINGS FOR LOT 12 OF PDP 1CI) LIGHTING CUT SHEETS
SECTION VI)	TREE REMOVAL PLANS <ul style="list-style-type: none">A) SUPPORTING COMPLIANCE REPORT FOR LOT 73B) TREE REPORT FOR LOT 73C) TREE PRESERVATION PLAN FOR LOT 73D) SUPPORTING COMPLIANCE REPORT FOR LOT 76E) TREE REPORT FOR LOT 76F) TREE PRESERVATION PLAN FOR LOT 76G) SUPPORTING COMPLIANCE REPORT FOR LOT 12H) TREE REPORT FOR LOT 12I) TREE PRESERVATION PLAN FOR LOT 12

INTRODUCTORY NARRATIVE

VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
VILLEBOIS VILLAGE CENTER APARTMENTS BUILDINGS A, B, & C AND
SURFACE PARKING AREA SITE D
LOT 73 & 76 OF VILLEBOIS VILLAGE CENTER NO. 3
LOT 12 VILLEBOIS VILLAGE CENTER

SECTION IA

TABLE OF CONTENTS

I. GENERAL INFORMATION 2

II. REQUEST 3

III. PLANNING CONTEXT 4

 VILLEBOIS VILLAGE MASTER PLAN & SAP CENTRAL4

 COMMUNITY OUTREACH EFFORTS.....4

 VILLEBOIS VILLAGE CENTER - DESIGN INTENT5

IV. ZONE CHANGE FOR LOT 76 6

V. SPECIFIC AREA PLAN AMENDMENT FOR LOT 76 AND 73 6

 FAÇADE MATERIALS AND PERCENTAGE CALCULATIONS7

VI. PRELIMINARY AND FINAL DEVELOPMENT PLANS FOR LOT 76, 73, AND 12 8

 MODIFICATION TO PRELIMINARY DEVELOPMENT PLANS (PDP) 1C AND 2C8

 GROUND FLOOR UNITS DESIGNED TO ACCOMMODATE FUTURE CONVERSION TO RETAIL... 11

 CIRCULATION 12

 VEHICLE PARKING..... 12

 BICYCLE PARKING 15

 UTILITIES 15

 SIGNAGE 16

 PARKS & OPEN SPACE 17

 RESIDENTIAL AMENITIES 17

VII. TYPE C TREE REMOVAL 18

VIII. PROPOSAL SUMMARY & CONCLUSION 18

I. GENERAL INFORMATION

Applicant: Rudy Kadlub
Costa Pacific Communities
14350 SE Industrial Way
Clackamas, OR 97015
Tel: (503) 314-8014
Email: Rudy@costapacific.com

Property Owner: Real Capital Solutions
371 Centennial Parkway Suite 200
Louisville, CO 80027
Tel: (503) 314-8014

Design Team:
Primary Contact: Stacy Connery, AICP
Pacific Community Design, Inc.
Tel: (503) 941-9484
Email: stacy@pacific-community.com

Process Planner/Civil
Engineer/Surveyor/
Landscape Architect: Pacific Community Design, Inc.
12564 SW Main Street
Tigard, OR 97223
Tel: (503) 941-9484
Contact: Stacy Connery, AICP
Jaki Hunt, PE
Travis Jansen, PLS/PE
Kristina Koltavary, PLA

Architect: C2K Architecture Inc.
1645 NW Hoyt Street
Portland, OR 97209
Tel: (503) 444-2200
Contact: John Wright

Arborist: Morgan Holen
Morgan Holen & Associates, LLC
3 Monroe Parkway, Suite P 220
Lake Oswego, OR 97035
Tel: (971) 409-9354

Site and Proposal Information:

Site/ Size: 31W15AC Tax Lot 2100/ 0.50 gross acres
31W15AC Tax Lot 2800/ 1.19 gross acres
31W15DB Tax Lot 8600/ 0.33 gross acres

Comprehensive Plan Designation: Tax Lot 2100 & 8600 City - Village (V)
Tax Lot 2800 City - Public Facility (PF)

Specific Area Plan: SAP - Central

II. REQUEST

The applicant is proposing a mixed-use development, Villebois Village Center Apartments, consisting of three buildings and a surface parking area. Two buildings, 'A' and 'B' are located on Lot 76 of PDP 12C and Building 'C' is located on Lot 73 of PDP 2C. A parking area is proposed on Lot 12 of PDP 1C to serve the residents, visitors, and employees of the development.

Development of Buildings A and B, located on Lot 76 of Specific Area Plan Central PDP 12C, requires approval of the following applications:

- Zone Change from Public Facility (PF) to Village (V)
- Specific Area Plan Amendment
- Preliminary Development Plan (PDP 12C)
- Final Development Plan
- Type "C" Tree Removal (Separate, but concurrent application.)

Development of Building C located on Lot 73 of PDP 2C requires approval of the following applications:

- Specific Area Plan Amendment
- Preliminary Development Plan (PDP 2C Modification), including refinements to SAP Central
- Final Development Plan
- Type "C" Tree Removal (Separate, but concurrent application.)

Development of a surface parking area on Lot 12 of PDP 1C requires approval of the following applications:

- Preliminary Development Plan (PDP 1C Modification), including refinements to SAP Central
- Final Development Plan
- Type "C" Tree Removal (Separate, but concurrent application.)

III. PLANNING CONTEXT

VILLEBOIS VILLAGE MASTER PLAN & SAP CENTRAL

The proposed PDP 12C, 2C Modification, and 1C Modification areas are located within the "Villebois Village Center" in Specific Area Plan - Central (SAP - Central).

The *Villebois Village Master Plan* envisions a vibrant mixed-use Village Center comprised of residential, office, retail and/or related employment uses. Located at the heart of the community, the Village Center is designed to include: higher-density residential housing, mixed-use housing, opportunities for office/ commercial/ light industrial/ civic uses, easy-access multi-modal transportation opportunities, and parks and greenway features. Intended to serve as a central hub of activities, services, and transportation serving the larger Villebois community, the Village Center provides multi-modal transportation opportunities that facilitate pedestrian, bicycle, transit and automobile access, connecting residents to shopping, services, recreation and homes.

COMMUNITY OUTREACH EFFORTS

This application reflects efforts made by the applicant to address community concerns regarding parking and retail/ commercial space provided. Public outreach efforts made by the applicant include meetings with neighboring homeowner associations and City Councilors as noted below:

- June 2020 meeting with Ben West, City of Wilsonville City Councilor
- July 14, 2020 meeting with Camden Square Homeowners Association
- July 15, 2020 meeting with Royal Crescent Homeowners Association
- July 17, 2020 meeting with Joann Linville, City of Wilsonville City Councilor
- July 20, 2020 meeting with Brookside Terrace Homeowners Association
- August 2020 meeting with Julie Fitzgerald, City of Wilsonville Mayor
- August 2020 telephone call with Kristin Akervall, City of Wilsonville Council President
- July 2020 telephone call with Charlotte Lehan, City of Wilsonville Councilor
- Attend Quarterly 2019-2020 Villebois Village Center Homeowners Association Technical Advisory Meeting

The applicant is addressing concerns regarding parking by proposing a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C. The opportunity to provide the additional parking area became possible when the developer of a three-unit residential development on the Lot 12 failed to proceed with purchase of the property. The Supporting Compliance Report to modify Preliminary Development Plan (PDP) 1C required to accommodate this proposal is provided in Section IV of this application. Detail of parking provided to serve the mixed-use development is provided in a subsequent section of this narrative.

The applicant is addressing concerns regarding the limited retail/ commercial area proposed in the mixed-use development with buildings designed to include 11 ground floor residential units facing the Piazza that have the ability to convert to 7,527 square feet of retail. Later sections

of this narrative and elevations, floorplans and details provided in Section V of this application detail how the proposed mixed-use buildings are designed to evolve with community needs and market demand.

VILLEBOIS VILLAGE CENTER - DESIGN INTENT

The Villebois Village's central plaza is the physical and symbolic heart of Villebois. The three proposed 4-story buildings wrap the plaza to create a sense of enclosure, acting as the "walls" around this public "room". At the primary streets surrounding the plaza, the buildings' accentuated corners identify one's arrival into the plaza. At Building B, the top-floor Amenity Deck provides a focal point along Barber Street, drawing visitors toward the plaza.

The ground level of each building encourages activity around the plaza. Building A has large common area amenities for the three apartment buildings with large storefront windows. Three Live/Work units facing the plaza provide opportunities for small office or retail. At Building B, a corner Retail space (approx. 1200 SF) activates the streetscape along Barber Street and the plaza, with the Leasing Center next door. Building C has a large Mail Center for the community (with over 900 mailboxes), and a small retail space fronting Barber Street. Above the ground-level activity, balconies face the plaza at Building A and Building C.

At the public and common area spaces, the buildings' façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating the active streetscape from the residential housing above. The residential housing is primarily demarcated with lap siding or revealed Hardi panels ("stucco board"), with vinyl windows at the apt units. Each building has a unique color palette, which complement one another for a cohesive project wrapping the plaza.

Building A: Upon entering the central plaza, Building A acts as the backdrop to the activities within the plaza. The façade design has a more traditional base, middle, and top, per the window banding of the middle floors. The light-colored brick highlights the common areas at the ground level of the building, while the bright accent color at the recessed Hardi panels ("stucco boards") helps break down the building's massing. Balconies overlooking the plaza provide additional texture to the building's façade.

Building B: Driving northbound on SW Barber St, Building B becomes the focal point of the central plaza. The amenity terrace on the top floor serves as a contemporary tower, providing views of the plaza below and of Mt. Hood in the distance. The banding of the building's upper three floor levels accentuate the building's vertical design. The color palette is more muted in tones of off-white, greys, and blacks, as the façade is design as an ensemble with the adjacent buildings surrounding the central plaza. The dark grey lap siding at the façade's primary field helps complement the adjacent buildings by contrasting.

Building C: Located across the street from the remainder of the buildings facing the central plaza, Building C intentionally plays a subordinate role to its neighbors. The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring

buildings to the west of the central plaza. The building's brick base along SW Barber St highlights the community postal center and retail/commercial spaces. A large canopy highlights the southern entrance to the postal center. The light-colored board-and-batten motif at the top floor of the building's book ends provide another focal point as drivers reach the plaza from either SW Barber St or SW Villebois Drive. The color palette ties into the palettes for Buildings A and B, to connect this building across SW Barber St to the remainder of the buildings which enclose the public "room" that is the central plaza.

The development provides an environmentally and pedestrian friendly neighborhood design. The ground-floor community amenities and retail spaces reinforce a pedestrian-friendly streetscape character, create greater visual interest, and activate the public sidewalks around The Piazza while the surface parking lot proposed on Lot 12 that serves the residence, employees, and visitors of development provide adequate parking.

IV. ZONE CHANGE FOR LOT 76

The applicant is requesting a zone change for Map 31W15DB Tax Lot 8600, Lot 76 of Specific Area Plan Central PDP 12C, from Public Facility (PF) to Village (V). The site is designated "Residential-Village" on the Comprehensive Plan Map. Approval of the zone change enables development of the 1.19-acre tax lot, which consists of two sites, to include two mixed-use buildings as proposed in the concurrent Preliminary and Final Development Plans. The Supporting Compliance Report, Zone Change Map, and Legal Description and Exhibit are provided in Section II of this submittal.

V. SPECIFIC AREA PLAN AMENDMENT FOR LOT 76 AND 73

The applicant is requesting a Specific Area Plan (SAP) Amendment to refine the Village Center Architectural Standards (VCAS) of the Village Center in order to implement the Villebois Village Mixed-Use Development as proposed. The applicant is requesting modification of the VCAS to change/add provisions for The Plaza Address within the Village Center Boundary. More specifically, the proposed modifications are as follows:

- Modify the existing exterior building materials standards for the Plaza Address.

The proposed revisions to the Village Center Architectural Standards Plaza Address Section 4.2(2) and Section 4.2(4) do not remove or revise the materials list; rather, the revisions modify the façade materials and percentage calculations. Text of the VCAS proposed to be deleted are shown in strikethrough and the text to be added is shown in **bold-underlined**.

- Page B-4 - "The Plaza Address", Section 4.2, "Exterior Building Materials"
 - Required Standard 2 (Modify)

"At least ~~75~~ 30 percent of each building façade ~~to which these standards apply~~ facing the Piazza shall be finished in one or more of the following materials: a) brick stone, or cast stone; b) stucco or plaster ("stucco boards" composed of fiber cement reveal panels are

accepted); c) poured-in-place concrete, or pre-cast concrete veneer; and/or d) Metal panel systems.”

- Required Standard 4 (Modify)

“The percentage calculation applies only to the ~~facades facing a public or private street~~ façade facing the Piazza. Additional facades facing a public or private street are to provide approved exterior materials listed within this Section; however, minimum percentages of finishes are not required.”.

FAÇADE MATERIALS AND PERCENTAGE CALCULATIONS

Each building’s primary façade facing the central plaza has at least 30% coverage of brick veneer and painted “stucco board” (which Planning clarified as Hardi panels, per the pre-application meeting on 01/10/2019). These materials accentuate the ground floor to define the building’s base, as well as delineate between common area spaces and private housing. Painted fiber cement lap siding is the primary finish material for the private housing at the remainder of the building. These materials are used on all three proposed buildings, to provide consistency along the central plaza.

The proposed exterior building materials are per the VCAS standards under section 4.2; the percentage amount has been reduced, and the application of the percentage calculation is focused on the primary facades facing the central plaza. By focusing the brick veneer at the ground floor facing the plaza, the focus of these building’s is placed at the streetscape level, at the public and common area spaces of each building. At the south side of the plaza, the Domaine at Villebois apartments also consolidates the brick veneer to the ground level, so the proposed building facades provide a consistent theme with finish materials at the ground level.





Above the brick base of each building, the building is a combination of fiber cement lap siding and “stucco board” (Hardi panels). Each material provides a different texture to the building façade, along with the light and dark paint colors which further break down the massing above.

The result is four unique façade designs wrapping the central plaza, with complementary finish materials and complementary color palettes. The brick veneer, storefront windows, and steel canopies all reinforce the ground level streetscape, to make the plaza a vibrant, pedestrian-friendly experience.

Detailed findings regarding the requested refinements can be found in the SAP Modification Supporting Compliance Report in Section III of this application. The presumption is that the amendment will be approved and the Preliminary and Final Development Plans for the Villebois Village Mixed-Use Development on Lots 73 and 76 will be subject to the amended VCAS.

VI. PRELIMINARY AND FINAL DEVELOPMENT PLANS FOR LOT 76, 73, AND 12

The applicant is proposing a mixed-use development, Villebois Village Center Apartments, consisting of three building and a surface parking lot designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space requiring 165 vehicle parking spaces per Section 4.125 Table V-2. Buildings ‘A’ and ‘B,’ located on Lot 76 of PDP 12C, provide 94 multi-family residential units (69 one-bedroom units, 14 two-bedroom units, and 11 3-bedroom units) and 1,331 square feet of retail. Building ‘C,’ located on Lot 73 of PDP 2C, will have 49 multi-family residential units (16 studio residential units, 26 one-bedroom units, 7 two-bedroom units), and 1,129 square feet of retail. A surface parking lot is provided on Lot 12 of PDP 1C to serve the residence, employees, and visitors of the development.

The density of the residential units and the amount of commercial and retail space proposed will enhance the area and create a vibrant Village Center. While the off-street parking areas supports motor vehicles, the central location promotes pedestrian transportation throughout the Village Center.

MODIFICATION TO PRELIMINARY DEVELOPMENT PLANS (PDP) 1C AND 2C

SAP Central was approved in 2006. Since the approval of SAP Central separate PDP’s have been approved or submitted for approval and some modifications of original approvals have also

occurred. With this submittal, the applicant proposes modifications to Preliminary Development Plan 1C and Preliminary Development Plan 2C as noted below:

- PDP 1C modification of Lot 12 refines the subject area beyond what was described in SAP Central. The conceptual ranges of density shown for the subject area in SAP Central was 8 to 12 Mixed Use Condos. Approval of a three-unit residential development, including one mixed-use unit and associate improvements was granted on August 27, 2018 by the Development Review Board on Resolution No. 357 (Casefile DB18-0040, DB18-0041, and DB18-0042). After the developer of the proposed three-unit residential development did not proceed with purchase of the property, the applicant took the opportunity to acquire the property and proceed with the proposed modification that eliminates the mixed-use condos on Lot 12 to provide a surface parking area to serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C.
- PDP 2C modification of Lot 73 proposes to increase the number of mixed-use condos from the conceptual range of 24 to 30 units to provide 49 units in Building 'C'.

The proposed PDP 1C and PDP 2C modifications comply with the *Villebois Village Master Plan* and SAP Central by supporting a range of living choices. The proposal of mixed use with multi-family residential units and retail space meets the current market demand and city-wide goals while complying with the urban design goals and density targets in the Village Center.

The following analysis reflects the final and current approved unit counts in all other PDP approvals and modifications in SAP Central. For purposes of this analysis, it is important to keep in mind that changes to the mix/location of "land uses" are to be evaluated as described by the code - in the aggregate. The code defines one land use group as condos, apartments, row houses, and small detached uses - which will be referred to as the 'smaller land use group' in the following analysis. The code defines the second land use group as mediums, standards, large and estate uses - which will be referred to as the 'larger land use group' in the following analysis.

The original SAP Central approved 1,010 units with a potential 10% increase or decrease overtime. With approval of the proposed PDP 1C and PDP 2C Modifications the density in SAP Central will be 986 units resulting in less than 10% change to the unit counts in the Central SAP and continues to meet the density requirement across Villebois.

Table 1. shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinements as well as the percent change in each aggregate land use category.

Table 1. Comparison of Current and Proposed Unit Counts

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	933	986	5.9%
Total	933	986	5.9%

Table 2. below, compares the original number of units shown in SAP Central, the number of units proposed, and the percent change for each aggregate land use category.

Table 2. Comparison of Original SAP Central and Proposed Unit Counts

	Original Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	1,010	986	-2.4%
Total	1,010	986	-2.4%

NOTE: The Current Unit Count for SAP Central reflects the final approved unit counts for PDP 1C, PDP 2C, PDP 3C, PDP 4C, PDP 5C (Montague Park), PDP 6C, PDP 7C, PDP 8C, PDP 9C, and 10C. This number includes PDP 2C Modification and PDP 12C which were submitted concurrently.

Furthermore, the proposal results in a total of 2,568 residential units within Villebois, meeting the refinement criteria.

None of the conditions of approval for SAP Central are specific to the proposed refinements. As the proposed refinements will not compromise the project’s ability to comply with SAP conditions of approval, they will equally meet the conditions of approval of SAP Central.

The proposed SAP Central Modifications meet or exceed the Goals, Policies, and Implementation Measures of the *Villebois Village Master Plan* than the SAP Central plan as addressed below:

- *Land Use, General Land Use Plan Goal* - *Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.*
- *Land Use, General Land Use Plan Policy 1* - *The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.*
- *Villebois Village Master Plan, Village Center Policy 1* - *The Village Center shall be a highly pedestrian-oriented place that is the focus of a mix of residential, shopping, service, and civic and mixed-use buildings.*
- *Villebois Village Master Plan, Village Center Policy 2* - *The Village Center shall encourage multi-modal transportation system opportunities with good access by vehicular, pedestrian, bicycle and transit traffic.*
- *Villebois Village Master Plan, Village Center Implementation Measure 2* - *Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.*
 - *Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.*
 - *Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.*

- *General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.*
- *Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.*
- *Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.*
- *Hospitality: hotel, bed and breakfast, conference center.*
- *Light Manufacturing/Research and Development.*
- *Civic/Institutional: meeting hall, library, museum, churches, farmer's market, community center.*
- *Residential: condominiums, apartments, and townhouses*

GROUND FLOOR UNITS DESIGNED TO ACCOMMODATE FUTURE CONVERSION TO RETAIL

As noted on the elevation and floor plan in Section V of this submittal development of Villebois Village Center Apartments Buildings A, B, and C, includes 11 ground floor residential units facing the Piazza designed to accommodate future conversion to 7,527 square feet of retail. At Level 1 of Buildings A, B, and C, the apartment units facing Villebois Village's central plaza are designed to be convertible to future retail, should the property owner decide at a future date to replace the residential housing with additional retail.

Structurally, the unit demising walls which separate the apartment units at Level 1 are not loadbearing walls. Instead, steel beams above at the Level 1 ceiling (aka Level 2 floor) will transfer the loads from above to steel columns which allow the adjacent apartments to interconnect into a larger retail space. There may be some steel cross-bracing required for shear; however, the cross-bracing would still allow the units to become a larger retail space if desired.

Regarding the plumbing design at these apartment units, similar to the structural loads, the plumbing lines from the units above will track down to the Level 1 ceiling, and then the jog over to the adjacent corridor wall. This will allow the Level 1 unit demising walls to be removed in the future, without negatively affecting the apartment units above. If any mechanical shafts track up the building at these Level 1 apartments, then the mechanical coordination will also accommodate future retail.

Regarding the entrances for future retail spaces along Level 1, only the Building A Live/Work units currently provide storefront doors to the exterior. At the remaining Level 1 apartment units which currently do not provide exterior doors connecting to the hardscape facing the central plaza, the windows are either storefront or vinyl windows, as annotated in the building elevation drawings. Future storefront doors will be provided as part of a future retail tenant improvements. For the proposed project, the civil grading design alongside these apartment units will attempt to accommodate future retail doors, where the apt unit windows are currently provided. It is possible however that due to grading, some future retail spaces will require external or internal ramps at their entrances, depending on the future retail entrance locations. Alternative parking calculations provided in the subsequent section of this report calculate the parking requirements for conversion of the residential units to retail space.

CIRCULATION

Located in the Villebois Village Center safe and efficient vehicle access to the development can be made from SW Barber Street and Villebois Drive. The transportation infrastructure proposed for Lots 12, 73, and 76 is designed to provide convenient neighborhood circulation and a range of transportation options. On and off-street parking supports motor vehicle access, while walkways, sidewalks, and architectural design promote safe and convenient pedestrian connections throughout the Villebois Village Center. Parking located behind buildings and landscaping plans are designed to provide physical and visually barriers between parking lots and surrounding properties and public areas. The application has been modified to provide vehicle access to the parking lot behind Building 'B' from both SW Barber Street and SW Valencia Lane in response to feedback received from Republic Services. The mixed-use development the parking lot supports, allows for a denser and more compact, environmentally friendly neighborhood design.

VEHICLE PARKING

The proposed Villebois Village mixed-use development provides 183 vehicle parking spaces, exceeding the 167-space parking requirement before the allowed reductions for excess bicycle and motorcycle parking. With the allowed reductions the development is required to provide 149 spaces. The 183 parking spaces provided, 138 off-street and 45 on-street, more than adequately serves residents, employees, and visitors of the development.

The Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, is designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. Building 'C' located on Lot 73 will have 49 multi-family residential units (16 studio residential units, 26 one-bedroom units, 7 two-bedroom units), and 1,129 square feet of retail. Buildings 'A' and 'B', located on Lot 76 will provide 94 multi-family residential units (69 one-bedroom units, 14 two-bedroom units, and 11 3-bedroom units) and 1,331 square feet of retail. According to Section 4.125 Table V-2 the proposed mixed-use buildings on Lots 73 and 76 are required to provide 167 off-street vehicle parking spaces as calculated below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Multi-family Dwellings

16 Studio Units at 1.0 space/ unit	=	16 spaces
95 1-Bed Units at 1.0 space/ unit	=	95 spaces
21 2-Bed Units at 1.5 spaces/ unit	=	32 spaces
11 3-Bed Units at 1.75 spaces/ unit	=	19 spaces

Retail/ Commercial

2,460 sf. at 2.0 Spaces/ 1,000 sf	=	5 spaces
-----------------------------------	---	----------

Vehicle Parking Requirements per Section 4.125 Table V-2	=	167 spaces
--	---	------------

Forty percent, or 67 spaces, of the required off-street parking spaces are permitted to be compact spaces according to Section 4.155.(2.)N. Section 4.125(.07)B.4.b states "*Bicycle parking may substitute for up to 25% of required Mixed-Use or Multi-Family Residential*

parking. For every five non-required bicycle parking spaces that meet the short or long-term bicycle parking standards, the motor vehicle parking requirement for compact spaces may be reduced by one space." The applicant is providing 187 bicycle parking spaces in excess of the requirement within Buildings 'A', 'B', and 'C' on Lots 73 and 76 (see calculation in following section) to offset the number of compact vehicle parking spaces permitted up to 25%, or 17 spaces.

Section 4.155.(I.)1. States "Motorcycle parking may substitute for up to 5 spaces or 5 percent of required automobile parking, whichever is less. For every 4 motorcycle parking spaces provided, the automobile parking requirement is reduced by one space." The applicant is providing 4 motorcycle parking spaces on the surface parking lot behind Building 'A' to reduce the vehicle parking requirement by 1 space.

With the reduction of 17-spaces allowed for excess bicycle parking and 1-space reduction allowed for motorcycle parking, the proposed mixed-use development on Lots 73 and 76 is required to provide 149 off-street vehicle parking spaces:

Vehicle Parking Requirements per Section 4.125 Table V-2		167 spaces
Vehicle Parking Off-set Allowed		-18 spaces
Total Vehicle Parking Spaces Required	=	149 spaces

The proposed parking lot on Lot 12 and parking areas located behind Buildings 'A', 'B', and 'C' on Lots 73 and 76 provide 138 off-street parking spaces as detailed in the following table:

Off-Street Vehicle Parking Provided:

Vehicle Parking Provided on Lot 12		
Standard Spaces	=	19 spaces
Compact Spaces	=	4 spaces
ADA Space	=	1 space
Parking Provided with Buildings 'A' and 'B' on Lot 76		
Standard Spaces	=	52 spaces
Compact Spaces	=	30 spaces
ADA Spaces	=	4 spaces
Parking Provided with Building 'C' on Lot 73		
Standard Spaces	=	13 spaces
Compact Spaces	=	13 spaces
ADA Spaces	=	2 spaces
Off-Street Vehicle Parking Provided	=	138 spaces

In addition to the 138 off-street parking spaces, the development provides 45 on-street parking spaces located directly adjacent to the development to be counted toward meeting the minimum off-street parking as allowable per Section 4.125(.07)B.3. as detailed below:

On-Street Vehicle Parking Provided:

Vehicle Parking Provided with Lot 12		
Spaces - SW Villebois Drive	=	4 spaces
Parking Provided with Buildings 'A' and 'B' on Lot 76		
SW Barber Street	=	4 spaces

SW Campanile Ln.	=	8 spaces
SW Valencia Lane	=	4 spaces
Royal Scott Lane	=	5 spaces
SW Villebois Drive North	=	5 spaces
Parking Provided with Building 'C' on Lot 73		
SW Barber Street	=	5 spaces
SW Barber Street (15-min. parking for Mail Room)	=	3 spaces
SW Villebois Drive North	=	6 spaces
SW Toulouse Street	=	1 spaces
On-Street Vehicle Parking Provided	=	45 spaces

With 138 off-street parking spaces and 45 on-street parking spaces, *the mixed-use development provides a total of 183 parking spaces to serve residents, employees, and visitors of the Village Center.*

Off-Street ADA Vehicle Parking

The off-street parking areas that serve the mixed-use development meet the off-street ADA vehicle parking requirement of 4.155(.03)C as detailed in the following tables:

Off-Street ADA Vehicle Parking Requirement per 4.155(.03)C:

138 off-street spaces at 1 space/ 50 spaces	=	3 space
---	---	---------

Off-Street ADA Vehicle Parking Provided

ADA Parking Provided on Lot 12	=	1 space
ADA Parking Provided Behind Buildings 'A' and 'B' on Lot 76	=	4 spaces
ADA Parking Provided Behind Building 'C' on Lot 73	=	2 spaces
Total ADA Vehicle Parking Provided	=	7 spaces

Vehicle Parking for Future Conversion to Retail

As noted on the elevation and floor plans submitted in Section V of this application, 11 ground floor residential units facing the Piazza in Villebois Village Center Apartments Buildings A, B, and C, are designed to convert to 7,527 square feet of retail space to meet future market conditions. The 11 ground floor residential units require 13 parking spaces as detailed below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Building 'A' Ground Floor Residential		
3 Studio Units at 1.0 space/ unit	=	3 spaces
1 1-Bed Unit at 1.0 space/ unit	=	1 space
Building 'B' Ground Floor Residential		
1 Studio Unit at 1.0 space/ unit	=	1 space
3 1-Bed Units at 1.0 space/ unit	=	3 spaces
1 2-Bed Unit at 1.5 spaces/ unit	=	2 spaces
Building 'C' Ground Floor Residential		
1 Studio Unit at 1.0 space/ unit	=	1 space
1 2-Bed Unit at 1.5 spaces/ unit	=	2 spaces
Vehicle Parking Requirements	=	13 spaces

Alternatively, 7,527 square feet of retail space which requires 2.0 spaces per 1,000 square feet results in a total of 15 vehicle parking spaces, an additional 2 parking spaces. The 45 on-street parking spaces adjacent to the development will adequately serve a future conversion of residential units to commercial space.

BICYCLE PARKING

The proposed mixed-use building is required to provide 47 short and long-term bicycle parking spaces and 234 spaces are provided, resulting in an excess of 187 bicycle parking spaces as detailed below:

Bicycle Parking Requirements according to Section 4.125 Table V-2:

Multi-family Dwellings		
Short Term 143 units at 1.0 space/ 20 units	=	7 spaces
Long Term 143 units at 1.0 space per 4 units	=	36 spaces
Retail/ Commercial		
Short Term:		
2,460 sf. at 1.0 space/ 10,000 sf (Min. 2 spaces)	=	2 spaces
Long Term:		
2,460 sf. at 1.0 Spaces/ 40,000 sf (Min. 2 spaces)	=	2 spaces
Total Short Term Bicycle Parking Spaces Required	=	9 spaces
Total Long Term Bicycle Parking Spaced Required	=	38 spaces
Total Bicycle Parking Spaces Required	=	47 spaces

Bicycle Parking Provided:

Short Term		
4 Exterior Bike Racks located throughout development	=	8 spaces
Bike Storage Room	=	1 space
Long Term		
Building 'A' Bike Storage Room on 1 st Floor	=	49 spaces
Building 'B' Bike Storage Room on 1 st Floor	=	19 spaces
Building 'C' Bike Storage Room on 1 st Floor	=	14 spaces
1.0 Storage Space per Unit	=	143 spaces
Total Bicycle Parking Provided	=	234 spaces

UTILITIES

Utility Analysis Memoranda and Composite Utility Plans, prepared by Jaki Hunt, PE, are provided in Section IV of this application for each lot proposed to be developed.

Sanitary Sewer

Sanitary sewer service can adequately be provided to the development in compliance with the *Villebois Village Master Plan* and the City's Wastewater Collection System Master Plan, as demonstrated in the *Utility Analysis Memorandum*.

The Sanitary Sewer Master Plan shows this Lots 73 and 76 to be located within Area 3A. The 49 multi-family unit development proposed on Lot 73 will connect to an existing gravity system that will flow into existing sanitary sewer lines from Phase 4 South and Phase 1 Central. Sewer connection locations include SW Barber Street to the northeast and SW Toulouse Street to the

southwest. The ultimate discharge location will be through the Barber Main to the west which connects to the offsite United Disposal main in Kinsman Road. Building 'A' on Lot 76 will be served by a new connection to the existing sewer main in SW Campanile Lane right-of-way. Building 'B' on Lot 76 will utilize an existing lateral in SW Barber Street.

Water

The *Utility Analysis Memoranda* demonstrate that water service can adequately serve the sites in compliance with the *Villebois Village Master Plan* and the City's Water System Master Plan. The 49 multi-family unit development on Lot 73 is proposed to connect to existing water lines from Phase 4 South and Phase 1 Central. The mains are located in SW Barber Street and SW Toulouse Street rights-of-way. Both Building 'A' and Building 'B' on Lot 76 will be served by existing water service stubbed to the site. Lot 12 will be served with a connection to the existing water line in SW Palermo Street. Proposed location of an irrigation meter is shown on the *Composite Utility Plan* is provided in Section IV of the application.

Stormwater

The *Utility Analysis Memoranda and Composite Utility Plans* show compliance with the Stormwater Master Plan.

Rainwater

Treatment of rainwater in Lot 73 will be provided with bio-retention cells that will connect to the existing storm main in SW Toulouse Street. Treatment of rainwater for Building 'A' on Lot 76 will be provided with bio-retention cells that will connect to the existing stormwater lateral in SW Campanile Lane. Treatment of rainwater for Building 'B' on Lot 76 will be provided with bio retention cells that will connect to the stormwater main in SW Barber Street. Treatment of rainwater in Lot 12 will be provided with a bio-retention swale as shown on the *Composite Utility Plan* provided in Section IV of the application.

LIGHTING

The outdoor lighting will comply with the LZ 2 requirements of the Light Zone Map, as well as comply with all applicable building codes. See Landscape drawings for site lighting information. See the following description regarding the exterior architectural lighting at the proposed buildings.

Building A: See drawing sheet A.501 in Section V of this application for proposed architectural lighting at exterior perimeter of Building A, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances, and balconies at upper floor levels.

Building B: See drawing sheet A.501 in Section V of this application for proposed architectural lighting at exterior perimeter of Building B, which provides downlighting

at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances. The amenity terrace at Level 5 will also have soffit lighting.

Building C: See drawing sheet A.502 of this application for proposed architectural lighting at exterior perimeter of Building C, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances, and balconies at upper floor levels.

Light Fixtures: Lighting cutsheets are provided in Section VI of this application for proposed architectural exterior lighting, which include recessed LED downlight and LED wall sconces to conserve energy. All exterior LED fixtures have dimming abilities, to control brightness.

- The D-1 LED recessed downlight distributes lighting downward to prevent unnatural brightening of the night sky.
- The D-2 LED ribbon lighting will be used with acrylic panels at the Building B amenity terrace at Level 5. Geometric shapes within the terrace soffit will provide a visual focal point, while illuminating the exterior space.
- The S-1 LED wall sconce provides both uplighting and downlighting; the S-1 light fixture is proposed at two locations at Building B, to accentuate the stepped back massing of the primary façade facing the central plaza.
- The S-2 LED wall sconce and S-3 LED wall sconce both distribute the lighting downward to prevent unnatural brightening of the night sky.

SIGNAGE

Signage design and/or locations for future retail spaces are beyond the scope of the proposed project. Signage designs will be provided as part of future retail tenant improvements. The signage for future retail spaces will comply with the SAP Central Master Signage and Wayfinding Plan requirements as reference in the Signage Plan sheets enclosed. No sign permits are requested with this submittal.

PARKS & OPEN SPACE

The Master Plan and SAP Central do not show any parks within the subject area and no parks or open space are proposed with this application.

RESIDENTIAL AMENITIES

The total development will provide 143 residential market-rate apartments, with an average size of approximately 700 square feet per unit. Common residential amenities include:

- 1,076 square foot community room in Building 'A'
- 972 square foot fitness room in Building 'A'
- 623 square foot lobby in Building 'A'
- 1,038 square foot amenity room and deck in Building 'B'

- 128 square foot dog washing station in Building 'B'
- 646 square foot lobby in Building 'B'
- 800 square foot outdoor recreational area behind Building 'C', and
- 358 square foot lobby in Building 'C'.

Additionally, the development's 465 square foot leasing office is located in Building 'B', a 2,568 square foot community mail center is located in Building 'C', and each building contains common bike storage, and individual storage rental areas.

VII. TYPE C TREE REMOVAL

Included in this submittal are Type "C" Tree Removal applications, which are being submitted separately but concurrently since it is a staff decision.

Development site plans for Buildings A and B, on Lot 76, show 4 trees located on the site, 2 trees abutting the site, and street trees adjacent to Royal Scot Lane, SW Villebois Drive North and SW Campanile Lane. The 4 trees located on-site are proposed to be removed in to accommodate the mixed-use development and associated parking lot. The 2 trees located adjacent to the site and all street trees are proposed to be preserved.

Development site plans for Building C, on Lot 73, show six 6 trees located on-site and 8 trees located within the linear green adjacent to the site. The 6 trees located within the development site are proposed to be removed in to accommodate the mixed-use development and associated parking area. The 8 trees located within the linear green are proposed to be preserved.

Development site plans for the surface parking area on Lot 12 show the 2 located on the development site and 2 street trees located along SW Barber Street. The 2 trees located within the development site are proposed to be removed in to accommodate the parking lot. The 2 street streets along SW Barber Street are proposed to be preserved.

Tree Preservation Plans and an arborist report, prepared by Morgan Holen, providing mitigation analysis for planting replacement trees and tree protection standards for preservation of the street trees is included in this submittal.

VIII. PROPOSAL SUMMARY & CONCLUSION

This Introductory Narrative describes the proposed Specific Area Plan Amendment, Preliminary Development Plan and modifications, Zone Change, Final Development Plans, and Tree Removal applications required for the Villebois Village Center Mixed-Use Development. The submittal package includes Supporting Compliance Reports, technical reports, plans, and elevations, floorplans and details that support the requests for approval of the subject applications and demonstrate compliance with the applicable standards of the Wilsonville Planning and Land Development Ordinance.

After recording return to:

Real Capital Solutions, Inc.
371 Centennial Parkway, Suite 200
Louisville, CO 80027
Attn: Jeanne DeLorme Graca

GRANTOR: Villebois Village Center LLC, an Oregon limited liability company

GRANTEE: RCS – Villebois Development, LLC, a Colorado limited liability company

Clackamas County Official Records
Sherry Hall, County Clerk

2013-066625

09/23/2013 08:43:25 AM

D-D Cnt=1 Stn=1 KARLYN
\$25.00 \$16.00 \$10.00 \$17.00

\$68.00

Until a change is requested, all tax statements shall be sent to Grantee at the following address:

Property Management
371 Centennial Parkway, Suite 200
Louisville, CO 80027

STATUTORY SPECIAL WARRANTY DEED

Villebois Village Center LLC, an Oregon limited liability company ("Grantor"), conveys and specially warrants to RCS – Villebois Development, LLC, a Colorado limited liability company ("Grantee"), the following described real property free of encumbrances created or suffered by the Grantor except as specifically set forth herein:

See Exhibit "A" attached hereto.

This conveyance is made by Grantor and accepted by Grantee subject to the exceptions to title set forth in Exhibit "B" attached hereto.

As required by ORS 93.030, notice is given that other property or value was either part or the whole consideration for this conveyance.

This Deed is an absolute conveyance and is not given or intended as security or additional security or collateral of any kind whatsoever. Grantor hereby acknowledges having received fair and adequate consideration for said land and Grantor hereby declares that this conveyance is freely and fairly made. Further, it is the express intent of both the Grantor and the Grantee herein that the legal estate acquired by the Grantee pursuant to the conveyance by this Deed shall not be merged with the interest of the Deeds of Trust in the subject property by virtue of those certain Deeds of Trust, as follows:

- (1) Deed of Trust to secure indebtedness in the original amount of \$4,100,000 recorded October 20, 2006 as Fee No. 2006-097405, as amended by a document recorded October 24, 2007 as Fee No. 2007-091600, a document recorded December 18, 2008 as Fee No. 2008-082931, a document recorded April 17, 2009 as Fee No. 2009-025840, a document recorded July 2, 2009 as Fee No. 2009-047081, a document recorded April 29, 2010 as Fee No. 2010-025621, a document recorded September 15, 2010 as Fee No. 2010-057707, and a document recorded May 2, 2011 as Fee No. 2011-026301.
- (2) Deed of Trust to secure indebtedness in the original amount of \$4,680,000 recorded March 14, 2008 as Fee No. 2008-018155, as amended by a document recorded June 9, 2009 as Fee No. 2008-041683, a document recorded April 29, 2010 as Fee No. 2010-025618 and a document recorded September 15, 2010 as Fee No. 2010-057708.

- (3) Deed of Trust to secure indebtedness in the original amount of \$6,216,000 recorded May 1, 2008 as Fee No. 2008-032099, as amended by a document recorded April 29, 2010 as Fee No. 2010-025619 and a document recorded September 15, 2010 as Fee No. 2010-057709.
- (4) Line of Credit Deed of Trust to secure indebtedness in the original amount of \$10,896,000 recorded May 1, 2008 as Fee No. 2008-032100, as amended by the document recorded June 9, 2008 as Fee No. 2008-041685.
- (5) Deed of Trust to secure indebtedness in the original amount of \$650,000 recorded September 15, 2010 as Fee No. 2010-057706, as amended by a document recorded May 2, 2011 as Fee No. 2011-026299.

all of which were: (a) amended by the Assignment and Assumption of Deeds of Trust recorded August 1, 2013 as Fee No. 2013-054762; and (b) supplemented by a Subdivision Plat Consent Affidavit recorded May 28, 2008 as Fee No. 2008-038605 and were executed by and between Borrower and Washington Federal, Inc. Nothing in this Warranty Deed will serve to release or discharge any of the indebtedness secured by the Deeds of Trust or other security documents.

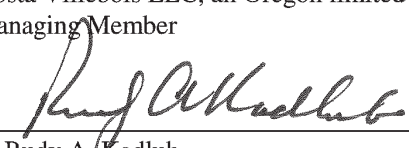
BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

DATED: 9.14, 2013

GRANTOR:

Villebois Village Center LLC, an Oregon limited liability company

By: Costa Villebois LLC, an Oregon limited liability company,
Its: Managing Member

By: 
Rudy A. Kadlub
Its: Manager

STATE OF OREGON)

COUNTY OF MULTNOMAH) ss.

The foregoing instrument was acknowledged before me this 14th day of SEPTEMBER, 2013 by Rudy A. Kadlub as Manager of Costa Villebois LLC, an Oregon limited liability company, as managing member of Villebois Village Center LLC, an Oregon limited liability company.



Notary Public for _____

My commission expires: _____

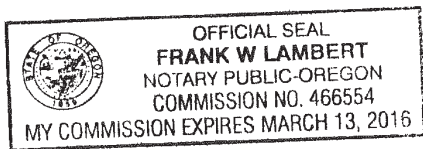


EXHIBIT A TO DEED TO VILLEBOIS DEVELOPMENT

Legal Description

PHASE I:

Lots 1, 2, 19 and 20 LES BOIS ROWHOMES AT VILLEBOIS VILLAGE CENTER, according to the office plat thereof, recorded May 13, 2010 as Plat No. 4296, in the City of Wilsonville, Clackamas County, Oregon

Lots 4, 5, 6, 8, 9, 10, 11 and 12, VILLEBOIS VILLAGE CENTER, according to the official plat thereof, recorded June 29, 2007 as Plat No. 4155, in the City of Wilsonville, Clackamas County, Oregon

PHASE II:

Lots 54, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, and 74 VILLEBOIS VILLAGE CENTER NO. 2, according to the official plat thereof, recorded May 28, 2008 as No. 4228, in the City of Wilsonville, Clackamas County, Oregon

PHASE III:

Parcel 3, PARTITION PLAT NO. 2007-128, in the City of Wilsonville, Clackamas County, Oregon.
EXCEPTING THEREFROM that portion described in Street Dedication recorded September 27, 2010 as No. 2010-060545

EXHIBIT B TO DEED TO VILLEBOIS DEVELOPMENT

Permitted Encumbrances

1. Reservation of Rights in favor of the Oregon Department of Human Services contained in a Deed recorded July 1, 2004 as Fee No. 2004-061031, as amended by the Partial Release of Reservation of Rights recorded August 27, 2009 as Fee No. 2009-061453.
2. Terms and provisions contained in the document entitled "Unrecorded Development Agreement" recorded October 17, 2005 as Fee No. 2005-102816.
3. Restrictions and easements shown on the recorded plat of Villebois.
4. Restrictions and easements shown on the recorded plat of Villebois Village Center No. 2.
5. Restrictions and easements shown on Partition Plat No. 2003-90.
6. Restrictions and easements shown on Partition Plat No. 2007-127.
7. Restrictions and easements shown on Partition Plat No. 2007-128.
8. Restrictions and easements shown on the recorded plat of Les Bois Rowhomes at Villebois Village Center.
9. Covenants, conditions, restrictions and easements in document recorded June 29, 2007 as Fee No. 2007-057605, as modified by the document recorded May 9, 2008 as Fee No. 2008-034239 and re-recorded January 13, 2010 as Fee No. 2010-002715.
10. Declaration of Annexation to Villebois Village Center (Villebois Village Center No. 2) recorded June 24, 2008 as Fee No. 2008-045988.
11. Articles of Incorporation and Bylaws of the Villbois Village Center Master Owners Association recorded April 7, 2009 as Fee No. 2009-022975.
12. Ownership and Maintenance Agreement recorded June 27, 2007 as Fee No. 2007-057606, as amended by an Assignment and Assumption Agreement recorded February 29, 2012 as Fee No. 2012-011927.
13. Ownership and Maintenance Agreement recorded May 28, 2008 as Fee No. 2008-038607.
14. Easement in favor of the City of Wilsonville recorded September 27, 2010 as Fee No. 2010-060545.
15. Temporary Construction Easement Agreement recorded September 27, 2010 as Fee No. 2010-060551.
16. Easement in favor of the City of Wilsonville recorded March 1, 2013 as Fee No. 2013-014659.
17. Easement in favor of the City of Wilsonville recorded March 1, 2013 as Fee No. 2013-014660.
18. Covenants, conditions, restrictions and easements in the document recorded May 13, 2010 as Fee No. 2010-028849.
19. Affidavit of Remaining Monumentation recorded August 26, 2009 as Fee No. 2009-061143.

Clackamas County Official Records
Sherry Hall, County Clerk

2013-069542

10/07/2013 09:03:44 AM

D-D Cnt=1 Stn=1 KARLYN
\$25.00 \$16.00 \$10.00 \$17.00

\$68.00

After recording return to:

Real Capital Solutions, Inc.
371 Centennial Parkway, Suite 200
Louisville, CO 80027
Attn: Jeanne DeLorme Graca

GRANTOR: Villebois Village Center LLC, an Oregon limited liability company

Until a change is requested, all tax statements shall be sent to Grantee at the following address:

Property Management
371 Centennial Parkway, Suite 200
Louisville, CO 80027

GRANTEE: RCS – Villebois Development, LLC, a Colorado limited liability company

**CORRECTIVE
STATUTORY SPECIAL WARRANTY DEED**

This Deed amends and supersedes the Statutory Special Warranty Deed recorded on September 23, 2013 as Document No. 2013-066625, Records of Clackamas County, Oregon

Villebois Village Center LLC, an Oregon limited liability company ("Grantor"), conveys and specially warrants to RCS – Villebois Development, LLC, a Colorado limited liability company ("Grantee"), the following described real property free of encumbrances created or suffered by the Grantor except as specifically set forth herein:

See Exhibit "A" attached hereto.

This conveyance is made by Grantor and accepted by Grantee subject to the exceptions to title set forth in Exhibit "B" attached hereto.

As required by ORS 93.030, notice is given that other property or value was either part or the whole consideration for this conveyance.

This Deed is an absolute conveyance and is not given or intended as security or additional security or collateral of any kind whatsoever. Grantor hereby acknowledges having received fair and adequate consideration for said land and Grantor hereby declares that this conveyance is freely and fairly made. Further, it is the express intent of both the Grantor and the Grantee herein that the legal estate acquired by the Grantee pursuant to the conveyance by this Deed shall not be merged with the interest of the Deeds of Trust in the subject property by virtue of those certain Deeds of Trust, as follows:

- (1) Deed of Trust to secure indebtedness in the original amount of \$4,100,000 recorded October 20, 2006 as Fee No. 2006-097405, as amended by a document recorded October 24, 2007 as Fee No. 2007-091600, a document recorded December 18, 2008 as Fee No. 2008-082931, a document recorded April 17, 2009 as Fee No. 2009-025840, a document recorded July 2, 2009 as Fee No. 2009-047081, a document recorded April 29, 2010 as Fee No. 2010-025621, a document recorded September 15, 2010 as Fee No. 2010-057707, and a document recorded May 2, 2011 as Fee No. 2011-026301.

*Lawler T. T. Le Ae 1335540
Acco. Returned.*

RECORDED BY LAWYERS TITLE INS CORP. AS AN ACCOMMODATION
ONLY NO LIABILITY IS ACCEPTED FOR THE CORRECTNESS OF TITLE OR
FOR THE VALIDITY, SUFFICIENCY, OR EFFECT OF THIS DOCUMENT.

- (2) Deed of Trust to secure indebtedness in the original amount of \$4,680,000 recorded March 14, 2008 as Fee No. 2008-018155, as amended by a document recorded June 9, 2009 as Fee No. 2008-041683, a document recorded April 29, 2010 as Fee No. 2010-025618 and a document recorded September 15, 2010 as Fee No. 2010-057708.
- (3) Deed of Trust to secure indebtedness in the original amount of \$6,216,000 recorded May 1, 2008 as Fee No. 2008-032099, as amended by a document recorded April 29, 2010 as Fee No. 2010-025619 and a document recorded September 15, 2010 as Fee No. 2010-057709.
- (4) Line of Credit Deed of Trust to secure indebtedness in the original amount of \$10,896,000 recorded May 1, 2008 as Fee No. 2008-032100, as amended by the document recorded June 9, 2008 as Fee No. 2008-041685.
- (5) Deed of Trust to secure indebtedness in the original amount of \$650,000 recorded September 15, 2010 as Fee No. 2010-057706, as amended by a document recorded May 2, 2011 as Fee No. 2011-026299.

all of which were: (a) amended by the Assignment and Assumption of Deeds of Trust recorded August 1, 2013 as Fee No. 2013-054762; and (b) supplemented by a Subdivision Plat Consent Affidavit recorded May 28, 2008 as Fee No. 2008-038605 and were executed by and between Borrower and Washington Federal, Inc. Nothing in this Warranty Deed will serve to release or discharge any of the indebtedness secured by the Deeds of Trust or other security documents.

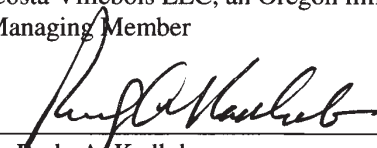
BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

DATED: 10-4, 2013

GRANTOR:

Villebois Village Center LLC, an Oregon limited liability company

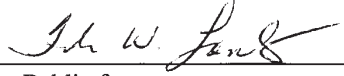
By: Costa Villebois LLC, an Oregon limited liability company,
Its: Managing Member

By: 
Rudy A. Kadlub
Its: Manager

STATE OF OREGON)

COUNTY OF MULTNOMAH) ss.

The foregoing instrument was acknowledged before me this 4th day of OCTOBER, 2013 by Rudy A. Kadlub as Manager of Costa Villebois LLC, an Oregon limited liability company, as managing member of Villebois Village Center LLC, an Oregon limited liability company.



Notary Public for _____
My commission expires: _____

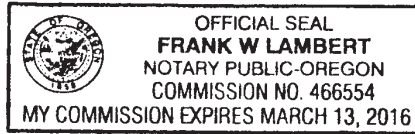


EXHIBIT A TO DEED TO VILLEBOIS DEVELOPMENT

Legal Description

PHASE I:

Lots 1, 2, 19 and 20 LES BOIS ROWHOMES AT VILLEBOIS VILLAGE CENTER, according to the office plat thereof, recorded May 13, 2010 as Plat No. 4296, in the City of Wilsonville, Clackamas County, Oregon

Lots 4, 5, 6, 8, 9, 10, 11 and 12, VILLEBOIS VILLAGE CENTER, according to the official plat thereof, recorded June 29, 2007 as Plat No. 4155, in the City of Wilsonville, Clackamas County, Oregon

PHASE II:

Lots 54, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, and 74 VILLEBOIS VILLAGE CENTER NO. 2, according to the official plat thereof, recorded May 28, 2008 as No. 4228, in the City of Wilsonville, Clackamas County, Oregon

PHASE III:

Parcel 3, PARTITION PLAT NO. 2007-128, in the City of Wilsonville, Clackamas County, Oregon.
EXCEPTING THEREFROM that portion described in Street Dedication recorded September 27, 2010 as No. 2010-060545 and EXCEPTING THEREFROM that portion described in Street Dedication recorded March 1, 2013 as Fee No. 2013-014659, Records of Clackamas County, Oregon

EXHIBIT B TO DEED TO VILLEBOIS DEVELOPMENT

Permitted Encumbrances

1. Reservation of Rights in favor of the Oregon Department of Human Services contained in a Deed recorded July 1, 2004 as Fee No. 2004-061031, as amended by the Partial Release of Reservation of Rights recorded August 27, 2009 as Fee No. 2009-061453.
2. Terms and provisions contained in the document entitled "Unrecorded Development Agreement" recorded October 17, 2005 as Fee No. 2005-102816.
3. Restrictions and easements shown on the recorded plat of Villebois.
4. Restrictions and easements shown on the recorded plat of Villebois Village Center No. 2.
5. Restrictions and easements shown on Partition Plat No. 2003-90.
6. Restrictions and easements shown on Partition Plat No. 2007-127.
7. Restrictions and easements shown on Partition Plat No. 2007-128.
8. Restrictions and easements shown on the recorded plat of Les Bois Rowhomes at Villebois Village Center.
9. Covenants, conditions, restrictions and easements in document recorded June 29, 2007 as Fee No. 2007-057605, as modified by the document recorded May 9, 2008 as Fee No. 2008-034239 and re-recorded January 13, 2010 as Fee No. 2010-002715.
10. Declaration of Annexation to Villebois Village Center (Villebois Village Center No. 2) recorded June 24, 2008 as Fee No. 2008-045988.
11. Articles of Incorporation and Bylaws of the Villbois Village Center Master Owners Association recorded April 7, 2009 as Fee No. 2009-022975.
12. Ownership and Maintenance Agreement recorded June 27, 2007 as Fee No. 2007-057606, as amended by an Assignment and Assumption Agreement recorded February 29, 2012 as Fee No. 2012-011927.
13. Ownership and Maintenance Agreement recorded May 28, 2008 as Fee No. 2008-038607.
14. Easement in favor of the City of Wilsonville recorded September 27, 2010 as Fee No. 2010-060545.
15. Temporary Construction Easement Agreement recorded September 27, 2010 as Fee No. 2010-060551.
16. Easement in favor of the City of Wilsonville recorded March 1, 2013 as Fee No. 2013-014659.
17. Easement in favor of the City of Wilsonville recorded March 1, 2013 as Fee No. 2013-014660.
18. Covenants, conditions, restrictions and easements in the document recorded May 13, 2010 as Fee No. 2010-028849.
19. Affidavit of Remaining Monumentation recorded August 26, 2009 as Fee No. 2009-061143.

After recording return to:

Real Capital Solutions, Inc.
371 Centennial Parkway, Suite 200
Louisville, CO 80027
Attn: Jeanne DeLorme Graca

GRANTOR: Villebois Village Center LLC, an Oregon limited liability company

GRANTEE: RCS – Villebois Investments, LLC, a Colorado limited liability company

Clackamas County Official Records	2013-066626
Sherry Hall, County Clerk	09/23/2013 08:43:25 AM
D-D	Cnt=1 Stn=1 KARLYN
\$25.00 \$16.00 \$10.00 \$17.00	\$68.00

Until a change is requested, all tax statements shall be sent to Grantee at the following address:

Property Management
371 Centennial Parkway, Suite 200
Louisville, CO 80027

STATUTORY SPECIAL WARRANTY DEED

Villebois Village Center LLC, an Oregon limited liability company ("Grantor"), conveys and specially warrants to RCS – Villebois Investments, LLC, a Colorado limited liability company ("Grantee"), the following described real property free of encumbrances created or suffered by the Grantor except as specifically set forth herein:

See Exhibit "A" attached hereto.

This conveyance is made by Grantor and accepted by Grantee subject to the exceptions to title set forth in Exhibit "B" attached hereto.

As required by ORS 93.030, notice is given that other property or value was either part or the whole consideration for this conveyance.

This Deed is an absolute conveyance and is not given or intended as security or additional security or collateral of any kind whatsoever. Grantor hereby acknowledges having received fair and adequate consideration for said land and Grantor hereby declares that this conveyance is freely and fairly made. Further, it is the express intent of both the Grantor and the Grantee herein that the legal estate acquired by the Grantee pursuant to the conveyance by this Deed shall not be merged with the interest of the Deeds of Trust in the subject property by virtue of those certain Deeds of Trust, as follows:

- (1) Deed of Trust to secure indebtedness in the original amount of \$4,100,000 recorded October 20, 2006 as Fee No. 2006-097405, as amended by a document recorded October 24, 2007 as Fee No. 2007-091600, a document recorded December 18, 2008 as Fee No. 2008-082931, a document recorded April 17, 2009 as Fee No. 2009-025840, a document recorded July 2, 2009 as Fee No. 2009-047081, a document recorded April 29, 2010 as Fee No. 2010-025621, a document recorded September 15, 2010 as Fee No. 2010-057707, and a document recorded May 2, 2011 as Fee No. 2011-026301.
- (2) Deed of Trust to secure indebtedness in the original amount of \$4,680,000 recorded March 14, 2008 as Fee No. 2008-018155, as amended by a document recorded June 9, 2009 as Fee No. 2008-041683, a document recorded April 29, 2010 as Fee No. 2010-025618 and a document recorded September 15, 2010 as Fee No. 2010-057708.

- (3) Line of Credit Deed of Trust to secure indebtedness in the original amount of \$10,896,000 recorded May 1, 2008 as Fee No. 2008-032100, as amended by the document recorded June 9, 2008 as Fee No. 2008-041685.
- (4) Deed of Trust to secure indebtedness in the original amount of \$650,000 recorded September 15, 2010 as Fee No. 2010-057706, as amended by a document recorded May 2, 2011 as Fee No. 2011-026299.

all of which were: (a) amended by the Assignment and Assumption of Deeds of Trust recorded August 1, 2013 as Fee No. 2013-054762; and (b) supplemented by a Subdivision Plat Consent Affidavit recorded May 28, 2008 as Fee No. 2008-038605 and were executed by and between Borrower and Washington Federal, Inc. Nothing in this Warranty Deed will serve to release or discharge any of the indebtedness secured by the Deeds of Trust or other security documents.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON'S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

DATED: 9.13, 2013

GRANTOR:

Villebois Village Center LLC, an Oregon limited liability company

By: Costa Villebois LLC, an Oregon limited liability company,
Its: managing member

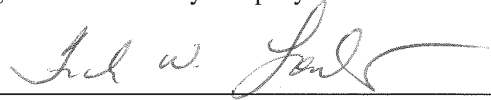
By: 
Rudy A. Kadlub
Its: Manager

STATE OF OREGON)

) ss.

COUNTY OF MULTNOMAH)

The foregoing instrument was acknowledged before me this ^{14th} ___ day of SEPTEMBER, 2013 by Rudy A. Kadlub as Manager of Costa Villebois LLC, an Oregon limited liability company, as managing member of Villebois Village Center LLC, an Oregon limited liability company.



Notary Public for _____

My commission expires: _____

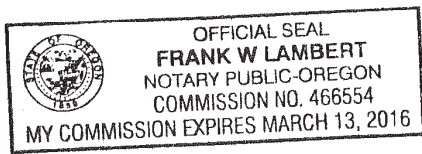


EXHIBIT A TO DEED TO VILLEBOIS INVESTMENTS

Legal Description

PHASE I:

Lots 44, 45, 46, 47, 48, 49, 50 and 51, VILLEBOIS VILLAGE CENTER, according to the official plat thereof, recorded June 29, 2007 as Plat No. 4155, in the City of Wilsonville, Clackamas County, Oregon

PHASE II:

Lots 71 and 73, VILLEBOIS VILLAGE CENTER NO. 2, according to the official plat thereof, recorded May 28, 2008 as No. 4228, in the City of Wilsonville, Clackamas County, Oregon

EXHIBIT B TO DEED TO VILLEBOIS INVESTMENTS

Permitted Encumbrances

1. Restrictions and easements shown on the recorded plat of Villebois Village Center.
2. Restrictions and easements shown on the recorded plat of Villebois Village Center No. 2.
3. Restrictions and easements shown on Partition Plat No. 2003-90.
4. Restrictions and easements shown on Partition Plat No. 2007-127.
5. Restrictions and easements shown on Partition Plat No. 2007-128.
6. Covenants, conditions, restrictions and easements in document recorded June 29, 2007 as Fee No. 2007-057605, as modified by the document recorded May 9, 2008 as Fee No. 2008-034239 and re-recorded January 13, 2010 as Fee No. 2010-002715.
7. Declaration of Annexation to Villebois Village Center (Villebois Village Center No. 2) recorded June 24, 2008 as Fee No. 2008-045988.
8. Articles of Incorporation and Bylaws of the Villebois Village Center Master Owners Association recorded April 7, 2009 as Fee No. 2009-022975.
9. Ownership and Maintenance Agreement recorded June 27, 2007 as Fee No. 2007-057606, as amended by an Assignment and Assumption Agreement recorded February 29, 2012 as Fee No. 2012-011927.
10. Ownership and Maintenance Agreement recorded May 28, 2008 as Fee No. 2008-038607.
11. Affidavit of Remaining Monumentation recorded August 26, 2009 as Fee No. 2009-061143.
12. Declaration of Protective Covenants, Conditions, Restrictions and Easements for Seville Rowhomes recorded April 22, 2009 as Fee No. 2009-027234.

Clackamas County Official Records **2017-064893**
Sherry Hall, County Clerk
09/22/2017 10:40:02 AM
D-DED Cnt=1 Stn=0 LESLIE
\$25.00 \$16.00 \$10.00 \$22.00 **\$73.00**

After recording, return to:
City of Wilsonville
Attn: Legal Department
29799 SW Town Center Loop East
Wilsonville OR 97070

STREET DEDICATION DEED

KNOW ALL BY THESE PRESENTS, that **RCS – Villebois Development, LLC**, a Colorado limited liability company (hereinafter referred to as “Grantor”), as legal owner of that certain real property legally described below (“Property”), does hereby dedicate, grant, transfer, and convey to the **City of Wilsonville**, a municipal corporation of the State of Oregon, and its assigns (hereinafter referred to as “Grantee”), for the use of the public as public way, street, and road (“Street Dedication”), effective the 21st day of September, 2017, certain real property legally described as follows:

See **Exhibit A**, Legal Description, and **Exhibit B**, Locational Map, attached hereto, and incorporated by reference as if fully set forth herein.

TO HAVE AND TO HOLD the above-described Street Dedication unto Grantee for the public uses and purposes hereinabove mentioned; provided, however, in the event said Property is not used or ceases to be used for a public purpose, the Street Dedication may be vacated.

The true and actual consideration paid for this transfer, stated in terms of dollars, is Zero Dollars but consists of or includes other property or value given or promised, which is agreed by Grantor to be the whole and adequate consideration.

This Street Dedication Deed shall be subject to and construed pursuant to the laws of the State of Oregon, and venue shall be in the County of Clackamas.

No modifications may be made to this Dedication, except in writing, signed by both parties.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON’S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS

Street Dedication
Berkshire No. 2, Lot 76 VVC 3, Tax Lot 2800

Lawler's Title 150002774


AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

IN WITNESS WHEREOF, the undersigned have executed this Street Dedication effective as of the date first above written.

GRANTOR:


RCS -VILLEBOIS DEVELOPMENT, LLC,
a Colorado limited liability company

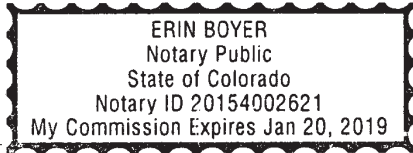
By: Real Capital Solutions, Inc.,
a Colorado corporation
Its: Manager

By: 
Name: Brian Wilson
Its: Division President

STATE OF COLORADO)
) ss
COUNTY OF BOULDER)

This instrument was acknowledged before me on September 12, 2017, by Brian Wilson, who personally appeared before me, was identified by satisfactory evidence, and acknowledged that he executed the instrument in his authorized capacity as a Division President of Real Capital Solutions, Inc., a Colorado corporation, a Manager of RCS – Villebois Development, LLC, a Colorado limited liability company, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.


Notary Public – State of Colorado



GRANTEE:

ACCEPTED on behalf of the public and Grantee by the City of Wilsonville, Oregon:


Bryan Cosgrove, City Manager

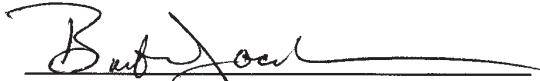


STATE OF OREGON)
) ss.
County of Clackamas)

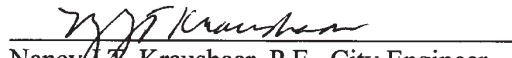
This instrument was acknowledged before me on September 21, 2017, by Bryan Cosgrove, as City Manager of the City of Wilsonville.


Notary Public – State of Oregon

APPROVED AS TO FORM:


Barbara A. Jacobson, City Attorney

APPROVED AS TO LEGAL DESCRIPTION:


Nancy W. Kraushaar, P.E., City Engineer

I:\esmt\villebois\berkshire 2\doc\deed street ded berkshire 2 lot 76 vvc 3--rcs vb (bj*).doc

EXHIBIT A



LEGAL DESCRIPTION

Street Dedication

Lot 76, "Villebois Village Center No. 3"
Map 3S1W15AC Tax Lot 2800

A street dedication within Lot 76, plat of "Villebois Village Center No. 3", Clackamas County Plat Records, in the Northwest and Northeast Quarters of Section 15, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, State of Oregon, more particularly described as follows:

BEGINNING at the most northerly corner of said Lot 76;

thence along the northerly line of said Lot 76, South 42°56'37" East, a distance of 169.09 feet to an angle point;

thence continuing along said northerly line, North 47°03'23" East, a distance of 91.00 feet to an angle point;

thence continuing along said northerly line, South 42°56'37" East, a distance of 30.50 feet;

thence parallel with and 30.50 feet southerly of said northerly line, South 47°03'23" West, a distance of 137.00 feet to an angle point on the southerly line of said Lot 76;

thence along said southerly line, North 42°56'37" West, a distance of 63.00 feet to an angle point;

thence leaving said southerly line, North 47°03'23" East, a distance of 18.50 feet;

thence parallel with and 27.50 feet southerly of said northerly line, North 42°56'37" West, a distance of 136.59 feet to a point on said northerly line;

thence along said northerly line, North 47°02'56" East, a distance of 27.50 feet to the POINT OF BEGINNING.

Containing 9,430 square feet, more or less.

Basis of bearings being plat of "Villebois Village Center No. 3", Clackamas County Plat Records.

Property Vested in:

RCS - Villebois Development, LLC

Map 3S1W15AC Tax Lot 2800

REGISTERED
PROFESSIONAL
LAND SURVEYOR

A handwritten signature in black ink, appearing to read "T. Jansen".

OREGON
JULY 9, 2002
TRAVIS C. JANSEN
57751

RENEWS: 6/30/2017

EXHIBIT B

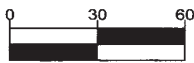


SKETCH TO ACCOMPANY LEGAL DESCRIPTION

Street Dedication
Lot 76, "Villebois Village Center No. 3"
Map 351W15AC Tax Lot 2800



SCALE



1 INCH = 60 FEET

Property Vested in:
RCS - Villebois Development, LLC
Map 351W15AC Tax Lot 2800

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 9, 2002
TRAVIS C. JANSEN
57751

RENEWS: 6/30/2017

After recording, return to:
City of Wilsonville
Attn: Legal Department
29799 SW Town Center Loop East
Wilsonville OR 97070

THIS PAGE IS A PART OF
THE OFFICIAL DOCUMENT
PLEASE DO NOT REMOVE

STREET DEDICATION DEED

KNOW ALL BY THESE PRESENTS, that **RCS – Villebois Development, LLC**, a Colorado limited liability company (hereinafter referred to as “Grantor”), as legal owner of that certain real property legally described below (“Property”), does hereby dedicate, grant, transfer, and convey to the **City of Wilsonville**, a municipal corporation of the State of Oregon, and its assigns (hereinafter referred to as “Grantee”), for the use of the public as public way, street, and road (“Street Dedication”), effective the 21st day of September, 2017, certain real property legally described as follows:

See **Exhibit A**, Legal Description, and **Exhibit B**, Locational Map, attached hereto, and incorporated by reference as if fully set forth herein.

TO HAVE AND TO HOLD the above-described Street Dedication unto Grantee for the public uses and purposes hereinabove mentioned; provided, however, in the event said Property is not used or ceases to be used for a public purpose, the Street Dedication may be vacated.

The true and actual consideration paid for this transfer, stated in terms of dollars, is Zero Dollars but consists of or includes other property or value given or promised, which is agreed by Grantor to be the whole and adequate consideration.

This Street Dedication Deed shall be subject to and construed pursuant to the laws of the State of Oregon, and venue shall be in the County of Clackamas.

No modifications may be made to this Dedication, except in writing, signed by both parties.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON’S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS

LAWYER'S TITLE 1560002774

After recording, return to:
City of Wilsonville
Attn: Legal Department
29799 SW Town Center Loop East
Wilsonville OR 97070

STREET DEDICATION DEED

KNOW ALL BY THESE PRESENTS, that **RCS – Villebois Development, LLC**, a Colorado limited liability company (hereinafter referred to as “Grantor”), as legal owner of that certain real property legally described below (“Property”), does hereby dedicate, grant, transfer, and convey to the **City of Wilsonville**, a municipal corporation of the State of Oregon, and its assigns (hereinafter referred to as “Grantee”), for the use of the public as public way, street, and road (“Street Dedication”), effective the 21st day of September, 2017, certain real property legally described as follows:

See **Exhibit A**, Legal Description, and **Exhibit B**, Locational Map, attached hereto, and incorporated by reference as if fully set forth herein.

TO HAVE AND TO HOLD the above-described Street Dedication unto Grantee for the public uses and purposes hereinabove mentioned; provided, however, in the event said Property is not used or ceases to be used for a public purpose, the Street Dedication may be vacated.

The true and actual consideration paid for this transfer, stated in terms of dollars, is Zero Dollars but consists of or includes other property or value given or promised, which is agreed by Grantor to be the whole and adequate consideration.

This Street Dedication Deed shall be subject to and construed pursuant to the laws of the State of Oregon, and venue shall be in the County of Clackamas.

No modifications may be made to this Dedication, except in writing, signed by both parties.

BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON TRANSFERRING FEE TITLE SHOULD INQUIRE ABOUT THE PERSON’S RIGHTS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010. THIS INSTRUMENT DOES NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY THAT THE UNIT OF LAND BEING TRANSFERRED IS A LAWFULLY ESTABLISHED LOT OR PARCEL, AS DEFINED IN ORS 92.010 OR 215.010, TO VERIFY THE APPROVED USES OF THE LOT OR PARCEL, TO DETERMINE ANY LIMITS ON LAWSUITS

Street Dedication

Berkshire No. 2, Lot 76 VVC 3, Tax Lot 2800

LAWYER'S TITLE 1540002774

AGAINST FARMING OR FOREST PRACTICES, AS DEFINED IN ORS 30.930, AND TO INQUIRE ABOUT THE RIGHTS OF NEIGHBORING PROPERTY OWNERS, IF ANY, UNDER ORS 195.300, 195.301 AND 195.305 TO 195.336 AND SECTIONS 5 TO 11, CHAPTER 424, OREGON LAWS 2007, SECTIONS 2 TO 9 AND 17, CHAPTER 855, OREGON LAWS 2009, AND SECTIONS 2 TO 7, CHAPTER 8, OREGON LAWS 2010.

IN WITNESS WHEREOF, the undersigned have executed this Street Dedication effective as of the date first above written.

GRANTOR:

RCS -VILLEBOIS DEVELOPMENT, LLC,
a Colorado limited liability company

By: Real Capital Solutions, Inc.,
a Colorado corporation
Its: Manager

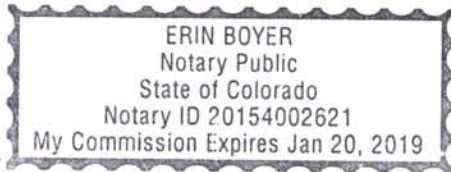
By:  _____
Name: Brian Wilson
Its: Division President

STATE OF COLORADO)
) ss
COUNTY OF BOULDER)

This instrument was acknowledged before me on September 12, 2017, by Brian Wilson, who personally appeared before me, was identified by satisfactory evidence, and acknowledged that he executed the instrument in his authorized capacity as a Division President of Real Capital Solutions, Inc., a Colorado corporation, a Manager of RCS – Villebois Development, LLC, a Colorado limited liability company, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.




Notary Public – State of Colorado



GRANTEE:

ACCEPTED on behalf of the public and Grantee by the City of Wilsonville, Oregon:




Bryan Cosgrove, City Manager



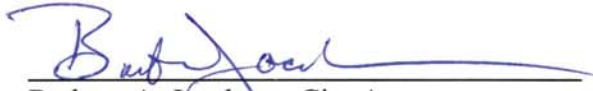
STATE OF OREGON)
) ss.
County of Clackamas)

This instrument was acknowledged before me on September 21, 2017, by Bryan Cosgrove, as City Manager of the City of Wilsonville.



Notary Public – State of Oregon

APPROVED AS TO FORM:



Barbara A. Jacobson, City Attorney

APPROVED AS TO LEGAL DESCRIPTION:



Nancy J. Kraushaar, P.E., City Engineer

EXHIBIT A



LEGAL DESCRIPTION

Street Dedication

Lot 76, "Villebois Village Center No. 3"
Map 3S1W15AC Tax Lot 2800

A street dedication within Lot 76, plat of "Villebois Village Center No. 3", Clackamas County Plat Records, in the Northwest and Northeast Quarters of Section 15, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, State of Oregon, more particularly described as follows:

BEGINNING at the most northerly corner of said Lot 76;

thence along the northerly line of said Lot 76, South 42°56'37" East, a distance of 169.09 feet to an angle point;

thence continuing along said northerly line, North 47°03'23" East, a distance of 91.00 feet to an angle point;

thence continuing along said northerly line, South 42°56'37" East, a distance of 30.50 feet;

thence parallel with and 30.50 feet southerly of said northerly line, South 47°03'23" West, a distance of 137.00 feet to an angle point on the southerly line of said Lot 76;

thence along said southerly line, North 42°56'37" West, a distance of 63.00 feet to an angle point;

thence leaving said southerly line, North 47°03'23" East, a distance of 18.50 feet;

thence parallel with and 27.50 feet southerly of said northerly line, North 42°56'37" West, a distance of 136.59 feet to a point on said northerly line;

thence along said northerly line, North 47°02'56" East, a distance of 27.50 feet to the POINT OF BEGINNING.

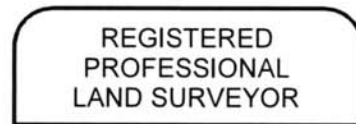
Containing 9,430 square feet, more or less.

Basis of bearings being plat of "Villebois Village Center No. 3", Clackamas County Plat Records.

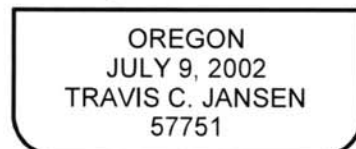
Property Vested in:

RCS - Villebois Development, LLC

Map 3S1W15AC Tax Lot 2800



A handwritten signature in black ink, appearing to read "T. Jansen".



RENEWS: 6/30/2017



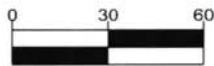
SKETCH TO ACCOMPANY LEGAL DESCRIPTION

Street Dedication

Lot 76, "Villebois Village Center No. 3"
Map 3S1W15AC Tax Lot 2800



SCALE



1 INCH = 60 FEET

Property Vested in:
RCS - Villebois Development, LLC
Map 3S1W15AC Tax Lot 2800

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 9, 2002
TRAVIS C. JANSEN
57751

RENEWS: 6/30/2017

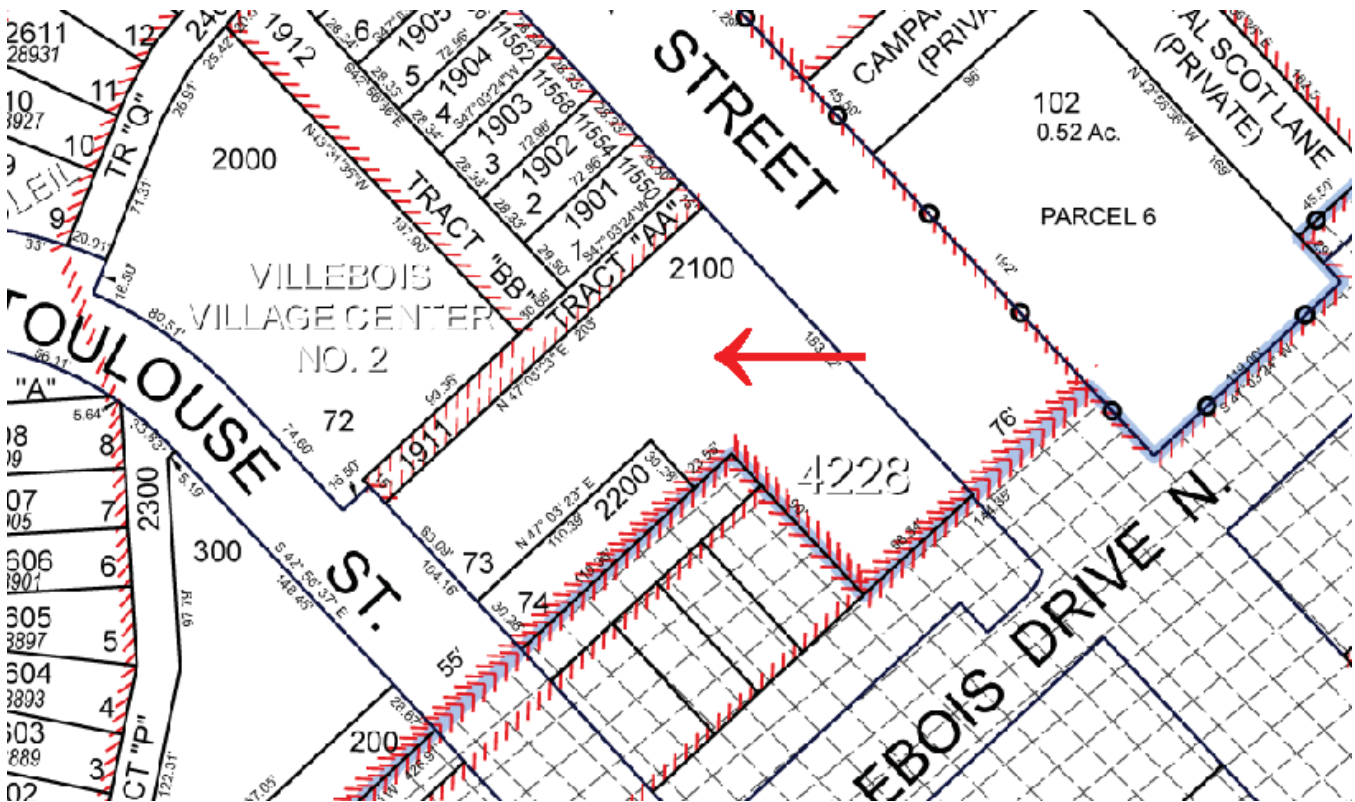


Parcel #	05019408	Owner	Property Management
Ref Parcel	31W15DB08600	Owner Address	371 Centennial Pkwy Ste 200 Louisville CO 80027
Site Address	11422 SW Barber St Wilsonville OR 97070	Market Total Value	\$278,507.00
Lot Size	0.33 Acres (14,205 SqFt)	Assessed Total Value	\$194,054.00
Building Area	0 SqFt	Year Built	
School District	West Linn-Wilsonville	Sale Date	09/23/2013
Zoning	Wilsonville-V Village	Sale Price	
Bedrooms		Subdivision	Villebois Village Center
Bathrooms		Land Use	700 - Multi-Family vacant
Legal	Subdivision VILLEBOIS VILLAGE CENTER 4155 LT 12 FUTURE MULTI-FAMILY Y 183,867		



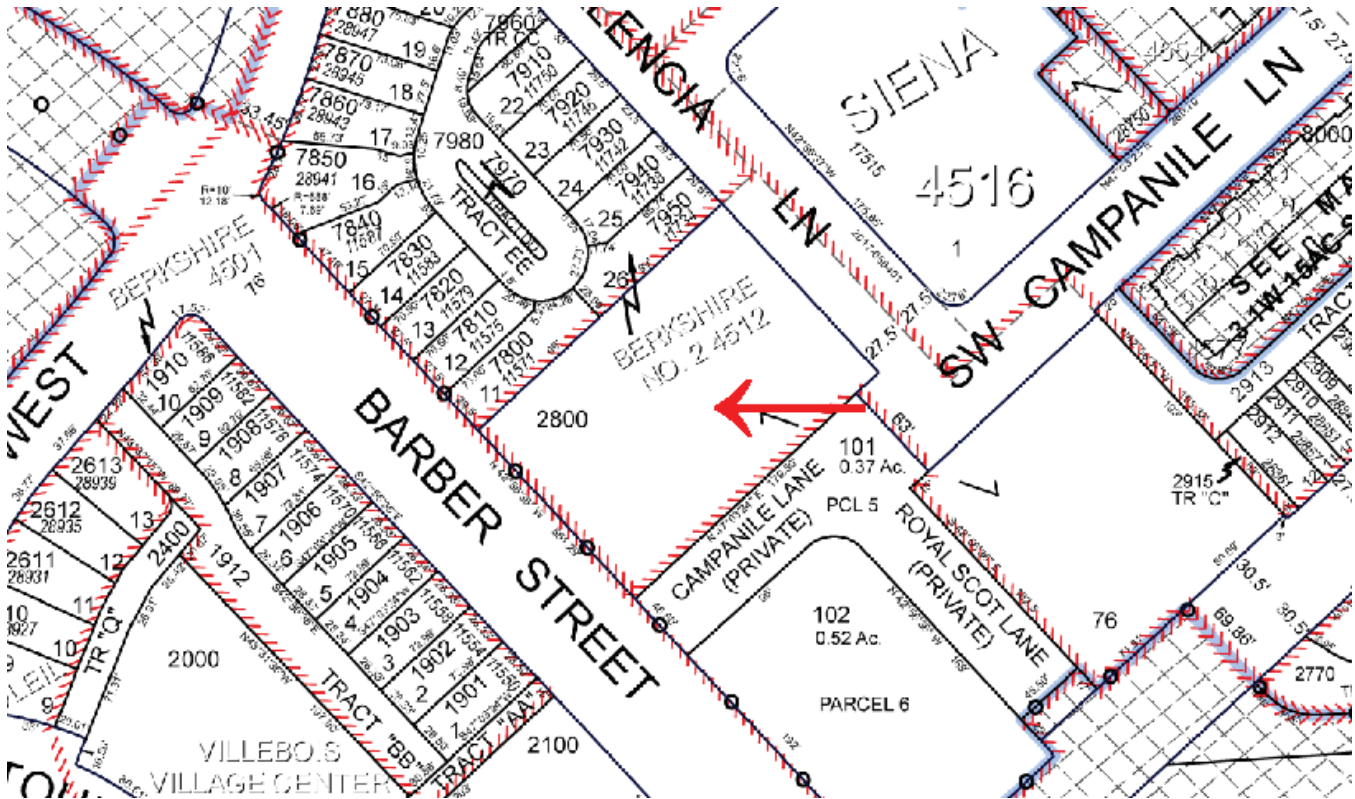
Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Parcel #	05021233	Owner	Property Management
Ref Parcel	31W15AC02100	Owner Address	371 Centennial Pkwy Ste 200 Louisville CO 80027
Site Address	Wilsonville OR 97070	Market Total Value	\$651,262.00
Lot Size	0.50 Acres (21,806 SqFt)	Assessed Total Value	\$452,098.00
Building Area	0 SqFt	Year Built	
School District	West Linn-Wilsonville	Sale Date	09/23/2013
Zoning	Wilsonville-V Village	Sale Price	
Bedrooms		Subdivision	Villebois Village Center #2
Bathrooms		Land Use	200 - Commercial land, vacant
Legal	Subdivision VILLEBOIS VILLAGE CENTER #2 4228 LT 73 Y 183,867		



Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

Parcel #	05025939	Owner	Property Management
Ref Parcel	31W15AC02800	Owner Address	371 Centennial Pkwy Ste 200 Louisville CO 80027
Site Address	Wilsonville OR 97070	Market Total Value	\$453,517.00
Lot Size	1.19 Acres (51,732 SqFt)	Assessed Total Value	\$274,797.00
Building Area	0 SqFt	Year Built	
School District	West Linn-Wilsonville	Sale Date	
Zoning	Wilsonville-PF Public Facilities	Sale Price	
Bedrooms		Subdivision	Villebois Village Center #3
Bathrooms		Land Use	100 - Residential land, vacant
Legal	Subdivision VILLEBOIS VILLAGE CENTER # 3 4384 PT LT 76 Y 183,867		



Sentry Dynamics, Inc. and its customers make no representations, warranties or conditions, express or implied, as to the accuracy or completeness of information contained in this report.

VILLEBOIS VILLAGE CENTER NO. 3

A REPLAT OF PARCEL 4, PARTITION PLAT NO. 2013-051,
 LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF SECTION 15,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN,
 CITY OF WILSONVILLE, CLACKAMAS COUNTY, STATE OF OREGON

NARRATIVE
 THE PURPOSE OF THIS SURVEY IS TO SUBDIVIDE PARCEL 4 OF PARTITION PLAT NO.
 2013-051, CLACKAMAS COUNTY PLAT RECORDS.
 THE BOUNDARY DETERMINATION IS PER PARTITION PLAT NO. 2013-051.
 THE BASIS OF BEARINGS IS THE NORTHERLY RIGHT-OF-WAY LINE OF SW BARBER
 STREET PER PARTITION PLAT NO. 2013-051, BEING NORTH 42°56'36" WEST, HOLDING
 FOUND INSTRUMENTS AS NOTED.

RECORDED AS DOCUMENT NO. 231144 PL-206: 10-4-2014

LEGEND

- SET 5/8" X 30" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
- SET 5/8" X 30" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 TO BE RESET WITH ALUMINUM CAP IN MONUMENT BOX
 WITH FUTURE PLAT AFTER STREET IMPROVEMENTS
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 HELD PER PARTITION PLAT NO. 2013-051
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 HELD PER PLAT OF "VILLESBOIS"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "ALPHA COIL DEV."
 HELD PER PLAT OF "VILLESBOIS VILLAGE CENTER NO. 2"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 HELD PER PLAT OF "TONQUIN WOODS AT VILLESBOIS NO. 4"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 HELD PER PLAT OF "TONQUIN WOODS AT VILLESBOIS NO. 5"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 HELD PER PARTITION PLAT NO. 2013-046
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 HELD PER PLAT OF "TONQUIN WOODS AT VILLESBOIS"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
 HELD PER PLAT OF "POLYCON NORTHWEST AT VILLESBOIS"
 INSCRIBED "ALPHA COIL DEV."
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
 INSCRIBED "ALPHA COIL DEV."
 HELD PER PLAT OF "VILLESBOIS VILLAGE CENTER"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
 INSCRIBED "ALPHA COIL DEV."
 HELD PER PLAT OF "VILLESBOIS VILLAGE CENTER NO. 2"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
 INSCRIBED "ALPHA COIL DEV."
 HELD PER PLAT OF "TONQUIN WOODS AT VILLESBOIS NO. 4"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
 INSCRIBED "PACIFIC COMMUNITY DESIGN"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
 INSCRIBED "ALPHA COIL DEV."
 HELD PER PLAT OF "VILLESBOIS VILLAGE CENTER NO. 2"
- FOUND 1" COPPER DISK IN CONCRETE
 INSCRIBED "ALPHA COIL DEV."
 HELD PER PLAT OF "VILLESBOIS VILLAGE CENTER"

PU: PUBLIC UTILITY EASEMENT
 RUE: RADIAL BEARING DIRECTION. SEE BEARING AT PC ON MAP

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON
 JULY 9, 2002
 TRAVIS C. JANSSEN
 57751

RENEWS: 6/30/2015

PACIFIC COMMUNITY DESIGN, INC.
 1264 SW MAIN STREET
 TIGARD, OR 97223
 (503) 941-9484

1 INCH = 100 FEET

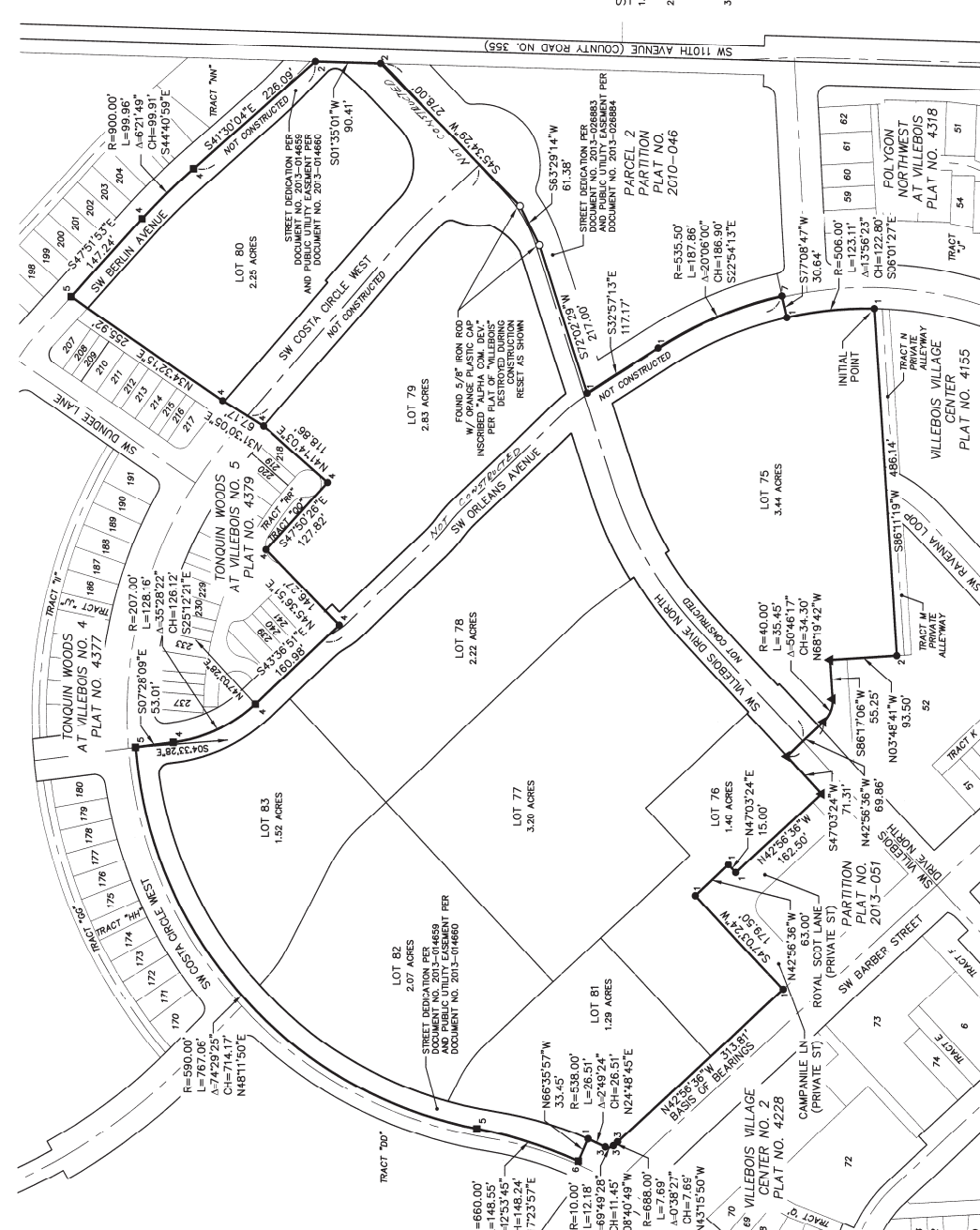
SCALE

0 50 100

N

SHEET INDEX

- 1. MARRIETTE PLAT BOUNDARY
- 2. LOT 75
- 3. LOT 76
- 4. LOT 77
- 5. CITY OF WILSONVILLE APPROVALS SURVEYOR'S CERTIFICATE ACKNOWLEDGEMENT PLAT NOTES
- 6. LOT 78
- 7. LOT 79
- 8. LOT 80
- 9. DETAIL-1
- 10. DETAIL-2
- 11. DETAIL-3
- 12. DETAIL-4
- 13. DETAIL-5
- 14. DETAIL-6



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

VILLEBOIS VILLAGE CENTER NO. 3

RECORDED AS DOCUMENT NO. ~~PK 144~~ ~~PC 009~~ ~~ND 14341~~

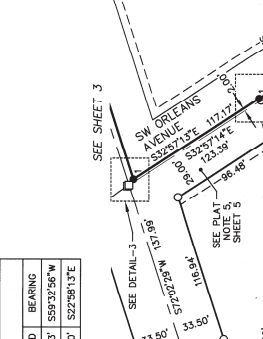
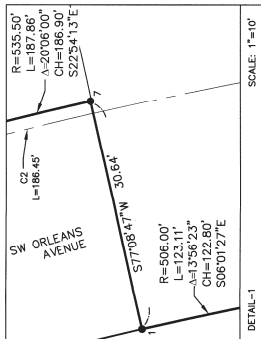
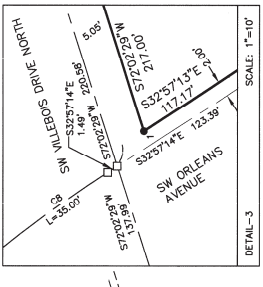
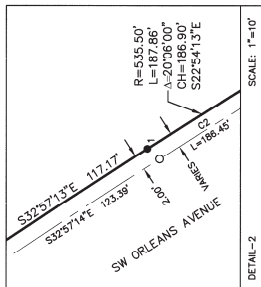
A REPLAT OF PARCEL 4, PARTITION PLAT NO. 2013-051
 LOCATED IN THE NORTHWEST AND WEST QUARTERS OF SECTION 15,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, MERIDIAN 1 WEST,
 CITY OF WILSONVILLE, CLATSOP COUNTY, STATE OF OREGON

SURVEYED: MARCH 17, 2014

LEGEND

- SET 5/8" X 3/4" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
SET ON: MARCH 17, 2014
- SET 5/8" X 3/4" IRON ROD WITH ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
TO BE SET IN THE ALUMINUM CAP IN MONUMENT BOX
WITH FUTURE PLAT AFTER STREET IMPROVEMENTS
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PARTITION PLAT NO. 2013-051
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "ALPHA COM. DEV."
HELD PER PLAT OF "VILLEBOIS"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "VILLEBOIS"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "VILLEBOIS"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 4"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 5"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PARTITION PLAT NO. 2010-046
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "TONQUIN NORTHWEST AT VILLEBOIS"
- ▲ RADIAL BEARING DIRECTION, SEE BEARING AT PC ON MAP
- PUBLIC UTILITY EASEMENT
- PIPE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	500.50'	216.25'	24°59'08"	216.53'	S89°32'56"W
C2	335.00'	186.45'	19°59'33"	185.50'	S22°28'13"E



REGISTERED
 PROFESSIONAL
 LAND SURVEYOR

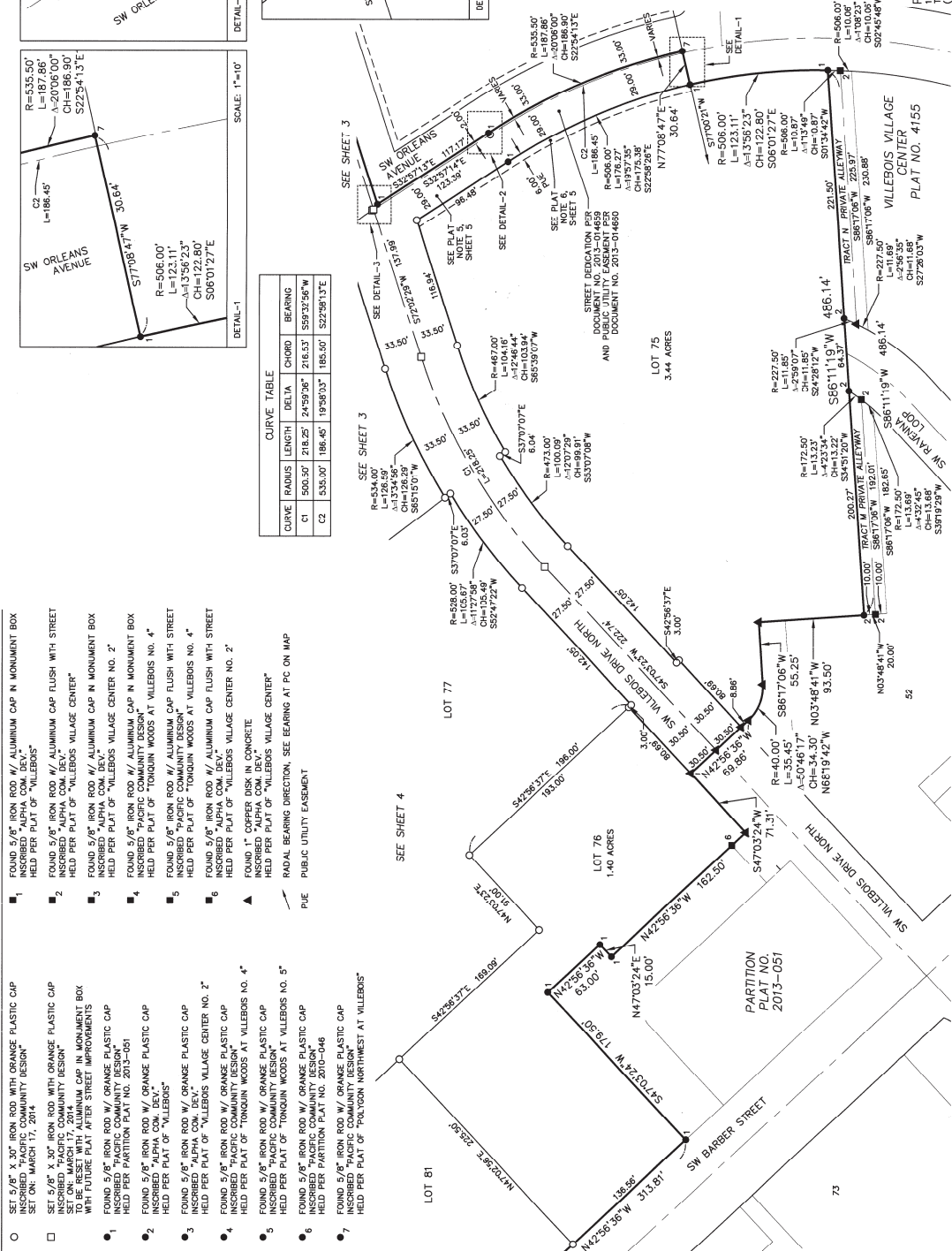
SCW

OREGON
 JULY 2002
 TRAVIS C. JANSEN
 57751

RENEWS: 6/30/2015

PACIFIC COMMUNITY DESIGN, INC.
 11000 NE 28TH STREET
 PORTLAND, OR 97223
 (503) 941-9484

JOB NO. 388-052
 SHEET NO. 1
 SHEET 2 OF 5



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

VILLEBOIS VILLAGE CENTER NO. 3

RENEWED 6/30/2015
 JULY 9, 2002
 TRANVIS JANSEN
 37751

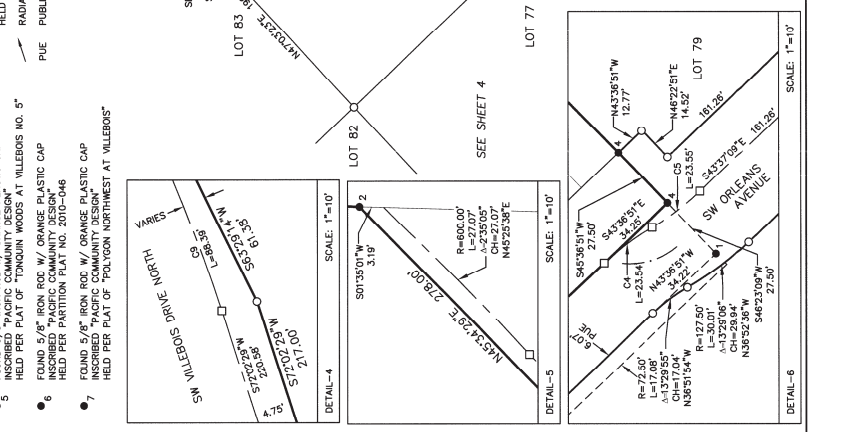
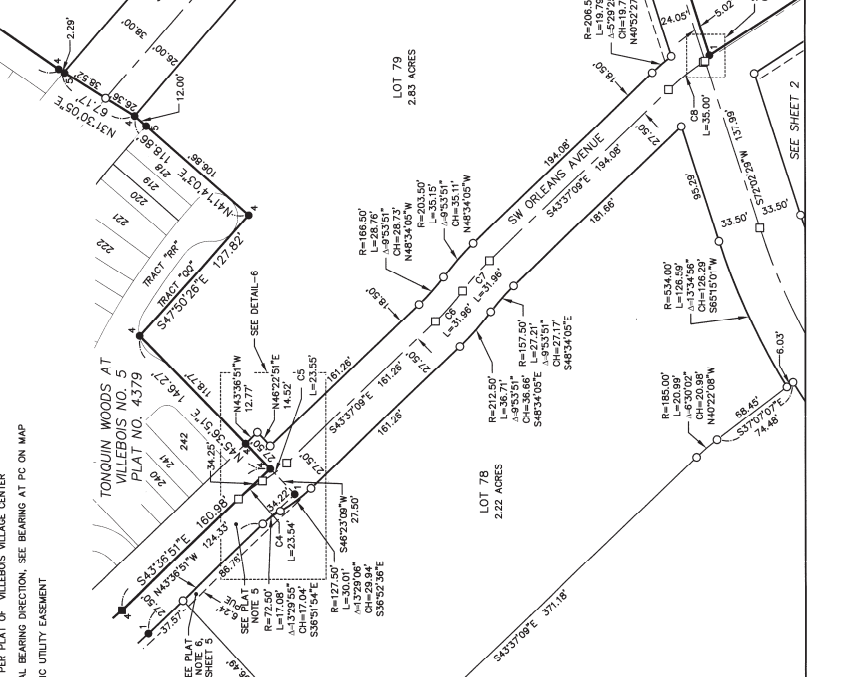


A REPLAT OF PARCEL 4, PARTITION PLAT NO. 2013-051,
 LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF SECTION 15,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN,
 COUNTY OF WILSONVILLE, CLACKAMAS COUNTY, STATE OF OREGON

RECORDED AS DOCUMENT NO. 8K144 NO. 006 86-4884

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C3	746.00'	79.44'	090°11'	79.44'	N46°02'11"W
C4	100.00'	23.54'	132°02'	23.46'	S36°52'15"E
C5	100.00'	23.55'	132°02'	23.48'	S36°52'24"E
C6	185.00'	31.86'	95°51'	31.82'	S48°34'05"E
C7	185.00'	31.86'	95°51'	31.82'	S48°34'05"E
C8	185.00'	35.00'	103°05'	34.94'	N38°17'12"W
C9	200.00'	88.39'	251°19'	87.67'	N69°22'50"E

- LEGEND**
- SET 5/8" X 3/8" IRON ROD WITH ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
 - SET 5/8" X 3/8" IRON ROD WITH ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
SET ON MARCH 17, 2014
TO BE RESET WITH ALUMINUM CAP IN MONUMENT BOX
WITH FUTURE PLAN AFTER STREET IMPROVEMENTS
 - FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
 - FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
 - FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PARTITION PLAT NO. 2013-051
 - FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
 - FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 4"
 - FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
 - FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
 - ▲ FOUND 1" COPPER DISK IN CONCRETE
INSCRIBED "PACIFIC COMMUNITY DESIGN"
 - ▲ FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
 - ▲ FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
 - ▲ FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 4"
 - ▲ FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 5"
 - ▲ FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
 - ▲ FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
HELD PER PARTITION PLAT NO. 2010-046
 - ▲ FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INSCRIBED "PACIFIC COMMUNITY DESIGN"
 - ▲ FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
HELD PER PLAT OF "POLYGON NORTHWEST AT VILLEBOIS"
- PUBLIC UTILITY EASEMENT
 - - - RADIUS BEARING DIRECTION. SEE BEARING AT PG ON MAP



PACIFIC COMMUNITY DESIGN, INC.
 12884 SW MAIN STREET
 TIGARD, OR 97223
 (503) 941-8466

JOB NO. 198-002
 SHEET 3 OF 5

RECORDED AS DOCUMENT NO. 8K144 NO. 006 86-4884

RECORDED AS DOCUMENT NO. BK 144, P. 206 NO. 4284

VILLEBOIS VILLAGE CENTER NO. 3

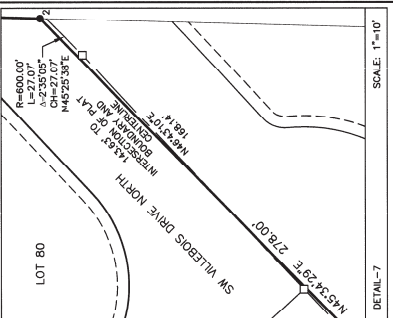
A REPLAT OF PARCEL 4, PARTITION PLAT NO. 2013-051
 LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF SECTION 15,
 TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN,
 CITY OF WILSONVILLE, CLATSOP COUNTY, STATE OF OREGON

SURVEYED: MARCH 17, 2014

LEGEND

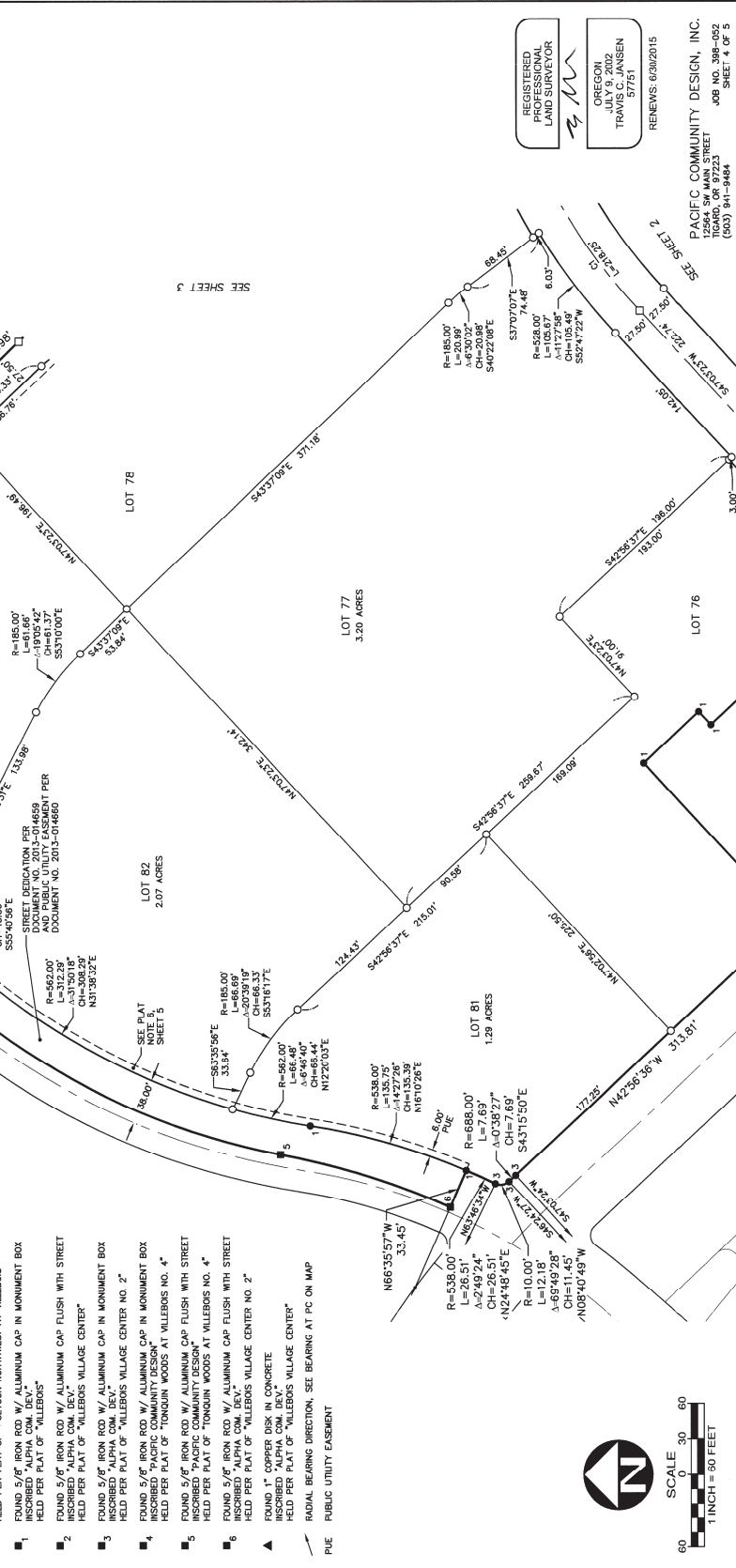
- SET 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP
INScribed "PACIFIC COMMUNITY DESIGN"
SET ON: MARCH 17, 2014
- SET 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP
INScribed "PACIFIC COMMUNITY DESIGN"
TO BE RESET WITH ALUMINUM CAP IN MONUMENT BOX
WITH FUTURE PLAT AFTER STREET IMPROVEMENTS
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INScribed "PACIFIC COMMUNITY DESIGN"
HELD PER PARTITION PLAT NO. 2013-051
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
HELD PER PLAT OF "VILLEBOIS"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INScribed "ALPHA COM. DEV."
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INScribed "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "TONQUIN WOODS AT VILLEBOIS NO. 4"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INScribed "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "TONQUIN WOODS AT VILLEBOIS NO. 5"
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INScribed "PACIFIC COMMUNITY DESIGN"
HELD PER PARTITION PLAT NO. 2010-046
- FOUND 5/8" IRON ROD W/ ORANGE PLASTIC CAP
INScribed "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "VILLEBOIS"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PLAT OF "POLYCON NORTHWEST AT VILLEBOIS"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
HELD PER PLAT OF "VILLEBOIS"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP IN MONUMENT BOX
INScribed "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "TONQUIN WOODS AT VILLEBOIS NO. 4"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
INScribed "PACIFIC COMMUNITY DESIGN"
HELD PER PLAT OF "TONQUIN WOODS AT VILLEBOIS NO. 4"
- FOUND 5/8" IRON ROD W/ ALUMINUM CAP FLUSH WITH STREET
INScribed "ALPHA COM. DEV."
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER NO. 2"
- ▲ FOUND 1" COPPER DISK IN CONCRETE
INScribed "ALPHA COM. DEV."
HELD PER PLAT OF "VILLEBOIS VILLAGE CENTER"
- RADIAL BEARING DIRECTION, SEE BEARING AT FC ON MAP
- PUBLIC UTILITY EASEMENT

TONQUIN WOODS AT VILLEBOIS NO. 4 PLAT NO. 4.377



SCALE: 1"=10'

DETAIL-7



REGISTERED PROFESSIONAL LAND SURVEYOR
 OREGON
 TRANIS C. JENSEN
 57751
 RENEWS: 03/2015

PACIFIC COMMUNITY DESIGN, INC.
 12264 SW MAIN STREET
 TIGARD, OR 97223
 (503) 941-8404
 JOB NO. 398-052
 SHEET 4 OF 5



This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

VILLEBOIS VILLAGE CENTER NO. 3

RECORDED AS DOCUMENT NO. BK144 Pp-006 N0-4584

A REPLAT OF PARCEL 4, PARTITION PLAT NO. 2013-051, LOCATED IN THE NORTHEAST AND NORTHWEST QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH RANGE 1 WEST WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, STATE OF OREGON

SURVEYED: MARCH 17, 2014

CITY OF WILSONVILLE APPROVALS

APPROVED THIS 24th DAY OF April, 2014
BY: [Signature]
CITY OF WILSONVILLE PLANNING DIRECTOR

APPROVED THIS 26th DAY OF April, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 26th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY APPROVALS

APPROVED THIS 5th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY ASSESSOR & TAX COLLECTOR

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 5th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY ASSESSOR & TAX COLLECTOR

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

APPROVED THIS 6th DAY OF JUNE, 2014
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DEPUTY COUNTY CLERK CHAPTER 11.02

PLAT NOTES

- SUBJECT TO CONDITIONS OF APPROVAL PER CITY OF WILSONVILLE CASE FILE NOS. 0813-0043.
- THIS PLAT IS SUBJECT TO CONDITIONS AND RESTRICTIONS AS SHOWN IN PARTITION PLAT NO. 2013-051, PARTITION PLAT NO. 2005-068, PARTITION PLAT NO. 2010-051, AND THE PLAT OF VILLESBOIS VILLAGE CENTER NO. 3.
- THIS PLAT IS SUBJECT TO COVENANTS, CONDITIONS, AND RESTRICTIONS AS RECORDED IN DEED DOCUMENT NO. 2014-061031 AND DECLARATION OF COVENANTS AND RESTRICTIONS PER PARTITION PLAT NO. 2007-128.
- THIS PLAT IS SUBJECT TO UNRECORDED DEVELOPMENT AGREEMENT, INCLUDING THE TERMS AND PROVISIONS THEREOF, AS DISCLOSED OF RECORD BY INSTRUMENT IN DOCUMENT NO. 2005-102816.
- THIS SUBDIVISION IS SUBJECT TO STREET DEDICATION AS RECORDED IN DOCUMENT NO. 2013-04659.
- THIS SUBDIVISION IS SUBJECT TO PUBLIC UTILITY EASEMENTS AS RECORDED IN DOCUMENT NO. 2013-04660. PORTIONS OF SAID EASEMENT THAT FALL WITHIN THE BOUNDS OF SW CORNER, CIRCLE WEST, SW OREGONS AVENUE, AND SW VILLESBOIS DRIVE NORTH ARE NOT SHOWN.
- THE PLAT IS SUBJECT TO THE REMAINING CORNERS OF THIS SUBDIVISION HAVE BEEN SETTING OF SAID MONUMENTS AND IS RECORDED IN DOCUMENT NO. 2013-04659.

APPROVED THIS _____ DAY OF _____, 2014.

WILSONVILLE COUNTY SURVEYOR
CLACKAMAS COUNTY

SURVEYOR'S CERTIFICATE

I, TRAVIS C. JANSEN HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS THE LANDS REPRESENTED ON THE ANNEKED MAP OF "VILLEBOIS VILLAGE CENTER NO. 3" BEING A REPLAT OF PARCEL 4 OF PARTITION PLAT NO. 2013-051, LOCATED IN THE NORTHEAST AND MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON.

THE INITIAL POINT IS A 5.0" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM DEPT." FOUND AT THE NORTHEAST CORNER OF TRACT "M" OF PLAT OF "VILLEBOIS VILLAGE CENTER" CONTAINING APPROXIMATELY 23.99 ACRES.

AS PER O.R.S. 92.070(2), I, TRAVIS C. JANSEN, ALSO SAY THAT THE POST MONUMENTATION OF THE MONUMENTS HAS BEEN COMPLETED IN ACCORDANCE WITH O.R.S. 92.060.

DECLARATION

I KNOW ALL PEOPLE BY THESE PRESENTS, RICS - VILLESBOIS DEVELOPMENT, LLC, A COLORADO LIMITED LIABILITY COMPANY, DESCRIBED IN THE ACCOMPANYING VICTOR'S CERTIFICATE, DOES HEREBY MAKE, CERTIFY, AND DECLARE THAT THE PLAT IS A TRUE AND CORRECT PLAT OF THE LANDS SHOWN THEREON, AND THAT THE PLAT IS SUBJECT TO THE PUBLIC AS PUBLICLY FORSAKE AN ADDITIONAL RIGHT-OF-WAY AS SHOWN AND HEREBY GRANTS ALL EASEMENTS AS SHOWN OR NOTED HEREON, WITH RESTRICTIONS AS NOTED.

RICS - VILLESBOIS DEVELOPMENT, LLC A COLORADO LIMITED LIABILITY COMPANY
BY: REAL CAPITAL SOLUTIONS, INC
ITS MANAGER

CARLA DI GREGORIO
NOTARY PUBLIC, STATE OF COLORADO
MY COMMISSION EXPIRES 02/28/2016

ACKNOWLEDGEMENT

STATE OF Colorado)
COUNTY OF Boulder) SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON April 15, 2014, BY
BRIAN PAUL, VICE PRESIDENT OF HOMEBUILDING OF REAL CAPITAL SOLUTIONS, INC, THE MANAGER OF RICS - VILLESBOIS DEVELOPMENT, LLC, A COLORADO LIMITED LIABILITY COMPANY, ON BEHALF OF SAID LIMITED LIABILITY COMPANY.

BY: [Signature]
NOTARY SIGNATURE
Carla Di Gregorio
NOTARY PUBLIC - COLORADO
COMMISSION NO. 2013-1033034
MY COMMISSION EXPIRES: 02/28/2016

CONSENT AFFIDAVIT

A SUBDIVISION PLAT CONSISTENT AFFIDAVIT BY M&T BANK, BENEFICIARY UNDER DEED OF TRUST RECORDED IN INSTRUMENT NOS. 2013-074533 AND 2013-074533, HAS BEEN EXECUTED AND RECORDED IN INSTRUMENT NO. 2014-026949 OF THE CLACKAMAS COUNTY RECORDS.

2014-026949

REGISTERED PROFESSIONAL LAND SURVEYOR
[Signature]

OREGON
JULY 3, 2002
TRAVIS C. JANSEN
57751
RENEWALS: 6/30/2015

PACIFIC COMMUNITY DESIGN, INC.
12564 SW MAIN STREET
TIGARD, OR 97223
JOB NO. 398-052
SHEET 5 OF 5
(503) 941-9484

This map/plat is being furnished as an aid in locating the herein described Land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the Company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

136/017 #4155
 RECORDED AS PLAT NO. 2007-57604

VILLEBOIS VILLAGE CENTER

A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
 8200 SW NIMBUS AVENUE
 PORTLAND, OREGON 97208
 (503) 452-8003

NARRATIVE

- THE PURPOSE OF THIS PLAT IS TO REPLAT LOTS 4, 5, 7, 8, AND 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, AS SHOWN.
- THE BASIS OF BEARINGS IS THE NORTHWESTERLY LINE OF LOT 4, PLAT OF VILLEBOIS BETWEEN FOUND MONUMENTS AS SHOWN AND NOTED AS NORTH 47°03'23" EAST.



I HEREBY CERTIFY THAT THIS TRACING IS A TRUE AND EXACT COPY OF THE ORIGINAL PLAT.

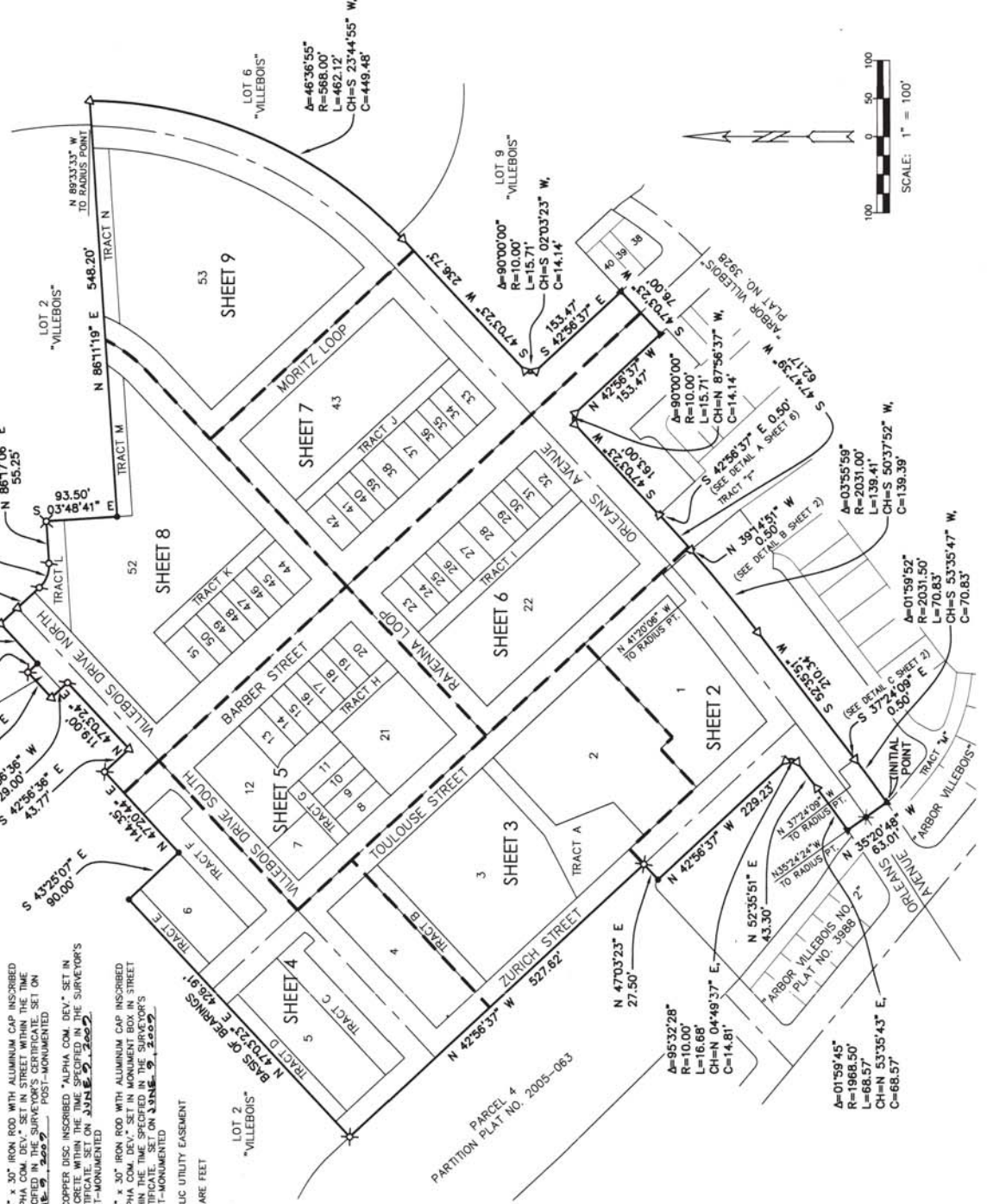
VALID UNTIL 6-30-07

NOTES

- THIS SUBDIVISION IS SUBJECT TO THE CONDITIONS OF APPROVAL PER CITY OF WILSONVILLE PLANNING CASEFILE NO. 08-06-0008.
- TRACTS "A" THROUGH "O" SHALL BE OWNED AND MAINTAINED BY VILLEBOIS VILLAGE CENTER MASTER ASSOCIATION AND ARE SUBJECT TO A PUBLIC UTILITY EASEMENT AND BICYCLE ACCESS EASEMENT OVER THEIR ENTIRETIES.
- TRACTS "A", "C" AND "F" ARE FOR PARK PURPOSES.
- TRACTS "B", "D", "E", "G", "H", "I", "J", "K", "L", "M", AND "N" ARE PRIVATE ALLEYS AND SHALL BE SUBJECT TO AN ACCESS EASEMENT, EACH FOR THE BENEFIT OF ALL LOTS AND TRACTS ABUTTING IT AND A PUBLIC UTILITY EASEMENT, OVER THEIR ENTIRETIES.
- TRACTS "C" AND "F" ARE SUBJECT TO A STORM DRAIN EASEMENT TO VILLEBOIS VILLAGE CENTER MASTER ASSOCIATION OVER THEIR ENTIRETIES.
- LOT 8 SHALL NOT HAVE ACCESS TO OR FROM TOULOUSE STREET.
- LOTS 13 THROUGH 20, 23 THROUGH 42 AND 44 THROUGH 51 SHALL NOT HAVE ACCESS TO OR FROM BARBER STREET.
- LOTS 20, 23, 42 AND 44 SHALL NOT HAVE ACCESS TO OR FROM RAVENNA LOOP.
- LOTS 32 AND 33 SHALL NOT HAVE ACCESS TO OR FROM ORLEANS AVENUE.
- TRACTS "O" AND "L" ARE SUBJECT TO A WATER LINE EASEMENT TO THE CITY OF WILSONVILLE OVER THEIR ENTIRETY.
- TRACT "O" IS SUBJECT TO WATER LINE AND STORM DRAIN EASEMENTS TO THE CITY OF WILSONVILLE OVER ITS ENTIRETY.
- TRACT "O" IS SUBJECT TO WATER LINE AND SANITARY SEWER EASEMENTS TO THE CITY OF WILSONVILLE OVER ITS ENTIRETY.
- TRACT "I" IS SUBJECT TO A STORM DRAIN EASEMENT TO THE CITY OF WILSONVILLE OVER ITS ENTIRETY.
- TRACT "L" IS A PRIVATE STREET AND IS SUBJECT TO A PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT OVER ITS ENTIRETY.
- TRACT "O" IS A PRIVATE STREET AND IS SUBJECT TO A PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT OVER ITS ENTIRETY.
- TRACTS "C" AND "F" ARE SUBJECT TO A STREETLIGHT EASEMENT TO THE CITY OF WILSONVILLE AS SHOWN.
- SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS AS RECORDED IN DOCUMENT NO. 2007-0571405.
- SUBJECT TO AN OWNERSHIP AND MAINTENANCE AGREEMENT RECORDED AS DOCUMENT NO. 2007-0571406.
- CLACKAMAS COUNTY DEED RECORDS.

SHEET INDEX

- SHEET 1 PLAT BOUNDARY, NARRATIVE, NOTES, AND SHEET INDEX
- SHEET 2 LOT 1, DETAILS B & C
- SHEET 3 LOTS 2 & 3, TRACTS "A" & "B"
- SHEET 4 LOTS 4, 5 & 6 AND TRACTS "C" THRU "I"
- SHEET 5 LOTS 7 THRU 21 AND TRACTS "G" & "H"
- SHEET 6 LOTS 22 THRU 32, TRACT "I" AND DETAIL A
- SHEET 7 LOTS 33 THRU 43 AND TRACT "J"
- SHEET 8 LOTS 44 THRU 52 AND TRACTS "K" THRU "M" AND TRACT "O"
- SHEET 9 LOT 53, TRACT "N" AND DETAIL D
- SHEET 10 ACKNOWLEDGEMENT, APPROVALS, DECLARATION, AND SURVEYOR'S CERTIFICATE



- ### LEGEND
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ▲ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - △ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA ENG. INC." PER PLAT OF ARBOR VILLEBOIS
 - INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 12, 2007
 - 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
 - ✕ 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
 - COPPER DISK INSCRIBED "ALPHA COM. DEV." SET IN CONFORMANCE WITH THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
 - 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
 - PUBLIC UTILITY EASEMENT
 - SF SQUARE FEET

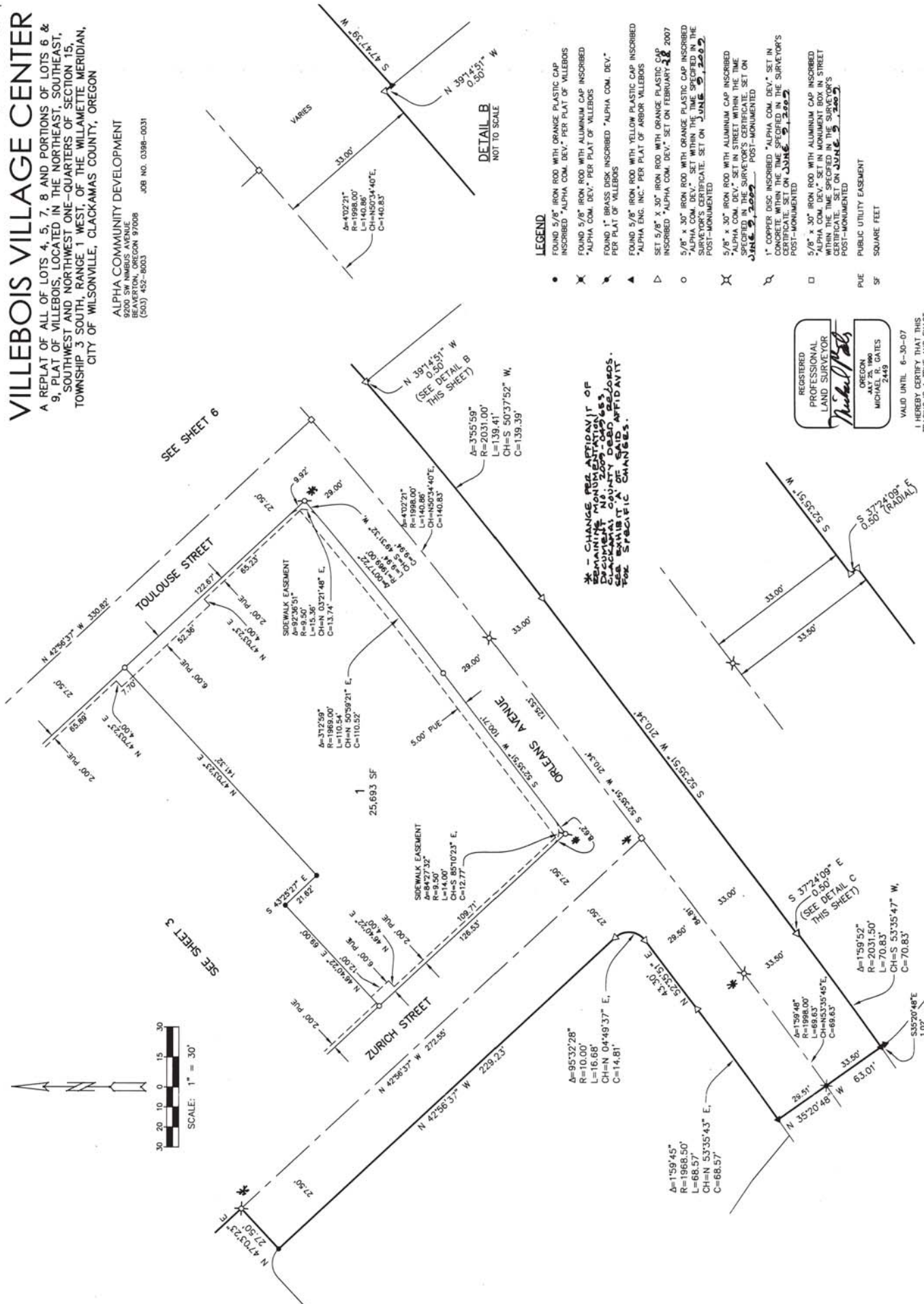
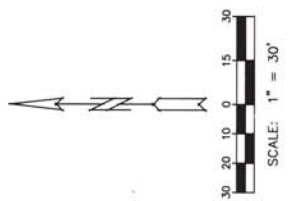
4155
136 | 017 2007.57604

VILLEBOIS VILLAGE CENTER

A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
9200 SW NIMBUS AVENUE
BEAVERTON, OREGON 97008
(503) 452-8003

JOB NO. 0398--0031



SEE SHEET 6

SEE SHEET 3

DETAIL B
NOT TO SCALE

DETAIL C
NOT TO SCALE

LEGEND

- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✱ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF ARBOR VILLEBOIS
- △ SET 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 28 2007
- SET 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
- ✕ SET 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
- ✱ POST-MONUMENTED
- 1" COPPER DISC INSCRIBED "ALPHA COM. DEV." SET IN CONCRETE WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
- 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2007
- POST-MONUMENTED
- PUE PUBLIC UTILITY EASEMENT
- SF SQUARE FEET

CHANGE PER AFFIDAVIT OF REMAINING MONUMENTATION DOCUMENT NO. 2009-00063. SEE AFFIDAVIT OF SAID AFFIDAVIT FOR SPECIFIC CHANGES.

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Michael R. Gates

OREGON
JAN 25, 2000
MICHAEL R. GATES
2449

VALID UNTIL 6-30-07
I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL PLAT.

136 | 017 #4155

VILLEBOIS VILLAGE CENTER

A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
2005 SW WILSONVILLE AVENUE
BEAVERTON, OREGON 97008
(503) 452-8003

JOB NO. 0398-0031

LEGEND

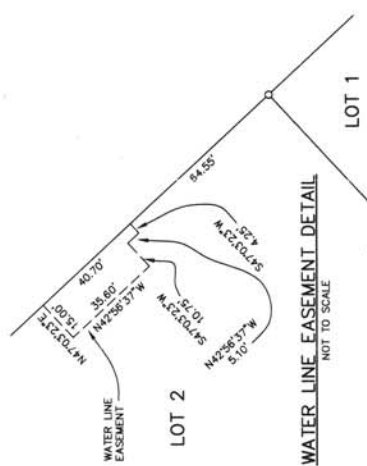
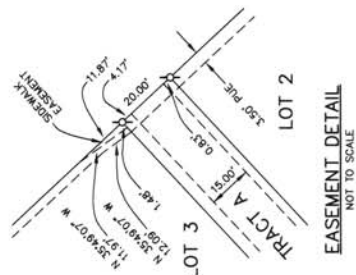
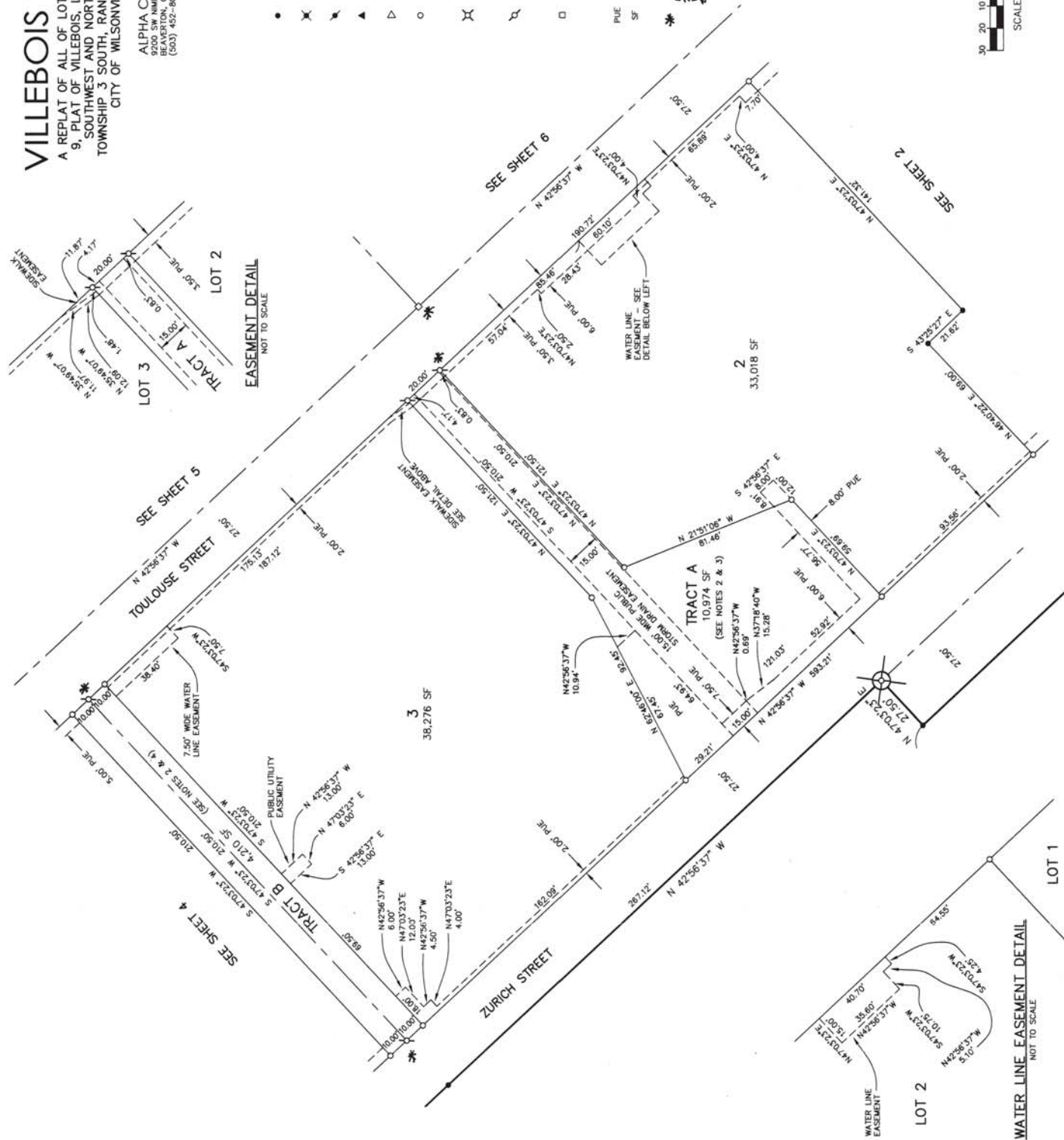
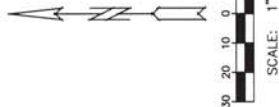
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✕ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA ENG. INC." PER PLAT OF ARBOR VILLEBOIS
- ▷ SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 28, 2007
- 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- ✕ 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- ◻ 1" COPPER DISC INSCRIBED "ALPHA COM. DEV." SET IN CONCRETE WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- ◻ 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009

PUE PUBLIC UTILITY EASEMENT
SF SQUARE FEET

* CHANGE PER AFFIDAVIT OF REMAINING MONUMENTATION DOCUMENT AND MONUMENTATION DOCUMENT SEE EXHIBIT A OF SAID AFFIDAVIT FOR SPECIFIC CHANGES.



VALID UNTIL 6-30-07
I HEREBY CERTIFY THAT THIS TRACING IS A TRUE AND EXACT COPY OF THE ORIGINAL PLAT.



136 | 017
#4155

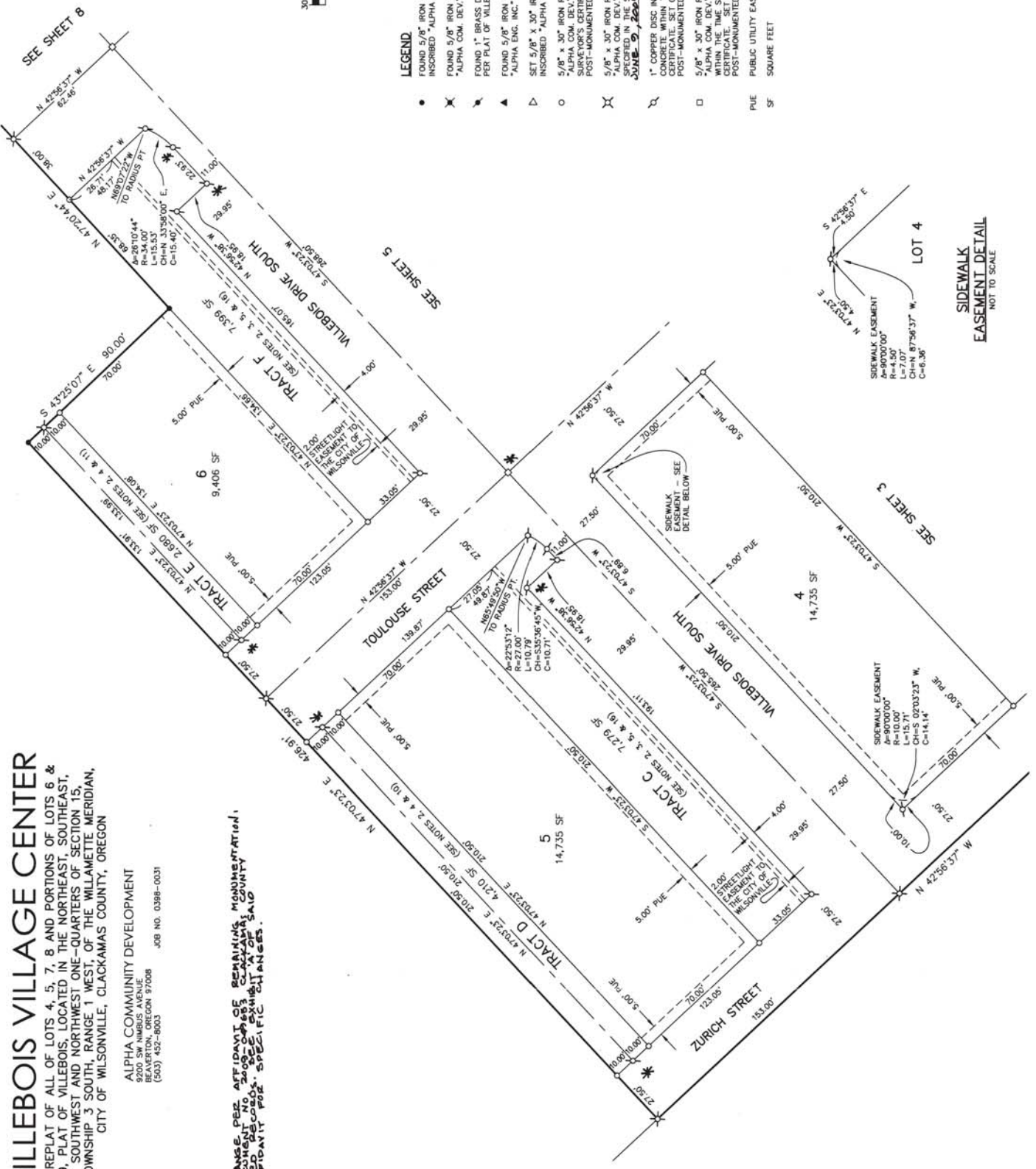
VILLEBOIS VILLAGE CENTER

A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
5200 SW NIMBUS AVENUE
BEAVERTON, OREGON 97008
(503) 432-8003

JOB NO. 0396-0031

* - CHANGE PER AFFIDAVIT OF REMAINING MONUMENTATION, DOCUMENT NO. 2095, CLACKAMAS COUNTY AFFIDAVIT FOR SPECIFIC CHANGES.



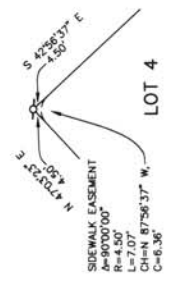
LEGEND

- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA ENG. INC." PER PLAY OF ARBOR VILLEBOIS
- △ SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 28, 2007
- 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET IN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- ✕ 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- 1" COPPER DISC INSCRIBED "ALPHA COM. DEV." SET IN CONCRETE WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- PU E PUBLIC UTILITY EASEMENT
- SF SQUARE FEET

REGISTERED PROFESSIONAL LAND SURVEYOR
Michael R. Gates
OREGON
JULY 23, 1980
MICHAEL R. GATES
2449

VALID UNTIL 6-30-07
I HEREBY CERTIFY THAT THIS TRACKING IS TRUE AND EXACT COPY OF THE ORIGINAL PLAT.

SIDEWALK EASEMENT
NOT TO SCALE



136 | 017 #4155

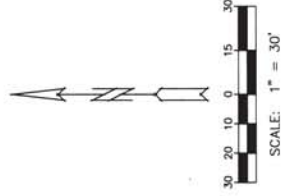
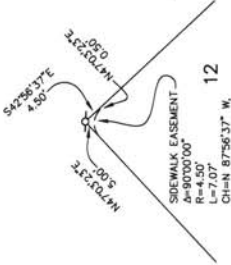
VILLEBOIS VILLAGE CENTER

A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
 9200 SW NIMBUS AVENUE
 BEAVERTON, OREGON 97008
 (503) 452-8003

JOB NO. 0398-0031

SIDEWALK EASEMENT DETAIL
 NOT TO SCALE



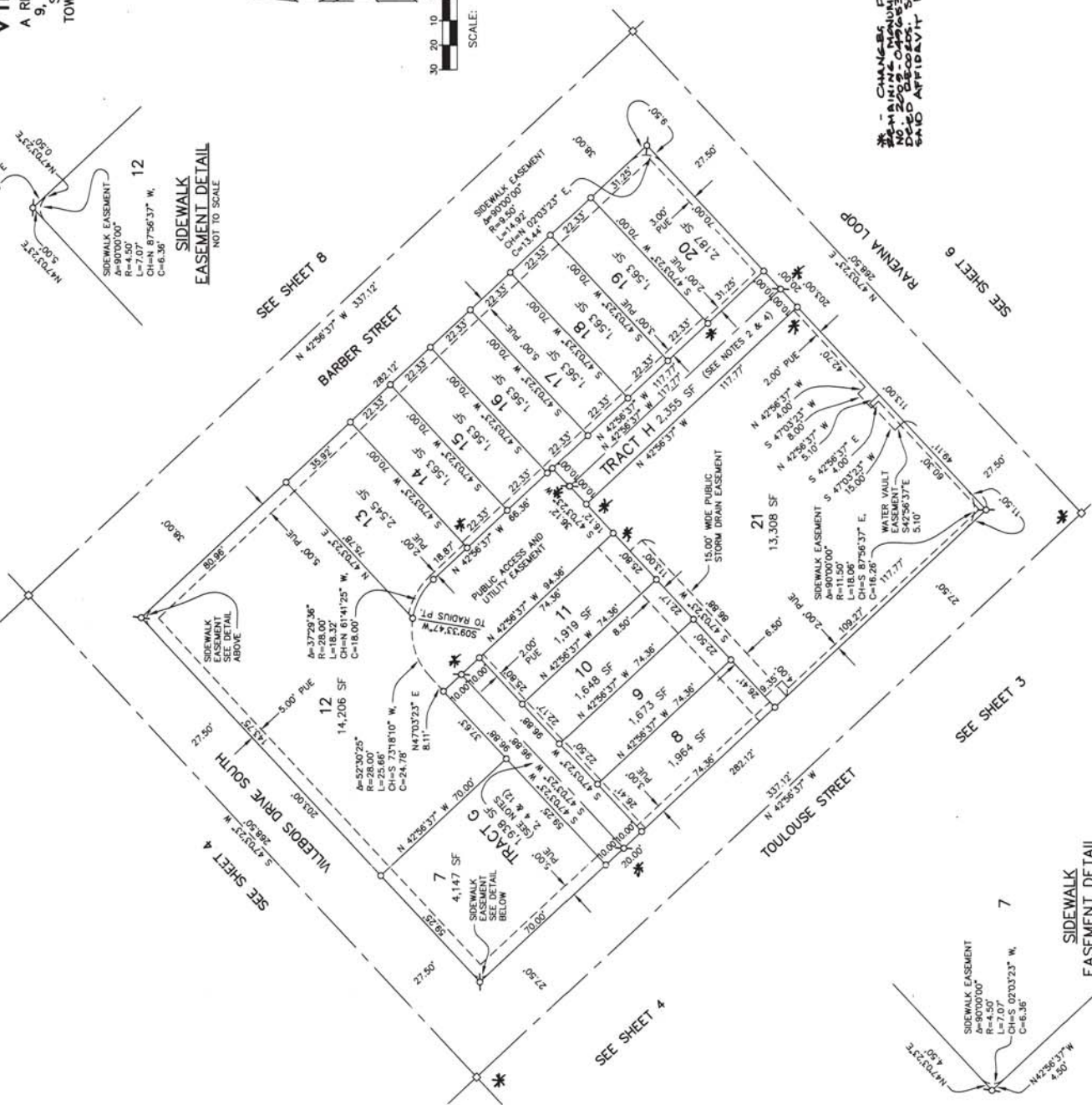
LEGEND

- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✎ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF ARBOR VILLEBOIS
- ▷ SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 12, 2007
- 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009.
- ✕ 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009.
- 1" COPPER DISK INSCRIBED "ALPHA COM. DEV." SET IN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009.
- 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009.
- PUBLIC UTILITY EASEMENT
- SF SQUARE FEET

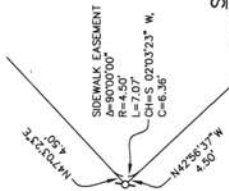
NO CHANGES PER AFFIDAVIT OF REMAINING MONUMENTATIONAL DOCUMENT NO. 2009-042653 CLACKAMAS COUNTY AND AFFIDAVIT FOR ERECTIC CHANGES.

REGISTERED PROFESSIONAL LAND SURVEYOR
Michael R. Gates
 OREGON
 No. 11186
 MICHAEL R. GATES
 2449

VALID UNTIL: 6-30-07
 I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL PLAT.



SIDEWALK EASEMENT DETAIL
 NOT TO SCALE



136 | 017 *415b

VILLEBOIS VILLAGE CENTER

A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
8200 SW WILSONVILLE AVENUE
PORTLAND, OREGON 97088
(503) 452-8003

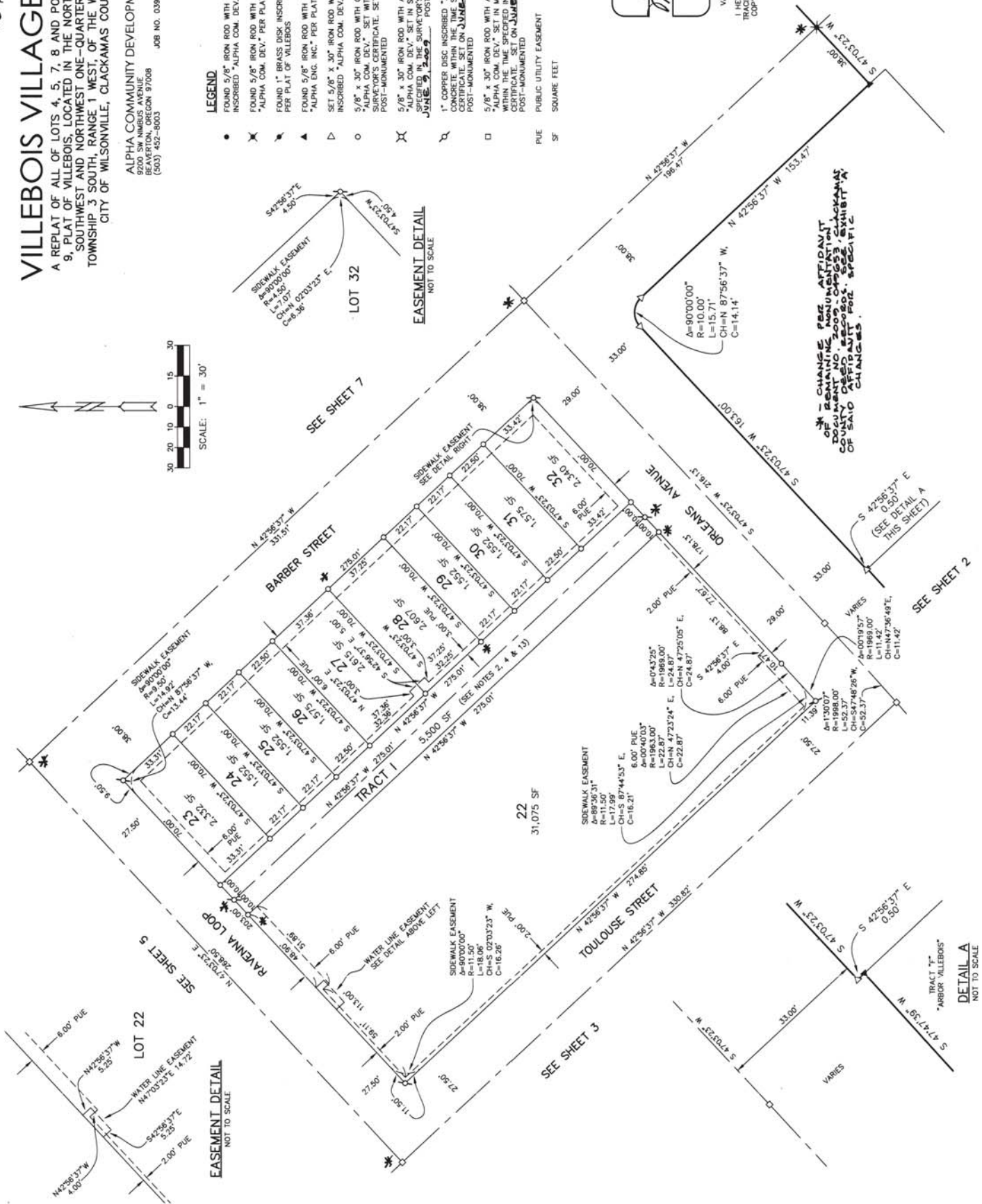
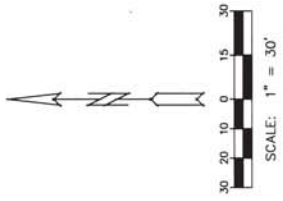
JOB NO. 0398-0031

LEGEND

- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✱ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA ENG. INC." PER PLAT OF ARBOR VILLEBOIS
- △ SET 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 23, 2007
- 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
- ✱ POST-MONUMENTED
- ✱ 1" COPPER DISC INSCRIBED "ALPHA COM. DEV." SET IN CONCRETE WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009, POST-MONUMENTED
- 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009, POST-MONUMENTED
- PUE PUBLIC UTILITY EASEMENT
- SF SQUARE FEET

REGISTERED PROFESSIONAL LAND SURVEYOR
Michael P. Gates
OREGON
MICHAEL P. GATES
JULY 25, 1960
2449

VALID UNTIL 6-30-07
I HEREBY CERTIFY THAT THIS TRACING IS A TRUE AND EXACT COPY OF THE ORIGINAL PLAT.



NO CHANGE PER AFFIDAVIT DOCUMENT NO. 2009-0031 CLACKAMAS COUNTY DEED RECORDS. SEE EXHIBIT A OF SAID CHANGES.

DETAIL A
NOT TO SCALE

136/017 #4155

VILLEBOIS VILLAGE CENTER

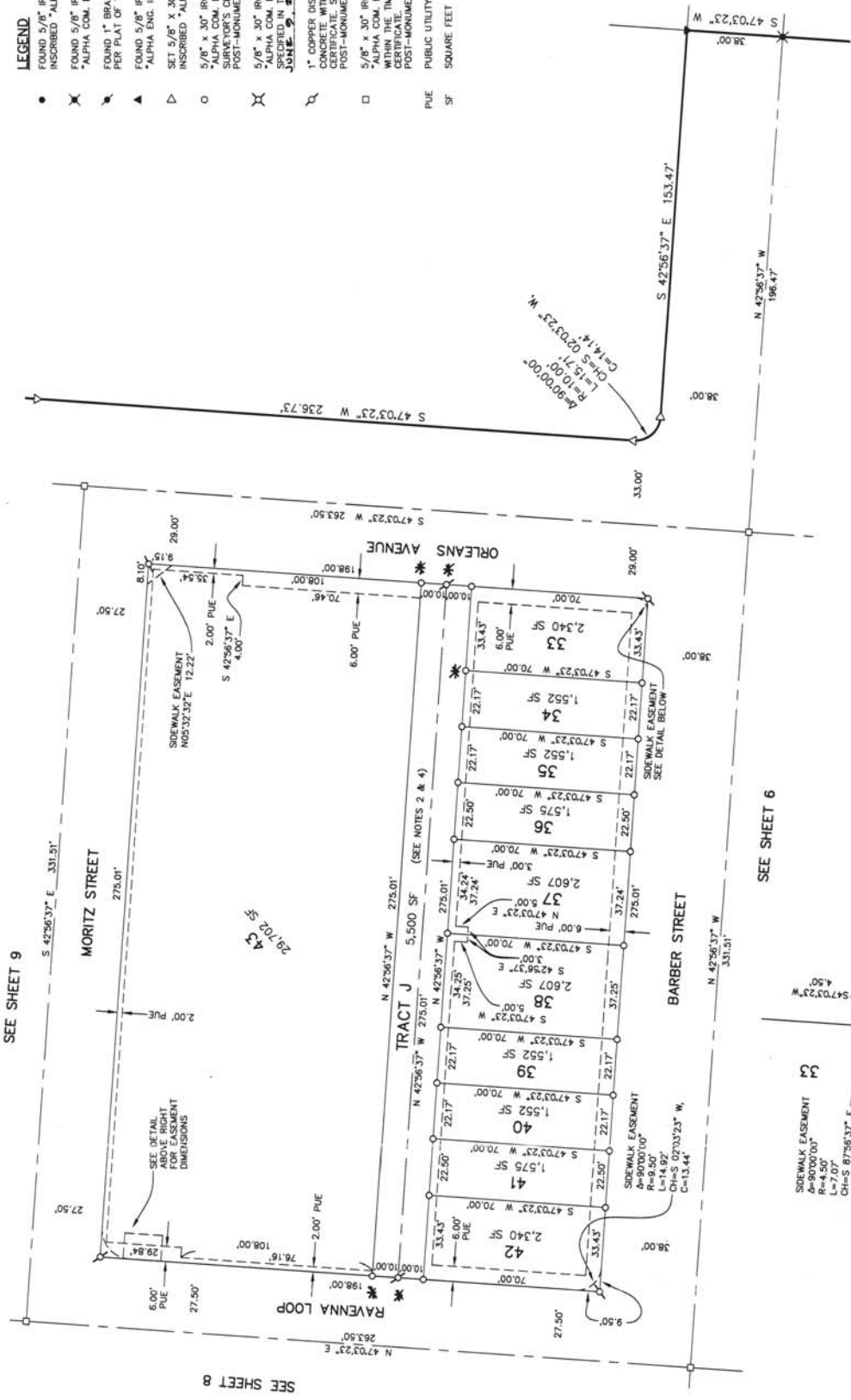
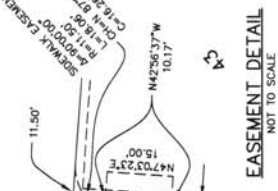
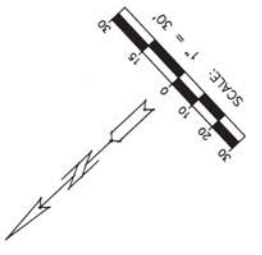
A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
 1750 SW WILSONWAY, SUITE 200
 BEAVERTON, OREGON 97008
 (503) 452-8003

- LEGEND**
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ✎ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA ENG. INC." PER PLAT OF ARBOR VILLEBOIS
 - ▷ SET 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 28, 2007
 - 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2003
 - ✕ 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2003
 - 1" COPPER DISK INSCRIBED "ALPHA COM. DEV." SET IN CONCRETE WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2003
 - POST-MONUMENTED
 - 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2003
 - POST-MONUMENTED
 - PUBLIC UTILITY EASEMENT
 - SF SQUARE FEET



VALID UNTIL 6-30-07
 I HEREBY CERTIFY THAT THIS IS A TRUE AND CORRECT COPY OF THE ORIGINAL PLAT.



* CHANGE PER AFFIDAVIT OF REMAINING 2007 W/000131 CLACKAMAS COUNTY DEPT RECORDS. SEE EXHIBIT 'A' OF SAID AFFIDAVIT FOR SPECIFIC CHANGES.

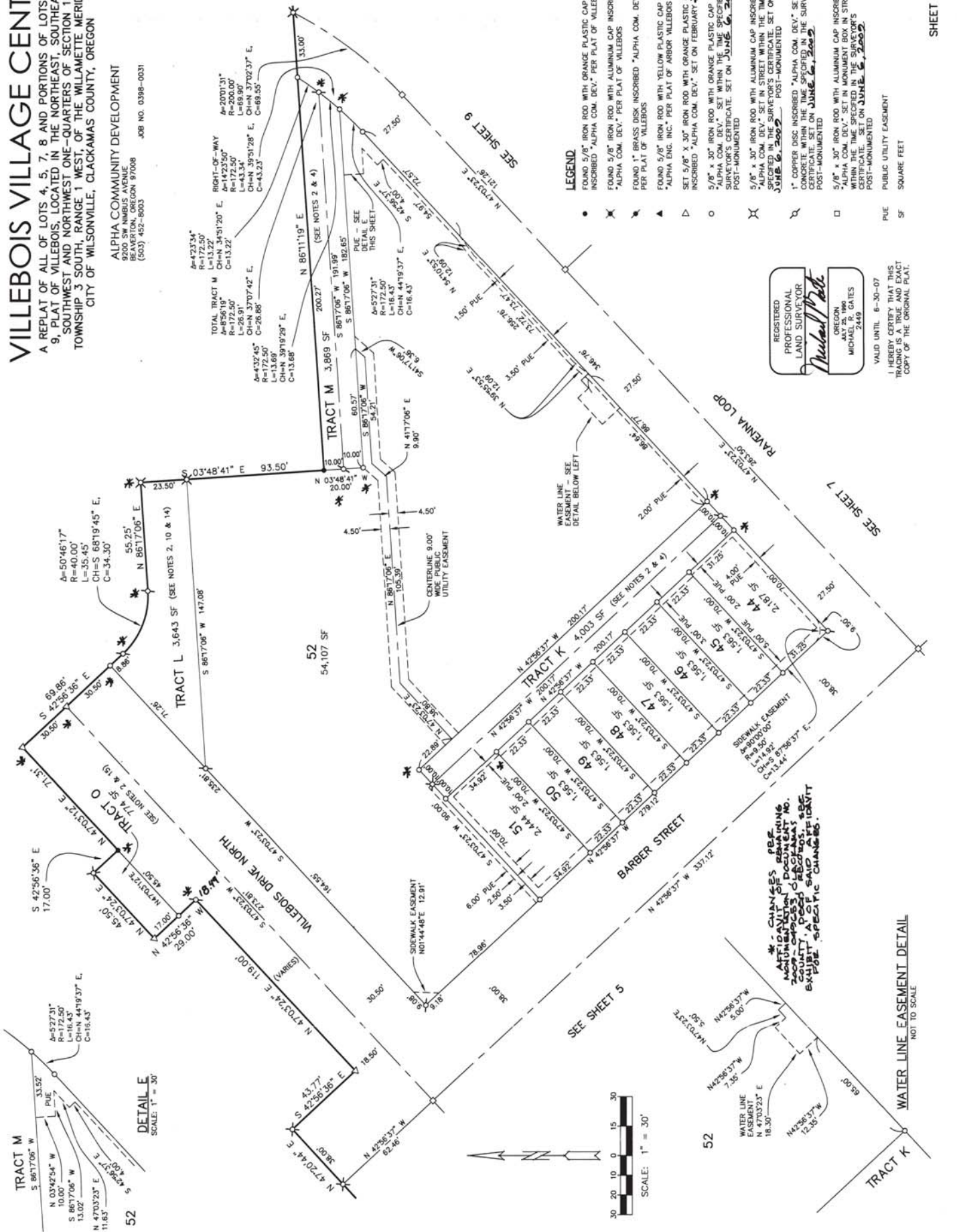
EASEMENT DETAIL
 NOT TO SCALE

136 / 017 #4155

VILLEBOIS VILLAGE CENTER

A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SECTION 15, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
 9200 SW NIMBUS AVENUE
 WILSONVILLE, OREGON 97008
 (503) 432-8003



LEGEND

- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ✕ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
- ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF ARBOR VILLEBOIS
- △ SET 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 18, 2007
- 5/8" x 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 6, 2007
- ✕ 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 6, 2007
- 1" COPPER DISK INSCRIBED "ALPHA COM. DEV." SET IN CONCRETE WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 6, 2007
- 5/8" x 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 6, 2007
- POST-MONUMENTED
- PUBLIC UTILITY EASEMENT
- SF SQUARE FEET

REGISTERED
 PROFESSIONAL
 LAND SURVEYOR
Michael B. De...
 OREGON
 JULY 25, 1995
 MICHAEL B. DE...
 2449

VALID UNTIL 6-30-07
 I HEREBY CERTIFY THAT THIS TRACING IS A TRUE AND EXACT COPY OF THE ORIGINAL PLAT.

* CHANGES PER
 ADDITIONAL PLAT BEARING
 RECORD NO. 2009-00003 OF CLACKAMAS
 COUNTY, DEED RECORDS, SET
 EXHIBIT SPECIFIC CHANGES.

WATER LINE EASEMENT DETAIL
 NOT TO SCALE

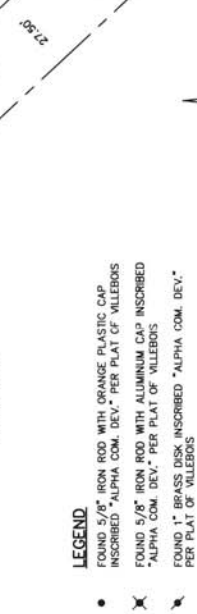
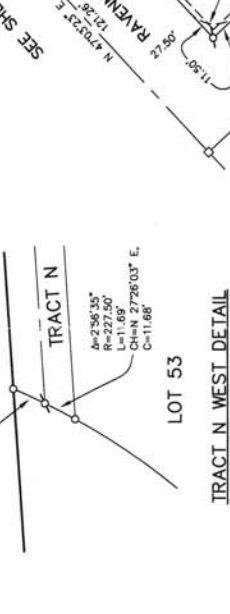
136/017
#4155

VILLEBOIS VILLAGE CENTER

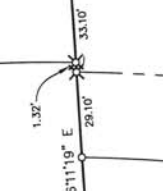
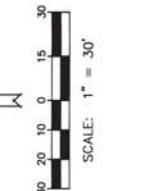
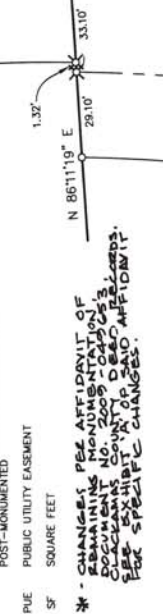
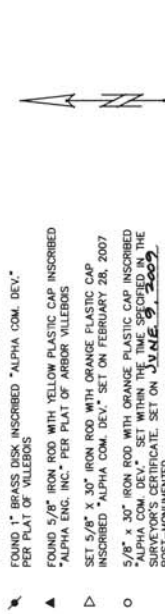
A REPLAT OF ALL OF LOTS 4, 5, 7, 8 AND PORTIONS OF LOTS 6 & 9, PLAT OF VILLEBOIS, LOCATED IN THE NORTHEAST, SOUTHEAST, SOUTHWEST AND NORTHWEST ONE-QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
9200 SW MARLBOR AVENUE
BEAVERTON, OREGON 97008
(503) 452-8003

JOB NO. 0398-0031



- LEGEND**
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ✱ FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ✱ FOUND 1" BRASS DISK INSCRIBED "ALPHA COM. DEV." PER PLAT OF VILLEBOIS
 - ▲ FOUND 5/8" IRON ROD WITH YELLOW PLASTIC CAP INSCRIBED "ALPHA ENG. INC." PER PLAT OF ARBOR VILLEBOIS
 - △ SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET ON FEBRUARY 26, 2007
 - 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
 - ✱ 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
 - ✱ 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET IN MONUMENT BOX IN STREET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 9, 2009
 - PUBLIC UTILITY EASEMENT
 - SF SQUARE FEET
 - ✱ CHANGES PER AFFIDAVIT OF REMAINING MONUMENTS TO CLACKAMAS COUNTY DEED RECORDS. SEE EXHIBIT 10 TO DEED AFFIDAVIT FOR SPECIFIC CHANGES.



REGISTERED PROFESSIONAL LAND SURVEYOR
Michael P. Gates
OREGON
JULY 25, 1988
MICHAEL P. GATES
2449

VALID UNTIL 6-30-07
I HEREBY CERTIFY THAT THIS TRACING IS A TRUE AND EXACT COPY OF THE ORIGINAL PLAT.

VILLEBOIS VILLAGE CENTER NO. 2

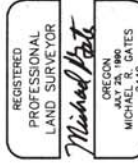
BEING A REPLAT OF PARCELS 1, 2 AND PORTION OF PARCEL 3, PARTITION PLAT NO. 2007-128, A PORTION OF PARCEL 1, PARTITION PLAT NO. 2007-127 AND A PORTION OF LOT 3, VILLEBOIS PLAT NO. 4052, LOCATED IN THE NORTHEAST, SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
9200 S.W. NUBIS AVENUE
WILSONVILLE, OREGON 97138
(503) 482-8003 JOB NO. 0398-0036

MONUMENTED:
MARCH 18, 2008

NARRATIVE

- THE PURPOSE OF THIS PLAT IS TO REPLAT PARCELS 1, 2 AND A PORTION OF PARCEL 3, PARTITION PLAT NO. 2007-128, A PORTION OF PARCEL 1, PARTITION PLAT NO. 2007-127 AND A PORTION OF LOT 3, VILLEBOIS PLAT NO. 4052, TO BE CONVEYED TO THE CITY OF WILSONVILLE AS A PUBLIC UTILITY EASEMENT BOUNDARY BEING PORTIONS OF PARCEL 1, PARTITION PLAT NO. 2007-127, PARCEL 3, PARTITION PLAT NO. 2007-128 AND LOT 3, VILLEBOIS PLAT NO. 4052.
- THE BASIS OF BEARINGS BEING A PORTION OF THE NORTHWESTERLY BOUNDARY LINE OF VILLEBOIS VILLAGE CENTER PLAT NO. 4155 BETWEEN FOUND MONUMENTS AS SHOWN AND TAKEN AS SOUTH 47°03'23" WEST.



NOTES

- THIS SUBDIVISION IS SUBJECT TO THE CONDITIONS OF APPROVAL PER CITY OF WILSONVILLE PLANNING CASE FILE NO. 0807-0025.
- TRACTS 'P' THROUGH 'R' SHALL BE OWNED AND MAINTAINED BY VILLEBOIS VILLAGE CENTER MASTER ASSOCIATION AND ARE SUBJECT TO A PUBLIC PEDESTRIAN AND BICYCLE ACCESS EASEMENT OVER THEIR ENTIRETIES.
- TRACT 'Q' IS SUBJECT TO A STORM DRAIN EASEMENT TO THE CITY OF WILSONVILLE OVER ITS ENTIRETY.
- TRACT 'R' IS FOR PARK PURPOSES.
- TRACT 'R' IS SUBJECT TO A STORM DRAIN AND WATER LINE EASEMENT TO THE CITY OF WILSONVILLE AS SHOWN.
- TRACTS 'P' AND 'Q' ARE PRIVATE ALLEYS AND SHALL BE SUBJECT TO AN ACCESS EASEMENT EACH FOR THE BENEFIT OF ALL LOTS AND TRACTS ABUTTING IT AND A PUBLIC UTILITY EASEMENT OVER THEIR ENTIRETIES.
- LOT 56 SHALL NOT HAVE DIRECT ACCESS TO OR FROM ZURICH STREET.
- LOTS 64 AND 65 SHALL NOT HAVE DIRECT ACCESS TO OR FROM TOULOUSE STREET.
- LOT 55 IS SUBJECT TO STORM DRAIN AND SANITARY SEWER EASEMENTS TO THE CITY OF WILSONVILLE AS SHOWN. LOT 55 IS ALSO SUBJECT TO A PUBLIC ACCESS EASEMENT AS SHOWN.
- LOT 71 IS SUBJECT TO A PUBLIC ACCESS EASEMENT AS SHOWN.
- TRACT 'Q' IS SUBJECT TO A PUBLIC WATER LINE EASEMENT.
- SUBJECT TO DECLARATION OF PROTECTIVE COVENANTS, CONDITIONS, RESTRICTIONS, AND EASEMENTS AS RECORDED IN DOCUMENT NO. 2007-037605.
- SUBJECT TO AN OWNERSHIP AND MAINTENANCE AGREEMENT RECORDED AS DOCUMENT NO. 2008-038607, CLACKAMAS COUNTY DEED RECORDS.
- THIS SUBDIVISION IS SUBJECT TO THE CONDITIONS, RESTRICTIONS AND/OR SETBACKS AS SHOWN ON THE RECORDED PLATS OF PARCEL 1, PARTITION PLAT NO. 2007-127, 2007-128 AND LOT 3 OF "VILLEBOIS."
- THIS SUBDIVISION IS SUBJECT TO A JOINT ACCESS AND PUBLIC UTILITY EASEMENT AS DELINEATED AND SET FORTH IN THE RECORDED PLAT OF VILLEBOIS.
- THIS SUBDIVISION IS SUBJECT TO A 30.00 FOOT ACCESS AND UTILITY EASEMENT AS DELINEATED AND SET FORTH ON THE RECORDED PARTITION PLAT NO. 2007-128.



LEGEND

FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV. PER VILLEBOIS OR VILLEBOIS VILLAGE CENTER".

FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV. PER VILLEBOIS VILLEBOIS VILLAGE CENTER" OR PARTITION PLAT NO. 2007-128.

SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." ON MARCH 18, 2008.

5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE SURVEYOR'S MONUMENTED. SET ON JUNE 30, 2007.

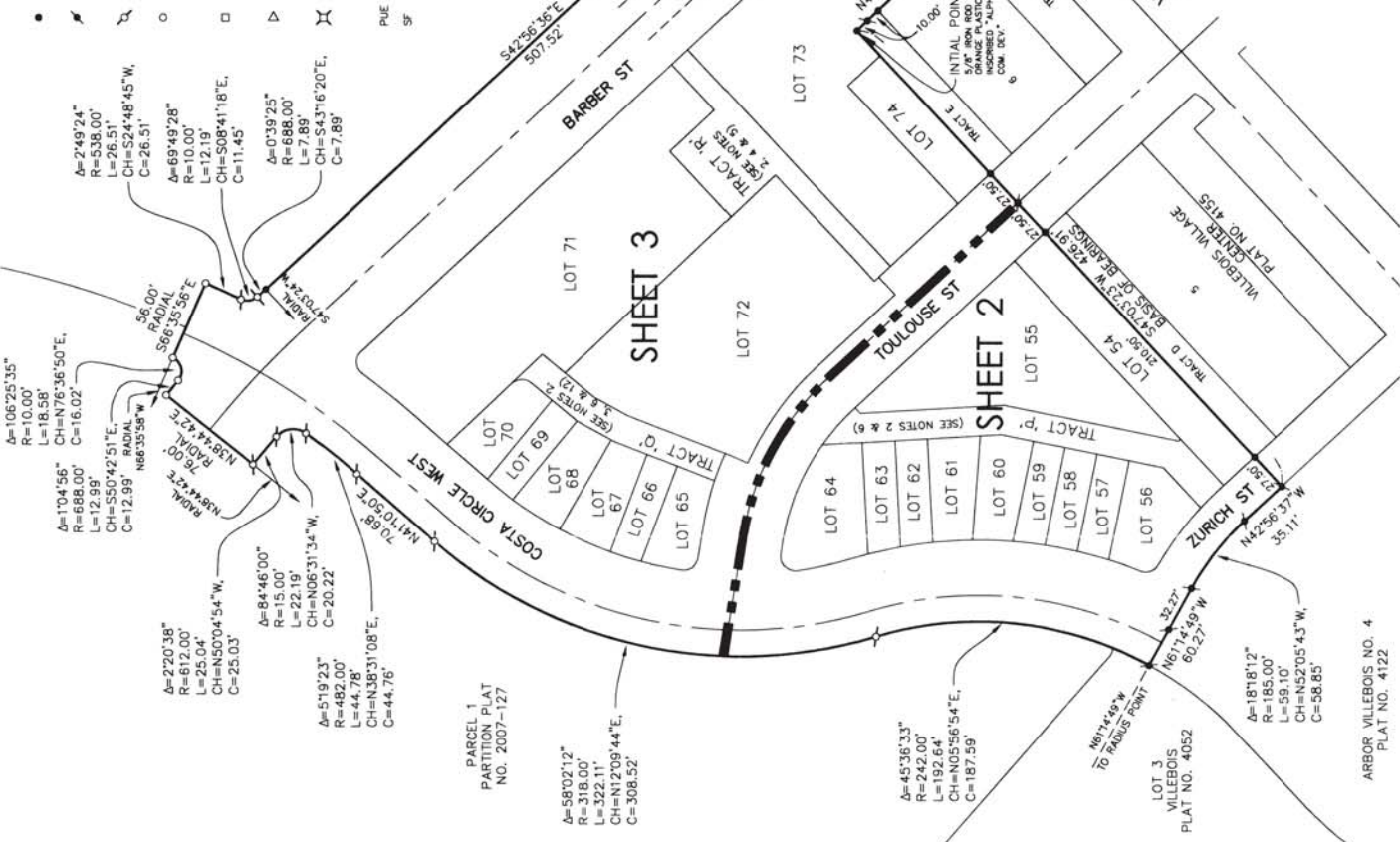
5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2007.

5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2007.

5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2007.

5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2007.

PUE PUBLIC UTILITY EASEMENT
SF SQUARE FEET



SHEET INDEX

- SHEET 1 PLAT BOUNDARY, NARRATIVE, NOTES, & SHEET INDEX
- SHEET 2 LOTS 54-64, TRACT 'P', CURVE TABLE, & LEGEND
- SHEET 3 LOTS 64-74, TRACT 'Q' AND 'R', CURVE TABLE, & LEGEND
- SHEET 4 ACKNOWLEDGMENT, APPROVALS, DECLARATION, & SURVEYOR'S CERTIFICATE

ARBOR VILLEBOIS NO. 4
PLAT NO. 4122

138 / 030 # 4228

VILLEBOIS VILLAGE CENTER NO. 2

BEING A REPLAT OF PARCELS 1, 2 AND PORTION OF PARCEL 3, PARTITION PLAT NO. 2007-12B, A PORTION OF PARCEL 1, PARTITION PLAT NO. 2007-127, AND A PORTION OF LOT 3, VILLEBOIS PLAT NO. 4052, LOCATED IN THE NORTHEAST, SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

MONUMENTED:
MARCH 18, 2008

ALPHA COMMUNITY DEVELOPMENT
9200 S.W. NUBBS AVENUE
PORTLAND, OREGON 97208
(503) 482-8003 FAX NO. 0398-10036

CURVE DATA

NO.	DELTA	RADIUS	LENGTH	CHORD	BRC	CHORD
C1	45°36'33"	260.00'	206.97'	N002°56'54"E	201.55'	
C2	18°39'09"	300.00'	97.66'	S07°31'48"E	97.23'	
C3	37°49'34"	185.00'	122.14'	N61°30'24"W	119.93'	
C4	174°33'36"	157.50'	32.74'	N48°48'26"W	32.18'	
C5	18°56'00"	157.50'	27.16'	N03°17'18"W	27.16'	
C6	131°11'16"	212.50'	49.33'	N53°54'05"W	48.93'	
C7	62°07'35"	10.00'	14.33'	S19°17'55"E	13.14'	
C8	42°42'31"	298.00'	22.92'	N19°33'41"E	22.91'	
C9	41°18'14"	298.00'	22.39'	N15°12'22"E	22.38'	
C10	41°17'45"	298.00'	22.34'	N10°54'24"E	22.33'	
C11	41°54'45"	298.00'	22.25'	N06°37'11"E	22.25'	
C12	51°39'00"	298.00'	27.65'	N01°49'20"E	27.64'	
C13	31°18'55"	298.00'	27.16'	N03°17'18"W	27.16'	
C14	31°18'55"	298.00'	27.16'	N03°17'18"W	27.16'	
C15	42°31'18"	298.00'	22.83'	N12°32'23"W	22.82'	
C16	207°19'	298.00'	11.04'	N15°47'43"W	11.04'	
C17	827°30'	262.00'	38.68'	S12°31'37"E	38.64'	
C18	107°37'41"	10.00'	18.78'	S45°24'58"W	18.14'	
C19	28°58'57"	157.50'	71.74'	N67°43'13"W	71.13'	

LEGEND

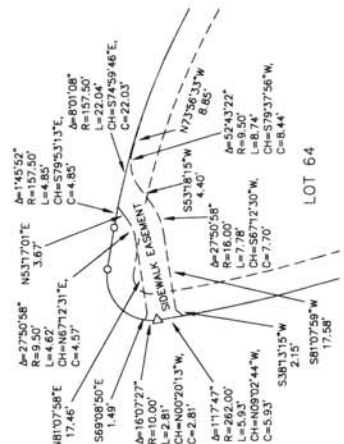
- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER VILLEBOIS OR VILLEBOIS VILLAGE CENTER UNLESS NOTED OTHERWISE.
- FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER VILLEBOIS OR VILLEBOIS VILLAGE CENTER OR PARTITION PLAT NO. 2007-12B.
- SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." ON MARCH 18, 2008.
- SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON **JUNE 30, 2009**, POST MONUMENTED.
- SET 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON **JUNE 30, 2009**, POST MONUMENTED.
- 1" COPPER DISK INSCRIBED "ALPHA COM. DEV." IN CONCRETE SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON **JUNE 30, 2009**, POST MONUMENTED.
- 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." IN MONUMENT BOX SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON **JUNE 30, 2009**, POST MONUMENTED.
- PUBLIC UTILITY EASEMENT
- SQUARE FEET

REGISTERED
PROFESSIONAL
LAND SURVEYOR

Michael R. Gates

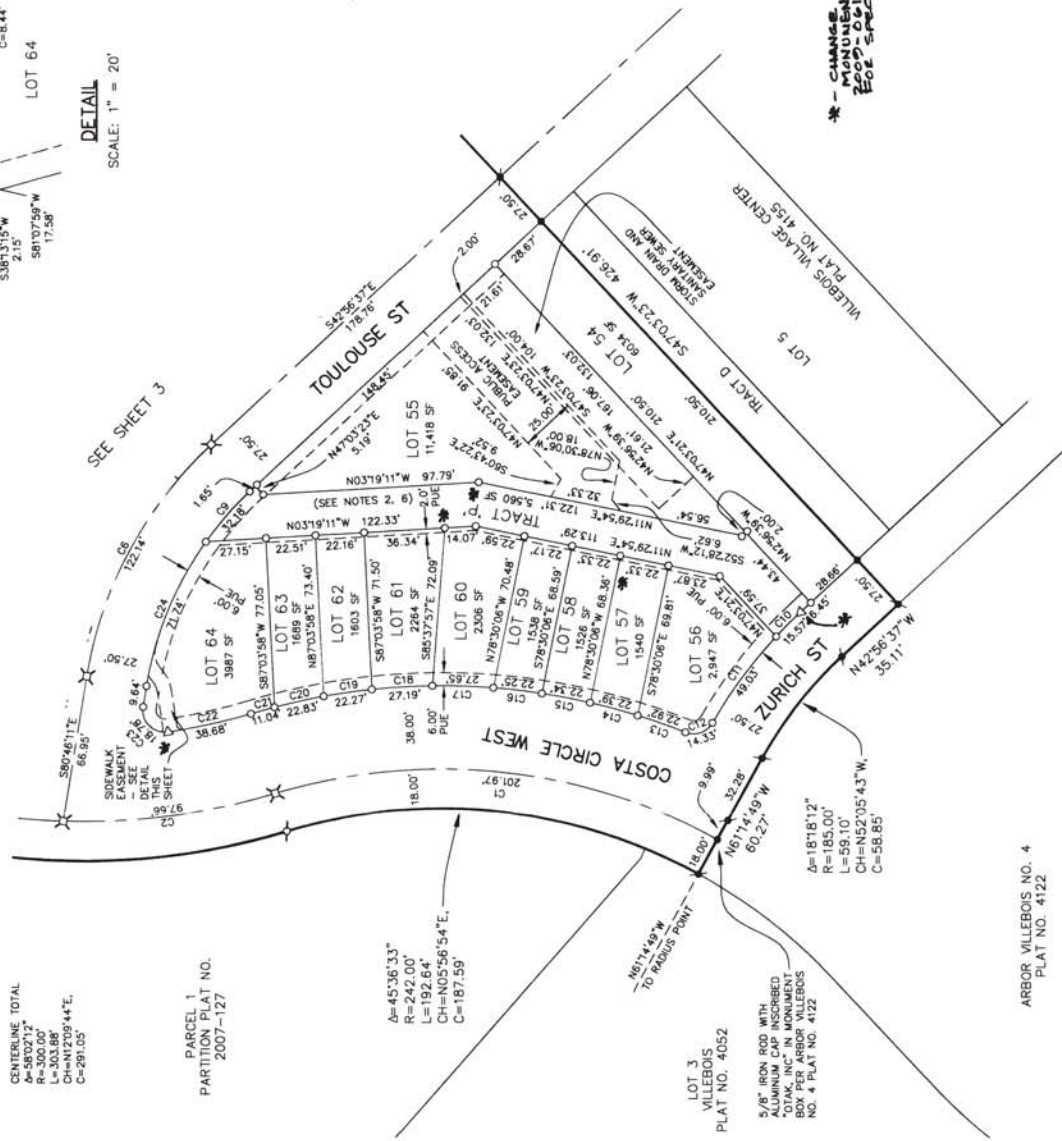
OREGON
REG. NO. 10000
MICHAEL R. GATES
2449

VALID UNTIL 6-30-09



SCALE: 1" = 20'

SEE SHEET 3



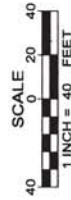
* - CHANGE PER AFFIDAVIT OF RESIGNING
MONUMENTATION DOCUMENT NO. 11
FOR SPECIFIC CHANGES.

ARBOR VILLEBOIS NO. 4
PLAT NO. 4122

VILLEBOIS VILLAGE CENTER NO. 2

BEING A REPLAT OF PARCELS 1, 2 AND PORTION OF PARCEL 3, PARTITION PLAT NO. 2007-128, A PORTION OF PARCEL 1, PARTITION PLAT NO. 2007-127 AND A PORTION OF LOT 3, VILLEBOIS PLAT NO. 4052, LOCATED IN THE NORTHEAST, SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

ALPHA COMMUNITY DEVELOPMENT
9200 S.W. NUBIUS AVENUE
WILSONVILLE, OREGON 97158
(503) 482-6003 JOB NO. 0398-0036



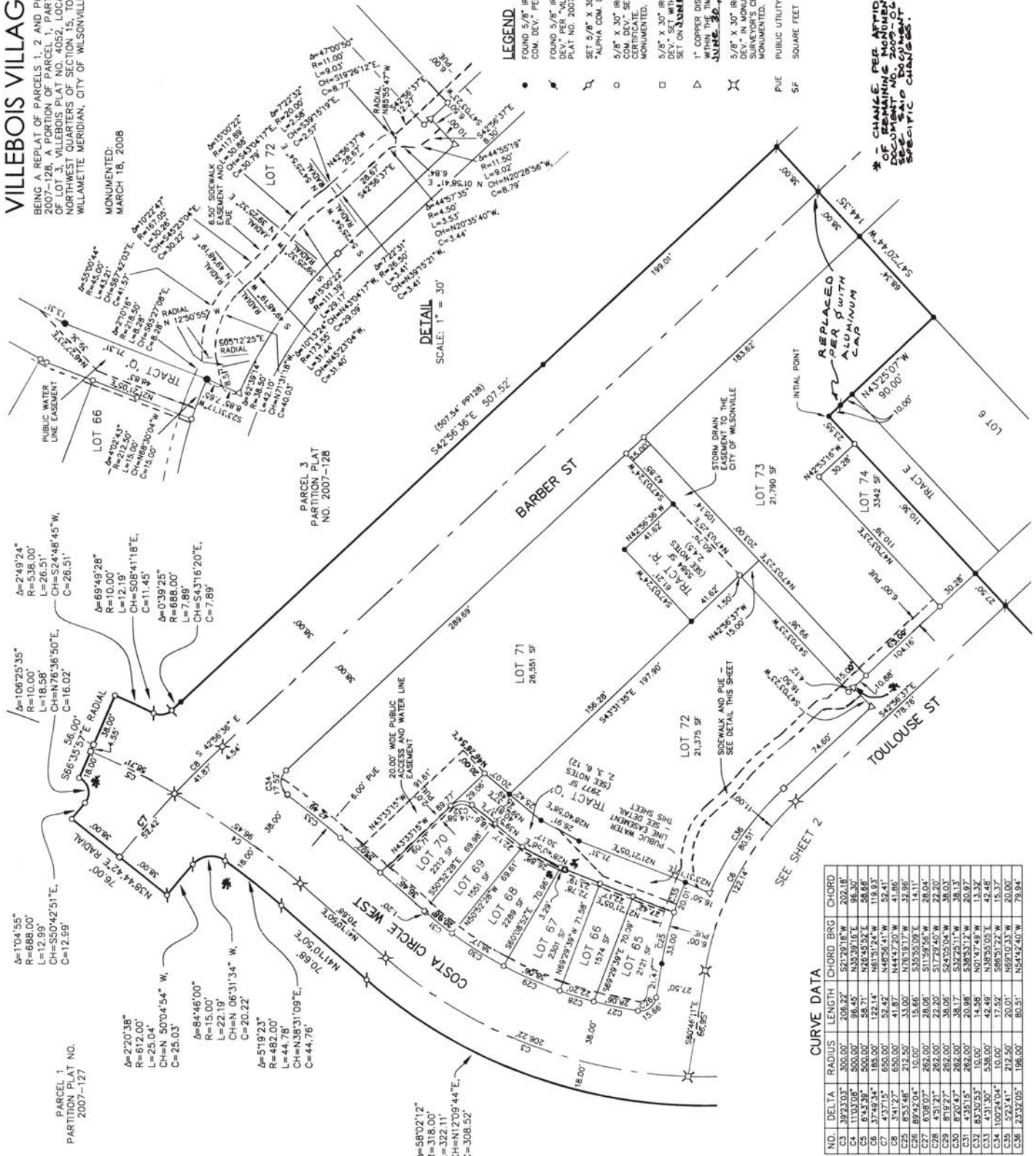
MONUMENTED:
MARCH 18, 2008

LEGEND

- FOUND 5/8" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." PER "VILLEBOIS" OR "VILLEBOIS VILLAGE CENTER."
- FOUND 5/8" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." PER "VILLEBOIS", "VILLEBOIS VILLAGE CENTER", OR PARTITION PLAT NO. 2007-128.
- SET 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." ON MARCH 18, 2008.
- 5/8" X 30" IRON ROD WITH ORANGE PLASTIC CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2009, POST MONUMENTED.
- 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2009, POST MONUMENTED.
- 1" COPPER DISK INSCRIBED "ALPHA COM. DEV." IN CONCRETE SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2009, POST MONUMENTED.
- 5/8" X 30" IRON ROD WITH ALUMINUM CAP INSCRIBED "ALPHA COM. DEV." IN MONUMENT BOX SET WITHIN THE TIME SPECIFIED IN THE SURVEYOR'S CERTIFICATE. SET ON JUNE 30, 2009, POST MONUMENTED.
- PUBLIC UTILITY EASEMENT
- SF SQUARE FEET

REGISTERED PROFESSIONAL LAND SURVEYOR
Michael R. Gates
OREGON REG. NO. 1000
MICHAEL R. GATES
2449
VALID UNTIL 6-30-08

* CHANGE PER AFFIDAVIT OF REMAINING MONUMENTS. DOCUMENT NO. 2008-0001. FOR SPECIFIC CHANGES.



DETAIL SCALE: 1" = 30'

CURVE DATA

NO.	DELTA	RADIUS	LENGTH	CHORD	BRG	CHORD BRG
C3	192.00°	300.00'	208.22'	520.291818"	202.18'	86.30°
C4	110.00°	500.00'	96.43'	N35°39'15"E	86.30'	58.68°
C5	174.90°	500.00'	58.71'	N28°45'52"E	58.68'	52.41°
C6	174.90°	185.00'	122.14'	N61°31'24"W	119.93'	41.86°
C7	437.15°	650.00'	52.42'	N48°56'41"W	52.41'	34.96°
C8	321.27°	650.00'	41.87'	N44°27'02"W	41.86°	34.96°
C9	853.46°	712.50'	33.00'	N76°19'17"W	34.96°	28.04°
C10	853.46°	712.50'	33.00'	N11°59'54"W	28.04°	38.03°
C11	853.46°	712.50'	33.00'	S17°29'40"W	22.20'	38.13°
C12	853.46°	712.50'	33.00'	S24°05'04"W	38.03°	20.97°
C13	853.46°	712.50'	33.00'	S32°25'11"W	38.13°	13.32°
C14	853.46°	712.50'	33.00'	S38°53'12"W	20.97°	42.48°
C15	853.46°	712.50'	33.00'	N01°47'49"W	13.32°	42.48°
C16	853.46°	712.50'	33.00'	N08°55'05"E	42.48°	20.97°
C17	853.46°	712.50'	33.00'	N15°59'54"E	20.97°	20.97°
C18	853.46°	712.50'	33.00'	N22°29'40"E	20.97°	79.94°
C19	853.46°	712.50'	33.00'	N28°45'52"E	58.68°	79.94°
C20	853.46°	712.50'	33.00'	N35°39'15"E	86.30°	79.94°

#4228 138/030

VILLEBOIS VILLAGE CENTER NO. 2

BEING A REPLAT OF PARCELS 1, 2 AND PORTION OF PARCEL 3, PARTITION PLAT NO. 2007-128, A PORTION OF PARCEL 1, PARTITION PLAT NO. 2007-127 AND A PORTION OF LOT 3, VILLEBOIS PLAT NO. 4052, LOCATED IN THE NORTHEAST, SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON

MONUMENTED: MARCH 18, 2008
ALPHA COMMUNITY DEVELOPMENT
9200 S.W. NIBLIS AVENUE
WILSONVILLE, OREGON 97138
(503) 432-8003

CITY OF WILSONVILLE APPROVALS

APPROVED THIS 5th DAY OF May, 2008
BY: [Signature]
CITY OF WILSONVILLE PLANNING DIRECTOR

APPROVED THIS 5th DAY OF May, 2008
BY: [Signature]
CITY OF WILSONVILLE COMMUNITY DEVELOPMENT DIRECTOR

CLACKAMAS COUNTY APPROVALS

APPROVED THIS 28th DAY OF MAY, 2008
BY: [Signature]
CLACKAMAS COUNTY SURVEYOR AND CLACKAMAS COUNTY BOARD OF COMMISSIONERS DELEGATE PER COUNTY CODE CHAPTER 11.02

ALL TAXES, FEES, ASSESSMENTS OR OTHER CHARGES AS PROVIDED BY ORS 92.085 HAVE BEEN PAID THRU JUNE 30, 2008
APPROVED THIS 28th DAY OF May, 2008
ASSESSOR & TAX COLLECTOR

BY: [Signature]
DEPUTY
STATE OF OREGON)
COUNTY OF CLACKAMAS) SS

I DO HEREBY CERTIFY THAT THE ATTACHED PLAT WAS RECEIVED FOR RECORD ON THE 28th DAY OF May, 2008 AT 11:39 O'CLOCK A.M.
AS PLAT NO. 4228
DOCUMENT NO. 2008-38006
SHERRY HALL-CLACKAMAS COUNTY CLERK

BY: [Signature]
DEPUTY
REMAINING CORNER MONUMENTATION
IN ACCORDANCE WITH O.R.S. 92.070, THE REMAINING CORNERS OF THIS SUBDIVISION HAVE BEEN CORRECTLY SET WITH PROPER MONUMENTS. AN AFFIDAVIT HAS BEEN PREPARED REGARDING THE SETTING OF SAID MONUMENTS AND IS RECORDED AUGUST 26, 2009. IN RECORDER'S FILE NO. 2009-061143, CLACKAMAS COUNTY DEED RECORDS.

APPROVED THIS [Signature] DAY OF October, 2008
CLACKAMAS COUNTY SURVEYOR

BY DEPUTY: _____

DECLARATION

KNOW ALL PEOPLE BY THESE PRESENTS: THAT VILLEBOIS, LLC, AN OREGON LIMITED LIABILITY COMPANY AND VILLEBOIS VILLAGE CENTER, LLC, AN OREGON LIMITED LIABILITY COMPANY, OWNERS OF THE LAND DESCRIBED IN THE ACCOMPANYING SURVEYOR'S CERTIFICATE, DO HEREBY DECLARE THAT THIS INSTRUMENT IS A TRUE AND CORRECT PLAT THEREOF, ALL LOT LINES BEING OF THE DIMENSIONS SHOWN AND ALL EASEMENTS OF THE WIDTHS THEREIN SET FORTH, AND DOES HEREBY GRANT ALL EASEMENTS AS SHOWN OR NOTED HEREON, WITH RESTRICTIONS AS NOTED AND DOES HEREBY WARRANT TO CONVEY TO VILLEBOIS VILLAGE CENTER MASTER ASSOCIATION.

VILLEBOIS VILLAGE CENTER, LLC, AN OREGON LIMITED LIABILITY COMPANY
BY: COSTA PACIFIC HOMES LLC, AN OREGON LIMITED LIABILITY COMPANY
MEMBER

[Signature]
ROBERT B. ROTTICCI

ACKNOWLEDGMENT

STATE OF OREGON)
COUNTY OF MULTNOMAH) SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON April 30, 2008
2008, BY ROBERT B. ROTTICCI FOR COSTA PACIFIC HOMES LLC, AN OREGON LIMITED LIABILITY COMPANY, MEMBER OF VILLEBOIS VILLAGE CENTER, LLC.

[Signature]
NOTARY SIGNATURE

[Signature]
NOTARY PUBLIC - OREGON

COMMISSION NO. 386909
MY COMMISSION EXPIRES 12/19/2009

VILLEBOIS, LLC AN OREGON LIMITED LIABILITY COMPANY

[Signature]
WAYNE REMBOLD)
MANAGER) SS

ACKNOWLEDGMENT

STATE OF OREGON)
COUNTY OF Multnomah) SS
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON May 2, 2008, BY WAYNE REMBOLD AS MANAGER OF VILLEBOIS, LLC

[Signature]
NOTARY SIGNATURE

[Signature]
NOTARY PUBLIC - OREGON

COMMISSION NO. 386115
MY COMMISSION EXPIRES 11/19/2008

SURVEYOR'S CERTIFICATE

I, MICHAEL R. GATES, HEREBY CERTIFY THAT I HAVE CORRECTLY SURVEYED AND MARKED WITH PROPER MONUMENTS THE LAND REPRESENTED ON THIS PLAT, BEING A REPLAT OF PARCELS 1, 2 AND A PORTION OF PARCEL 3, PARTITION PLAT NO. 2007-128, A PORTION OF LOT 3, VILLEBOIS PLAT NO. 4052, LOCATED IN THE NORTHEAST, SOUTHWEST AND NORTHWEST QUARTERS OF SECTION 15, TOWNSHIP 3 SOUTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, CITY OF WILSONVILLE, CLACKAMAS COUNTY, OREGON;

THAT AS THE INITIAL POINT OF SAID SURVEY I FOUND AND HELD A 5/8" IRON ROD WITH ORANGE PLASTIC CAP MARKED ALPHA COMM DEV, ON THE SOUTHEASTERN BOUNDARY OF PARCEL 1, VILLEBOIS VILLAGE CENTER PLAT NO. 2007-128, BEING THE POINT OF BEGINNING OF TRACT "E", VILLEBOIS VILLAGE CENTER PLAT NO. 1555; THENCE ALONG THE BOUNDARY LINE OF SAID PARCEL 1, AND THE BOUNDARY LINE OF SAID VILLEBOIS VILLAGE CENTER SOUTH 47°03'23" WEST, 426.91 FEET; THENCE LEAVING SAID BOUNDARY OF VILLEBOIS VILLAGE CENTER AND CONTINUING ON THE BOUNDARY OF SAID PARCEL 1 AND LOT 3, VILLEBOIS THE FOLLOWING COURSES: NORTH 42°56'37" WEST, 35.11 FEET TO A POINT OF CURVATURE; ALONG THE ARC OF A 185.00 FOOT RADIUS CURVE, BEING CONCAVE SOUTHERLY, THROUGH A CENTRAL ANGLE OF 18°18'12", 59.10 FEET (THE LONG CHORD BEARS NORTH 0°14'29" WEST, 59.10 FEET); THENCE LEAVING SAID BOUNDARY TO A POINT ON A CURVE; THENCE LEAVING SAID BOUNDARY ALONG THE ARC OF A NON-TANGENT 242.00 FOOT RADIUS CURVE, BEING CONCAVE WESTERLY, THE RADIUS POINT BEARS NORTH 61°14'49" WEST, THROUGH A CENTRAL ANGLE OF 45°36'33", 192.64 FEET (THE LONG CHORD BEARS NORTH 05°56'54" EAST, 187.59 FEET) TO A POINT OF REVERSE CURVE; THENCE ALONG THE ARC OF A 318.00 FOOT RADIUS CURVE, BEING CONCAVE EASTERLY, THROUGH A CENTRAL ANGLE OF 58°02'12", 322.11 FEET (THE LONG CHORD BEARS NORTH 12°09'44" EAST, 308.82 FEET); THENCE NORTH 41°10'50" EAST, 70.88 FEET TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A 100.00 FOOT RADIUS CURVE, BEING CONCAVE WESTERLY, THROUGH A CENTRAL ANGLE OF 51°52'37", 44.78 FEET (THE LONG CHORD BEARS NORTH 38°31'08" EAST, 44.78 FEET) TO A POINT OF CURVATURE; THENCE ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE, BEING CONCAVE WESTERLY, THROUGH A CENTRAL ANGLE OF 84°46'00", 22.19 FEET (THE LONG CHORD BEARS NORTH 08°31'34" WEST, 20.22 FEET); TO A POINT OF COMPOUND CURVATURE; THENCE ALONG THE ARC OF A 612.00 FOOT RADIUS CURVE, BEING CONCAVE SOUTHERLY, THROUGH A CENTRAL ANGLE OF 02°20'38", 25.04 FEET (THE LONG CHORD BEARS NORTH 50°04'00" WEST, 25.03 FEET); THENCE ALONG A RADIAL BEARING NORTH 39°44'48" EAST, 50.04 FEET WEST, 25.03 FEET; ON CURVE; THENCE ALONG THE ARC OF A 668.00 FOOT RADIUS CURVE, BEING CONCAVE SOUTHERLY, THROUGH A CENTRAL ANGLE OF 01°04'56", 12.89 FEET (THE LONG CHORD BEARS SOUTH 50°42'51" EAST, 12.98 FEET) TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF A 10.00 FOOT RADIUS CURVE, BEING CONCAVE NORTHERLY, THROUGH A CENTRAL ANGLE OF 108°25'39", 18.58 FEET (THE LONG CHORD BEARS NORTH 75°36'50" EAST, 16.02 FEET); THENCE ON A RADIAL BEARING SOUTH 89°35'56" EAST, 56.00 FEET TO A POINT ON A CURVE; THENCE ALONG THE ARC OF A 538.00 FOOT RADIUS CURVE, BEING CONCAVE WESTERLY, THROUGH A CENTRAL ANGLE OF 02°49'24", 25.04 FEET (THE LONG CHORD BEARS SOUTH 24°46'45" WEST, 26.00 FEET); THENCE ALONG THE ARC OF A 10.00 FOOT RADIUS CURVE, BEING CONCAVE EASTERLY, THROUGH A CENTRAL ANGLE OF 69°48'28", 12.19 FEET (THE LONG CHORD BEARS SOUTH 08°41'18" EAST, 11.45 FEET) TO A POINT OF REVERSE CURVATURE; THENCE ALONG THE ARC OF A 688.00 FOOT RADIUS CURVE, BEING CONCAVE SOUTHERLY, THROUGH A CENTRAL ANGLE OF 00°39'25", 7.89 FEET (THE LONG CHORD BEARS SOUTH 43°16'20" EAST, 7.89 FEET) TO A POINT ON THE SOUTH LINE OF PARCEL 3, PARTITION PLAT NO. 2007-128; THENCE ALONG SAID PARCEL BOUNDARY SOUTH 42°56'36" EAST, 507.52 FEET TO A POINT ON THE BOUNDARY LINE OF VILLEBOIS VILLAGE CENTER PLAT NO. 4155; THENCE ALONG SAID BOUNDARY SOUTH 47°20'44" WEST, 144.35 FEET; THENCE NORTH 42°25'07" WEST, 80.00 FEET TO THE INITIAL POINT.

THIS PLAT CONTAINS 237,217 SQUARE FEET OR 5.446 ACRES.
AS PER O.R.S. 92.070 (2), I, MICHAEL R. GATES A.S.O SAY THE POST MONUMENTATION OF THE REMAINING MONUMENTS WITHIN THIS SUBDIVISION WILL BE ACCOMPLISHED WITHIN 90 CALENDAR DAYS FOLLOWING COMPLETION OF THE PAVING IMPROVEMENTS OR ONE YEAR FOLLOWING THE ORIGINAL PLAT RECORDATION, WHICHEVER OCCURS FIRST IN ACCORDANCE WITH O.R.S. 92.060.

REGISTERED PROFESSIONAL LAND SURVEYOR
Michael R. Gates
OREGON
JULY 25, 1990
MICHAEL R. GATES
2448

VALID UNTIL 6-30-09

CONSENT AFFIDAVIT

A SUBDIVISION PLAT CONSSENT AFFIDAVIT BY M&T REAL ESTATE TRUST, A TRUST DEED BENEFICIARY PER DOCUMENT NO. 2008-005728, HAS BEEN RECORDED AS DOCUMENT NO. 2008-038100 IN CLACKAMAS COUNTY DEED RECORDS.

CONSENT AFFIDAVIT

A SUBDIVISION PLAT CONSSENT AFFIDAVIT BY WASHINGTON FEDERAL SAVINGS, A TRUST DEED BENEFICIARY PER DOCUMENT NO. 2008-038005 IN CLACKAMAS COUNTY DEED RECORDS, RECORDED AS DOCUMENT NO. 2008-038005 IN CLACKAMAS COUNTY DEED RECORDS.

**FIRE CODE / LAND USE / BUILDING REVIEW
APPLICATION**



North Operating Center
11945 SW 70th Avenue
Tigard, OR 97223
Phone: 503-649-8577

South Operating Center
8445 SW Elligsen Rd
Wilsonville, OR 97070
Phone: 503-649-8577

REV 6-30-20

Project Information

Applicant Name: Pacific Community Design, Inc. for Costa Pacific Communities

Address: 12564 SW Main Street

Phone: 503-941-9484

Email: Maureen@pacific-community.com

Site Address: Lots 12, 73 and 76 of Villebois Village Center

City: Wilsonville

Map & Tax Lot #: 31W15AC 1200, 2100, and 2800

Business Name: Costa Pacific Communities - Villebois Village Center

Land Use/Building Jurisdiction: Mixed-use residential/ Wilsonville

Land Use/ Building Permit # Master Permits MP21-0002 & MP21-0003

Choose from: Beaverton, Tigard, Newberg, Tualatin, North Plains, West Linn, Wilsonville, Sherwood, Rivergrove, Durham, King City, Washington County, Clackamas County, Multnomah County, Yamhill County

Project Description

Mixed-use development consisting of 3 mixed-use residential buildings located on Lots 73 and 76 of Villebois Village Center and a surface parking lot on Lot 12. Tax Lot 2800 consists of 2 buildings with a total of 94 units (40 units in Building A and 54 units in Building B). Tax Lot 2100 consists of 1 building with 49 units. A surface parking lot is proposed on Tax Lot 1200 to serve the residents, employees and visitors of the 3 mixed-use buildings.

Permit/Review Type (check one):

Land Use / Building Review - Service Provider Permit

Emergency Radio Responder Coverage Install/Test

LPG Tank (Greater than 2,000 gallons)

Flammable or Combustible Liquid Tank Installation (Greater than 1,000 gallons)

* Exception: Underground Storage Tanks (UST) are deferred to DEQ for regulation.

Explosives Blasting (Blasting plan is required)

Exterior Toxic, Pyrophoric or Corrosive Gas Installation (in excess of 810 cu.ft.)

Tents or Temporary Membrane Structures (in excess of 10,000 square feet)

Temporary Haunted House or similar

OLCC Cannabis Extraction License Review

Ceremonial Fire or Bonfire (For gathering, ceremony or other assembly)

For Fire Marshal's Office Use Only

TVFR Permit # 2021-0030

Permit Type: SPP-COW

Submittal Date: 3/22/2021

Assigned To: DFM ARN

Due Date: _____

Fees Due: 0

Fees Paid: 0

Approval/Inspection Conditions
(For Fire Marshal's Office Use Only)

<p>This section is for application approval only</p> <p><u>[Signature]</u> <u>0430</u> <u>5-20-21</u> Fire Marshal or Designee Date</p> <p>Conditions: <u>MERRC fee to be paid prior to building permit issuance,</u></p> <p>See Attached Conditions: <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Site Inspection Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p>This section used when site inspection is required</p> <p>Inspection Comments:</p> <p>_____</p> <p>Final TVFR Approval Signature & Emp ID Date</p>
--	--



C2K ARCHITECTURE



PLANNING & DESIGN ASSOCIATES
1284 S.W. Main Street, Portland, OR
97223
11-503-941-9484

REVISIONS
DESCRIPTION
DATE

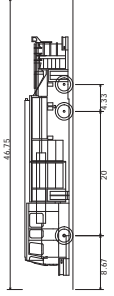
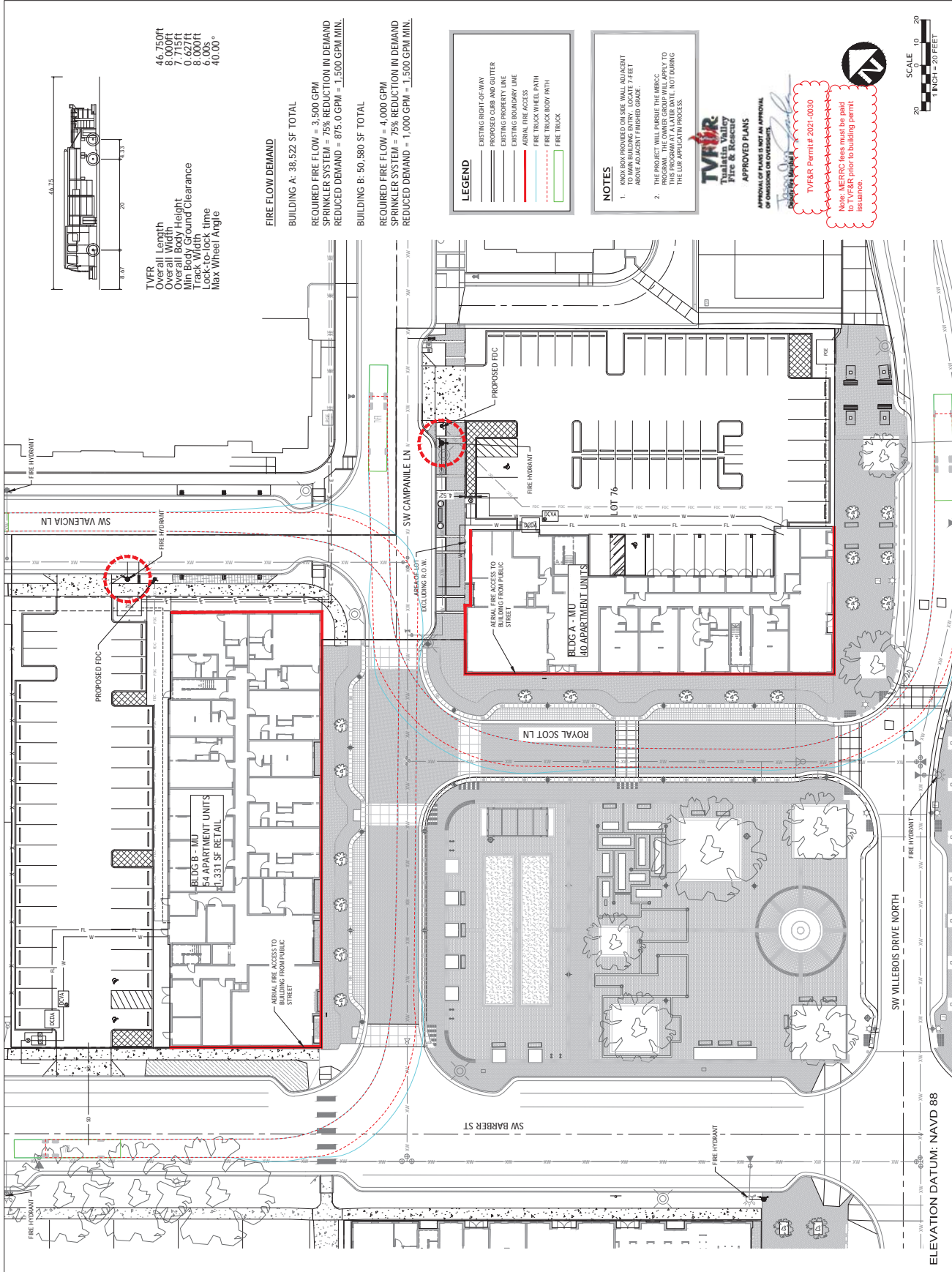
PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
FIRE ACCESS
& FIRE
PROTECTION
PLAN

2nd Submission Date: 06/14/2020

FS-1



- TVFR**
- Overall Length 46.750ft
 - Overall Width 8.000ft
 - Overall Body Height 7.715ft
 - Min Body Ground Clearance 0.000ft
 - Max Wheelbase 20.000ft
 - Lock-to-lock time 6.00s
 - Max Wheel Angle 40.00°

FIRE FLOW DEMAND

BUILDING A: 38,522 SF TOTAL
REQUIRED FIRE FLOW = 3,500 GPM
SPRINKLER SYSTEM = 75% REDUCTION IN DEMAND
REDUCED DEMAND = 875.0 GPM - 1,500 GPM MIN.

BUILDING B: 50,580 SF TOTAL
REQUIRED FIRE FLOW = 4,000 GPM
SPRINKLER SYSTEM = 75% REDUCTION IN DEMAND
REDUCED DEMAND = 1,000 GPM - 1,500 GPM MIN.

LEGEND

- EXISTING RIGHT-OF-WAY
- EXISTING CURB AND GUTTER
- EXISTING PROPERTY LINE
- EXISTING FIRE ACCESS
- FIRE TRUCK WHEEL PATH
- FIRE TRUCK BODY PATH
- FIRE TRUCK

NOTES

- KNOWLEDGE PROVIDED ON SEE WALL ADJACENT ABOVE ADJACENT FINISHED GRADE.
- THE PROJECT WILL BE SUBJECT TO THE TVFR PERMITS FROM THE CITY OF PORTLAND. THIS PROGRAM IS A LATER DATE, NOT DURING THE LUR APPLICATION PROCESS.



APPROVED PLANS
APPROVAL OF PLANS IS NOT AN OPINION OF ENGINEER OR ARCHITECT.

David J. McLaughlin
TVFR Permit # 2021-0030

Note: AERISC fees must be paid to TVFR prior to building permit issuance.



ELEVATION DATUM: NAVD 88



C2K
ARCHITECTURE



PDR
PUBLIC COMMUNITY DESIGN
1284 SW Main Street, 1st Fl., OR
97223
111-505-9414

REVISIONS
DESCRIPTION
DATE

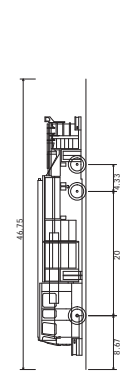
PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
FIRE ACCESS
& FIRE
PROTECTION
PLAN

2nd Submission Date: 06/14/2020

FS-1



T.V.F.R.
Overall Length 46.750ft
Overall Width 8.000ft
Overall Body Height 7.715ft
Min Body Ground Clearance 0.600ft
Lock-to-lock time 0.600ft
Max Wheel Angle 40.00°

FIRE FLOW DEMAND
BUILDING C: 42,145 SF TOTAL
REQUIRED FIRE FLOW = 3,750 GPM
SPRINKLER SYSTEM = 76% REDUCTION IN DEMAND
REDUCED DEMAND = 937.5 GPM - 1,500 GPM MIN.

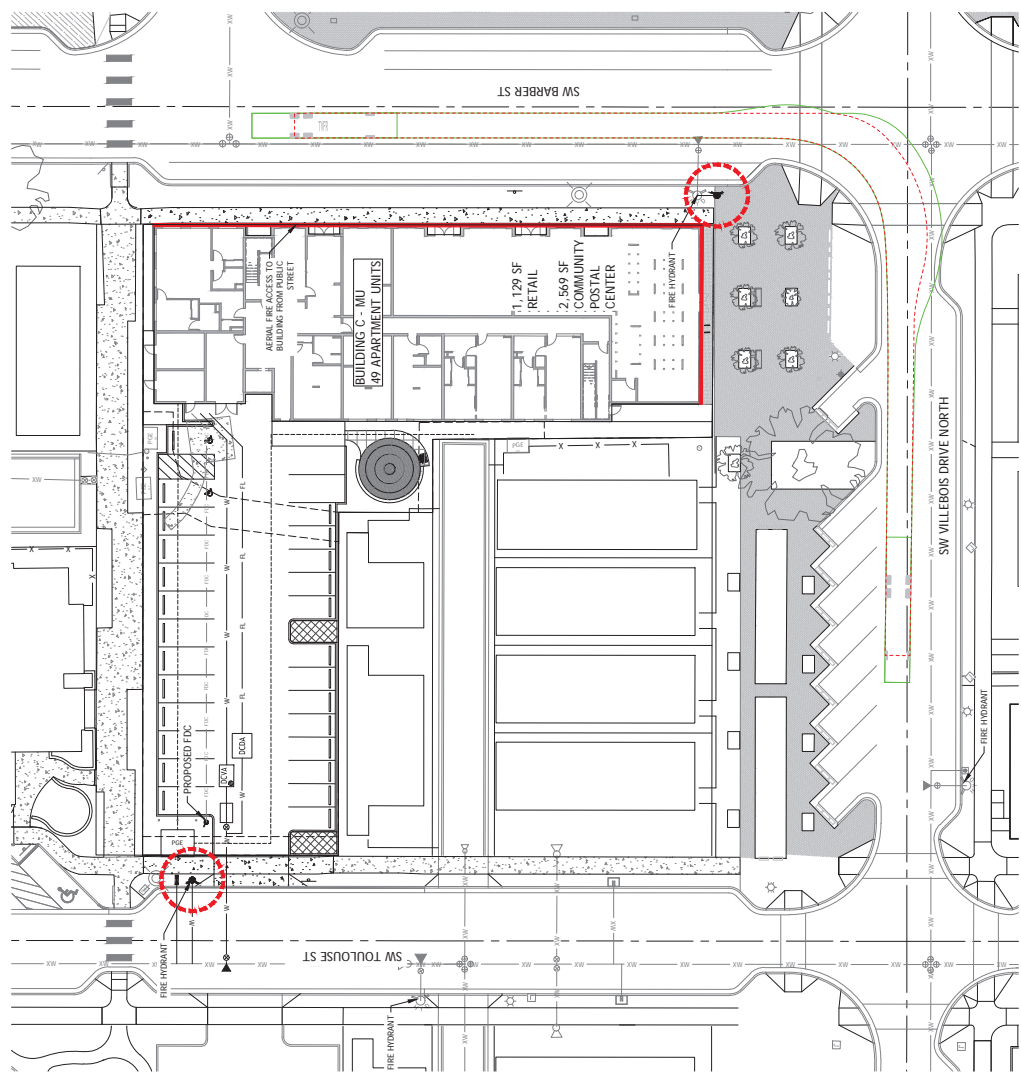
LEGEND

- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- EXISTING PROPERTY LINE
- EXISTING SIDEWALK
- EXISTING DRIVEWAY LINE
- ASPH. DRIVEWAY ACCESS
- FIRE TRUCK WHEEL PATH
- FIRE TRUCK BODY PATH
- FIRE TRUCK

NOTES

1. WOOD BOEK PROVIDED ON SIDE WALL ADJACENT ABOVE ADJACENT FINISHED GRADE.
2. THIS PROJECT WILL BE SUBJECT TO THE MERRC PROGRAM. ALL CHANGES TO THIS PROGRAM AT A LATER DATE, NOT DURING THE LUR/APPLICANT PROCESS.

APPROVED PLANS
TVFR
Tualatin Valley
Fire & Rescue
APPROVAL OF PLANS IS NOT AN APPROVAL OF CONDITIONS OR OVERSIGHTS.
Cody H. Marshall
TVFR Permit # 2020-0030
Note: MERRC fees must be paid to TVFRS prior to building permit issuance.



ELEVATION DATUM: NAVD 88



C2K ARCHITECTURE



PDP COMMUNITY DESIGN
1284 SW Main Street, Portland, OR
97223
(503) 546-1484

REVISIONS
DATE DESCRIPTION

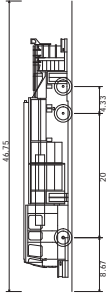
PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
FIRE ACCESS
& FIRE
PROTECTION
PLAN

2nd Submission Date: 06/14/2020

FS-1



TVFR
Overall Length 46.750ft
Overall Width 8.000ft
Overall Body Height 7.715ft
Min. Body Ground Clearance 0.000ft
Max. Body Ground Clearance 9.000ft
Lock-to-lock time 6.00s
Max. Wheel Angle 40.00°

FIRE FLOW DEMAND

SITE D: 0 SF TOTAL

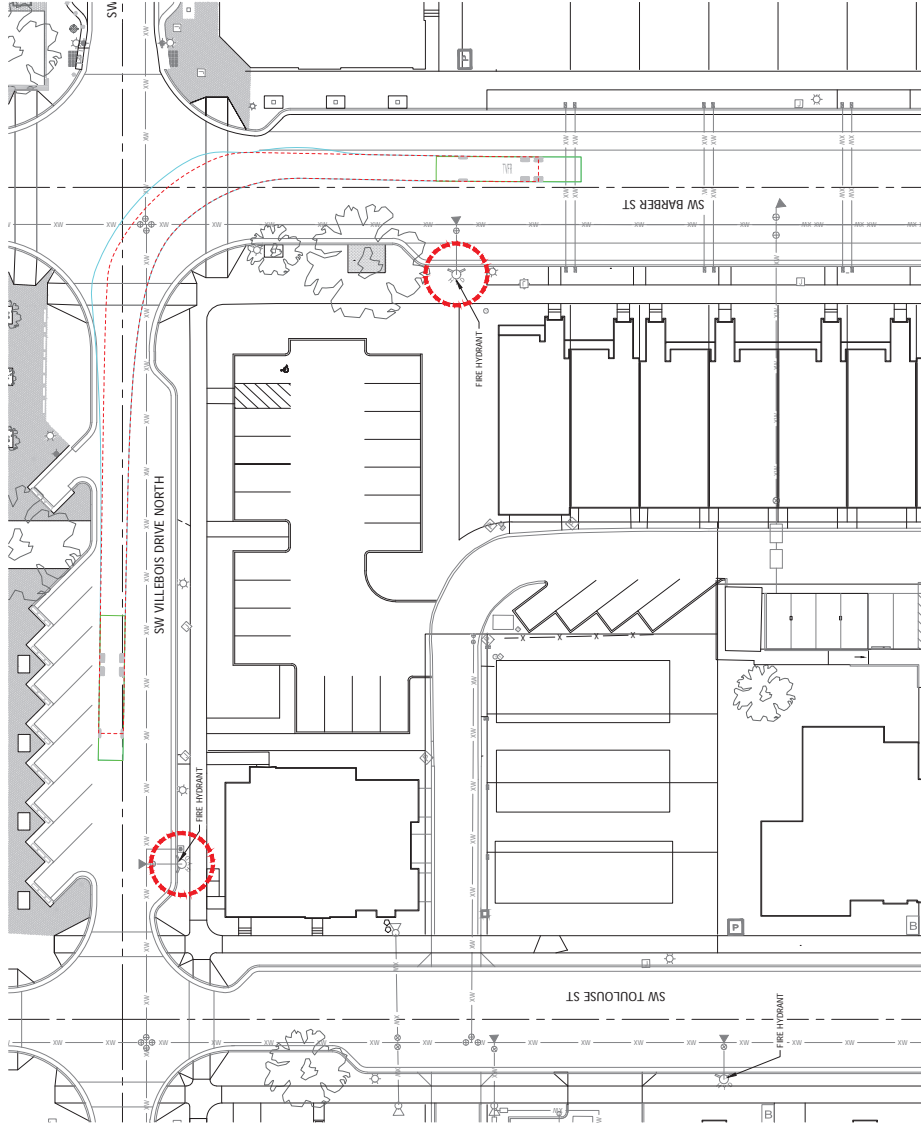
REQUIRED FIRE FLOW = 1,500 GPM



NOTES
1. SIDEWALK PROVIDED ON SIDE WALL ADJACENT TO EXISTING DRIVEWAY. SIDEWALK 10 FEET ABOVE ADJACENT FINISHED GRADE.
2. THE SUBJECT WILL PROVIDE THE MISC. PUBLIC WORKS SERVICES AND SUPPLY TO THIS PROGRAM AT A LATER DATE, NOT DURING THE LOR APPLICATION PROCESS.



TVFR Permit #: 2021-10030
Note: MERRC fees must be paid to TVFR prior to building permit issuance.



ELEVATION DATUM: NAVD 88



10295 Southwest Ridder Road Wilsonville, OR 97070
o 503.570.0626 f 503.582.9307 republicservices.com

April 5, 2021

Maureen Jackson

Re: Villebois Apartments
Bldg. "A" SW Campanile Ln.
Wilsonville, OR 97070

Dear Maureen,

Thank you for sending us the preliminary site plans for this proposed development in Wilsonville.

My Company: Republic Services of Clackamas and Washington Counties has the franchise with the City of Wilsonville to service this area. We will provide complete commercial waste removal and recycling services as needed on a weekly basis for this location.

The architectural plans that you sent on 3/8/2021 (attached) with dimensions for building "A" trash and recycle room, will provide space to house our trash and recycle equipment that we determined adequate for the number of residential units (40 units) proposed for this development.

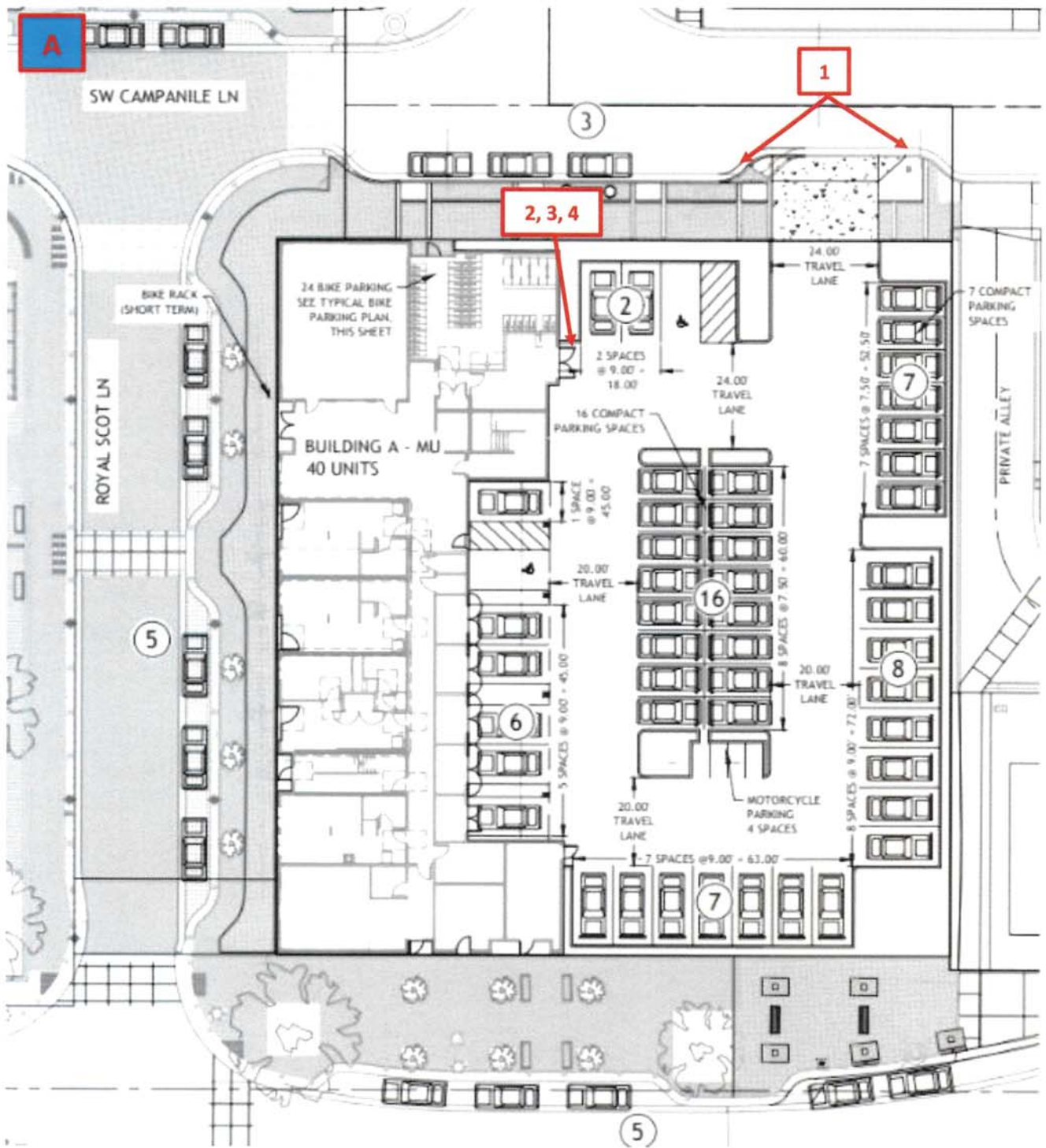
The architectural plans that you sent on 3/31/2021 (attached) with dimensions for building "A", and your response to our concerns regarding our trucks ability to maneuver onto and off the property, as well as our ability to maneuver the trash and recycle receptacles at this site including: driveway entrance clearance; transition from trash room to the parking lot; trash room door width of 7'and door securement; will allow us the ability to safely service this site.

We appreciate your help and concerns for our services prior to this project being developed.

Sincerely,

A handwritten signature in blue ink, appearing to read "Kelly Herrod", written over a light blue horizontal line.

Kelly Herrod
Operations Supervisor
Republic Services Inc.



1. No parking. The curb design will likely deter vehicles from crowding the driveway apron.

PCD response: bump out at driveway will deter parking

2. Transition from trash room to parking lot must be smooth with minimal grade, no curb, and no obstructions.

2 - C2K resp: Confirmed, transition from interior to exterior will be 1/4" and covered by saddle threshold

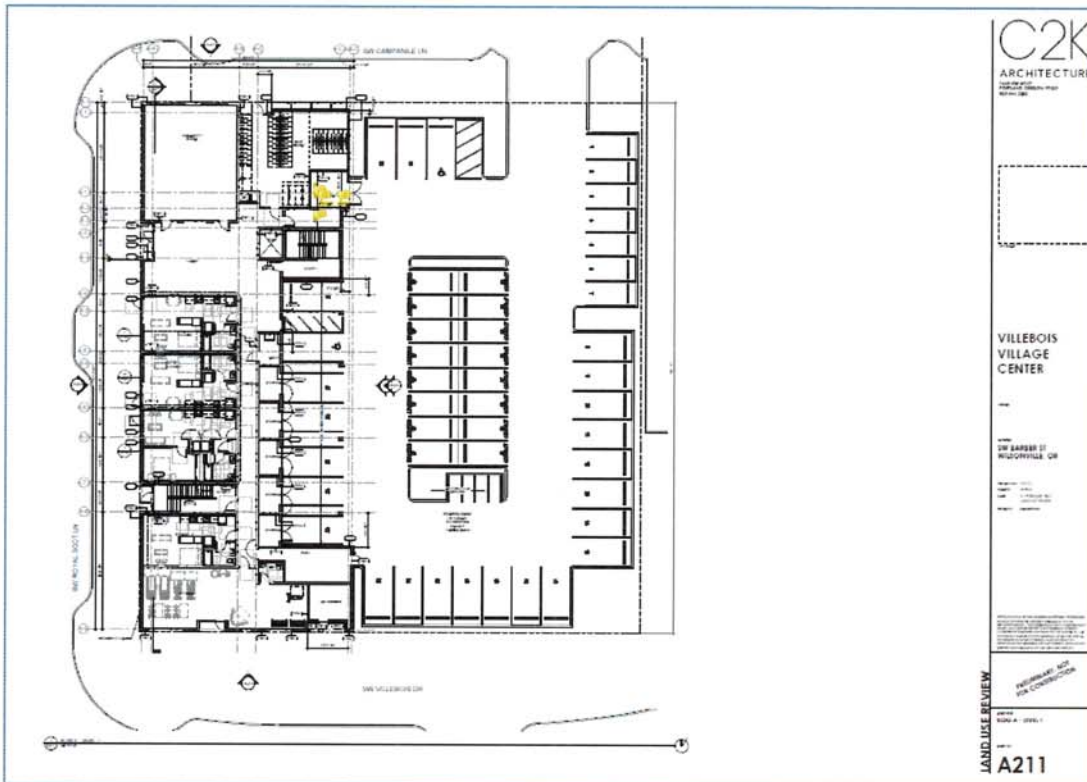
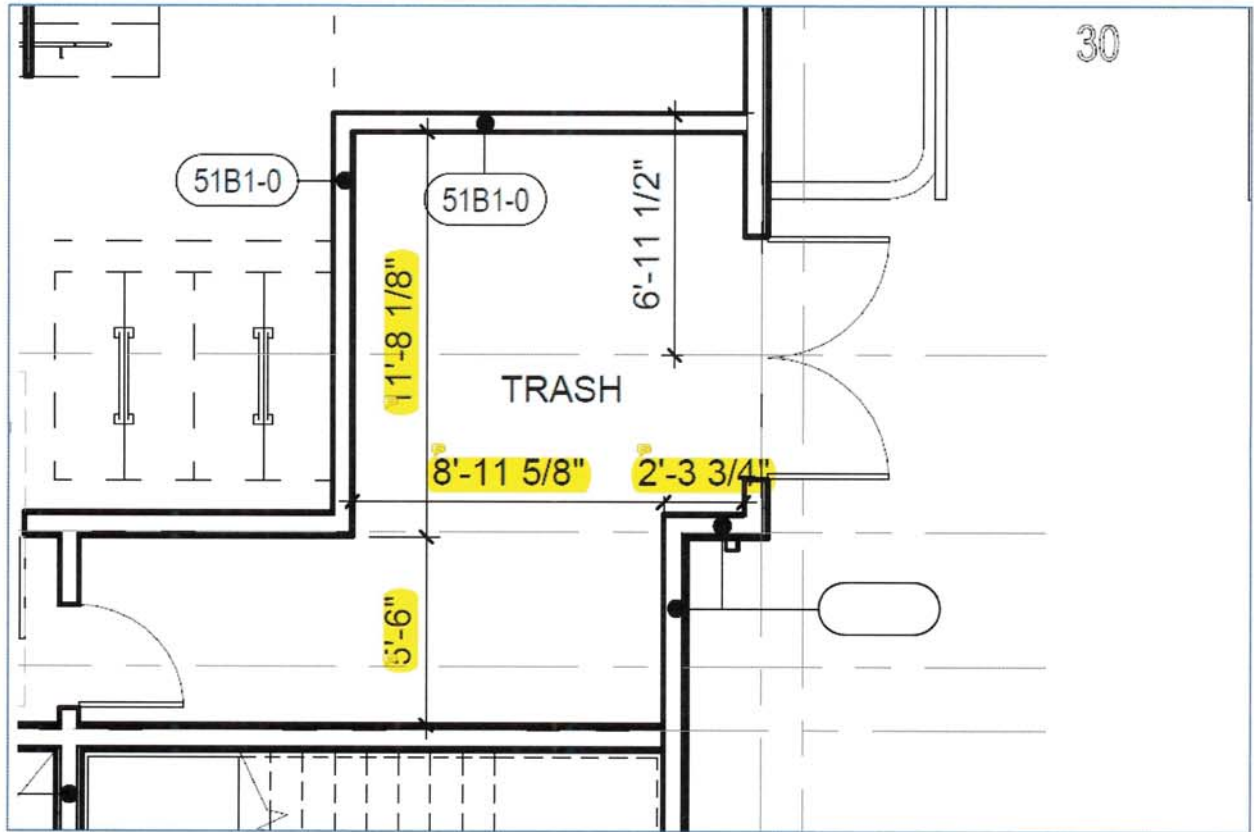
3. Trash room doors will require wind pins to hold doors open

3 - C2K resp: Confirmed, these will be provided

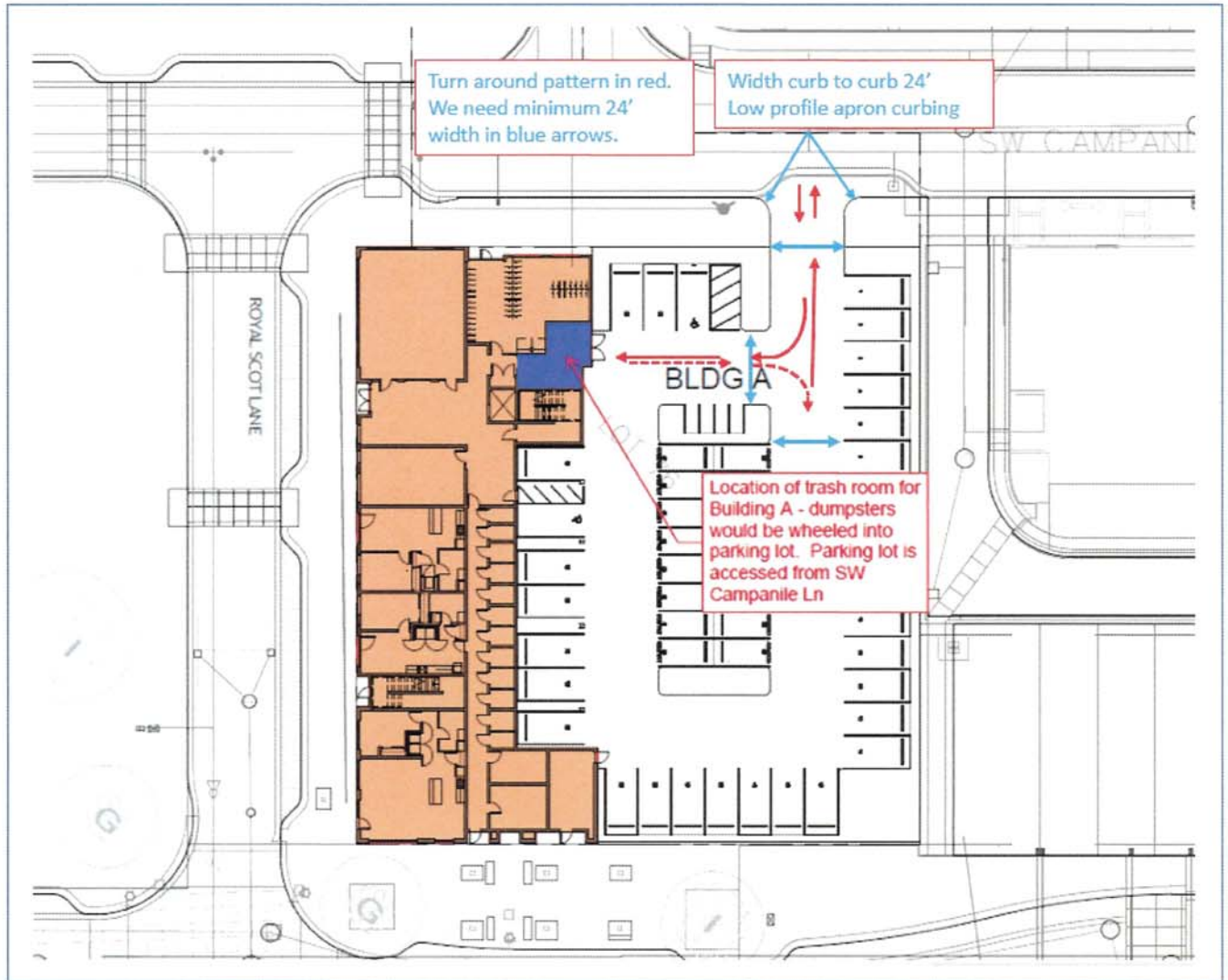
4. Trash room door opening width should be minimum 7ft. wide

4 - C2K resp: Confirmed, doors shown are currently 7' wide

Bldg. A



TRUCK ACCESS PATTERN





10295 Southwest Ridder Road Wilsonville, OR 97070
o 503.570.0626 f 503.582.9307 republicservices.com

April 5, 2021

Maureen Jackson

Re: Villebois Apartments
Bldg. "B" SW Barber St.
Wilsonville, OR 97070

Dear Maureen,

Thank you for sending us the preliminary site plans for this proposed development in Wilsonville.

My Company: Republic Services of Clackamas and Washington Counties has the franchise with the City of Wilsonville to service this area. We will provide complete commercial waste removal and recycling services as needed on a weekly basis for this location.

The architectural plans that you sent on 3/8/2021 (attached) with dimensions for building "B" trash and recycle room, will provide space to house our trash and recycle equipment that we determined adequate for the number of residential units (54 units) proposed for this development.

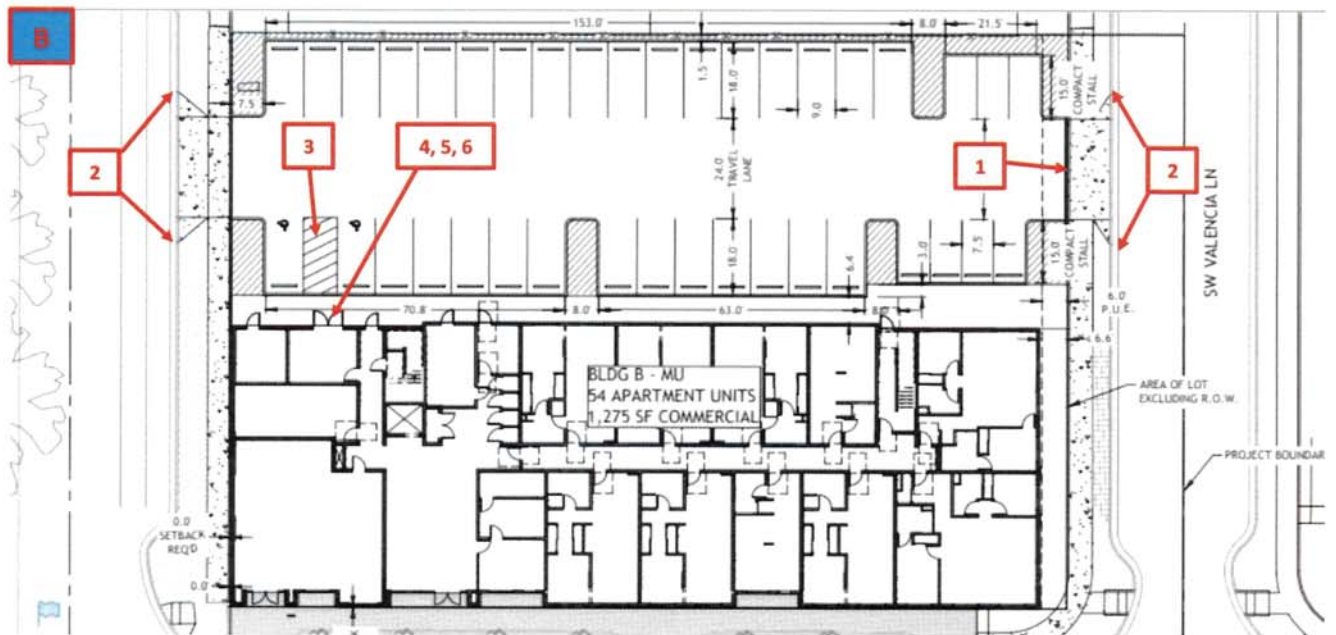
The architectural plans that you sent on 3/31/2021 (attached) with dimensions for building "B", and your response to our concerns regarding our trucks ability to maneuver onto and off the property, as well as our ability to maneuver the trash and recycle receptacles at this site including: drive through service entrance gate and access; driveway entrance clearance with posted No Parking signs; 8' wide access aisle with designated No Parking; transition from trash room to the parking lot; trash room door width of 7' and door securement; will allow us the ability to safely service this site.

We appreciate your help and concerns for our services prior to this project being developed.

Sincerely,

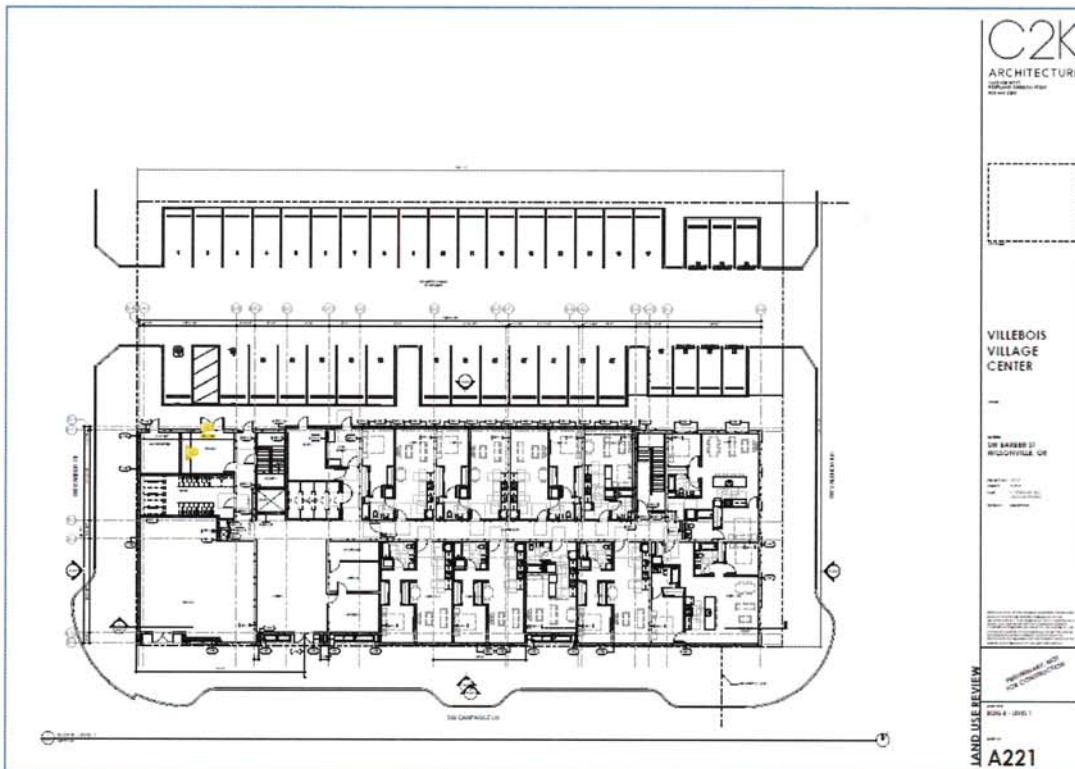
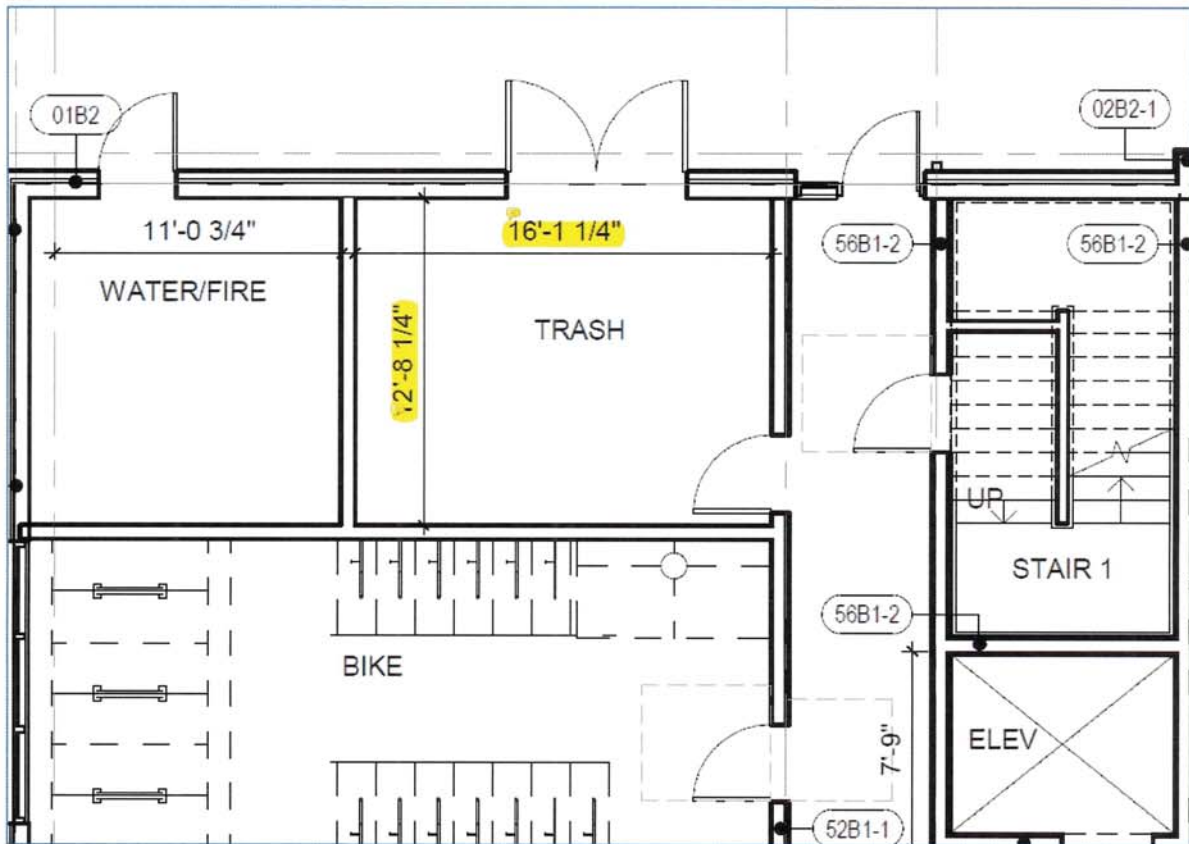
A handwritten signature in blue ink, appearing to read "Kelly Herrod".

Kelly Herrod
Operations Supervisor
Republic Services Inc.



1. This needs to be an established service entrance. We will require a key or code access if this is gated.
PCD response: service entrance provided for trash. Key or code access will be provided
2. Posted no parking beyond this point.
PCD response: "No Parking" signs will be posted
3. Dedicated "No Parking" We will not roll containers through ADA parking or parking stalls.
3 - C2K resp: Confirmed, this is an 8' wide access aisle in which will have "NO PARKING" painted on it along with diagonal lines
4. Transition from trash room to parking lot must be smooth with minimal grade, no curb, and no obstructions.
4 - C2K resp: Confirmed, transition from interior to exterior will be 1/4" and covered by saddle threshold
5. Trash room doors will require wind pins to hold doors open.
5 - C2K resp: Confirmed, these will be provided
6. Trash room door opening width should be minimum 7ft. wide.
6 - C2K resp: Confirmed, doors shown are currently 7' wide

Bldg. B



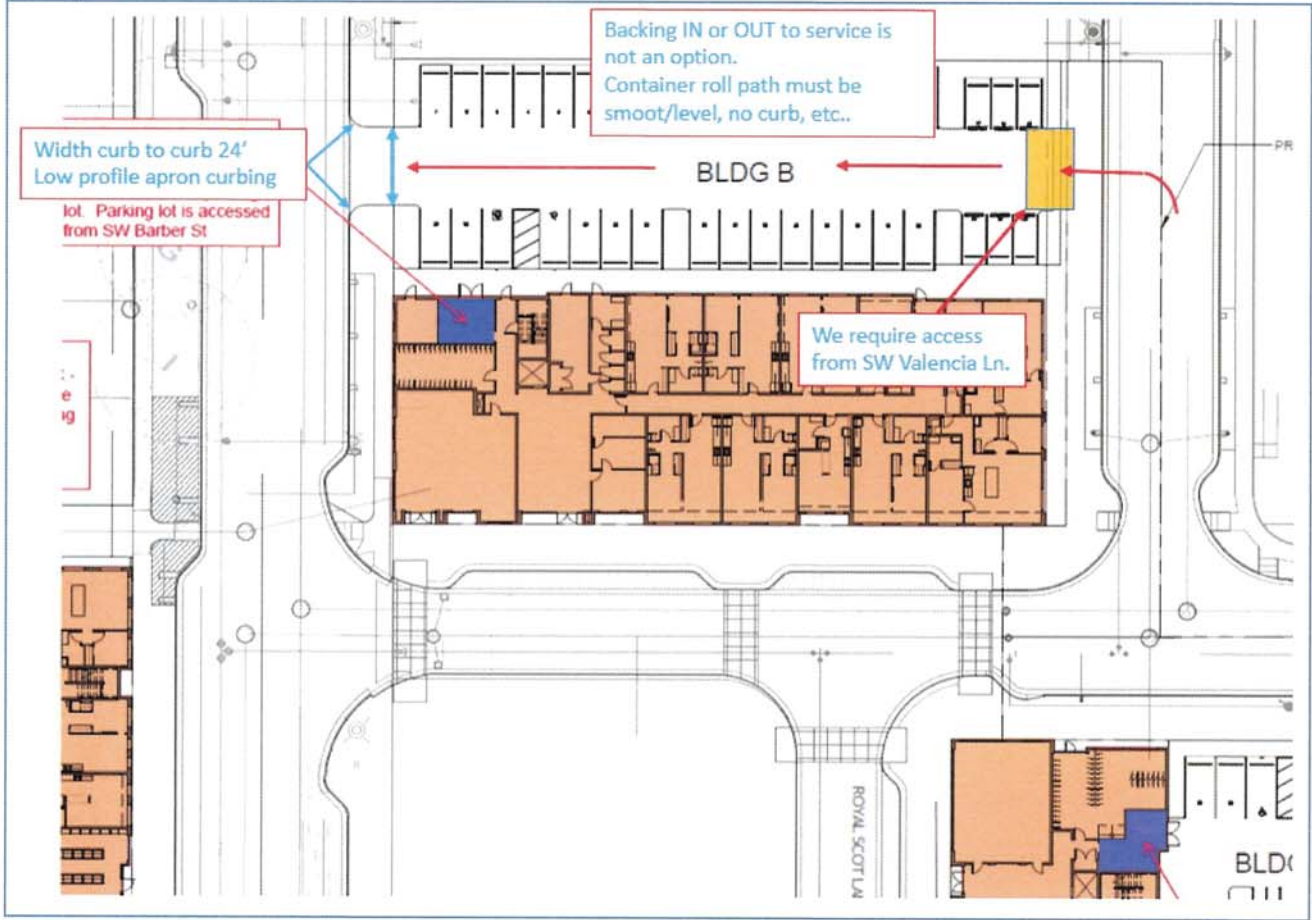
C2K
ARCHITECTURE

VILLEBOIS
VILLAGE
CENTER

DRY BARRETT
PROFESSIONAL, LLC

LAND USE REVIEW
A221

TRUCK ACCESS PATTERN





10295 Southwest Ridder Road Wilsonville, OR 97070
o 503.570.0626 f 503.582.9307 republicservices.com

April 5, 2021

Maureen Jackson

Re: Villebois Apartments
Bldg. "C" SW Toulouse St.
Wilsonville, OR 97070

Dear Maureen,

Thank you for sending us the preliminary site plans for this proposed development in Wilsonville.

My Company: Republic Services of Clackamas and Washington Counties has the franchise with the City of Wilsonville to service this area. We will provide complete commercial waste removal and recycling services as needed on a weekly basis for this location.

The architectural plans that you sent on 3/8/2021 (attached) with dimensions for building "C" trash and recycle room, will provide space to house our trash and recycle equipment that we determined adequate for the number of residential units (49 units) proposed for this development.

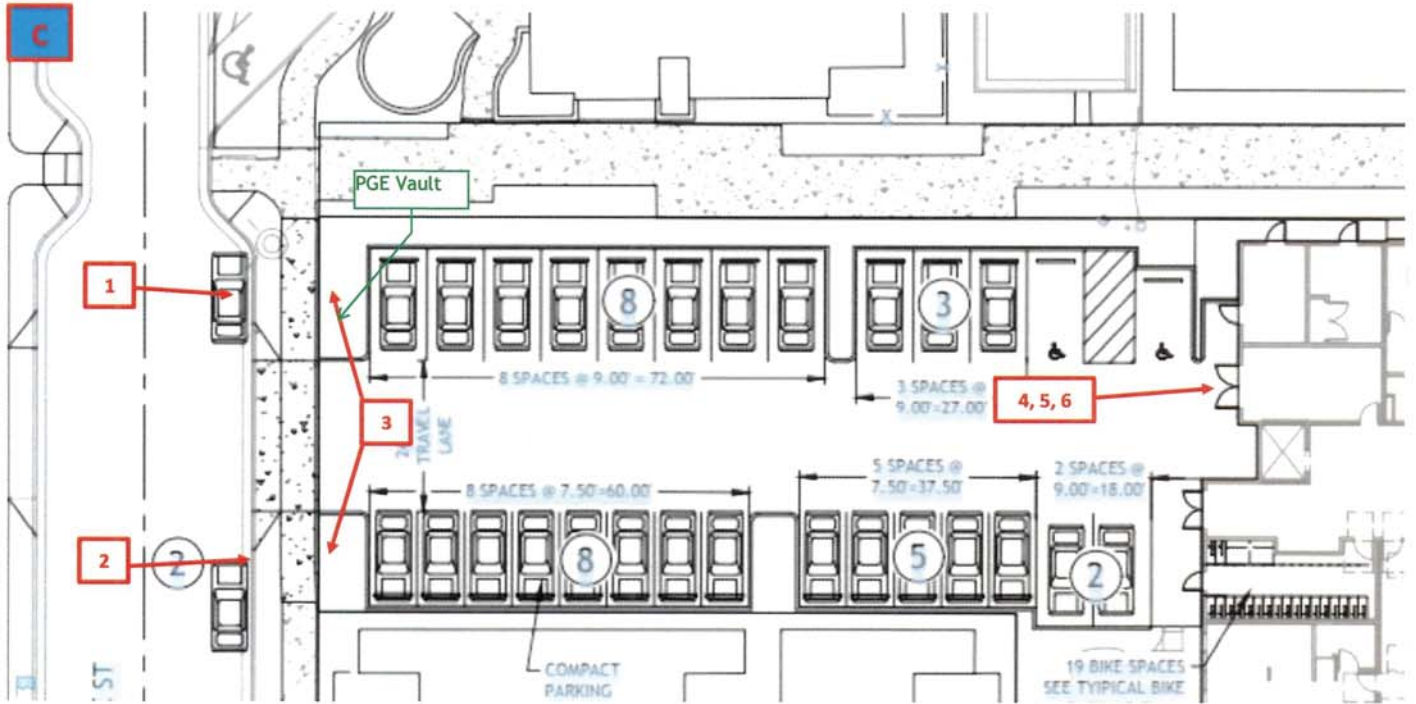
The architectural plans that you sent on 3/31/2021 (attached) with dimensions for building "C", and your response to our concerns regarding our trucks ability to maneuver onto and off the property, as well as our ability to maneuver the trash and recycle receptacles at this site including: driveway entrance clearance and posted No Parking; clear visibility low profile landscape at both sides of entrance; transition from trash room to the parking lot; trash room door width of 7' and door securement; will allow us the ability to safely service this site.

We appreciate your help and concerns for our services prior to this project being developed.

Sincerely,

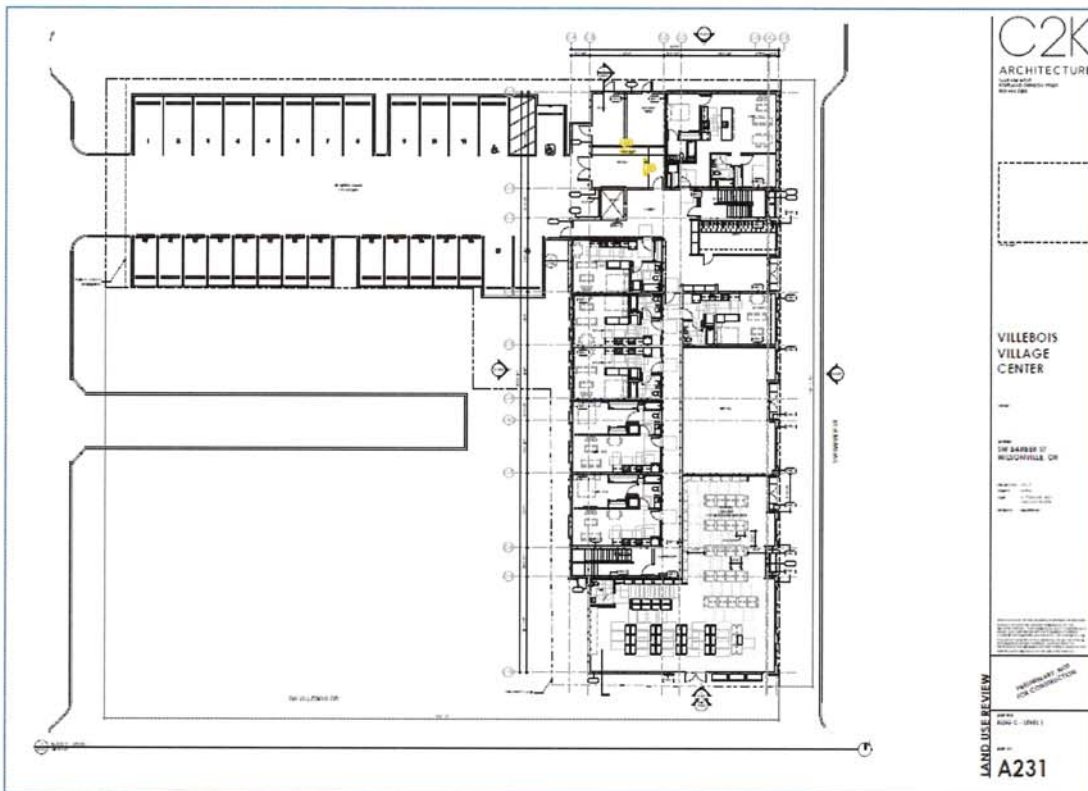
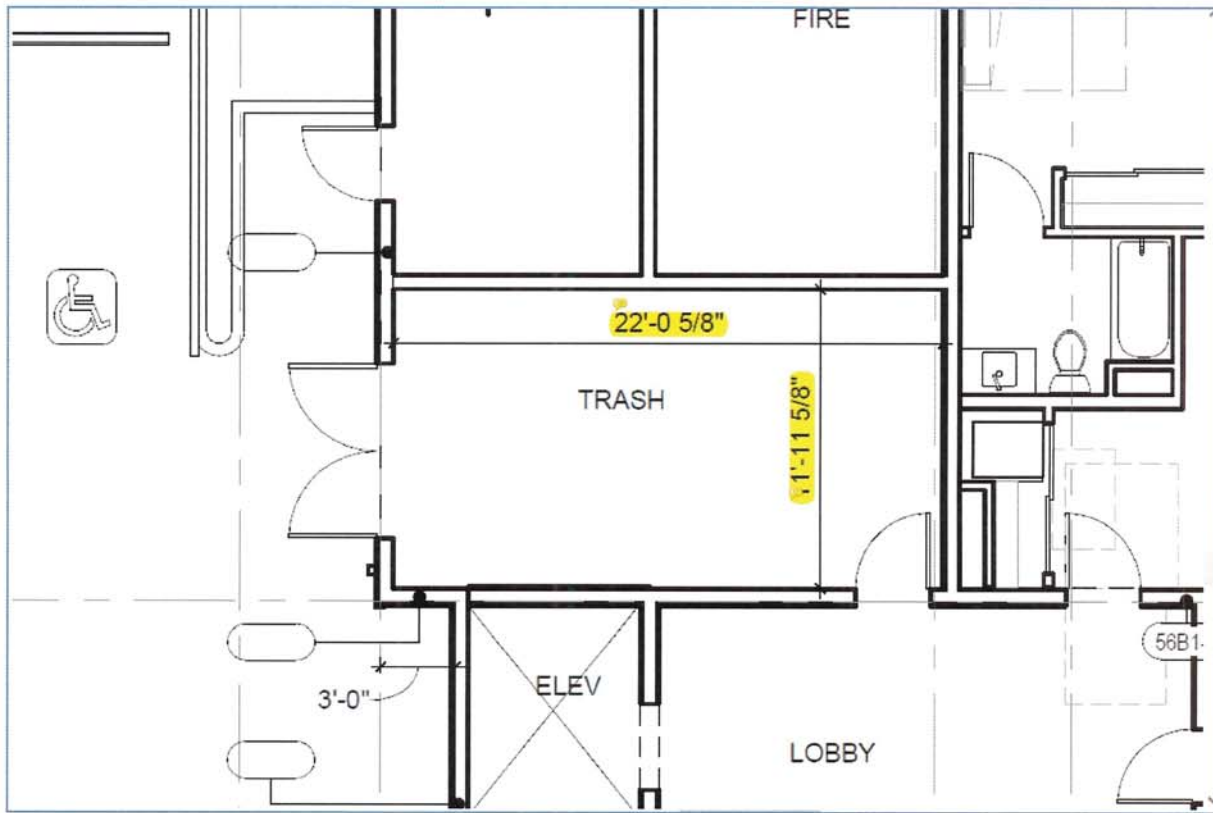
A handwritten signature in blue ink, appearing to read "Kelly Herrod". The signature is stylized and somewhat cursive.

Kelly Herrod
Operations Supervisor
Republic Services Inc.

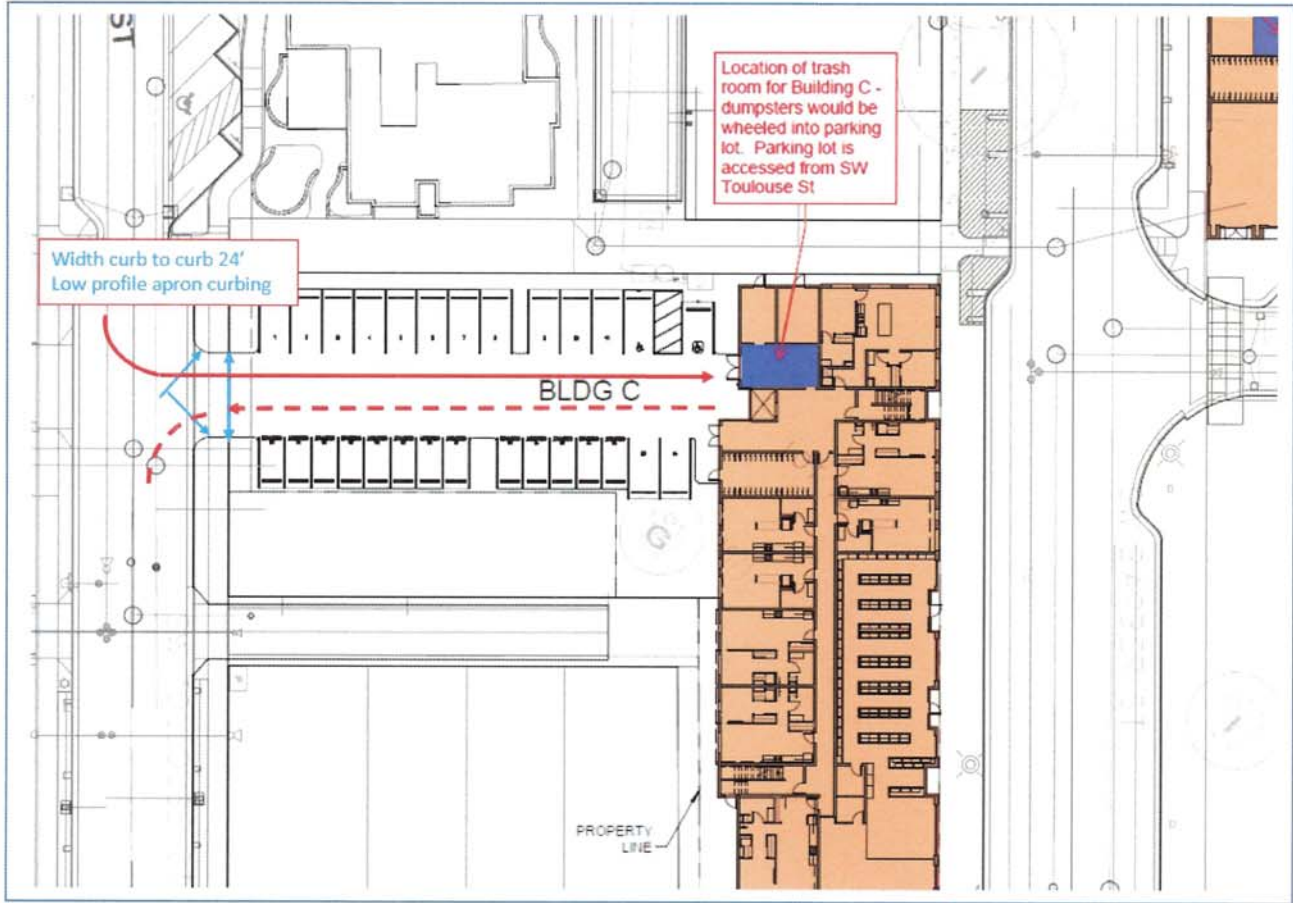


1. Posted No Parking.
PCD response: will post "No Parking" sign
2. Posted no parking beyond this point.
PCD response: will post "No Parking" sign
3. No landscape trees or other vision blockers. (visibility when backing out of this location is paramount)
PCD response: plantings will be low to keep visibility
4. Transition from trash room to parking lot must be smooth with minimal grade, no curb, and no obstructions.
4 - C2K resp: Confirmed, transition from interior to exterior will be 1/4" and covered by saddle threshold
5. Trash room doors will require wind pins to hold doors open.
5 - C2K resp: Confirmed, these will be provided
6. Trash room door opening width should be minimum 7ft. wide.
6 - C2K resp: Confirmed, doors shown are currently 7' wide

Bldg. C



TRUCK ACCESS PATTERN



MEMORANDUM

DATE: June 9, 2021

TO: Khoi Le, P.E. | City of Wilsonville

FROM: Scott Mansur, P.E., PTOE | DKS Associates
 Jenna Bogert, P.E. | DKS Associates

SUBJECT: Villebois SAP Central PDP1 and PDP2 Modifications –
 Transportation Evaluation

P#19006-006

This memorandum documents the trip generation estimates and parking evaluation for the current proposal of three apartment buildings (Building A, Building B, and Building C) in Villebois Specific Area Plan (SAP) Central as part of Planned Development Phases (PDP) 1 and 2.

In May 2019, the residential trip generation for the three buildings (totaling 145 apartment units) was previously evaluated and documented.¹ The residential trip generation for the entire SAP Central (with the proposed three apartment buildings) was found to result in a lower trip generation than previous residential trip generation estimates for SAP Central. Therefore, it was found that no significant traffic impact was anticipated due to the proposed three apartment buildings (Buildings A, B, and C). The only recommendation from the previous 2019 memo was for the addition of 17 bicycle parking stalls to meet City code parking requirements. This memo is attached for reference.

Recently, the project applicant provided modified site plans for Buildings A, B, and C. The site plans show that between the three apartment buildings, 11 ground-floor apartment units will be able to be converted to approximately 7,300 square feet of retail space in the future. Because retail space has a higher trip generation rate and parking demand than multifamily housing, this memorandum re-evaluates the trip generation and parking demand for Buildings A, B, and C for when the future conversion of the 11 residential units to 7,300 square feet of retail space occurs.



FIGURE 1: STUDY AREA

¹ Villebois SAP Central (Village Center) Transportation Study, DKS Associates, May 3, 2019.

TRIP GENERATION (SAP CENTRAL)

The residential unit counts and trip generation estimates for all of SAP Central are shown in Table 1 below for the current proposal (May 2021, reduced by 11 apartment units).² Also shown in Table 1 is the residential trip generation for all of SAP Central that was analyzed and documented in the 2013 Traffic Impact Study (TIS),³ which is the most recent full TIS analysis of the Villebois area. This 2013 trip generation is shown so that the 2021 residential trips can be compared to the 2013 residential trips. If it is determined that the 2021 trips are higher than the 2013 trips, then additional traffic impact analysis may be needed.

As shown in Table 1 below, the number of vehicle trips generated by the residential units in May 2021 (550 peak hour trips) is less than the total vehicle trips analyzed in the 2013 TIS (594 peak hour trips). Therefore, the current modifications for Buildings A, B, and C does not cause a higher residential trip generation than previously analyzed in 2013 and there is no need for further traffic impact analysis.

Typically, trip generation estimates are based on trip generation rates from the most current version of the Institute of Transportation Engineers (ITE) Trip Generation Manual.⁴ However, the trip generation used in the previous 2013 TIS utilized an older version of the Trip Generation Manual (9th Edition).⁵ To remain consistent with the previous trip generation studies, the previous trip generation rates were used for the 2021 estimates.

TABLE 1: RESIDENTIAL TRIP GENERATION (SAP CENTRAL)

RESIDENTIAL UNIT TYPE	QUANTITY	PM PEAK HOUR TRIP RATE (RESIDENTIAL)	PM PEAK HOUR TRIP GENERATION (RESIDENTIAL)
October 2013 Traffic Impact Study			
SINGLE FAMILY	49 units	1.01 trips/unit (64% in, 36% out)	49 (31 in, 18 out) trips
CONDO/TOWNHOUSE	459 units	0.52 trips/unit (67% in, 33% out)	234 (157 in, 77 out) trips
APARTMENT	501 units	0.62 trips/unit (67% in, 33% out)	311 (208 in, 103 out) trips
	1,009 units	-	594 (396 in, 198 out) trips
May 2021 Plan – Buildings A, B, and C Modification (11 Units Converted to Retail)			
SINGLE FAMILY	17 units	1.01 trips/unit (64% in, 36% out)	17 (11 in, 6 out) trips
CONDO/TOWNHOUSE	604 units	0.52 trips/unit (67% in, 33% out)	314 (210 in, 104 out) trips
APARTMENT	354 units	0.62 trips/unit (67% in, 33% out)	219 (147 in, 72 out) trips
	975 units	-	550 (368 in, 182 out) trips

² Unit counts for May 2021 update provided by Maureen Jackson, Pacific Community Design, on May 21, 2021.

³ Villebois Future Study Area Transportation Impact Analysis, DKS Associates, October 21, 2013.

⁴ Trip Generation Manual, 10th Edition, Institute of Transportation Engineers, 2017.

⁵ Trip Generation Manual, 9th Edition, Institute of Transportation Engineers, 2012.

TRIP GENERATION INCREASE (BUILDINGS A, B, AND C)

To estimate the net increase in trip generation due to the conversion from 11 residential units to 7,300 square feet of retail in Buildings A, B, and C, the trip generation for the 11 apartment units and for the 7,300 square-feet of retail space is shown in Table 2.

Typically, trip generation estimates are based on trip generation rates from the most current version of the Institute of Transportation Engineers (ITE) Trip Generation Manual.⁶ However, the trip generation used in the previous 2013 study utilized an older version of the Trip Generation Manual for Land Use 220 at a rate of 0.62 trips/unit for apartments. To remain consistent, this was the trip generation rate used for this study. The trip generation rate for Shopping Center (820) is what has been assumed for the 7,300 square feet of retail space, which is consistent with previous Villebois studies.

TABLE 2: VEHICLE TRIP GENERATION

LAND USE (ITE CODE)	PM PEAK HOUR TRIP RATE	BUILDING	SIZE ^a	PM PEAK HOUR TRIPS		
				IN	OUT	TOTAL
APARTMENTS (220) (ITE Trip Generation Manual, 9th Edition)	0.62 trips/unit	Building A	4 units	1	1	2
		Building B	5 units	2	1	3
		Building C	2 units	1	0	1
		<i>Total Vehicle Trips (Removed)</i>			<i>(4)</i>	<i>(2)</i>
SHOPPING CENTER (820) (ITE Trip Generation Manual, 10th Edition)	3.81 trips/KSF	Building A	2.175 KSF	4	4	8
		Building B	3.612 KSF	7	7	14
		Building C	1.469 KSF	3	3	6
		<i>Total Vehicle Trips (Added)</i>			<i>14</i>	<i>14</i>
NET NEW VEHICLE TRIPS				+10	+12	+22

As shown in the table above, the number of vehicle trips generated by the retail space is 28 (14 in, 14 out) p.m. peak hour trips and results in a net increase of 22 (10 in, 12 out) p.m. peak hour trips after the conversion of residential to retail. If the 28 retail trips are added to the May 2021 trips in Table 1, the total residential trips for SAP Central are 578 trips, which is still less than the 594 trips analyzed in the 2013 TIS. Therefore, the conversion of residential units to retail space does not cause the residential trip counts to exceed the trip counts previously analyzed in 2013 TIS and additional traffic impact analysis is not needed.

Because the conversion of 11 residential units to retail space does not cause the SAP Central trip counts to exceed the 2013 SAP Central trip counts, the estimated number of p.m. peak hour trips that are expected to travel through the two I-5 interchanges in Wilsonville does not need to be calculated.

⁶ Trip Generation Manual, 10th Edition, Institute of Transportation Engineers, 2017.

PARKING EVALUATION (BUILDINGS A, B, AND C)

The site plans for each building were provided by the project sponsor and are attached to this memo. The site plans were reviewed to determine if the sites are able to accommodate for the increase in parking demand due to the future conversion of apartment units into retail space.

Because this development is located in the Villebois Zone, specific development code requirements are applicable to the site, including required parking minimums⁷. For multifamily dwellings and commercial uses, the following parking minimums apply:

- 1 parking stall per dwelling unit (studio)
- 1 parking stall per dwelling unit (one-bedroom)
- 1.5 parking stalls per dwelling unit (two-bedroom)
- 1.75 parking stalls per dwelling unit (three-bedroom)
- 2 parking stalls per 1,000 square feet of commercial uses

The parking requirements per City Code are shown in the table below for the revised site plans showing the ground-floor retail. As shown, the minimum required number of parking stalls is 167 stalls (the original analysis reported 166 required vehicle parking stalls). The proposed number of off-street parking stalls provided is 115 total stalls, which is less than the 167-stall minimum requirement. However, according to the Villebois code⁸, the minimum parking requirements may be met by counting on-street parking stalls directly adjoining and on the same side of the street as the subject property. The last column on the table shows the proposed number of on-street parking stalls that meet this criterion, which is a total of 48 stalls. Combined with the off-street parking stalls, the total is at 163 parking stalls for the development, still less than the 167-stall minimum.

The Villebois code also allows for up to 25% percent of the required parking to be substituted with bicycle parking. It is recommended that the project sponsor substitute the remaining 4 vehicle parking stalls (2% of total) with bicycle parking stalls in order to meet the vehicle parking stall minimum. It should be noted that the bicycle stalls intended to substitute the vehicle parking stalls must also meet the required short-term and long-term bicycle parking code requirements.

⁷ Table V-2, Section 4.125, City Development Code, City of Wilsonville, 2015.

⁸ Section 4.125.07.B.4.b, City Development Code, City of Wilsonville, 2015.

TABLE 3: VEHICLE PARKING REQUIREMENTS

BUILDING	QUANTITY	TYPE	RATE	VEHICLE PARKING STALL MINIMUM	PROPOSED OFF-STREET VEHICLE PARKING STALLS	PROPOSED ON-STREET VEHICLE PARKING STALLS
A	12 units	Studio	1.0	12	49	13
	12 units	1 BR	1.0	12		
	3 units	2 BR	1.5	5		
	9 units	3 BR	1.75	16		
	2.175 KSF	Commercial	2.0	4		
Subtotal (Building A)				49		
B	10 units	Studio	1.0	10	38	14
	27 units	1 BR	1.0	27		
	10 units	2 BR	1.5	15		
	2 units	3 BR	1.75	4		
	3.612 KSF	Commercial	2.0	7		
Subtotal (Building B)				63		
C	14 units	Studio	1.0	14	28	21
	29 units	1 BR	1.0	29		
	6 units	2 BR	1.5	9		
	1.469 KSF	Commercial	2.0	3		
Subtotal (Building C)				55		
TOTAL				167	115	48

SUMMARY

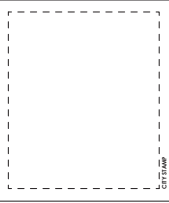
Key findings for the proposed conversion of 11 apartment units to 7,300 square feet of retail space in Buildings A, B, and C in Villebois SAP Central PDP1 and PDP2 are as follows:

- The future conversion of 11 apartment units to 7,300 square feet of retail space is estimated to generate less residential trips for SAP Central than the residential trips for SAP Central as documented in the 2013 TIS. Therefore, there is no need for further traffic impact analysis.
- Because the conversion of 11 residential units to 7,300 square feet of retail space does not cause the SAP Central trip counts to exceed the SAP Central trip counts in the 2013 TIS, the estimated number of p.m. peak hour trips that are expected to travel through the two I-5 interchanges in Wilsonville does not need to be calculated.
- The proposed parking meets the parking minimum requirements as described in the City Code if the developer adds an additional 4 bicycle parking stalls across the three sites.

Please let us know if you have any questions.

Attachments:

- Modified Site Plans for Buildings A, B and C
- Villebois SAP Central (Village Center) Transportation Study, DKS Associates, May 3, 2019



**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**CAPSTONE PARTNERS,
 LLC**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18113
 DRAWN BY: AUP/ST
 DATE: 01 FEBRUARY 2021
 REVISION: LAND USE REVIEW
 REVISION: DISCIPLINE

THIS PLAN IS TO BE USED FOR PERMITS ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION.

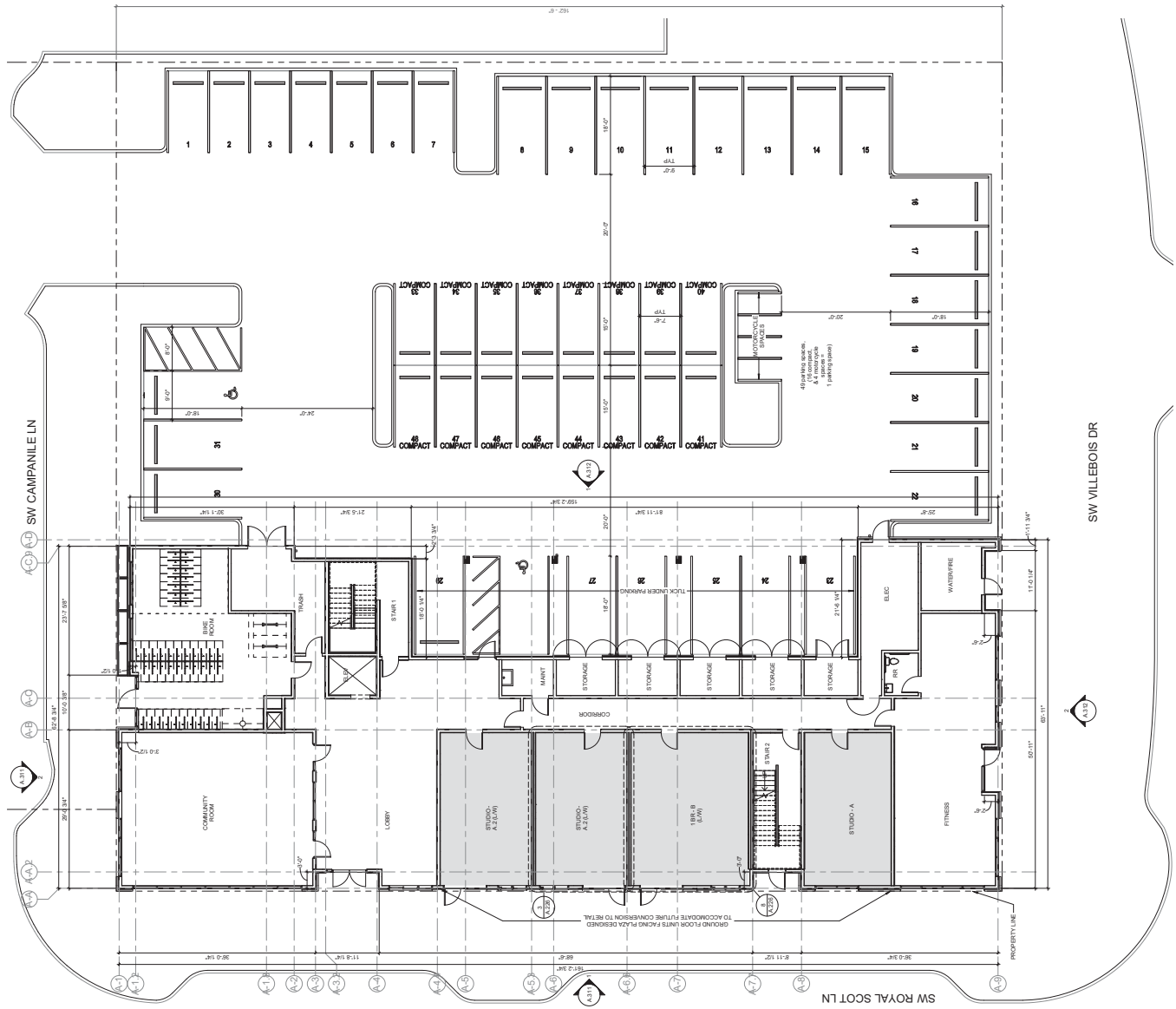
**PRELIMINARY
 FOR CONSTRUCTION
 NOT FOR CONSTRUCTION**

SHEET TITLE:
BUILDING A LEVEL 1 PLAN

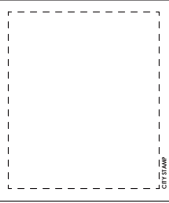
SHEET NO.:

A.211

LAND USE REVIEW



SW CAMPANILE LN
 SW VILBOIS DR
 SW ROYAL SCOTT LN
 PROPERTY LINE
 A.211
 BUILDING A - LEVEL 1
 1/11/21



**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**CAPSTONE PARTNERS,
 LLC**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN BY: AUP/ST
 DATE: 01 FEBRUARY 2021
 REVISION: LAND USE REVIEW
 REVISION: DISCUSSION

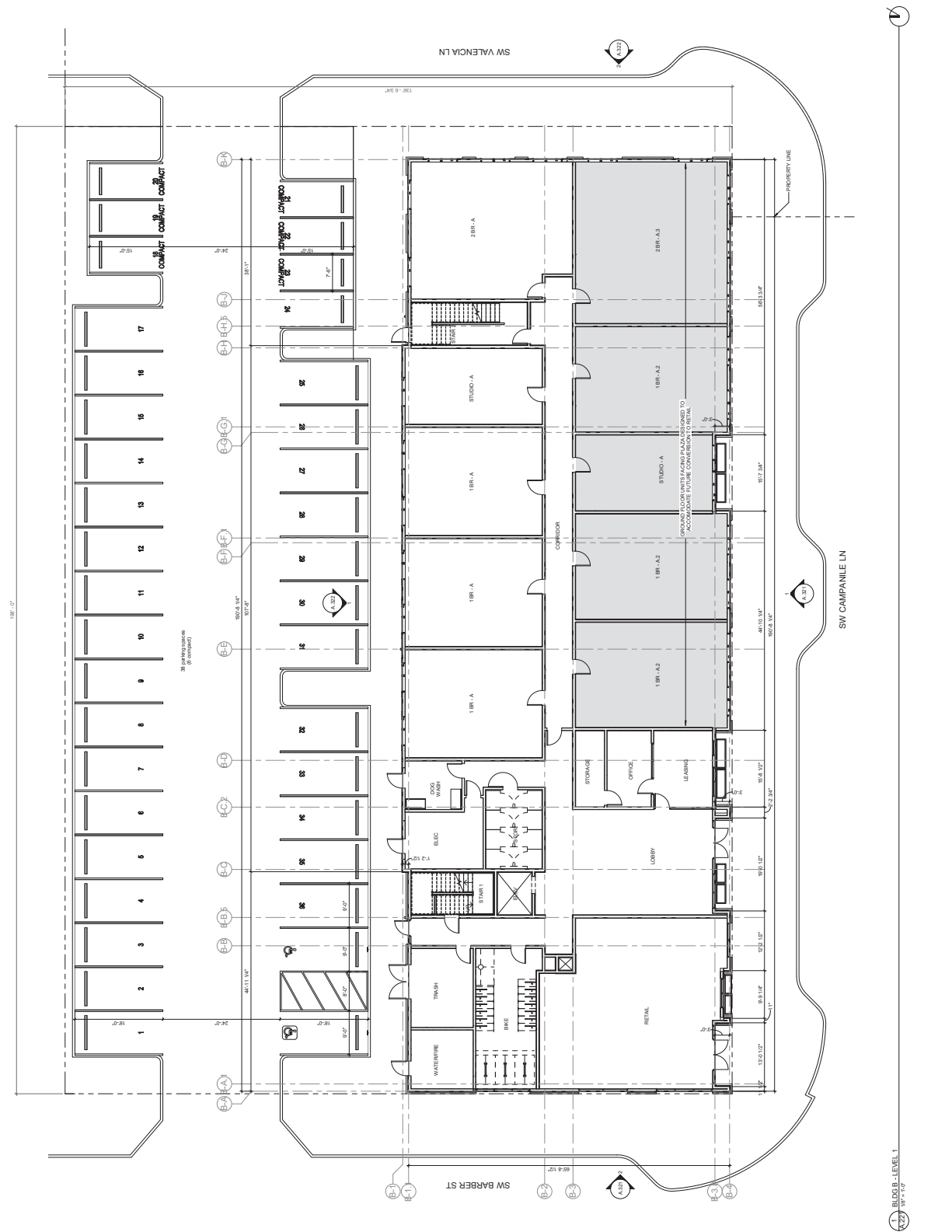
THIS PLAN IS TO BE USED FOR THE SUBMITTAL TO THE CITY OF PORTLAND. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN.

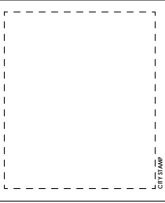
PREPARED BY:
**PREMIER 31
 FOR CONSTRUCTION**

SHEET TITLE:
BUILDING B LEVEL 1 PLAN

SHEET NO.:
A.221

LAND USE REVIEW





**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**CAPSTONE PARTNERS,
 LLC**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO: 18175
 DRAWN: AJT/DF
 DATE: 01 FEBRUARY 2021
 REVISION: LAND USE REVIEW
 DESCRIPTION:

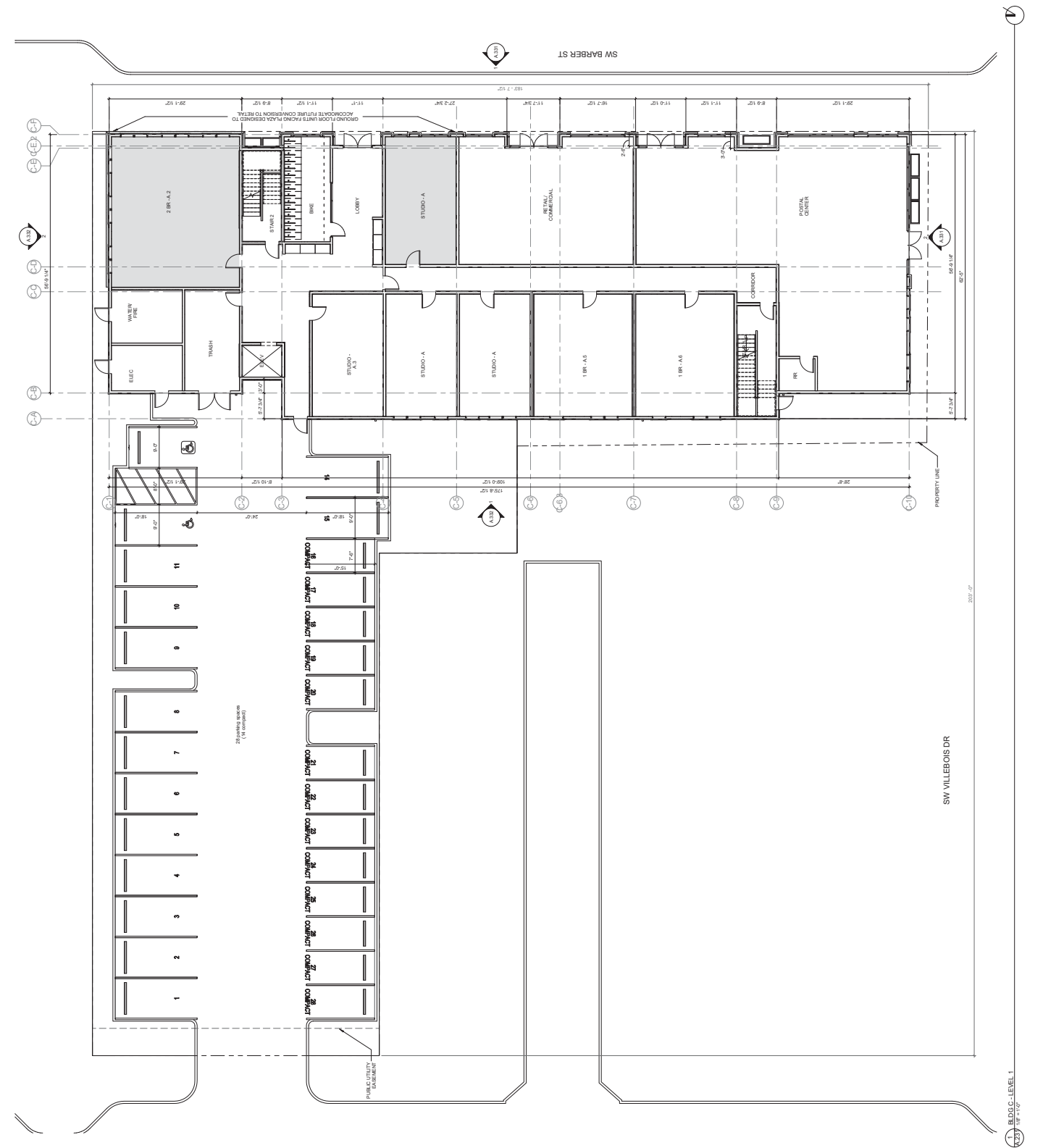
THIS DRAWING IS THE PROPERTY OF C2K ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF C2K ARCHITECTURE. THE CLIENT AGREES TO HOLD C2K ARCHITECTURE HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USE OF THIS DRAWING. THIS AGREEMENT SHALL BE GOVERNED BY THE LAWS OF THE STATE OF OREGON. THE CLIENT'S USE OF THIS DRAWING IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. THE CLIENT'S USE OF THIS DRAWING FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF C2K ARCHITECTURE IS STRICTLY PROHIBITED.

**PRELIMINARY
 FOR CONSTRUCTION**

SHEET TITLE:
BUILDING C LEVEL 1 PLAN

SHEET NO.:
A.231

LAND USE REVIEW





MEMORANDUM

DATE: June 8, 2021

TO: Khoi Le, P.E. | City of Wilsonville

FROM: Scott Mansur, P.E., PTOE | DKS Associates
 Jenna Bogert, P.E. | DKS Associates



SUBJECT: Villebois SAP Central PDP1C Lot 12 – Transportation Evaluation P18197-012

This memorandum documents trip generation estimates and a site plan review for the proposed development on Villebois SAP Central PDP1C Lot 12. In 2018, this site was approved for 3 rowhomes with one rowhome containing 711 square-feet of commercial/office space on the ground floor. However, the developer recently proposed that the site instead be developed into a 24-stall parking lot. This memorandum contains the estimated trip generation at the 24-stall parking lot during the p.m. peak hour and an evaluation of the site plan.

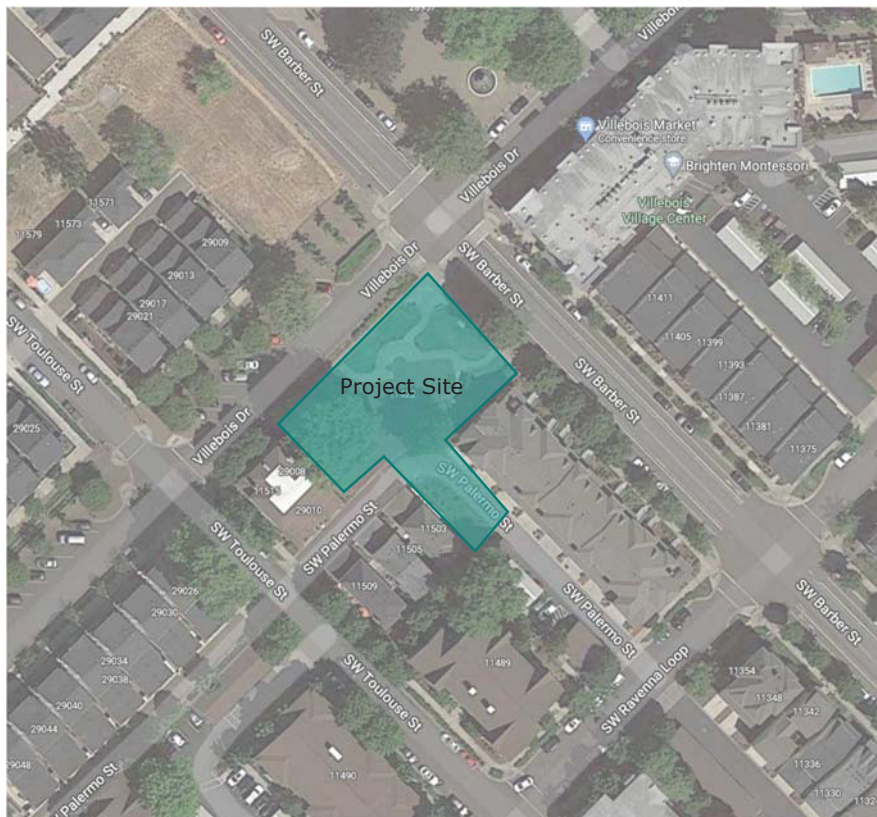


FIGURE 1: STUDY AREA

TRIP GENERATION

The estimated trips in and out of the proposed 24-stall parking lot is shown in Table 1. Typically, trip generation estimates are based on trip generation rates from the most current version of the Institute of Transportation Engineers (ITE) Trip Generation Manual. However, the ITE Trip Generation Manual, 10th Edition does not contain land uses that match the proposed parking lot. This is because constructing parking stalls alone will not necessarily generate trips, however, it will allow for more convenient parking to adjacent land uses and could encourage some increased trip activity for the retail, residential, plaza and park uses. The estimated trip generation shown below quantifies the vehicles in and out of the new parking stalls, but all trips are assumed to be existing trips.

For this analysis, we have assumed a rate of 0.7 vehicle trips per parking stall during the p.m. peak hour and a directional vehicle distribution of 60% in and 40% out. The proposed trip rate assumes that 70% of the parking stalls will turnover during the peak hour, which is based on engineering judgement. It is assumed that this parking lot will serve as overflow parking for the adjacent townhomes and retail land uses in the vicinity of the site.

TABLE 1: VEHICLE TRIPS FOR PARKING STALLS

LAND USE	TRIP RATE	SIZE ^a	PM PEAK HOUR TRIPS		
			IN	OUT	TOTAL
PARKING LOT	0.7 trips/stall	24 stalls	10	7	17

As shown in the table above, the number of estimated trips generated by this parking lot is 17 (10 in, 7 out) p.m. peak hour trips.

Because all of the trips are assumed to be existing trips, there are no new p.m. peak hour trips that are expected to travel through the two I-5 interchanges in Wilsonville.

SITE PLAN REVIEW

The applicant's preliminary site plan was provided by the project sponsor and is attached to this memo. It was reviewed to evaluate site access and safety for vehicles and pedestrians.

Access to the parking lot is provided from an alley called SW Palermo Street. The parking lot access is approximately 24 feet wide and located just southwest of the curve on SW Palermo Street. Based on a field visit and the observed vehicle speeds in the alley, preliminary sight distance was found to be sufficient for the proposed access and is not anticipated to be a safety issue for vehicles entering and exiting the parking lot.

Within the parking lot, the aisle width is approximately 24 feet wide and is a sufficient width to allow two-way travel and backing/turning maneuvers in and out of parking stalls.

The site plan shows sidewalks on the north side of the parking lot adjacent to Villebois Drive, which connect pedestrians to existing sidewalk on SW Barber Street and SW Villebois Drive. It is recommended to build a pedestrian connection south of the parking lot to connect SW Palermo Street to SW Barber Street. This pedestrian connection is important since it connects to key pedestrian generators such as The Piazza at Villebois to the north of the site.

SUMMARY

Key findings for the proposed Villebois Village SAP Central PDP1C Lot 12 development of a 24-stall parking lot in Wilsonville, Oregon are as follows:

- The proposed 24-stall parking lot is estimated to experience 17 (10 in, 47out) p.m. peak hour trips in and out of the project site. All of the trips in and out of the parking lot are considered existing trips because constructing parking stalls will not generate new trips, however, it will allow for more convenient parking to adjacent land uses and could encourage some increased activity for the retail uses
- There are no safety issues identified for vehicles entering or exiting the parking lot. The drive aisle width is sufficient for two-way travel and turning/backing maneuvers in and out of parking stalls.
- It is recommended to include a pedestrian connection south of the parking lot to connect SW Palermo Street to SW Barber Street. This pedestrian connection is especially significant since it connects to key pedestrian generators such as The Piazza at Villebois to the north of the site.

Please let us know if you have any questions.

Attachments:

- Preliminary Site Plan



C2K ARCHITECTURE



P&D PLANNING & DESIGN
1284 SW Main Street, Portland, OR
97223
111-505-9414

REVISIONS
DATE DESCRIPTION

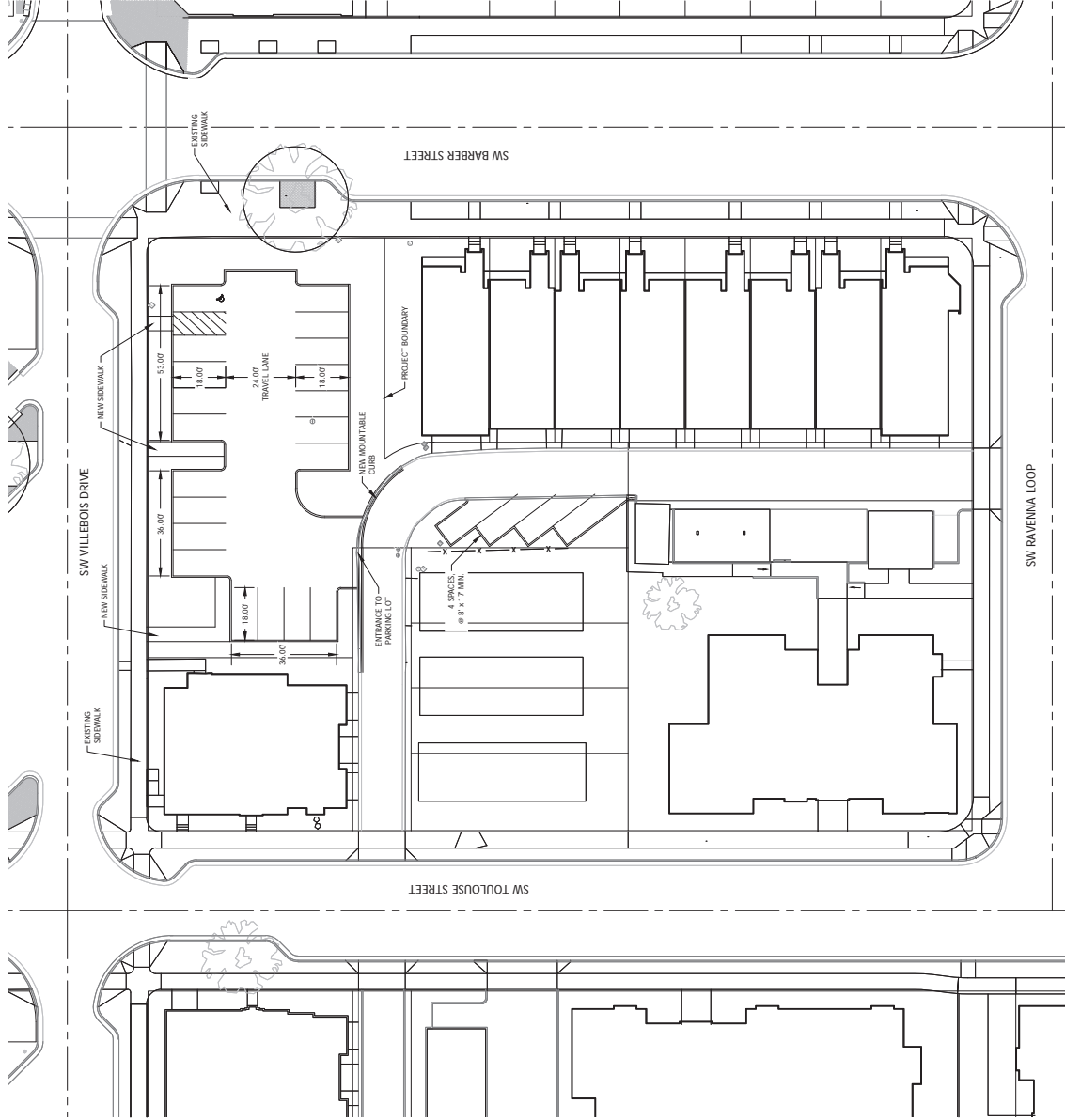
PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
CIRCULATION
PLAN

PL Submission Date: 02/19/2017

6



SCALE
0' 10' 20'
1 INCH = 20 FEET

ELEVATION DATUM: NAVD 88



C2K
ARCHITECTURE



PLANNING & DESIGN
1284 SW Main Street, Portland, OR
97223
[713] 503-9414

REVISIONS:
DATE DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

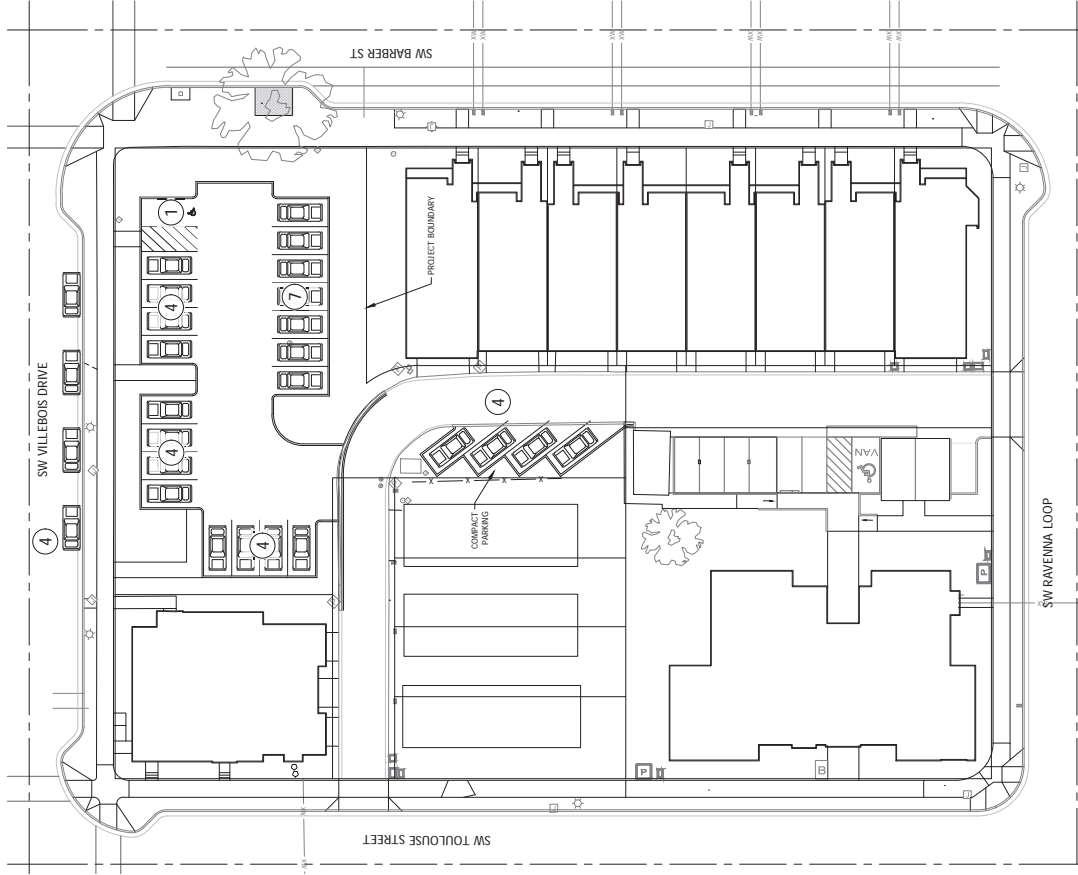
PRELIMINARY
PARKING
PLAN

PL Submission Date: 02/19/2021

7

LEGEND

- PROPOSED RIGHT-OF-WAY
- - - EXISTING RIGHT-OF-WAY
- ==== PROPOSED CURB AND GUTTER
- ==== PROPOSED PROPERTY LINE
- ==== EXISTING PROPERTY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PARKING SPACE



ELEVATION DATUM: NAVD 88



MEMORANDUM

DATE: May 16, 2021

TO: Cindy Luxhoj, AICP
Khoi Le, PE
City of Wilsonville

FROM: Stacy Connery, AICP
Maureen Jackson, AICP

Project Name: Villebois Village Center Mixed Use

Re: Traffic Impact Analysis
(DB21-0008, DB21-0010 thru DB21-0013; DB21-0014 thru DB21-0016;
DB21-0022 thru DB21-0024)

Included in submittal is a copy of the Transportation Study prepared by DKS dated May 3, 2019.

The applicant has authorized the Scope of Work for DKS to prepare a Traffic Impact Study for the revised Villebois Village Center mixed-use development proposal that includes a parking lot on Lot 12 in PDP 1C and modified building designs that provide potential conversion of Level 1 residential units that face onto The Piazza into commercial/ retail space. The Introductory Narrative provided in Section IA of this submittal has been revised to include vehicle parking calculations for the entire mixed-use development and future retail conversion.

Thank you.



117 Commercial Street NE
Suite 310
Salem, OR 97301
503.391.8773
www.dksassociates.com

MEMORANDUM

DATE: May 3, 2019
TO: Steve Adams, P.E., City of Wilsonville
FROM: Scott Mansur, P.E., PTOE
Jenna Hills, EI



SUBJECT: Villebois SAP Central (Village Center) Transportation Study

P18005-008

This memorandum evaluates trip generation for the updated Villebois Specific Area Plan (SAP) Central with emphasis on the Village Center (PDP1 and PDP2). The review is based on a site plan provided by the project sponsor.¹

The project sponsor has indicated that a portion of the proposed Village Center development will consist of three apartment buildings. These three buildings will consist of 145 apartment units, common areas (27,344 square feet), retail space (3,668 square feet), and rental storage space (596 square feet). The purpose of this memorandum is to compare the proposed land use development of Villebois Village Center to previously analyzed SAP Central land use numbers and evaluate the site plan impacts.

SAP Central Residential Land Use/Trip Generation

The most recent (August 2016) trip generation performed for Villebois SAP Central assumed that SAP Central would include 75 single family units, 500 condo/townhome units, and 365 apartment units for a total of 940 residential units². The current SAP Central proposal includes 8 single-family units, 618 condo/townhome units, and 365 apartment units for a total of 991 residential units³. Table 1 shows the updated p.m. peak hour trip generation estimates for the land use along with the net change. As shown, the currently planned land uses are estimated to generate four trips less than the estimate from the August 2016 SAP Central approval in the p.m. peak hour.

The Institute of Transportation Engineers (ITE) codes and trip rates used in the table below are based on the 6th Edition of the *ITE Trip Generation Manual*, which was the most recent edition available when the Villebois Village Master Plan was created. These rates were established for Villebois trip generation purposes in the

¹ *Villebois Village Center*, C2K Architecture, January 3, 2019.

² *Villebois – SAP Central PDP 11C Lot 81 Transportation Study Update*, DKS Associates, August 11, 2016.

³ Single family unit count provided by Brad Dillingham, Pacific Design Community, April 4, 2019.



Villebois Urban Village Trip Generation Memorandum. For consistency, these rates will be used despite the release of the 10th Edition of the *ITE Trip Generation Manual*.

Table 1: SAP Central Trip Generation Comparison

Land Use (ITE Code)	Size	Average Trip Generation Rate	Number of New Trips (p.m. peak)		
			In	Out	Total
<i>Basis of Traffic Impact Analysis (August 2016)</i>					
Single Family Units (210)	75 units	1.01 trips/unit (64% in / 36% out)	48	28	76
Condo/Townhome (230)	500 units	0.54 trips/unit (67% in / 33% out)	181	89	270
Apartments (220)	365 units	0.62 trips/unit (67% in / 33% out)	151	75	226
Total Trips			380	192	572
<i>Current Plans (April 2019)</i>					
Single Family Units (210)	8 units	1.01 trips/unit (64% in / 36% out)	5	3	8
Condo/Townhome (230)	618 units	0.54 trips/unit (67% in / 33% out)	224	110	334
Apartments (220)	365 units	0.62 trips/unit (67% in / 33% out)	151	75	226
Total Trips			380	188	568
Net New Trips			0	-4	-4

SAP Central Village Center Trip Generation

SAP Central is broken into multiple Planned Development Phases (PDPs) with the current phase being called the Village Center, which includes PDP 1 and PDP 2. Table 2 shows the estimated trip generation for Village Center based on the currently proposed 145 apartment units. The trip generation rates in Table 1 for Apartments (220) were used. As shown, the 145 apartment units would generate approximately 90 (60 in, 30 out) p.m. peak hour trips.

Table 2: SAP Central Village Center Trip Generation

Land Use (ITE Code)	Size	Average Trip Generation Rate	Number of New Trips (p.m. peak)		
			In	Out	Total
Apartments (220)	145 units	0.62 trips/unit (67% in / 33% out)	60	30	90
Total			60	30	90



Site Plan Review

The applicant's preliminary site plan was provided by the project sponsor and is attached to the appendix.⁴ It was reviewed to evaluate site access and safety for vehicles and pedestrians as well as evaluate parking.

One vehicle access is provided to each building site. Access to the Building A is provided via Campanile Lane, access to Building B is provided via Barber Street, and access to Building C is provided via Toulouse Street. The site plan shows sidewalks fronting all three proposed buildings and on all residential streets, providing safe crossings and connections for pedestrians in the area.

Because this development is located in the Villebois Zone, specific development code requirements are applicable to the site, including required parking minimums⁵. For multifamily dwellings, the following parking minimums apply:

- 1 parking stall per dwelling unit (studio)
- 1 parking stall per dwelling unit (one-bedroom)
- 1.5 parking stalls per dwelling unit (two-bedroom)
- 1.75 parking stalls per dwelling unit (three-bedroom)

The parking requirements per City Code are shown in the table below as well as the proposed parking stalls per the site plan provided. As shown, the minimum required number of parking stalls is 166 stalls. The proposed number of off-street parking stalls provided is 112 total stalls, which is less than the 166-stall minimum requirement. However, according to the Villebois code⁶, the minimum parking requirements may be met by counting on-street parking stalls directly adjoining and on the same side of the street as the subject property. The last column on the table shows the proposed number of on-street parking stalls that meet this criterion, which is a total of 37 stalls. Combined with the off-street parking stalls, the total is at 149 parking stalls for the development, still less than the 166-stall minimum. The Villebois code also allows for up to 25% percent of the required parking to be substituted with bicycle parking. The project sponsor intends to substitute the remaining 17 vehicle parking stalls with bicycle parking stalls in order to meet the vehicle parking stall minimum. It should be noted that the bicycle stalls intended to substitute the vehicle parking stalls must be in addition to the required short-term and long-term bicycle parking requirements.

⁴ Site plan provided in email from Steve Adams, City of Wilsonville, April 2, 2019.

⁵ Table V-2, Section 4.125, City Development Code, City of Wilsonville, 2015.

⁶ Section 4.125.07.B.4.b, City Development Code, City of Wilsonville, 2015.



Table 3: Vehicle Parking

Building	Units	Type	Rate (Stall/Unit)	Vehicle Parking Stall Minimum	Proposed Off-Street Vehicle Parking Stalls	Proposed On-Street Vehicle Parking Stalls
A	15	Studio	1.0	15	47 <i>(includes two ADA stalls)</i>	11
	13	1BD	1.0	13		
	3	2BD	1.5	5		
	9	3BD	1.75	16		
Subtotal (Building A)				49		
B	11	Studio	1.0	11	37 <i>(includes two ADA stalls)</i>	12
	30	1BD	1.0	30		
	11	2BD	1.5	17		
	2	3BD	1.75	4		
Subtotal (Building B)				62		
C	15	Studio	1.0	15	28 <i>(includes two ADA stalls)</i>	14
	29	1BD	1.0	29		
	7	2BD	1.5	11		
Subtotal (Building C)				55		
Total				166	112	37

Summary

Key findings for the proposed Villebois Urban Village SAP Central Village Center development of 145 apartment units in Wilsonville, Oregon are as follows:

- The current development levels estimated for SAP Central will result in a total of four less trips in the p.m. peak hour project trips when compared with the previously approved trip generation estimates from August 2016.
- The proposed development of 145 apartment units are estimated to generate 90 (60 in, 30 out) new p.m. peak hour trips.
- The proposed parking meets the parking minimum requirements as described in the City Code.

Please let us know if you have any questions.

NEIGHBORHOOD MEETING MAILING LIST

Jim McCloud
21341 Canea
Mission Viejo, CA 92692

Daniel Dollinger
28652 SW Costa Cir E
Wilsonville, OR 97070

Dewayne McQueen
28831 SW Costa Cir W
Wilsonville, OR 97070

Margaret Kirton
29021 SW Villebois Dr S
Wilsonville, OR 97070

Elaine Honzel
1109 Le Grande Cannon Blvd
Helena, MT 59601

Skyler Arabak
28819 SW Costa Cir W
Wilsonville, OR 97070

Sally-Jo Armstrong
PO Box 185
Beaverton, OR 97075

Randy Sandberg
28811 SW Costa Cir W
Wilsonville, OR 97070

Davis Larry A Trustee
367 Mavis Dr
Los Angeles, CA 90065

Lori Schain
28855 SW Costa Cir W
Wilsonville, OR 97070

Christina Starr
28859 SW Costa Cir W
Wilsonville, OR 97070

Marcos Maldonado
30256 SW Thomas St Unit 1107
Wilsonville, OR 97070

Jeremy Martin
28867 SW Costa Cir
Wilsonville, OR 97070

John Morris
4155 NW Dale Dr
Corvallis, OR 97330

Joey Koehler
28875 SW Costa Cir W
Wilsonville, OR 97070

A Sharpsteen Jr
29125 SW Villebois Dr S
Wilsonville, OR 97070

Katie Lapp
29121 SW Villebois Dr S
Wilsonville, OR 97070

Jim Harth
29117 SW Villebois Dr S
Wilsonville, OR 97070

Molly Thomas
29113 SW Villebois Dr S
Wilsonville, OR 97070

John Hatch
29109 SW Villebois Dr S
Wilsonville, OR 97070

Hayley Barrett
29105 SW Villebois Dr S
Wilsonville, OR 97070

Community Management, Inc. (CMI)
2105 SE 9th Ave
Portland, OR 97214

Renaissance Court Inc
2740 SE Powell Blvd
Portland, OR 97202

Janet Bodyfelt
29110 SW Villebois Dr S
Wilsonville, OR 97070

Ramon Clement
877 E 62 Ave
Vancouver, BC V5X 2-G8

Terence Little
16802 Maple Cir
Lake Oswego, OR 97034

Northwest Community Management
PO Box 23099
Tigard, OR 97281

Ronald Larson
29101 SW Villebois Dr S
Wilsonville, OR 97070

Property Management
371 Centennial Pkwy Ste 200
Louisville, CO 80027

Jong Oh
11416 SW Barber St
Wilsonville, OR 97070

NEIGHBORHOOD MEETING MAILING LIST

Lauren Abrew
11663 SW Grenoble St
Wilsonville, OR 97070

Michael Sherwood
11404 SW Barber St
Wilsonville, OR 97070

Steven Hansen
11398 SW Barber St
Wilsonville, OR 97070

Kao Properties LLC
PO Box 2436
Wilsonville, OR 97070

Jason Douthit
11386 SW Barber St
Wilsonville, OR 97070

Mg Domaine At Villebois Apts L
11450 SW Toulouse St
Wilsonville, OR 97070

Northwest Housing Alternatives Inc
13819 SE McLoughlin Blvd
Milwaukie, OR 97222

Marsha Davis
29010 SW Villebois Dr S
Wilsonville, OR 97070

Western Land Holding I LLC
851 SW 6th Ave Ste 1500
Portland, OR 97204

Martina Dunbar
11515 SW Toulouse St
Wilsonville, OR 97070

James Scoggins
4603 Conestoga Blvd
Yakima, WA 98908

Costa Pacific Homes LLC
11422 SW Barber St
Wilsonville, OR 97070

Lynette Sanford
11354 SW Barber St
Wilsonville, OR 97070

Vladimir Cherdivara
11348 SW Barber St
Wilsonville, OR 97070

Mike Studer
11342 SW Barber St
Wilsonville, OR 97070

Simnitt, Jj Family Trust
138 NE 22nd Ave
Canby, OR 97013

Durkee Christopher John Trustee
2356 Glen Haven Rd
Lake Oswego, OR 97034

Dikran Channessian
11337 SW Barber St
Wilsonville, OR 97070

Andre Veillet
11343 SW Barber St
Wilsonville, OR 97070

Ryan Dixon
11349 SW Barber St
Wilsonville, OR 97070

Patel Jabal R Trustee
3251 Covington Ln
Algonquin, IL 60102

Villebois Community Center Assn
PO Box 23099
Tigard, OR 97281

Jodi Johnson
11894 SW Palermo St
Wilsonville, OR 97070

Chaltu Wakwoya
22450 Hawthorne Ave
Moreno Valley, CA 92553

Dun Investments LLC
3927 Lake Grove Ave
Lake Oswego, OR 97035

Tonquin Woods At Villebois Hoa
109 E 13th St
Vancouver, WA 98660

Marcus Potter
11906 SW Palermo St
Wilsonville, OR 97070

Donald Wagner
11910 SW Palermo St
Wilsonville, OR 97070

Michael Dellerba
11914 SW Palermo St
Wilsonville, OR 97070

Ruby Metz
11918 SW Palermo St
Wilsonville, OR 97070

NEIGHBORHOOD MEETING MAILING LIST

Jose Guerrero
12100 SW Palermo St
Wilsonville, OR 97070

James Boster
12104 SW Palermo St
Wilsonville, OR 97070

Cassie Righter
12108 SW Palermo St
Wilsonville, OR 97070

Jayne Eichler
12116 SW Palermo St
Wilsonville, OR 97070

John Kirkland
12120 SW Palermo St
Wilsonville, OR 97070

Peter Brooks Jr
12124 SW Palermo St
Wilsonville, OR 97070

Teri Richlick
12128 SW Palermo St
Wilsonville, OR 97070

Tonquin Woods At Villebois Hoa
109 E 13th St
Vancouver, WA 98660

Brian Gilday
1341 Stonehaven Dr
West Linn, OR 97068

Ross Hayes
11503 SW Toulouse St
Wilsonville, OR 97070

Robert Liebenow
11505 SW Toulouse St
Wilsonville, OR 97070

Barry Cavinaw
28881 SW Costa Cir W
Wilsonville, OR 97070

Deanna Moran
28885 SW Costa Circle W
Wilsonville, OR 97070

Gilberto Valdez
28889 SW Costa Cir W
Wilsonville, OR 97070

Rachel Norse
28893 SW Costa Cir W
Wilsonville, OR 97070

Lynda Saling
28897 SW Costa Cir W
Wilsonville, OR 97070

Patricia Allen
28901 SW Costa Cir W
Wilsonville, OR 97070

James Chang
28905 SW Costa Cir W
Wilsonville, OR 97070

Mercedes Magee
28909 SW Costa Cir W
Wilsonville, OR 97070

Shane Hillier
28923 SW Costa Cir W
Wilsonville, OR 97070

Raghunath Viswanatha
6426 Frost St
Lake Oswego, OR 97035

Buck Kness Jr
28931 SW Costa Cir W
Wilsonville, OR 97070

James Chang
28935 SW Costa Cir W
Wilsonville, OR 97070

Ian Garcia
28939 SW Costa Cir W
Wilsonville, OR 97070

Tonquin Woods At Villebois Hoa
1200 NW Naito Pkwy Ste 650
Portland, OR 97209

Polygon Wlh LLC
109 E 13th St Ste 200
Vancouver, WA 98660

Property Management
371 Centennial Pkwy Ste 200
Louisville, CO 80027

McKenzie Roth
11375 SW Barber St
Wilsonville, OR 97070

Christopher Abbey
11381 SW Barber St
Wilsonville, OR 97070

Joseph Tucker
11387 SW Barber St
Wilsonville, OR 97070

NEIGHBORHOOD MEETING MAILING LIST

James Bickell
11393 SW Barber St
Wilsonville, OR 97070

Kelley Recker
11399 SW Barber St
Wilsonville, OR 97070

Rene Wirtz
11405 SW Barber St
Wilsonville, OR 97070

Morgan Investments LLC
11411 SW Barber St
Wilsonville, OR 97070

Carlos Ordonez
29009 SW Villebois Dr S
Wilsonville, OR 97070

Du Fang
8416 SW 184th Loop
Beaverton, OR 97007

29017 Villebois-Wilsonville LI
11921 SW Tallwood Dr
Tigard, OR 97223

Michael Kummerman
29021 SW Villebois Dr S
Wilsonville, OR 97070

Christian Gates
29025 SW Villebois Dr
Wilsonville, OR 97070

Jennifer Cummings
29029 SW Villebois Dr
Wilsonville, OR 97070

Ting Zhang
29033 SW Villebois Dr S
Wilsonville, OR 97070

Hpa Borrower 2016 MI LLC
180 N Stetson Ave Ste 3650
Chicago, IL 60601

Hpa Borrower 2017-1 MI LLC
180 N Stetson Ave Ste 3650
Chicago, IL 60601

Terrance Franks
1127 W Iowa Ave
Sunnyvale, CA 94086

Syreeta Abrams
29049 SW Villebois Dr
Wilsonville, OR 97070

Jason Waugh
29050 SW Villebois Dr
Wilsonville, OR 97070

Sean Preston
29046 SW Villebois Dr S
Wilsonville, OR 97070

Graham Doyle
29040 SW Villebois Dr
Wilsonville, OR 97070

Erika Pham
29038 SW Villebois Dr
Wilsonville, OR 97070

Clayton Johnson
29034 SW Villebois Dr
Wilsonville, OR 97070

Michael Tatlock
29030 SW Villebois Dr S
Wilsonville, OR 97070

Kyle Aaron
29026 SW Villebois Dr
Wilsonville, OR 97070

Leslie Moore
28989 SW Costa Cir W
Wilsonville, OR 97070

Robert Dubay
12001 SW Grenoble St
Wilsonville, OR 97070

Saladino Christine M Trustee
28997 Costa Cir W
Wilsonville, OR 97070

Ernest Gennaccaro
29001 Costa Cir W
Wilsonville, OR 97070

Caitlin Mortelliti
28539 Orleans Ave
Wilsonville, OR 97070

Elizabeth Pellow
28533 Orleans Ave
Wilsonville, OR 97070

Kirsten Roush
28527 Orleans Ave
Wilsonville, OR 97070

Grant Coffey
28521 Orleans Ave
Wilsonville, OR 97070

NEIGHBORHOOD MEETING MAILING LIST

Adam Boyd
28520 Paris Ave
Wilsonville, OR 97070

Stephanie Burke
28526 Paris Ave
Wilsonville, OR 97070

Brent Fleck
28532 SW Paris Ave
Wilsonville, OR 97070

Lyndsey Chamberlain
28538 Paris Ave
Wilsonville, OR 97070

Defne Cakin
28544 Paris Ave
Wilsonville, OR 97070

Brian Hall
11555 SW Collina Ln
Wilsonville, OR 97070

Gold Water Express LLC
11549 Collina Ln
Wilsonville, OR 97070

Tenisha Tevis
11543 SW Collina Ln
Wilsonville, OR 97070

Mt Park Investors LLC
PO Box 1066
Lake Oswego, OR 97034

Cristin Viveros
11531 Collina Ln
Wilsonville, OR 97070

Cindy Luxhoj
11525 Collina Ln
Wilsonville, OR 97070

Kiely House
11519 SW Collina Ln
Wilsonville, OR 97070

Richard Wilt
14748 Speer Lake Dr E
Winter Garden, FL 34787

Tonquin Woods At Villebois II Hoa
109 E 13th St
Vancouver, WA 98660

Royal Crest At Villebois Hoa
703 Broadway St Ste 510
Vancouver, WA 98660

Kelli Thielke
11556 SW Collina Ln
Wilsonville, OR 97070

Amanda Martin
11550 SW Collina Ln
Wilsonville, OR 97070

Peter Jenkins
11544 SW Collina Ln
Wilsonville, OR 97070

Kaelan Rasmussen
11538 SW Collina Ln
Wilsonville, OR 97070

Asher Graves
11532 SW Collina Ln
Wilsonville, OR 97070

Amanda Vonfeldt
11526 SW Collina Ln
Wilsonville, OR 97070

Adriana Vintila
11520 SW Collina Ln
Wilsonville, OR 97070

Thomas Luck
11514 SW Collina Ln
Wilsonville, OR 97070

Christopher Grau
28605 SW Orleans Ave
Wilsonville, OR 97070

Luke Johnson
28611 SW Orleans Ave
Wilsonville, OR 97070

Kimberly Bishop
28617 SW Orleans Ave
Wilsonville, OR 97070

Lynda Bartel
28623 SW Orleans Ave
Wilsonville, OR 97070

Dayna Schroeder
28629 SW Orleans Ave
Wilsonville, OR 97070

John Corbally
28635 SW Orleans Ave
Wilsonville, OR 97070

Futa Yoshida
28641 SW Orleans Ave
Wilsonville, OR 97070

NEIGHBORHOOD MEETING MAILING LIST

Sandy Eastman
28647 SW Orleans Ave
Wilsonville, OR 97070

Gregory Watson
28659 SW Orleans Ave
Wilsonville, OR 97070

Sheila Houle
28665 SW Orleans Ave
Wilsonville, OR 97070

Wendy Larimer
28671 SW Orleans Ave
Wilsonville, OR 97070

Andrea Meyer
28677 SW Orleans Ave
Wilsonville, OR 97070

Ricky Riche
28683 SW Orleans Ave
Wilsonville, OR 97070

Linda Alpiger
28689 SW Orleans Ave
Wilsonville, OR 97070

Megan Janes
28709 SW Villebois Dr N
Wilsonville, OR 97070

Beryl Threlfall
28715 SW Villebois Dr N
Wilsonville, OR 97070

Richard Threlfall
28721 SW Villebois Dr N
Wilsonville, OR 97070

Ryan Andrews
28727 SW Villebois Dr N
Wilsonville, OR 97070

Chris Good
28733 SW Villebois Dr N
Wilsonville, OR 97070

Lauren Myers
28739 SW Villebois Dr N
Wilsonville, OR 97070

Kelly Smith
28745 SW Villebois Dr N
Wilsonville, OR 97070

Rikki Hanthorn
28751 SW Villebois Dr N
Wilsonville, OR 97070

Gabriel Mercado
28686 SW Paris Ave
Wilsonville, OR 97070

Ashley Levin
28680 SW Paris Ave
Wilsonville, OR 97070

Suzanne Trentham
28674 SW Paris Ave
Wilsonville, OR 97070

Blake Westling
28668 SW Paris Ave
Wilsonville, OR 97070

Marie Riccobene
28660 SW Paris Ave
Wilsonville, OR 97070

Scott Kendall
28648 SW Paris Ave
Wilsonville, OR 97070

Christopher Douglas
28642 SW Paris Ave
Wilsonville, OR 97070

Veronica Huerta
28636 SW Paris Ave
Wilsonville, OR 97070

Amilcar Ramo
28630 SW Paris Ave
Wilsonville, OR 97070

Laura Caldera
28624 SW Paris Ave
Wilsonville, OR 97070

Kevin Scarborough
28618 SW Paris Ave
Wilsonville, OR 97070

Yan Xiao
28612 SW Paris Ave
Wilsonville, OR 97070

Daniel Razo
28606 SW Paris Ave
Wilsonville, OR 97070

Square Camden
109 E 13th St
Vancouver, WA 98660

Square Camden
109 E 13th St
Vancouver, WA 98660

NEIGHBORHOOD MEETING MAILING LIST

Square Camden
109 E 13th St
Vancouver, WA 98660

Square Camden
109 E 13th St
Vancouver, WA 98660

Square Camden
109 E 13th St
Vancouver, WA 98660

Brian Thompson
11550 SW Barber St
Wilsonville, OR 97070

Shannon Van Zante
11554 SW Barber St
Wilsonville, OR 97070

Justin Britton
11558 SW Barber St
Wilsonville, OR 97070

Deborah Smith-Fedon
11562 SW Barber St
Wilsonville, OR 97070

11566 Barber Street-Wilsonville
11921 SW Tallwood Dr
Tigard, OR 97223

Allison McGonagle
11570 SW Barber St
Wilsonville, OR 97070

Aivars Saukants
11574 SW Barber St
Wilsonville, OR 97070

Jack Phillips
11578 SW Barber St
Wilsonville, OR 97070

Steven Masters
11582 SW Barber St
Wilsonville, OR 97070

Yashaswi Murthy
11586 SW Barber St
Wilsonville, OR 97070

Square Camden
703 Broadway St Ste 510
Vancouver, WA 98660

Villebois Village Ctr Master Owners
Assn
371 Centennial Pkwy Ste 200
Louisville, CO 80027

Elaine Smith-Koop
28955 SW Costa Cir W
Wilsonville, OR 97070

James Graglia
28957 SW Costa Cir W
Wilsonville, OR 97070

Xiaohong Ding
28959 SW Costa Cir W
Wilsonville, OR 97070

Ryan Coulam
28961 SW Costa Cir W
Wilsonville, OR 97070

Robert Stonecliffe
28963 SW Costa Cir W
Wilsonville, OR 97070

Melinda Shortell
28965 SW Costa Cir W
Wilsonville, OR 97070

David Wortman
28967 SW Costa Cir W
Wilsonville, OR 97070

Xin Zhang
28969 SW Costa Cir W
Wilsonville, OR 97070

Karen Paez
28971 SW Costa Cir W
Wilsonville, OR 97070

Geralyn McNamara
28973 SW Costa Cir W
Wilsonville, OR 97070

Ji Lee
28975 SW Costa Cir W
Wilsonville, OR 97070

Beverly Serpico
28977 SW Costa Cir W
Wilsonville, OR 97070

Jennifer Jesse
2321 Bonita Dr
Glendale, CA 91208

Dennis Christensen Jr
28519 SW Paris Ave
Wilsonville, OR 97070

Alexa Powell
28523 SW Paris Ave
Wilsonville, OR 97070

NEIGHBORHOOD MEETING MAILING LIST

David Krein
28527 SW Paris Ave
Wilsonville, OR 97070

Qinglai Meng
28531 SW Paris Ave
Wilsonville, OR 97070

Holly Bourgeois
28535 SW Paris Ave
Wilsonville, OR 97070

Ted Yang
11601 SW Collina Ln
Wilsonville, OR 97070

Travis Moore
11605 SW Collina Ln
Wilsonville, OR 97070

Myint Ganeshalingam
11609 SW Collina Ln
Wilsonville, OR 97070

Thomas Dowd
11613 SW Collina Ln
Wilsonville, OR 97070

Kenda Wavra
11617 SW Collina Ln
Wilsonville, OR 97070

Lorena Maldonado-Camargo
11625 SW Collina Ln
Wilsonville, OR 97070

Joshua Russell
11629 SW Collina Ln
Wilsonville, OR 97070

Tabitha Thurston
11633 SW Collina Ln
Wilsonville, OR 97070

Arisa Rafn
11637 SW Collina Ln
Wilsonville, OR 97070

Curtis Bailey
11641 SW Collina Ln
Wilsonville, OR 97070

Thomas Hyde
11655 SW Collina Ln
Wilsonville, OR 97070

Suzanne Dickson
11659 SW Collina Ln
Wilsonville, OR 97070

Kevin Howard
11729 SW Valencia Ln
Wilsonville, OR 97070

Cullen McCroskey
11733 SW Valencia Ln
Wilsonville, OR 97070

Victoria Hickok
11737 SW Valencia Ln
Wilsonville, OR 97070

Michael Brasch
11741 SW Valencia Ln
Wilsonville, OR 97070

Marianne Wegner
1500 SE 79th Ct
Vancouver, WA 98664

Neil Cernitz
11749 SW Valencia Ln
Wilsonville, OR 97070

Megan Cederholm
11753 SW Valencia Ln
Wilsonville, OR 97070

Jeffrey Hallin
11757 SW Valencia Ln
Wilsonville, OR 97070

Chia Hung
11761 SW Valencia Ln
Wilsonville, OR 97070

David Vance
11571 SW Barber St
Wilsonville, OR 97070

Liyang Xu
1520 NW Mayfield Rd
Portland, OR 97229

Jose Amador
1579 SW Barber St
Wilsonville, OR 97070

Remus Rusnac
11583 SW Barber St
Wilsonville, OR 97070

Christopher Leedom
11587 SW Barber St
Wilsonville, OR 97070

Richelle Carkin
28941 SW Costa Cir W
Wilsonville, OR 97070

NEIGHBORHOOD MEETING MAILING LIST

Allyson Moore
28943 SW Costa Cir W
Wilsonville, OR 97070

Christopher Mead
28945 Costa Cir W
Wilsonville, OR 97070

Hartung, Lindsey Trust
11067 NW District Ct
Portland, OR 97229

Mark Gubuan
28949 SW Costa Cir W
Wilsonville, OR 97070

William Perkins
28951 SW Costa Cir W
Wilsonville, OR 97070

Julian Barton
11750 SW Valencia Ln
Wilsonville, OR 97070

Gary Downen
11746 SW Valencia Ln
Wilsonville, OR 97070

Richard Daniel
11742 SW Valencia Ln
Wilsonville, OR 97070

Tamara Lukes
11738 SW Valencia Ln
Wilsonville, OR 97070

Angela Neal
28825 SW Villebois Dr N
Wilsonville, OR 97070

Corbin Bowen
28829 SW Villebois Dr N
Wilsonville, OR 97070

Gerald Russell
28833 SW Villebois Dr N
Wilsonville, OR 97070

Andris Saukants
28837 SW Villebois Dr N
Wilsonville, OR 97070

James Brown III
11734 SW Valencia Ln
Wilsonville, OR 97070

Angela Foster
28845 SW Villebois Dr N
Wilsonville, OR 97070

Adel Morgan
28849 SE Villebois Dr N
Wilsonville, OR 97070

Claire Gallo
28853 SW Villebois Dr N
Wilsonville, OR 97070

David Fritz
28857 SW Villebois Dr N
Wilsonville, OR 97070

Daniel Couture
28861 SW Villebois Dr N
Wilsonville, OR 97070

Square Camden
703 Broadway St Ste 510
Vancouver, WA 98660

Square Camden
703 Broadway St Ste 510
Vancouver, WA 98660

Pinnacle Family of Companies
1200 NW Naito Parkway, Suite 650
Portland OR 97209

Rethford Meadows HOA
17933 NW Evergreen Pkwy,
Suite 200, Beaverton, OR 97006

The Management group, Inc.
15350 SW Sequoia Pkwy, Suite 200A
Portland, OR 97224

**SUPPORTING COMPLIANCE REPORT
ZONE CHANGE
LOT 76 PDP 12 - CENTRAL**

SECTION IIA

TABLE OF CONTENTS

I. CITY OF WILSONVILLE COMPREHENSIVE PLAN	2
IMPLEMENTATION MEASURE 4.1.4.....	2
IMPLEMENTATION MEASURE 4.1.6.A.....	2
IMPLEMENTATION MEASURE 4.1.6.C.....	2
IMPLEMENTATION MEASURE 4.1.6.D.....	2
II. CITY OF WILSONVILLE LAND DEVELOPMENT ORDINANCE	3
SECTION 4.029 ZONING CONSISTENT WITH THE COMPREHENSIVE PLAN.....	3
SECTION 4.110 ZONING - ZONES.....	3
SECTION 4.125 VILLAGE (V) ZONE.....	3
SECTION 4.197 ZONE CHANGES AND AMENDMENTS TO THIS CODE - PROCEDURES.	4
III. PROPOSAL SUMMARY & CONCLUSION	5

I. CITY OF WILSONVILLE COMPREHENSIVE PLAN

RESIDENTIAL DEVELOPMENT - IMPLEMENTATION MEASURES

IMPLEMENTATION MEASURE 4.1.4

Response: The subject site is part of the *Villebois Village Master Plan*, which is comprised of a variety of housing opportunities of varying densities. There are many different housing types within Villebois Village, ranging from multifamily to larger lots. Villebois Village includes opportunities for affordable, senior, and community housing. Compliance with this Implementation Measures was addressed with the *Villebois Village Master Plan*. The land use plan for the subject area was determined to be consistent with the *Villebois Village Master Plan* as refined by the concurrent SAP North Amendment.

COMPACT URBAN DEVELOPMENT - IMPLEMENTATION MEASURES

IMPLEMENTATION MEASURE 4.1.6.A

Development in the “Residential - Village” Map area shall be directed by the Villebois Village Concept Plan (depicting the general character of proposed land uses, transportation, natural resources, public facilities, and infrastructure strategies), and subject to relevant Policies and Implementation Measures in the Comprehensive Plan; and implemented in accordance with the Villebois Village Master Plan, the “Village” Zone District, and any other provisions of the Wilsonville Planning and Land Development Ordinance that may be applicable.

Response: This application is submitted along with a Preliminary Development Plan for PDP 12C. PDP 12C demonstrates compliance with SAP Central (see Section IVD of this application). Section I of this report demonstrates compliance with the City of Wilsonville’s Comprehensive Plan and Section II demonstrates compliance with Wilsonville’s Land Development Code.

IMPLEMENTATION MEASURE 4.1.6.C

The “Village” Zone District shall be applied in all areas that carry the Residential - Village Plan Map Designation.

Response: This application proposes a zone change to “Village” for the subject property area, which is included in the “Residential-Village” Comprehensive Plan Map Designation.

IMPLEMENTATION MEASURE 4.1.6.D

The “Village” Zone District shall allow a wide range of uses that benefit and support an “urban village”, including conversion of existing structures in the core area to provide flexibility for changing needs of service, institutional, governmental and employment uses.

Response: The subject site is made up of two sites with a combined area of approximately 1.19 acres within Villebois Village. The plan for the subject property includes two mixed use buildings, one for each lot. Both buildings will have commercial and/or common areas on their first floors with residential units on the top three floors. The ‘Introductory Narrative’ (see Section IA of this application) describes the proposed residential units. The proposed residential land use and housing types in

this area are generally consistent with those portrayed in the *Villebois Village Master Plan*, which this regulation is intended to implement.

II. CITY OF WILSONVILLE LAND DEVELOPMENT ORDINANCE

SECTION 4.029 ZONING CONSISTENT WITH THE COMPREHENSIVE PLAN

If a development, other than a short-term temporary use, is proposed on a parcel or lot which is not zoned in accordance with the comprehensive plan, the applicant must receive approval of a zone change prior to, or concurrently with the approval of an application for a Planned Development.

Response: This application is being requested concurrent with a PDP application (Section IVD) for the site in conformance with the code.

SECTION 4.110 ZONING - ZONES

(.01) The following Base Zones are established by this Code:

- H. Village, which shall be designated “V” [per Section 4.125 enabling amendments (File No. 02PC08)]

Response: The area has a City of Wilsonville Comprehensive Plan designation of “Residential - Village.” The site is currently zoned “Public Facility.” This request is for a zone change to “Village,” which is permitted within the area designated “Residential - Village” on the Comprehensive Plan Map.

SECTION 4.125 VILLAGE (V) ZONE

(.01) The Village (V) zone is applied to lands within the Residential Village Comprehensive Plan Map designation. The Village zone is the principal implementing tool for the Residential Village Comprehensive Plan designation. It is applied in accordance with the *Villebois Village Master Plan* and the Residential Village Comprehensive Plan designation as described in the Comprehensive Plan.

Response: The subject property lies within the area designated “Residential - Village” on the Comprehensive Plan Map. This request is for a zone change to V - Village to guide the development of PDP 5N.

(.02) Permitted Uses

Response: The Preliminary Development Plan proposes uses that are consistent with the permitted land uses within the Village zone (see Section IVD of this application). The PDP states that the proposed development will create two Mixed use buildings. This use is permitted under the Village zone.

(.18) Village Zone Development Permit Process

- B. Unique Features and Processes of the Village (V) Zone
 - 2. ...Application for a zone change shall be made concurrently with an application for PDP approval...

Response: The application for a zone change is being made concurrent with an application for PDP approval (see Section IVD of this application).

SECTION 4.197 ZONE CHANGES AND AMENDMENTS TO THIS CODE - PROCEDURES.

(.02) In recommending approval or denial of a proposed zone map amendment, the Planning Commission or Development Review Board shall at a minimum, adopt findings addressing the following criteria:

- A. That the application before the Commission or Board was submitted in accordance with the procedures set forth in Section 4.008 or, in the case of a Planned Development, Section 4.140; and

Response: This application has been submitted in accordance with the procedures set forth in Section 4.008. This zone change application will establish the appropriate zone for this development and will be governed by the appropriate Zoning Sections.

- B. That the proposed amendment is consistent with the Comprehensive Plan map designation and substantially complies with the applicable goals, policies and objectives, set forth in the Comprehensive Plan Text; and

Response: The subject area is designated Residential Village on the Comprehensive Plan Map. Therefore, application of the Village Zone is consistent with the Comprehensive Plan. Compliance with the Comprehensive Plan is addressed in Section I of this Report.

- C. In the event that the subject property, or any portion thereof, is designated as “Residential” on the City’s Comprehensive Plan Map; specific findings shall be made addressing substantial compliance with Implementation Measure 4.1.4.b, d, e, q, and x of Wilsonville’s Comprehensive Plan text; and

Response: Compliance with Implementation Measure 4.1.4 is addressed in Section I of this Report.

- D. That the existing primary public facilities, i.e., roads and sidewalks, water, sewer and storm sewer are available and are of adequate size to serve the proposed development; or, that adequate facilities can be provided in conjunction with project development. The Planning Commission and Development Review Board shall utilize any and all means to insure that all primary facilities are available and are adequately sized; and

Response: The Preliminary Development Plan compliance report and the plan sheets, provided in Sections IVD and IVE of this application, demonstrate that the existing primary public facilities are available and can be provided in conjunction with the project. Section IVF includes supporting utility and drainage reports. A Traffic Impact Analysis is provided in Section IVK.

- E. That the proposed development does not have a significant adverse effect upon Significant Resource Overlay Zone areas, an identified natural hazard, or an identified geologic hazard. When Significant Resource Overlay Zone areas or natural hazard, and/ or geologic hazard are located on or about the proposed development, the Planning Commission or Development Review Board shall use

appropriate measures to mitigate and significantly reduce conflicts between the development and identified hazard or Significant Resource Overlay Zone; and

Response: The proposed development will not have a significant adverse effect upon a SROZ area as none exist on the site.

F. That the applicant is committed to a development schedule demonstrating that the development of the property is reasonably expected to commence within two (2) years of the initial approval of the zone change; and

Response: The applicant is committed to a schedule demonstrating that the development of the subject property is reasonably expected to commence within two (2) years of the initial approval of the zone change.

G. That the proposed development and use(s) can be developed in compliance with the applicable development standards or appropriate conditions are attached to insure that the project development substantially conforms to the applicable development standards.

Response: The proposed development can be developed in compliance with the applicable development standards, as demonstrated by this report and the Preliminary Development Plan applications (see Section IVD of this application).


III. PROPOSAL SUMMARY & CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Zone Change. Therefore, the applicant requests approval of this application.



LEGEND

 SUBJECT AREA - PROPOSED VILLAGE (V) ZONE (2.70 AC)

 ZONE LINE

PF EXISTING ZONING DESIGNATION



1" = 250'

PROPOSED ZONE MAP
AMENDMENT

EXHIBIT A



LEGAL DESCRIPTION

Zone Change

Lot 76

Map 3S1W15AC Tax Lot 2800

Lot 76, plat of "Villebois Village Center No. 3", Clackamas County Plat Records, in the Northeast Quarter of Section 15, Township 3 South, Range 1 West, Willamette Meridian, City of Wilsonville, Clackamas County, State of Oregon, more particularly described as follows:

BEGINNING at the most southerly corner of Lot 11, plat of "Berkshire No. 2", Clackamas County Plat Records;

thence along the southeasterly line of said lot and its extension, North 47°02' 56" East, a distance of 225.50 feet to a point on the centerline of SW Valencia Lane;

thence along said centerline, South 42°56' 37" East, a distance of 169.09 feet;

thence leaving said centerline, North 47°03' 23" East, a distance of 91.00 feet;

thence along the southwesterly line of Tract A, plat of "Siena", Clackamas County Plat Records, and its extension, South 42°56' 37" East, a distance of 193.00 feet to a point on the northerly Right-of-Way line of SW Villebois Drive North;

thence along said northerly Right-of-Way line, South 47°03' 23" West, a distance of 80.69 feet to an angle point;

thence continuing along said Right-of-Way line, South 47°03' 24" West, a distance of 71.31 feet to the most easterly corner of Tract O, plat of "Villebois Village Center", Clackamas County Plat Records;

thence along the northeasterly line of said Tract O and Parcel 5, Partition Plat No. 2013-051, Clackamas County Plat Records, North 42°56' 36" West, a distance of 162.50 feet to an angle point;

thence continuing along the northeasterly line of said Parcel 5, North 47°03' 24" East, a distance of 15.00 feet to an angle point;

thence continuing along said northeasterly line, North 42°56' 36" West, a distance of 63.00 feet to the most northerly corner of said Parcel 5;

thence along the northwesterly line of said Parcel 5, South 47°03' 24" West, a distance of 179.50 feet to the most westerly Southwest corner of said Parcel 5;

EXHIBIT A



thence along the northeasterly Right-of-Way line of SW Barber Street, North 42° 56' 36" West, a distance of 136.56 feet to the POINT OF BEGINNING.

Containing 1.40 acres, more or less.

Basis of bearings being plat of "Villebois Village Center No. 3", Clackamas County Plat Records.

Property Vested in:

RCS - Villebois Development, LLC

Map 3S1W15AC Tax Lot 2800

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 9, 2002
TRAVIS C. JANSEN
57751

RENEWS: 6/30/2021

EXHIBIT B

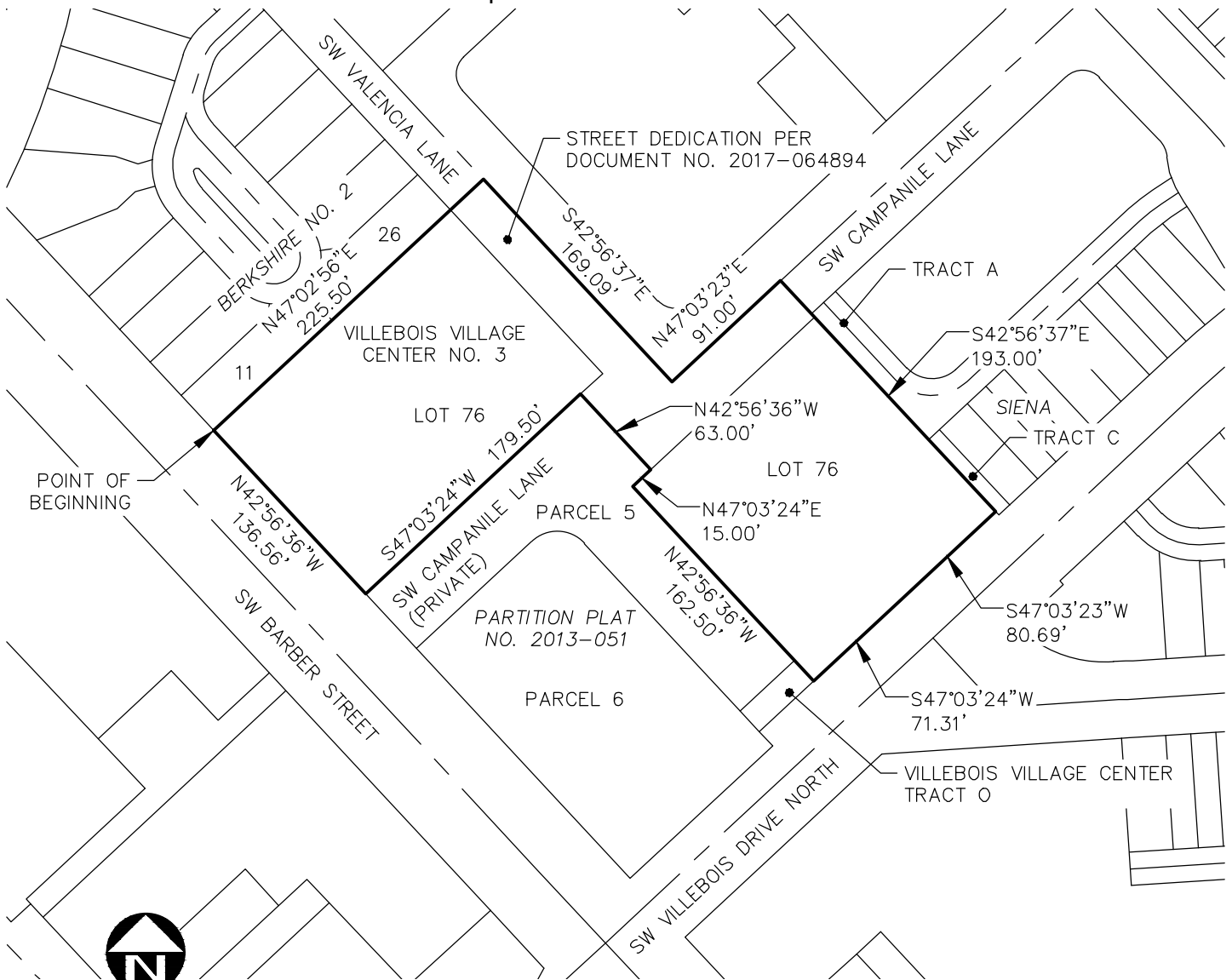


SKETCH TO ACCOMPANY LEGAL DESCRIPTION

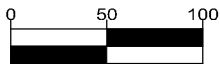
Zone Change

Lot 76

Map 3S1W15AC Tax Lot 2800



SCALE



1 INCH = 100 FEET

Property Vested in:

RCS - VILLEBOIS DEVELOPMENT, LLC

Map 3S1W15AC Tax Lot 2800

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 9, 2002
TRAVIS C. JANSEN
57751

RENEWS: 6/30/2021

SUPPORTING COMPLIANCE REPORT
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
BUILDINGS A & B ON LOT 76 & BUILDING C ON LOT 73
SAP AMENDMENT - VILLEBOIS CENTRAL

SECTION IIIA

TABLE OF CONTENTS

I.	VILLEBOIS VILLAGE MASTER PLAN	2
	General - Land Use Plan	2
	Residential neighborhood Housing	3
	Village Center	4
II.	WILSONVILLE PLANNING AND DEVELOPMENT ORDINANCE	5
	SECTION 4.125 VILLAGE (V) ZONE	5
	(.13) DESIGN PRINCIPLES APPLYING TO THE VILLAGE ZONE	5
	(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE	6
	(.15) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE	9
	(.16) VILLAGE CENTER DESIGN STANDARDS	9
	(.17) VILLAGE CENTER PLAZA DESIGN STANDARDS	10
	(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS	11
IV.	CONCLUSION	14

I. VILLEBOIS VILLAGE MASTER PLAN

General - Land Use Plan

Goal

Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.

Policies

- 1. The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.**

Response: The proposed changes to the Villebois Village Architectural Standards (VCAS) do not affect the number of units being proposed in the Village Center. Therefore, the vision of the Villebois Village Master Plan will remain intact.

Implementation Measures

- 1. Allow for unique planning and regulatory tools that are needed to realize the Villebois Village Master Plan. These tools shall include, but are not limited to: Specific Area Plans; Pattern Books; and Community Elements Books.**

Response: This application is a request to modify the VCAS for SAP - Central, which is one of these unique tools. The applicable approval standards for this unique planning tool are addressed in this report. The proposed VCAS modification is consistent with general Land Use Plan Implementation Measure 1 by demonstrating compliance with the applicable approval criteria for the VCAS in this report.

- 2. Adopt the newly created Village zone district, which may be applied to the Villebois Village Master Plan area designated Residential-Village on the Comprehensive Plan Map. The new Village zone shall be based on the Villebois Village Master Plan Goals, Policies and Implementation Measures contained within this document.**

Response: The modifications to the VCAS being proposed with this application remain compliant with the Village (V) zoning district.

- 3. Refinements to the Villebois Village Master Plan are anticipated as more detailed plans are developed for the Specific Area Plans. Specific Area Plans may propose refinements to the Villebois Village Master Plan without requiring an amendment to the Villebois Village Master Plan provided the refinement is not significant. Non-significant refinements shall be defined in the Village ("V") Zone text and may include, but are not limited to: minor alterations to street alignments or minor changes in area or uses.**

Disagreement about whether a refinement is significant shall be resolved by a process provided in the Village ("V") Zone text.

Response: This SAP Amendment is being requested for the specific purpose of refining the architectural standards of the Village Center in order to implement the Villebois Village Master Plan.

Residential neighborhood Housing

Goal

The Villebois Village shall provide neighborhoods consisting of a mix of homes for sale, apartments for rent, row homes, and single-family homes on a variety of lot sizes, as well as providing housing for individuals with special needs. The Villebois Village shall provide housing choices for people of a wide range of economic levels and stages of life through diversity in product type.

Policies

- 1. Each of the Villebois Village's neighborhoods shall include a wide variety of housing options and shall provide home ownership options ranging from affordable housing to estate lots.**

Response: The concurrent Preliminary and Final Development plans propose mixed use apartment buildings within the Village Center. These buildings provide a variety of housing options, as well as a dense urban environment for Villebois inhabitants.

- 3. The mix of housing shall be such that the Village development provides an overall average density of at least 10 dwelling units per net residential acre.**

Response: The concurrent Preliminary and Final Development plans propose a mixed-use development, Villebois Village Center Apartments, consisting of three building and a surface parking area. Two buildings, 'A' and 'B' are located on Lot 76 of PDP 12C and Building 'C' is located on Lot 73 of PDP 2C to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The proposed development, located on the site 2.02-acre site, will provide an overall density of 71 units per acre.

- 9. Higher density residential uses shall be of a scale and design in keeping with the desired vision for Villebois as expressed in the Villebois Village Concept Plan and in the Policies and Implementation Measures of the Villebois Village Master Plan.**

Response: The proposed SAP amendment addresses the Plaza Address Standards of the VCAS by allowing more freedom for material usage in order to better meet the Master Plan's vision of a Village Center. The proposed mixed-use buildings are designed in a way that provides variety in design elements while creating a sense of shared character. These buildings provide a variety of housing options, as well as a dense urban environment for Villebois inhabitants.

Implementation Measures

1. Ensure, through the development standards and Pattern Book(s) required by the Village zone, that the design and scale of dwellings are compatible with the compact, pedestrian oriented character of the concepts contained in the Villebois Village Concept Plan and the contents of this Villebois Village Master Plan.

Response: The proposed SAP amendment does not poorly impact the pedestrian-oriented, urban atmosphere of the Villebois Village Center.

Village Center

Goal

The Villebois Village shall include a mixed-use Village Center that will be the core of the community.

Policies

3. The Village Center shall include a civic plaza to serve as a community gathering space, along with a main street environment establishing a social atmosphere that encourages residents and visitors to linger and interact.

Response: The concurrent Preliminary and Final Development plans for mixed-use apartment buildings in the urban center comply with the Villebois Village Master Plan's vision of the Village Center. This SAP amendment does not adversely affect the pedestrian/community experience.

Implementation Measures

2. Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.
 - Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.
 - Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.
 - General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.
 - Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.
 - Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.
 - Hospitality: hotel, bed and breakfast, conference center.
 - Light Manufacturing/Research and Development.

- **Civic/Institutional:** meeting hall, library, museum, churches, farmer’s market, community center.
- **Residential:** condominiums, apartments, and townhouses

Response: The concurrent Preliminary and Final Development plans for mixed-use apartment buildings which provide commercial space capable of housing the above-mentioned uses. The proposed mixed-use buildings comply with the Villebois Village Master Plan’s vision of the Village Center.

II. WILSONVILLE PLANNING AND DEVELOPMENT ORDINANCE

SECTION 4.125 VILLAGE (V) ZONE

(.13) DESIGN PRINCIPLES APPLYING TO THE VILLAGE ZONE

- A. The following design principles reflect the fundamental concepts, and support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities of the built environment within the Village zone.
1. The design of landscape, streets, public places and buildings shall create a place of distinct character.
 2. The landscape, streets, public places and buildings within individual development projects shall be considered related and connected components of the Villebois Village Master Plan.
 3. The design of buildings shall functionally relate to adjacent open space, gateways, street orientation, and other features as shown in the Villebois Village Master Plan.
 4. The design of buildings and landscape shall functionally relate to sunlight, climate, and topography in a way that acknowledges these conditions as particular to the Willamette Valley.
 5. The design of buildings shall incorporate regional architectural character and regional building practices.
 6. The design of buildings shall include architectural diversity and variety in its built form.
 7. The design of buildings shall contribute to the vitality of the street environment through incorporation of storefronts, windows, and entrances facing the sidewalk.
 8. The design of streets and public spaces shall provide for and promote pedestrian safety, connectivity and activity.
 9. The design of buildings and landscape shall minimize the visual impact of, and screen views of off-street parking from streets.
 10. The design of exterior lighting shall minimize off-site impacts yet enable functionality.

Response: SAP Central included a unique toolkit that regulates proposed development. This toolkit includes the Village Center Architectural Standards (VCAS). The concurrently proposed development complies with the standards of the Village (V) zone. This application is being requested to modify the Plaza Address, an element of the VCAS, in order to adjust the minimum percentage requirements of materials used on a project’s exterior and to allow for the use of stucco board for facades facing The Piazza to create more diversity in building design.

(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. Generally:

Response: The general provisions of Section 4.125(.14) do not relate to the proposed VCAS modifications. Therefore, approval of the proposed VCAS modification is consistent with these general provisions.

2. Building and site design shall include:

- a. Proportions and massing of architectural elements consistent with those established in an approved Pattern Book or Village Center Design.

Response: The proposed revisions to the Village Center Architectural Standards Plaza Address Section 4.2(2) and Section 4.2(4) do not remove or revise the materials list; rather, the revisions modify the façade materials and percentage calculations.

The proposed modification allows 30% of each building to be finished with one or more of the following materials: brick stone or cast stone, stucco or plaster, including stucco boards composed of fiber cement reveal panels, poured-in concrete, or pre-cast concrete veneer, and/or metal panel systems. This is an alteration of the current standards which require 75% of the building to be covered by the above-mentioned materials and do not list stucco board, specifically.

Each building's primary façade facing the central plaza has at least 30% coverage of brick veneer and painted "stucco board" (which Planning clarified as Hardi panels, per the pre-application meeting on 01/10/2019). These materials accentuate the ground floor to define the building's base, as well as delineate between common area spaces and private housing. Painted fiber cement lap siding is the primary finish material for the private housing at the remainder of the building. These materials are used on all three proposed buildings, to provide consistency along the central plaza.

The proposed exterior building materials are per the VCAS standards under section 4.2; the percentage amount has been reduced, and the application of the percentage calculation is focused on the primary facades facing the central plaza. By focusing the brick veneer at the ground floor facing the plaza, the focus of these building's is placed at the streetscape level, at the public and common area spaces of each building. At the south side of the plaza, the Domaine at Villebois apartments also consolidates the brick

vener to the ground level, so the proposed building facades provide a consistent theme with finish materials at the ground level.



Above the brick base of each building, the building is a combination of fiber cement lap siding and “stucco board” (Hardi panels). Each material provides a different texture to the building façade, along with the light and dark paint colors which further break down the massing above.

The result is four unique façade designs wrapping the central plaza, with complementary finish materials and complementary color palettes. The brick veneer, storefront windows, and steel canopies all reinforce the ground level streetscape, to make the plaza a vibrant, pedestrian-friendly experience.

- b. **Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Pattern Book, Community Elements Book or approved Village Center Architectural Standards.**

Response: As mentioned above, this request is to update the VCAS in order to allow for more diverse building materials and to reduce the requirement for minimum percentages of finishes on proposed buildings in the Plaza Address.

- c. **Protective overhangs or recesses at windows and doors.**
- d. **Raised stoops, terraces or porches at single-family dwellings.**

e. Exposed gutters, scuppers, and downspouts.

Response: The proposed modification will have no effect on guidelines for protective overhangs, recesses at windows/doors, raised stoops, terraces/porches, gutters, scuppers, or downspouts, and is therefore, consistent with this standard.

f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: The proposed modification will have no effect on existing trees onsite, and is therefore, consistent with this standard.

g. A landscape plan in compliance with Section (.11), above.

Response: The proposed modification will have no effect on site landscaping and is therefore, consistent with this standard.

h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.

Response: This request is to update the VCAS in order to allow for more diverse building materials and to reduce the requirement for minimum percentages of finishes on proposed buildings in the Plaza Address. Allowing this amendment will provide opportunity for a variety in building design and therefore, compliance with this standard.

i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.

Response: The proposed modification will have no effect on detached housing and is therefore, consistent with this standard.

j. A porch shall have no more than three walls.

k. A garage shall provide enclosure for the storage of no more than three vehicles.

Response: The proposed modification will have no effect on porches or garage functionality and is therefore, consistent with this standard.

3. Lighting and site furnishings shall be in compliance with the approved Community Elements Book, or approved Village Center Architectural Standards.

Response: The proposed modification will have no effect on site lighting and is therefore, consistent with this standard.

4. Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein. Design creativity is encouraged. The LEED Building Certification Program of the U.S. Green Building Council may be used as a guide in this regard.

Response: Both stucco and fiber-cement siding/shingles are shown as permitted materials in the Village (V) zone, Table 3 (V-3). This is not currently reflected in the VCAS, which is what this amendment aims to achieve, as well as, the reduction in the requirement for minimum percentages of finishes on proposed buildings in the Plaza Address.

(.15) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE

A. In addition to the design principles found in Section 4.125(.13), above, the following principles reflect the fundamental concepts, support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities within the Village Center:

- 1.** The buildings, streets and open spaces of the Village Center are intended to relate in such a way as to create an identifiable and related series of public and private spaces.

Response: The proposed modification will have no effect on the street configuration or open spaces and is therefore, consistent with this standard. This request is to alter the VCAS in order to allow for building exteriors that will enhance the Village Center's character.

(.16) VILLAGE CENTER DESIGN STANDARDS

A. In addition to the design standards found in Section 4.125(.14), above, the following Design Standards are applicable to the Village Center, exclusive of single-family detached dwellings and row houses:

- 1.** Off-street parking areas shall not be located between buildings and the street.

Response: The proposed modification will have no effect on parking and is therefore, consistent with this standard.

- 2.** The design of off-street parking areas shall include pedestrian connections to the buildings they serve, sidewalks, and adjacent parking areas.

Response: The proposed modification will have no effect on parking and is therefore, consistent with this standard.

- 3.** The design of buildings and public spaces shall include interior (through-buildings) and exterior public pedestrian accessways, as required, to facilitate pedestrian connections.

Response: The proposed modification will have no effect on site layout and is therefore, consistent with this standard.

- 4.** The design of buildings shall include rear and side entrances in addition to primary street front entrances when necessary to facilitate pedestrian connections.

Response: The proposed modification will have no effect on site layout and is therefore, consistent with this standard.

5. **Building facades shall be broken into multiple vertical elements.**

Response: The proposed VCAS refinements allows for more building materials to be used on a buildings exterior, making it easier to comply with this standard.

6. **Canopies and awnings should be provided as specified in the Village Center Architectural Standards. [Section 4.125(.16)(A)(6) amended by Ord. No. 595, 12/5/05.]**

Response: The proposed modification is requesting the VCAS to be modified to allow for awnings and canopies to cover only entrances to the buildings. With the proposed modification,

7. **The design of buildings and landscapes shall provide opportunities for public art at a minimum of one location per block.**

Response: The proposed modification will have no effect on the possibility of public artwork and is therefore, consistent with this standard.

(.17) VILLAGE CENTER PLAZA DESIGN STANDARDS

- A. **In addition to the design standards found in Section 4.125(.16), above, the following Design Standards are specific to the design of the Village Center Plaza:**
 2. **The Village Center Plaza landscape shall consist of textured paving differentiated from typical street pavement. Vehicular movement and onstreet parking within the Village Center Plaza is encouraged to have similar paving treatments and occur at the same elevation as the sidewalk and the Village Center Plaza.**

Response: The proposed modification will have no effect on site paving materials and is therefore, consistent with this standard.

3. **The Village Center Plaza shall include the following:**
 - a. **Incorporation of existing significant trees, street furniture, bollards or similar elements, and exterior lighting.**

Response: The proposed modification will have no effect on street trees, furniture, or other site landscaping materials and is therefore, consistent with this standard.

- b. **One vertical tower element facing the Village Center Plaza with proportions, massing, and architectural elements consistent with the Village Center Architectural Standards.**

Response: Building B is designed to include a tower element. Driving northbound on SW Barber St, Building B becomes the focal point of the central plaza. The amenity terrace on the top floor serves as a contemporary tower, providing views of the plaza below and of Mt. Hood in the distance. The banding of the building's upper three floor levels accentuates the building's vertical design.

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

D. SAP Application Submittal Requirements:

- 3. Architectural Pattern Book - An Architectural Pattern Book shall be submitted with a SAP application. The Architectural Pattern Book shall apply to all development outside of the Village Center Boundary, as shown on Figure 1 of the currently adopted Villebois Village Master Plan. An Architectural Pattern Book shall address the following:**

Response: The proposed modification is located in the Village Center. Therefore, the Architectural Pattern Book is not addressed with this application.

- 7. Village Center Architectural Standards - Village Center Architectural Standards shall be submitted with an application for the Central SAP. The Village Center Architectural Standards shall apply to the portion of SAP Central within the Village Center boundary. This area is shown on Figure 1 of the currently adopted Master Plan. The Village Center Architectural Standards shall address the following:**

Response: The Village Center Architectural Standards (VCAS) were approved with Sap Central approval in 2006. This application is a request to modify specific portions of the VCAS as described in the Introductory Narrative located in Section IA of this report. The VCAS are located in Section IIIB with the edits that are being proposed.

- a. Provide an explanation of how the Village Center Architectural Standards is organized, and how it is to be used.**

Response: No modifications are proposed to the explanation of how the VCAS is organized or how it is to be used.

- b. Include a measurement or checklist system to facilitate review of development conformity with the Village Center Architectural Standards.**

Response: The only modifications proposed to the Compliance Checklist are corresponding changes to reflect modifications to required standards, as described herein.

- c. The Village Center Architectural Standards shall address Village Center Design Standards required by Sections 4.125(.16) and (.17), above.**

Response: The VCAS as approved in 2006 and amended in 2009 addressed the Village Center Design Principles and Standards required by Sections 4.125 (.15) and (.16). The

above responses to Sections 4.125(.15) and (.16) demonstrate how the proposed VCAS modification is consistent with the Village Center Design Principles.

d. Illustrate the boundaries of all Address Overlay Areas.

Response: No modifications are proposed to the graphic that illustrates the boundaries of all uniquely designated areas.

e. For each Address Overlay Area, the Village Center Architectural Standards shall include a narrative describing the intended characteristics.

Response: No modifications are proposed to the Address narratives that describe the intended characteristics.

f. The Village Center Architectural Standards shall include standards for all buildings regarding the following elements:

i. Building massing and proportions

ii. Roof forms, including typical components

iii. Building components, including but not limited to:

- Doors and primary entrances
- Canopies and awnings
- Windows
- Porches, balconies, bay windows.

Response: No modifications are proposed to the standards addressing building massing and proportions, roof forms, or the above-listed building components.

iv. Exterior materials and color palette

Response: The proposed modification includes requests in relation to the standards for building materials as follows: 1) to modify the minimum percentage standard for building façade materials in The Plaza Address to comply with the Village (V) zone.

g. The Village Center Architectural Standards shall work in coordination with the following SAP documents:

i. The Parks and Open Space Plan

ii. The Site Circulation Plan

iii. Composite Utility Plan

iv. The Master Signage and Wayfinding Plan

v. The Community Elements Book

vi. The Rainwater Management Program

Response: No modifications are proposed to the text of the VCAS that describes how it coordinates with and references the above-listed documents.

8. SAP Narrative Statement - A narrative statement shall be submitted, addressing the following:

- a. A description, approximate location and timing of each proposed phase of development within the SAP.
- b. An explanation of how the proposed development complies with the applicable standards of this section.
- c. A statement describing the impacts of the proposed development on natural resources within the SAP and how the proposed development complies with the applicable requirements of Chapter 4.
- d. Includes a description of the goals and objectives of the Villebois Village Master Plan and the Design Principles of the V-Zone, and how they will be met for the specified land use area.
- e. Includes information demonstrating how the Architectural Pattern Book satisfies the goals and concepts of the Villebois Village Master Plan, the Design Principles and Design Standards of the Village zone.
- f. Where applicable, a written description of the proposal's conformance with the Village Center Design Principles and Standards.

Response: This application is being submitted along concurrently with a PDP and FDP proposal. The Introductory Narrative in Section IA introduces this SAP Amendment. This report serves as the application's written conformance with the above-referenced documents.

E. SAP Approval Process and review Criteria:

- 1. An application for SAP approval shall be reviewed using the following procedures:
 - a. Notice of a public hearing before the Development Review Board regarding a proposed SAP shall be made in accordance with the procedures contained in Section 4.012.

Response: In accordance with the procedures contained in Section 4.012, the City shall provide notice of a public hearing before the Development Review Board on the proposed modification to the VCAS.

- b. The Development Review Board may approve an application for SAP approval only upon finding the following approval criteria are met:
 - i. That the proposed SAP:
 - Is consistent with the standards identified in this section.

Response: This report provides an explanation of how the proposed VCAS modification is consistent with the standards of the Village (V) zone.

- **Complies with the applicable standards of the Planning and Land Development Ordinance, and**

Response: Outside of the applicable standards of the Village (V) zone, other sections of the Planning and Land Development Ordinance do not apply to the proposed modification of the VCAS. As noted above, this report provides an explanation of how the proposed VCAS modification is consistent with the standards of the Village (V) zone.

- **Is consistent with the Villebois Village Master Plan. Those elements of the Village Master Plan with which the SAP must be consistent are the Plan's Goals, Policies, and Implementation Measures, and, except as the text otherwise provides, Figures 1, 5, 6A, 7, 8, 9A, and 9B.**

Response: This application is a request to modify the VCAS, which were approved as part of SAP Central and amended in 2009. This report provides an explanation of how the proposed officiation of the VCAS satisfies the applicable goals and concepts of the Villebois Village Master Plan.

- ii. **If the SAP is to be phased, as enabled by Sections 4.125(.18)(D)(2)(g) and (h), that the phasing sequence is reasonable.**

Response: The proposed modification of the VCAS will have no impact on the phasing schedule of SAP Central.

- iii. **The Development Review Board may require modifications to the SAP, or otherwise impose such conditions, as it may deem necessary to ensure conformance with the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.**

Response: The applicant acknowledges that the Development Review Board may require modifications or conditions that it deems necessary to ensure conformance with the Master Plan and other standards of the Wilsonville Planning and Land Development Ordinance.

IV. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the Village Zone and other applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Specific Area Plan Amendment. Therefore, the applicant requests approval of this application.



VILLEBOIS

Specific Area Plan - Central
Vol. III: Village Center Architectural Standards

Approved August 11, 2009
(City Case File DB09-0037)



Costa Pacific Communities
Master Planner
Fletcher Farr Ayotte
Architecture
Pacific Community Design
Landscape Architecture, Planning,
and Civil Engineering



O: Overview

- 1.1 Table of Contents
- 2.1 Purpose
- 2.2 The Address Overlay Concept
- 3.1 Where Applicable
- 3.2 How to Use
- 4.1 Compliance Checklist

A: Standards Applying to All Buildings

- 1.1 Building Types
- 1.2 Building Height and Roof Form
- 1.3 Horizontal Façade Articulation
- 2.1 Vertical Façade Articulation for All Mixed Use Buildings
- 3.1 Exterior Building Materials and Color
- 3.2 Architectural Character
- 3.3 Ground Level Building Components
- 4.1 Façade Components
- 5.1 Fencing

B: The Plaza Address

- 1.1 Narrative
- 2.1 Building Types
- 2.2 Building Height and Roof Form
- 3.1 Horizontal Façade Articulation
- 4.1 Corner Massing and Articulation
- 4.2 Exterior Building Materials
- 4.3 Ground Level Building Components
- 4.4 Façade Components

C: The Villebois Drive Address

- 1.1 Narrative
- 2.1 Building Types
- 2.2 Building Height and Roof Form
- 2.3 Horizontal Façade Articulation
- 2.4 Exterior Building Materials
- 3.1 Ground Level Building Components

D: The Barber Street Address

- 1.1 Narrative
- 2.1 Building Types
- 2.2 Building Height and Roof Form

- 2.3 Horizontal Façade Articulation
- 2.4 Exterior Building Materials
- 3.1 Ground Level Building Components
- 3.2 Façade Components

E: Woonerf Address

- 1.1 Narrative
- 2.1 Building Types
- 2.2 Building Height and Roof Form
- 2.3 Horizontal Façade Articulation
- 3.1 Exterior Building Materials
- 3.2 Façade Components
- 4.1 Ground Level Building Components

F: The Courtyard Address

- 1.1 Narrative
- 2.1 Building Types
- 2.2 Building Height and Roof Form
- 2.3 Horizontal Façade Articulation
- 3.1 Vertical Façade Articulation
- 4.1 Exterior Building Materials
- 4.2 Ground Level Building Components

G: The Linear Green Address

- 1.1 Narrative
- 2.1 Building Types
- 2.2 Building Height and Roof Form
- 3.1 Horizontal Façade Articulation
- 4.1 Exterior Building Materials
- 4.2 Ground Level Building Components
- 4.3 Façade Components

Appendix

- Glossary

2.1 Purpose

The purpose of the Village Center Architectural Standards (VCAS) is to ensure that development within the Village Center Boundary will be consistent with the Villebois Village Concept Plan and the Villebois Village Master Plan, as well as the Design Principles and Design Standards in the Village Zone. This document responds specifically to the appearance of row houses, mixed-use, retail/commercial components and multi-family developments within the Villebois Village Center boundary.

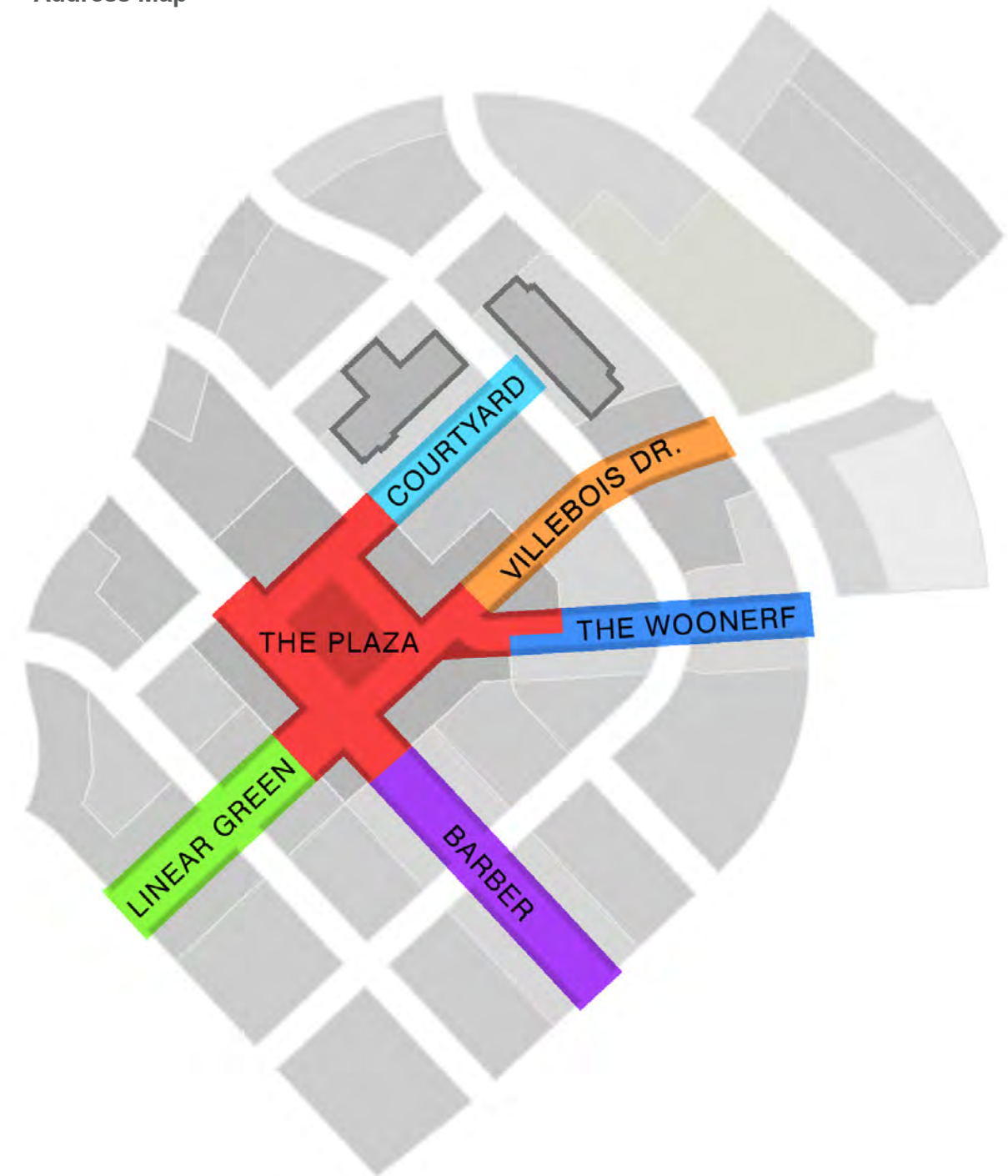
2.2 The Address Overlay Concept

Addresses are special overlay zones. They highlight unique areas in the development, providing additional information for the definition of architectural character. Addresses usually respond to development adjacent to specific amenities such as open spaces and major arterials. The six Addresses in the Village Center are the Plaza, Villebois Drive, Barber Street, The Woonerf, The Courtyard, and The Linear Green addresses as indicated on the Address Map.

As prescribed in the Village Zone Design Principles, the architecture must “create a place of distinct character.” This character, enacted through the Address, is not an applied style. Distinct places in the Village Center are created through consistency of materials, building heights and massing, roof forms, orientation to the street, and functions of building elements. Deliberate and specific variations further enhance memorableness of the spaces.

Often called “outdoor rooms,” streets and other public spaces are more likely to become visual amenities when their design is consistent and purposeful. The Address concept sets careful controls for building forms and use, but with broad allowances for interpretation. Simple text and graphic parameters for height, massing, and building elements describe the basic necessities for forming good public spaces. Variations are allowed; the most restrictive requirements are reserved for only the most important character defining elements.

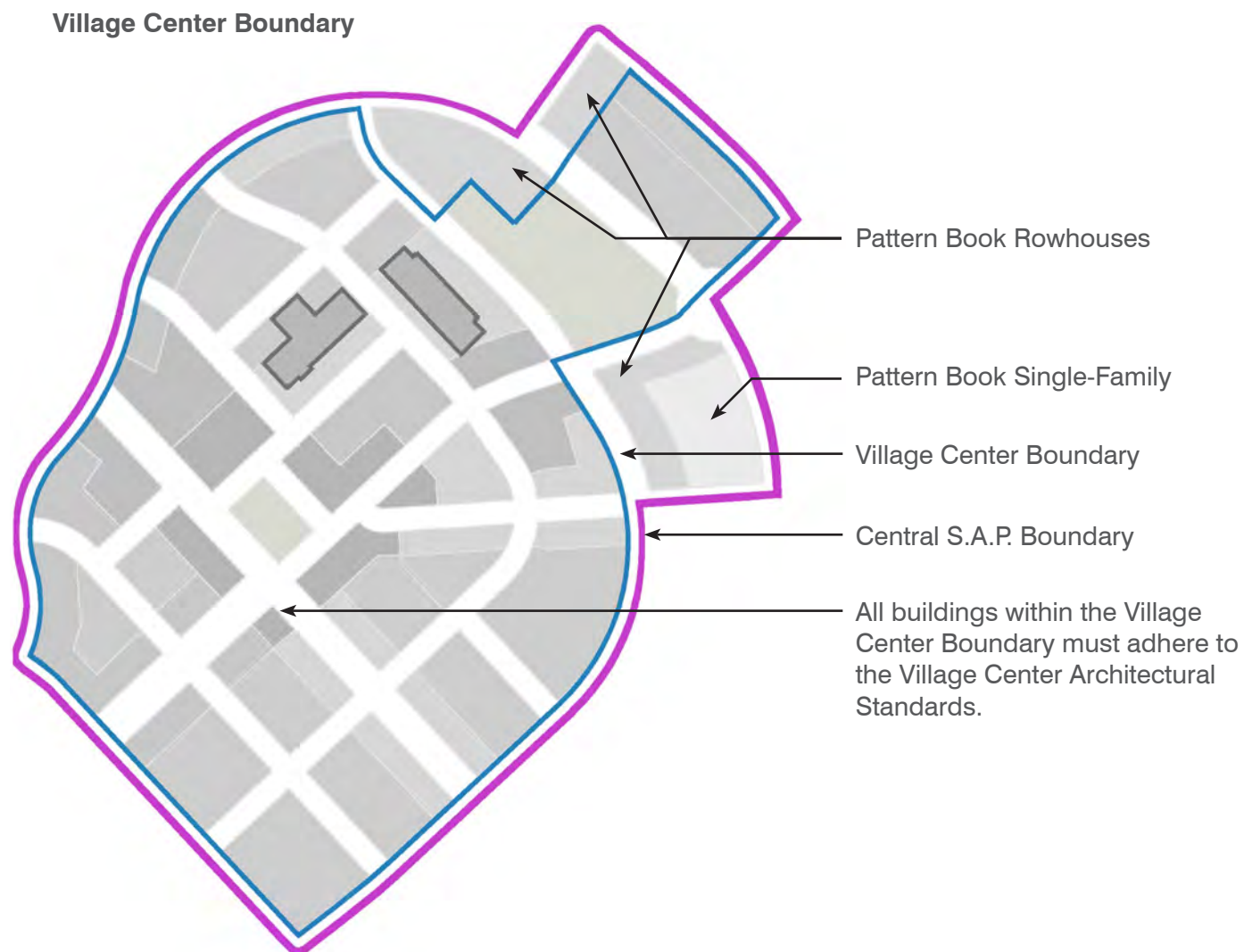
Address Map



3.1 Where Applicable:

The primary intent of the Address approach is to establish a character unique to its location within Villebois. Developments that have, or will have, a building address along any length of street indicated in the Address Map shall be subject to the additional Address requirements of this document. Buildings that are not within an Address overlay need only meet the requirements of Section A of this document.

All residential units outside the Village Center boundary, but within the Central Special Area Plan (S.A.P.), will have a separate set of design standards called the Architectural Pattern Book. See the following map for clarification:



To verify compliance with the requirements of this document and the Village Zone, all mixed-use developments, all multi-family developments, and all row house developments within Address boundaries shall be reviewed for compliance by the Development Review Board. All row houses outside of Address boundaries shall be reviewed by the Planning Director through a Class I administrative review process.

3.2 How to Use:

The Village Center Architectural Standards establishes common parameters for the multiple participants in the Village Center development. It is one of a number of documents that make up the Central S.A.P. submittal. Each document focuses on a specific element of community design: streets, parks, architecture, utilities, etc. In combination they establish the design intent for the built environment at Villebois. In addition to the VCAS, applicants should review the following for relevance to their respective developments:

- Village Zone (Section 4.125 of Wilsonville’s Planning and Land Development Ordinance)
- The Central S.A.P. documents:
 - Site Circulation Plan
 - Parks and Open Space Plan
 - Community Elements Book
 - Architectural Pattern Book (for reference)
 - Master Signage and Wayfinding Plan
 - Rainwater Management Program
 - Composite Utility Plan

Applicants should consider that the Village Zone sets the basic requirements for building location and mass, as well as parking and other site requirements. Should any requirement of this document and the Village Zone conflict; this document shall be considered the more restrictive. Also, some requirements apply to **all** the designated Addresses and are found in Section A: Standards Applying to All Buildings. Further standards can be found under the heading of each Address.

Each section is divided into three components: first, the **Intent** statement; next, the **Required Standards**; finally, **Optional** is a list of additional ways to implement the intent of the section. Most sections also contain diagrams. **Note: all diagrams are provided for clarification only.** The diagrams are not required standards; they are only an illustration of one of the possible ways of meeting the standard.

This document provides the City of Wilsonville with the means to objectively evaluate proposals in the design review process. The Required Standards are written to be clear and objective. Some Standards provide a list of acceptable techniques to allow for greater flexibility. However, as with all language, interpretation will occasionally vary. The VCAS is a measurement tool with which each submittal can be tested whether the design intent is being met.

The reviewing bodies decide whether or not the proposed development meets the design intent of the particular Address. Applicants are encouraged to use the outline format of the relevant sections of this document to organize a written and graphic summary of the proposed development’s compliance with the Standards.

In the application of these Standards, all construction shall comply with the Oregon State Building Code and all other applicable governmental regulations. In the case of all materials and methods mentioned here, governmental regulations shall take precedence.

See the **Appendix** for a glossary of terms used in this document. As several terms are specific to this document, it is important that applicants familiarize themselves with their meaning.



**Villebois Village Center Architectural Standards
Compliance Checklist**

Fletcher Farr Ayotte, Inc.

Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
O:1		Review Address Overlay: Purpose and Overlay Concept	<i>general familiarity</i>				
O:2		Review Village Center Boundary and "How to Use" Section	<i>general familiarity</i>				
O:3		Determine Project Location within the Village Center	General Village Center Location				YES: Proceed with tasks A:1 through A:4
							NO: VCAS Does Not Apply - See other appropriate SAP
			Address Overlay Zone				YES: Proceed with tasks A:1 through A:4 and B through G (as appropriate)
A:1.0		Standards Applying to All Buildings	<i>general familiarity</i>				
A:1.1		Building Types					
A:1.2		Building Height & Roof Form					
		Required Standards:					
0.1		Maximum Building Height					
0.2		Other Height Limitations					
0.3		Check Building Height Measurement Method - Vzone 4.001					
0.4		Rooftop Equipment Screening					
0.5		Roof Gardens					
		Optional:					
0.6		Maximum Allowable Height Encouraged					
0.7		minimize shading of outdoor areas					
A:1.3		Horizontal Façade Articulation					
		Required Standards:					
0.1		Horizontal façades articulated into smaller units.					
0.2		Incorporate offsets, projections, reveals, and/or similar elements.					
		Optional:					
0.3		Articulation extended to the roof.					
A:2.1		Vertical Façade Articulation for All Mixed Use Buildings					
		Required Standards:					
0.1		Express a division between base and top.					
0.2		Use of Arcade to Accomplish 0.1					
		Optional:					
0.3		Division between base and top occurs at floor level of programmatic division.					
0.4		Storefront design different from residential window detailing.					
0.5		Differentiation of a building's base at corners.					
0.6		Base design incorporates design features.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
A:3.1		Exterior Building Materials & Color					
		Required Standards:					
0.1		Heavier and more massive materials at the building base.					
0.2		Bright, intense colors reserved for accent trim.					
0.3		Bright colors not used for commercial purposes.					
0.4		Acceptable concrete block at a public way.					
0.5		Exteriors constructed of durable and maintainable materials					
		Optional:					
0.6		Exterior materials with integral color, patterning, and/or texture.					
0.7		Utilize PGE Earth Advantage™ and/or the LEED Building Certification Program					
A:3.2		Architectural Character					
		Required Standards:					
0.1		Definitive, consistent architectural character.					
0.2		Detail and trim features consistent with the architectural style.					
0.3		Secondary façade design includes min. 25% wall length of primary façade details and materials.					
0.4		All visible sides of buildings display a similar level of quality and visual interest.					
0.5		Accessory buildings designed/ integrated with primary building.					
0.6		Architect consultation regarding architectural style.					
0.7		Building elevations not repeating on adjacent blocks.					
A:3.3		Ground Level Building Components					
		Required Standards:					
0.1		Building setbacks and frontage widths per Table V-1. Detached row house max. 10' separation at front.					
0.2		Retail oriented toward street or public way.					
0.3		Mixed use buildings: residential entries differentiated from adjacent retail entries.					
0.4		Weatherproof roof covering at entries.					
0.5		Indirect or shielded building lighting.					
0.6		Parking structures screened from street.					
0.7		Storefront windows with a canopy or awning.					
0.8		Discouraged use of sight-obscuring glass.					
0.9		Landscaping or screening of parking between buildings and street					
		Optional:					
0.10		Create indoor/outdoor relationships.					
0.11		Canopies and awnings for weather protection.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
A:4.1		Façade Components					
		Required Standards:					
0.1		Windows and doors recessed 3".					
0.2		Balconies - 36" Max. projection.					
0.3		Shutters sized for operable appearance.					
0.4		Balconies at least 5 feet deep. Porches min. 4' covered depth and min. usable area 6' x 6'.					
		Optional:					
0.4		Windows square or vertical in proportion.					
0.5		Material changes at a horizontal line or inside corner of two vertical planes.					
0.6		Residential units with outdoor living space.					
0.7		Expression of the rainwater path.					
0.8		Building fronts taking on uneven angles to accommodate street.					
0.9		Encourage wide-opening windows					
0.10		Discourage high window sills					
0.11		Encourage finishing touches and ornament					
A:5.1		Fencing					
		Required Standards:					
0.1		See applicable sections of the Village Zone					
0.2		Requirements apply to fences & walls located between right-of-ways and building lines					
0.3		See address overlays for addn'l requirements					
0.4		Less fencing than the maximum allowable extent is allowed.					
0.5		Fencing consistent with architectural character					
0.6		Fencing at courtyard, outdoor lobby, or other public entries > 50% transparent					
0.7		Fencing within the first 2'-0" setback > 50% transparent					
0.8		Fencing located within interior side yards offset = > 4'-0"					
0.9		Posts, pilasters, columns or bollards may extend addn'l 8"					
0.10		Fencing may not change height at corners					
0.11		Screen loading facilities, trash enclosures, and ground-level mechanical and utility equip.					
		Optional:					
0.12		Fencing consistent with building railings					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
B:1.1		The Plaza Address	<i>general familiarity</i>				
B:2.1		Building Types - per Table V-1					
B:2.2		Building Height & Roof Form					
		Required Standards:					
0.1		Average Façade Height of 45 feet.					
0.2		Required roof form.					
0.3		Mansard roof design.					
0.4		Tower element roof design.					
		Optional:					
0.5		Mansard roofs with visual interest.					
0.6		Parapets with substantial overhangs.					
0.7		Roof decks.					
B:3.1		Horizontal Façade Articulation					
		Required Standards:					
0.1		Horizontal façades >60' articulated into smaller units.					
B:4.1		Corner Massing & Articulation					
		Required Standards:					
0.1		Emphasize unique site aspect of "corner."					
0.2		Differentiate building corner design from adjacent/nearby corners.					
B:4.2		Exterior Building Materials					
		Required Standards:					
0.1		The requirements of this Section supersede Table V 4.					
0.2		Req. materials at min. 75% of each façade.					
0.3		Additional materials (25%) at each façade.					
0.4		% applies only to the façades facing a public or private street.					
0.5		Doors, windows and trim excluded from % calculation.					
0.6		Glass with less than 20%reflectance.					
B:4.3		Ground Level Building Components					
		Required Standards:					
0.1		Corporate designs compatible with architectural character.					
0.2		Req. elements at any ground-floor, street-facing façade.					
0.3		Mixed use buildings shall have canopy or awning.					
		Optional:					
0.4		Storefront design unique for each tenant.					
0.5		Metal or glass canopies.					
0.6		Rolling or operable awnings.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
B:4.4		Façade Components					
		Required Standards:					
0.1		Scuppers and downspouts are metal or clay.					
0.2		Outdoor living spaces recessed into the building façade.					
0.3		Wood or simulated wood railing or fencing is prohibited.					
		Optional:					
0.4		French balconies and cantilevered bay windows two feet or less in depth are encouraged.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
C:1.1		Villebois Drive Address	<i>general familiarity</i>				
C:2.1		Building Types - per Table V-1.					
C:2.2		Building Height & Roof Form					
		Required Standards:					
0.1		Minimum Building Height: (2)stories.					
0.2		Flat or low slope roof w/ parapet					
		Optional:					
0.3		Dormers, chimneys & light monitors					
0.4		Variations on roof forms are encouraged.					
0.5		Variety of roof heights and configurations are encouraged.					
C:2.3		Horizontal Façade Articulation					
		Required Standards:					
0.1		Horizontal façades >60' articulated into smaller units.					
C:2.4		Exterior Building Materials					
		Required Standards:					
0.1		The requirements of this Section supersede Table V 4.					
0.2		Req. materials at min. 30% of each façade.					
0.3		Additional materials (60%) at each façade.					
0.4		% applies only to the façades facing a public or private street.					
0.5		Doors, windows and trim excluded from % calculation.					
0.6		Glass with less than 20%reflectance.					
C:3.1		Ground Level Building Components					
		Required Standards:					
0.1		The ground level of multi-family or mixed-use buildings is Flex Space.					
0.2		Ground level residential units utilize buffering elements.					
		Optional:					
0.3		Row Houses exempt fromFlex Space requirements.					
0.4		Mixed Use requirements for construction.	<i>general note</i>				



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
D:1.1		The Barber Street Address	<i>general familiarity</i>				
D:2.1		Building Types - per Table V-1.					
D:2.2		Building Height & Roof Form					
		Required Standards:					
0.1		Minimum Building Height: (2)stories.					
0.2		Roof forms within a set of row houses similar in character.					
		Optional:					
0.3		Building facades in a set of row houses identical or similar in height.					
D:2.3		Horizontal Façade Articulation					
		Required Standards:					
0.1		Each row house articulated as individual unit.					
		Optional:					
0.2		Change of primary façade material per dwelling unit not preferred.	<i>general note</i>				
D:2.4		Exterior Building Materials					
		Required Standards:					
0.1		The requirements of this Section supersede Table V 4.					
0.2		Req. materials at min. 15% of each façade.					
0.3		Additional materials (85%) at each façade.					
0.4		% applies only to the façades facing a public or private street.					
0.5		Doors, windows and trim excluded from % calculation.					
0.6		Glass with less than 20%reflectance.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
D:3.1		Ground Level Building Components					
		Required Standards:					
0.1		Each row house has a porch or stoop.					
0.2		Dwelling entrances differentiated from neighboring entrances.					
0.3		Porches / stoops within a set of row houses compliment each other.					
		Optional:					
0.4		Stacked (two-story) porches.					
0.5		Porches and stoops with columns, posts & other structural features.					
0.6		Extra wide formal steps.					
0.7		Porches continuous along entire facade width.					
D:3.2		Façade Components					
		Required Standards:					
0.1		Projecting porches, balconies and decks are not allowed above the 2nd floor on street facing facades.					
0.2		Scuppers and downspouts shall be metal or clay - connected to street's drainage.					
		Optional:					
0.3		Façade components within each set of row houses are similar.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
E:1.1		Woonerf Address	<i>general familiarity</i>				
E:2.1		Building Types - per Table V-1. Row houses must be attached.					
E:2.2		Building Height & Roof Form					
		Required Standards:					
0.1		Minimum Building Height: (2)stories.					
0.2		Roof forms in a set of row houses substantially similar in character.					
		Optional:					
0.3		Buildings façades in a set of row houses are similar in height.					
E:2.3		Horizontal Façade Articulation					
		Required Standards:					
0.1		Each row house articulated as individual unit.					
		Optional					
0.2		Change of primary façade material per dwelling unit not preferred.	<i>general note</i>				



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
E:3.1		Exterior Building Materials					
		Required Standards:					
0.1		The requirements of this Section supersede Table V 4.					
0.2		Req. materials at min. 40% of each façade.					
0.3		Additional materials (60%) at each façade.					
0.4		% applies only to the façades facing a public or private street.					
0.5		Doors, windows and trim excluded from % calculation.					
0.6		Glass with less than 20% reflectance.					
		Optional:					
0.7		Brick is compatible with street pavers.					
E:3.2		Façade Components					
		Required Standards:					
0.1		Scuppers and downspouts shall be metal or clay - connected to street's drainage.					
0.2		Projecting porches, balconies and decks are not allowed above the 1st floor on street facing facades.					
0.3		Wood or simulated wood railing or fencing is prohibited.					
		Optional:					
0.4		Windows designed as small punched openings in a thick wall.					
0.5		French balconies and bay windows two feet or less in depth.					
0.6		Façade components within each set of row houses are similar.					
E:4.1		Ground Level Building Components					
		Required Standards:					
0.1		Each row house has a stoop or terrace.					
0.2		The stoop or terrace shall be 30" above grade.					
0.3		Each row house has a private outdoor living space at the entry façade.					
		Optional:					
0.4		Stoops and terraces in each set of row houses are similar.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
F:1.1		The Courtyard Address	<i>general familiarity</i>				
F:2.1		Building Types - per Table V-1.					
F:2.2		Building Height & Roof Form					
		Required Standards:					
0.1		Maximum Building Height for new buildings is 40 feet.					
0.2		Maximum Building Height for existing buildings (including new construction levels) is 60 feet.					
0.3		The roof form for all new buildings and new levels is a flat, low-slope, or shed roof with a parapet or substantial overhang.					
		Optional:					
0.4		Buildings façades in a set of row houses are similar in height.					
0.5		Roof gardens, "green-roofs", and roof trellises.					
F:2.3		Horizontal Façade Articulation					
		Required Standards:					
0.1		The southeast (new construction) address length is broken into at least two building masses with a public pedestrian connection between Villebois Drive and the Courtyard.					
0.2		Horizontal façades are articulated into smaller units.					
		Optional:					
0.3		Horizontal articulation should extend to the roof.					
F:3.1		Vertical Façade Articulation					
		Required Standards:					
0.1		Differentiation of building's base.					
		Optional:					
0.2		Use of the required upper unit setback for outdoor space.					
0.3		Differentiation of base may vary in height and setback depth.	<i>general note</i>				



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
F:4.1		Exterior Building Materials					
		Required Standards:					
0.1		The requirements of this Section supersede Table V 4.					
0.2		For the new construction length of the address, the first floor (min.) shall have vertical walls (excluding doors and windows) finished in material compatible in color and texture to the material used on the existing buildings.					
0.3		Wood or simulated wood railing or fencing is prohibited.					
		Optional:					
0.4		Unique materials and innovative use of materials.					
0.5		Exteriors constructed of durable and maintainable materials					
F:4.2		Ground Level Building Components					
		Required Standards:					
0.1		Ground level units at existing buildings have direct access to a private yard or terrace.					
0.2		Ground level units at new buildings are at grade and have direct access to a private yard or shared outdoor space.					
0.3		Off-street parking meeting noted requirements will be allowed in front of the existing buildings.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
G:1.1		The Linear Green Address	<i>general familiarity</i>				
G:2.1		Building Types - per Table V-1.					
G:2.2		Building Height & Roof Form					
		Required Standards:					
0.1		Buildings are three stories or greater in height.					
0.2		Principal roofs shall have 6:12 or greater pitch.					
		Optional:					
0.3		Dormers, light monitors & chimneys.					
0.4		Roof forms similar in character.					
G:3.1		Horizontal Façade Articulation					
		Required Standards:					
0.1		Horizontal façades longer than 60' are articulated through consistent and rhythmic facades.					
		Optional:					
0.2		Each dwelling need not be articulated as an individual unit.					
0.3		Buildings on opposite sides of the street are similar in mass, material, color, and articulation.					
G:4.1		Exterior Building Materials					
		Required Standards:					
0.1		The requirements of this Section supersede Table V-4.					
0.2		Req. materials at min. 30% of each façade.					
0.3		Additional materials (70%) at each façade.					
0.4		% applies only to the façades facing a public or private street.					
0.5		Doors, windows and trim excluded from % calculation.					
0.6		Glass with less than 20% reflectance.					



Task #	Complete	Task Description	Notes:	Compliant	Conditional Compliance	Non-Compliant	Comments:
G:4.2		Ground Level Building Components					
		Required Standards:					
0.1		Developments include at least (2) listed elements at all primary building entrances.					
0.2		Ground level units are at grade and have direct access to a yard.					
0.3		Each unit shall have a fence between the yard and street.					
		Optional:					
0.4		Vertically stacked units share a common entry.					
0.5		Raised entries (stoop).					
0.6		Metal Fences					
G:4.3		Façade Components					
		Optional:					
0.1		Rythmic building elements.					



1.0 Standards Applying to All Buildings Within the Village Center Boundary

All development within an Address overlay must meet the requirements of this section in addition to the specific Address requirements.

Development that is not within an Address overlay, but within the Village Center Boundary, must also meet all requirements of this section.

1.1 Building Types

The Building Type, as per **Table V-1: Development Standards** (Village Zone), sets the building height and setback requirements. Additionally, the character of each Address is derived, in part, from assumptions about the types of products that will be developed. Therefore, this document establishes the appropriate Building Type(s) for each Address. For example, the Architectural Standards for The Courtyard Address assumes that a Row House building type is most appropriate to the intended character of the space. Whether the dwelling units are apartments, condominiums, or fee-simple is beyond the scope of this document.

All buildings outside the Address overlays shall meet the development standards of the Village Zone per the proposed Building Type. Row houses outside of an address overlay may be detached or attached and are subject to Row Houses - Village Center in Table V-1: Development Standards (Village Zone).

1.2 Building Height & Roof Form

Intent:

Strengthen the perception of streets and open spaces as public rooms by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) Maximum Building Height shall be as required by **Table V-1: Development Standards** (Village Zone).
- 2) See Address for other height limitations, such as number of stories or Average Façade Height.
- 3) Building Height measurement is defined in **Section 4.001 Definitions** (Village Zone).
- 4) Rooftop equipment shall be screened from view of taller buildings, whether existing or future, to the extent feasible.
- 5) At least two roof gardens within SAP Central shall be provided where appropriate to desired roof form (i.e. flat roofs).

Optional:

- 6) Buildings are encouraged to approach the maximum allowable height or number of stories.
- 7) Building design should minimize the impact of shading of public and private outdoor areas from mid-morning to mid-afternoon hours.

1.3 Horizontal Façade Articulation

Intent:

Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Horizontal articulation: Horizontal façades shall be articulated into smaller units. Appropriate methods of horizontal facade articulation include two or more of the following elements: change of facade materials, change of color, facade planes that are vertical in proportion, bays and recesses, breaks in roof elevation, or other methods as approved. (See individual Address for allowed and encouraged methods of horizontal articulation.)
- 2) Building façades should incorporate design features such as offsets, projections, reveals, and/or similar elements to preclude large expanses of uninterrupted building surfaces.

Optional:

- 3) Articulation should extend to the roof. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.

2.1 Vertical Façade Articulation for All Mixed Use Buildings

Intent:

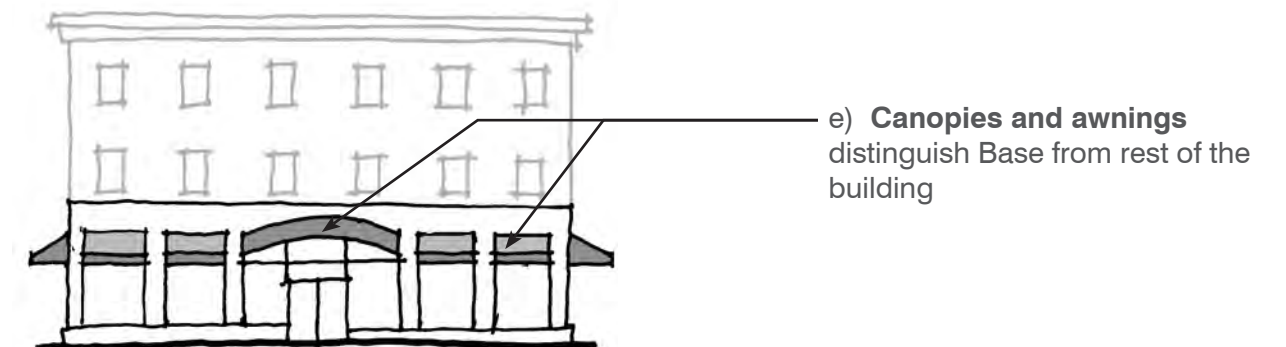
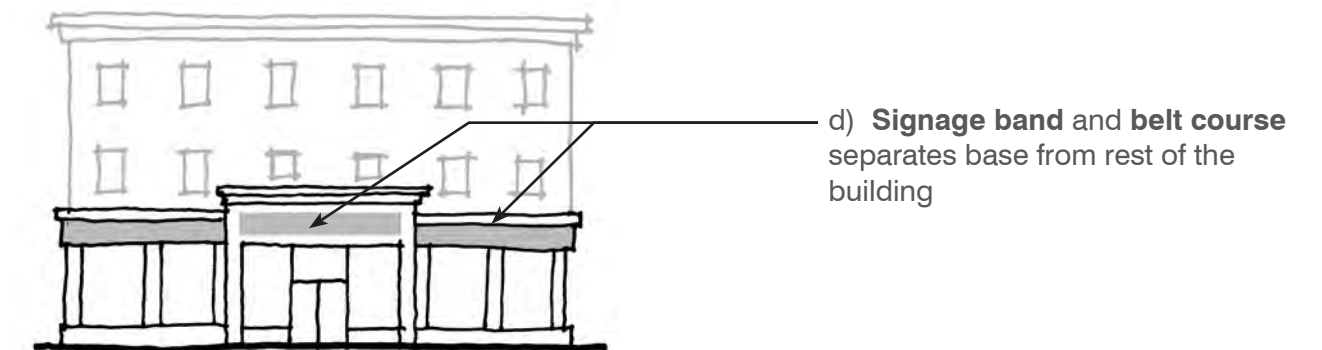
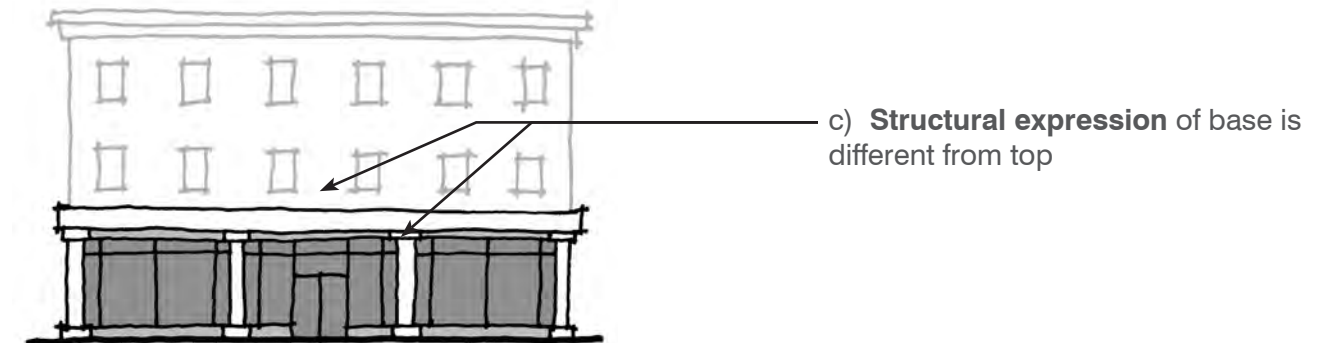
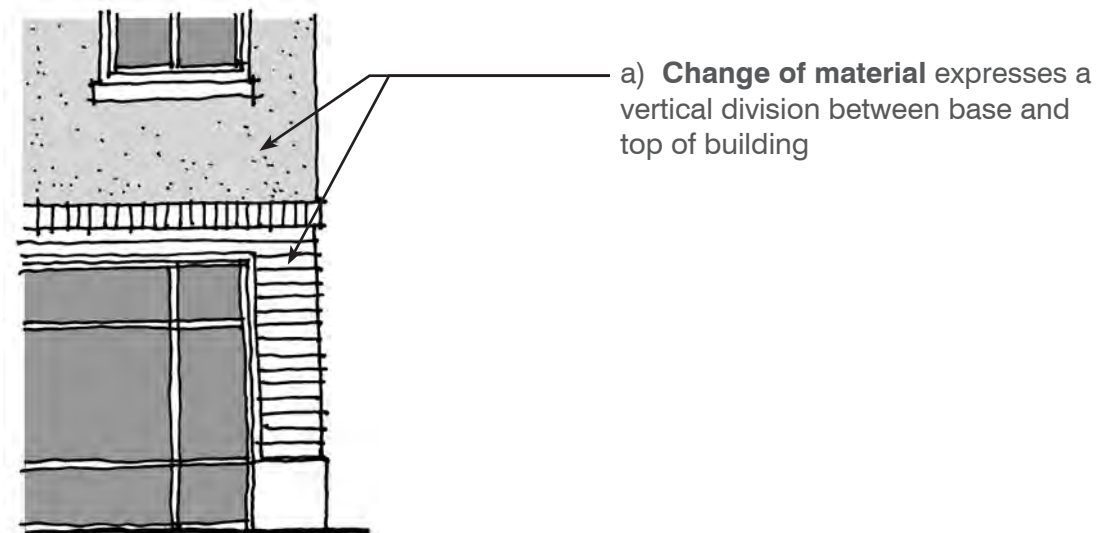
Establish a distinct vertical façade separation consistent with historic village centers. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Vertical mixed-use buildings shall express a division between base and top. At least two of the following methods of horizontal articulation shall be incorporated:
 - a) Change of material;
 - b) Change of color, texture, or pattern of similar materials;
 - c) Change of structural expression (for example, pilasters with storefronts spanning between at the base and punched openings above);
 - d) Belt course; and/or
 - e) Line of canopies and/or awnings. To meet this strategy, canopies or awnings shall project at least 4 feet and cover at least 70% of the façade length.
- 2) When used, an arcade alone is sufficient to meet the requirement of differentiation of a building's base. An arcade may be attached or recessed and shall be sufficient in depth and height so as to be used as a passageway.

Optional:

- 3) The division between base and top should occur at or near the floor level of programmatic division. Example: a building with one story of retail, one story of office, and two stories of residential would have a two-story base.
- 4) Storefront design should be substantially different from the residential window detailing.
- 5) Differentiation of a building's base should extend to building's corners but may vary in height. If building is at a corner, all facades must meet the requirement. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.
- 6) Base design should incorporate design features such as recessed entries, shielded lighting, projecting signage, masonry storefront base, and/or similar elements to preclude long expanses of undistinguished ground level uses.





3.1 Exterior Building Materials & Color

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) When multiple materials are used on a façade, visually heavier and more massive materials shall occur at the building base, with lighter materials above the base. A second story, for example, shall not appear heavier or demonstrate greater mass than that portion of the building supporting it. Generally, masonry products and concrete are considered “heavier” than other façade materials.
- 2) Bright, intense colors shall be reserved for accent trim. However, a color palette that includes more intense color may be considered upon review of a fully colored depiction of the building.
- 3) Bright colors shall not be used for commercial purposes to draw attention to a building.
- 4) Concrete block shall be split-faced, ground-faced, or scored where facing a street or public way. Concrete block is discouraged around the plaza.
- 5) Exteriors should be constructed of durable and maintainable materials that have texture, pattern, or lend themselves to quality detailing.

Optional:

- 6) Exterior materials should have an integral color, patterning, and/or texture.
- 7) Sustainable building materials and practices are strongly encouraged. Programs such as the Portland General Electric Earth Advantage™ and the LEED Building Certification Program of the U.S. Green Building Council may be used as guides in this regard.

3.2 Architectural Character

Intent:

Encourage creative expression through diversity of architectural character. Ensure consistency and accuracy of architectural styles.

Required Standards:

- 1) Each building shall have a definitive, consistent Architectural Character (see glossary). All primary façades of a building (those façades that face a public street) shall be designed with building components and detail features consistent with the architectural character of the building.
- 2) Mixing of various Architectural Styles (see glossary) on the same building dilutes the character and is therefore not allowed. If a historic architectural style is selected, then all detail and trim features must be consistent with the architectural style.
- 3) Secondary façades attached to a primary façade (such as a side wall not facing a public street) shall wrap around the building by incorporating building material features of the primary façade for a minimum of 25 percent of the overall wall length measured from the primary façade.
- 4) All visible sides of buildings should display a similar level of quality and visual interest. The majority of a building’s architectural features and treatments should not be restricted to a single façade.
- 5) Accessory buildings should be designed and integrated with the primary building. Exterior façades of an accessory building should employ architectural, site, and landscaping design elements that are integrated with and common to those used on the primary structure.
- 6) Applicants are encouraged to consult an architect or architectural historian regarding appropriate elements of architectural style.
- 7) In areas not within an address, building elevations of block complexes shall not repeat an elevation found on an adjacent block.

3.3 Ground Level Building Components

Intent:

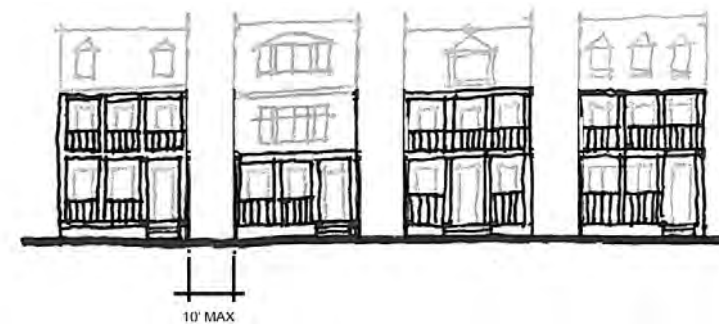
Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Required Standards:

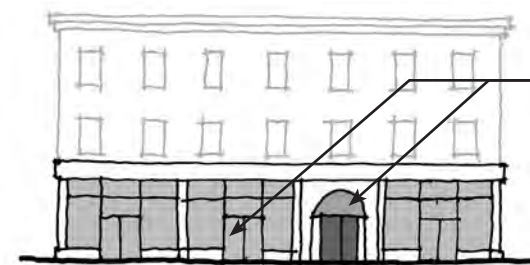
- 1) Building setbacks and frontage widths shall be as required by Table V-1: Development Standards unless specifically noted otherwise by an Address requirement. Detached row houses shall not be separated at front façade by more than 10’, except as necessary to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, open space requirements, or as otherwise approved by the DRB.
- 2) Retail shall be oriented toward the adjacent street or public way and have direct access from sidewalks through storefront entries. Secondary entry from the parking lot side is allowed, however the street side shall have the primary entrance.
- 3) Mixed use buildings: residential entries, where opening to streets and public ways, shall be differentiated from adjacent retail entries and provide secure access through elevator lobbies, stairwells, and/or corridors.
- 4) All entries, whether retail or residential, shall have a weatherproof roof covering, appropriate to the size and importance of the entry but at least 4 feet deep and 4 feet wide.
- 5) Building lighting, when provided, shall be indirect or shielded.
- 6) Parking structures shall be screened from streets using at least two of the following methods:
 - a) Residential or commercial uses, where appropriate;
 - b) Decorative grillwork (plain vertical or horizontal bars are not acceptable);
 - c) Decorative artwork, such as metal panels, murals, or mosaics; and/or
 - d) Vegetation, such as trees, shrubs, ground cover and/or vines, adjacent to the wall or grillwork surface.
- 7) For mixed-use buildings, within the plaza address every storefront window shall have a canopy or awning.
- 8) Reflective, heavily tinted, or other sight-obscuring glass is strongly discouraged in commercial spaces and on windows larger than four square feet.
- 9) Landscaping or other form of screening shall be provided when parking occurs between buildings and the street.

Optional:

- 10) Create indoor/outdoor relationships by opening interior spaces onto walkways and plazas and bring the “outdoors” into the building by opening interior spaces to air and light. Overhead garage doors, telescoping window walls, and low window sill heights are good strategies for creating indoor/outdoor relationships.
- 11) The primary function of canopies and awnings is weather protection. Signage requirements are found in the Signage and Wayfinding Plan.



Detached row houses shall not be separated at front façade by more than 10’



Residential entries in Mixed Use buildings shall be distinguished from adjacent retail uses

4.1 Façade Components

Intent:

Maintain a lively and active street face. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

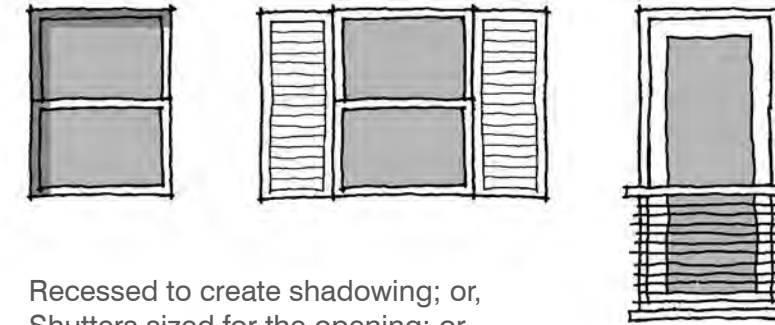
Required Standards:

- 1) Windows and doors shall be recessed 3 inches (i.e., into the façade) to provide shadowing. Windows and doors recessed less than 3 inches are allowed, provided they also incorporate at least one of the following:
 - a) Shutters, appearing operable and sized for the window opening;
 - b) Railing, where required at operable doors and windows (i.e. French balcony); and/or
 - c) Visible and substantial trim. Trim is considered visible and substantial when it is of a contrasting material, color, or it creates shadowing. Stucco trim on a stucco facade is not acceptable.
- 2) Balconies shall extend no more than 36 inches beyond the furthestmost adjacent building face. Balconies are encouraged to extend into the building facade to achieve greater depth than 36 inches.
- 3) Shutters, where provided, shall be sized to appear operable at window or door openings.
- 4) Except in the plaza address, balconies shall be at least five feet deep. Porches shall have a min. 4 feet covered depth and provide a minimum usable area of 6' x 6'.

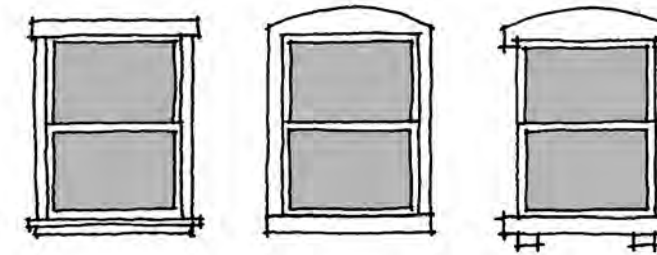
Optional:

- 4) Individual residential windows should be square or vertical in proportion. An assembly of windows, however, may have an overall horizontal proportion.
- 5) Material changes should occur at a horizontal line or at an inside corner of two vertical planes.
- 6) Every residential unit is encouraged to have some type of outdoor living space: balcony, deck, terrace, stoop, etc.
- 7) Expression of the rainwater path (conveyance of rainwater from the building roof to the ground) should be expressed at street-facing facades. Expression of the rainwater path includes the use of scuppers and exposed gutters & downspouts. Some of the Village Center streets feature surface rainwater drainage; where applicable, buildings shall have downspouts connected to the drainage system.
- 8) Building fronts are encouraged to take on uneven angles as they accommodate the shape of the street.
- 9) Encourage wide opening windows. Install small window panes where the style of architecture dictates.
- 10) The use of high window sills is discouraged.
- 11) The use of finishing touches and ornament is encouraged on buildings.

Allowed window and door articulation

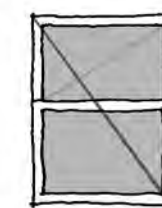


Recessed to create shadowing; or, Shutters sized for the opening; or Railing (French Balcony); or Visible and substantial trim.

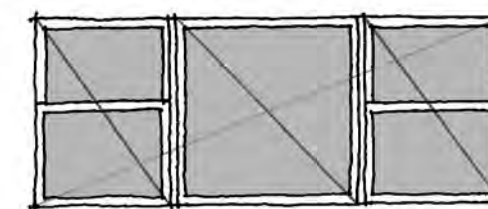


Examples of visible and substantial trim

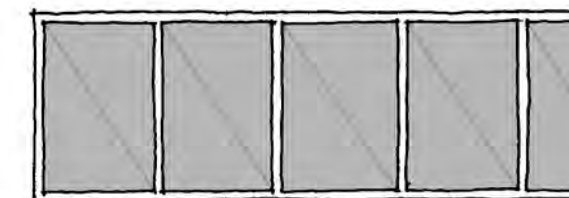
Individual residential windows should be **square or vertical in proportion**



Glass panes need not be vertical in proportion so long as the window unit is vertical.



Assembly of windows is horizontal, but each individual unit is vertical



Not encouraged: Long repetitive strip of windows



5.1 Fencing

Intent:

Ensure that fencing is compatible with the building design and consistent throughout the Village Center.

Required Standards:

- 1) See all applicable sections of the Village Zone, including but not limited to **Section 4.125(.14) Table V-4: Permitted Materials and Configurations** and **Section 4.125(.05) D. Fences**.
- 2) The following fencing requirements apply to all fences and walls located between right-of-ways and building lines.
- 3) See Address overlay sections for additional requirements.
- 4) Except where specifically required by Address overlays, fences are optional. Less fencing than the maximum allowable extent is allowed.
- 5) Fencing shall be consistent with the Architectural Character of adjacent buildings. See Architectural Character, this section.
- 6) Fencing controlling access to a courtyard, outdoor lobby, or other public entries shall be greater than 50% transparent.
- 7) Fencing located within the first 2'-0" setback from right-of-ways shall be greater than 50% transparent.
- 8) Fencing located within interior side yards or separating buildings on the same lot shall be offset 4'-0" or greater behind the adjacent front building line.
- 9) Posts, pilasters, columns, or bollards may extend an additional 8" above the maximum height of any allowed fencing.
- 10) Fencing may not change height at corners. They must have level top surfaces and transition at posts to maintain height as required by changes in grade elevation.
- 11) Loading facilities, trash enclosures, and ground-level mechanical and utility equipment: These facilities shall be sited at the rear or side of buildings wherever practicable, and shall be screened where visible from the street. Screening shall match the adjacent development in terms of quality of materials and design. Such screening shall minimize light glare and noise levels affecting adjacent residential uses.

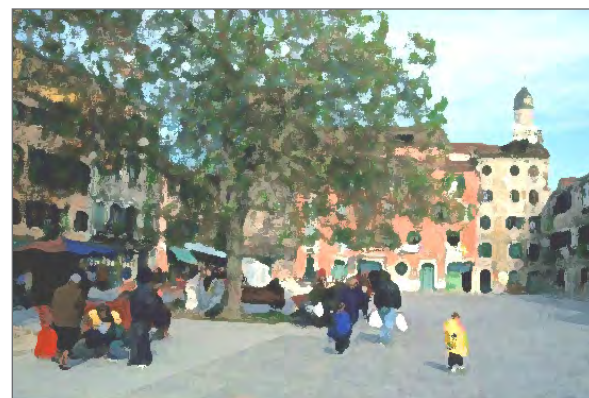
Optional:

- 12) Fencing is encouraged to be consistent with building railing at balconies, decks, porches, etc.

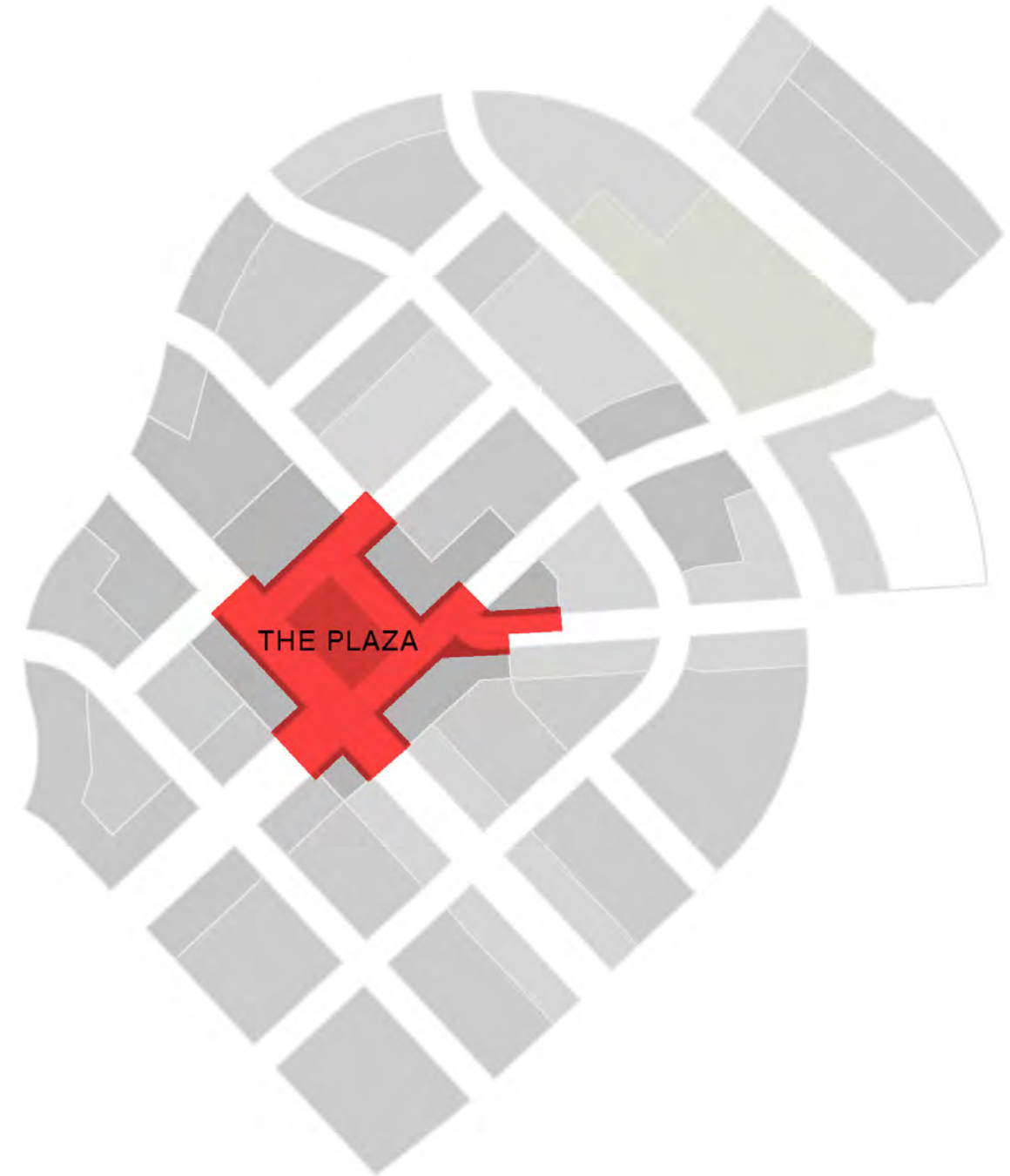
1.1 Narrative

The Plaza is the physical and symbolic heart of Villebois. It is a central gathering area for Villebois residents. Therefore, the Plaza Address has more specific Standards than the rest of the Village Center. These additional requirements are applied to ensure a high quality of development and sense of place for this very important public realm.

The Plaza is envisioned as a Public Room with building facades as its walls, streets as its doors, and the paving and landscaping as its floor. Commercial activity and residential density are more intense here than at any other location in Villebois. Accordingly, the architectural components of the surrounding buildings play specific roles. This Address places special emphasis on roof heights and forms, corner and storefront treatments, expression of the rainwater path, and balconies and decks.



Artist's interpretations



2.1 Building Types

The Building Type, per **Table V-1: Development Standards** (Village Zone), shall be Mixed-Use Buildings - Village Center.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of the Plaza as a public room by establishing a consistency of façade heights and roof forms. Establish a unique roof form language for the Plaza.

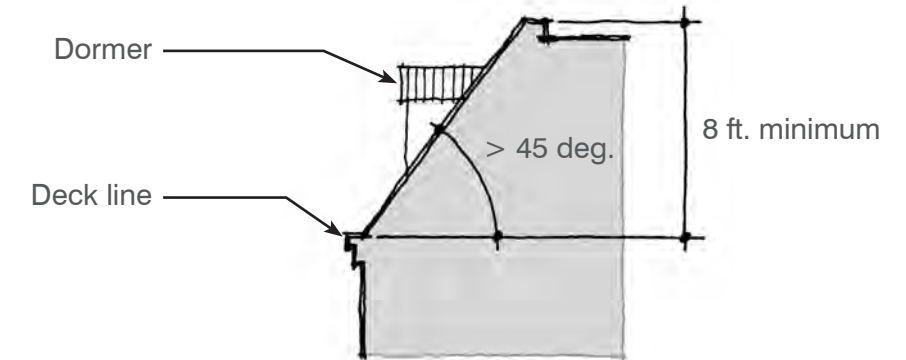
Required Standards:

- 1) Average Façade Height: All buildings on the Plaza Address must have an Average Façade Height of 45 feet, as defined by the following criteria:
 - a) This requirement applies only to façades on the streets and public ways of the Plaza Address;
 - b) Determine the Average Façade Height by multiplying the height of each façade portion by its frontage length and then dividing by the overall façade length;
 - c) Building Height measurement is defined in Village Zone Section 4.001 Definitions; and
 - d) No individual façade portion may be less than 35 feet in height.
- 2) Roof form: All buildings on the Plaza Address shall have one or more of the following roof forms:
 - a) Flat or low-slope roof with parapets to provide visual interest;
 - b) Sloped roof with parapets or cornices that conceal the roof plane from the street;
 - c) Mansard roof.
- 3) Mansard roofs shall meet the following definition:
 - a) Roof slope is greater than 45 degrees;
 - b) Minimum vertical distance of at least eight feet;
 - c) Roof terminates at a deck line; and
 - d) Dormers may be pitched at shallower slopes or flat, when appropriate.
- 4) Tower elements may have any roof form.

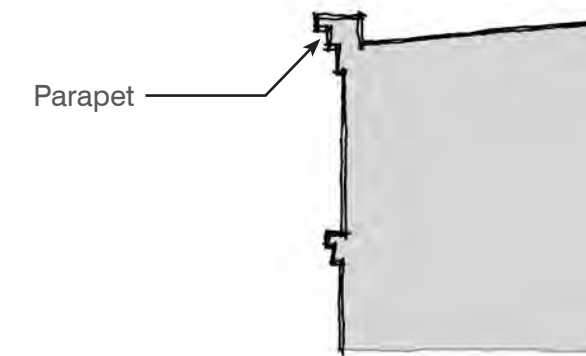
Optional:

- 5) Mansard roofs are encouraged to have dormers, chimneys, light monitors, and similar roof components to add visual interest.
- 6) Parapets with substantial overhangs are encouraged.
- 7) Roof decks are encouraged.

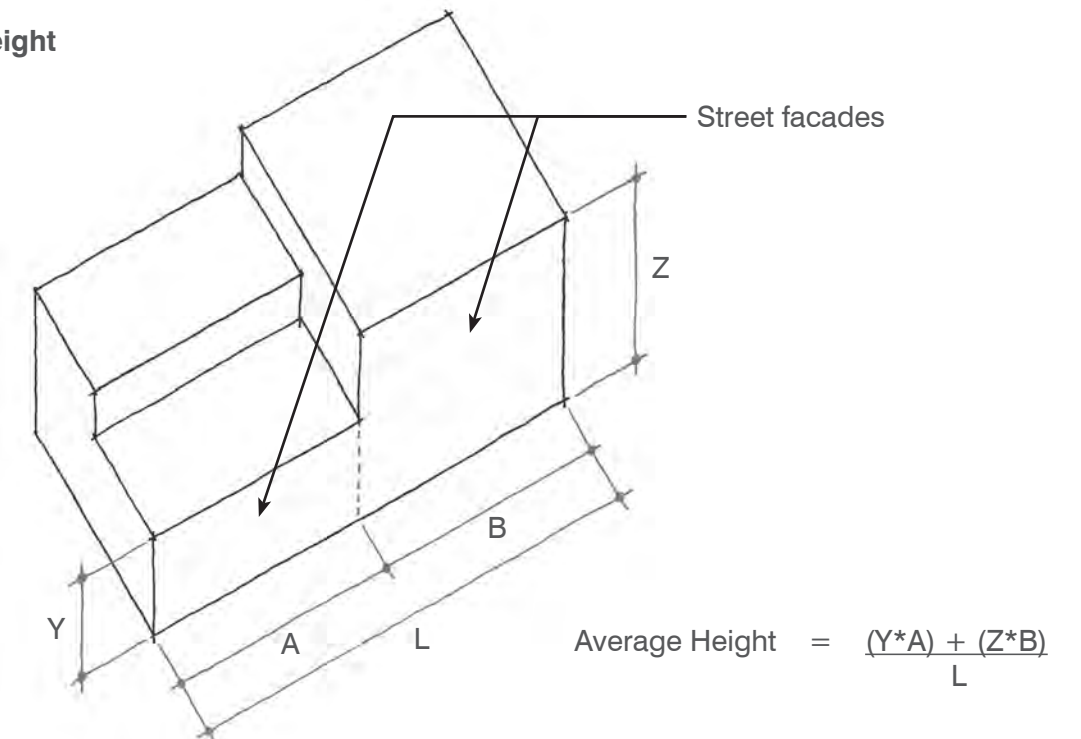
Mansard roof



Flat or low-slope roof with parapet



Average Façade Height



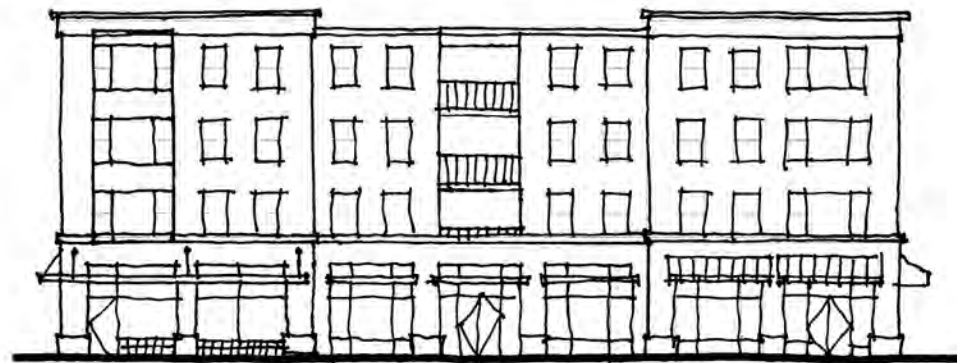
3.1 Horizontal Façade Articulation

Intent:

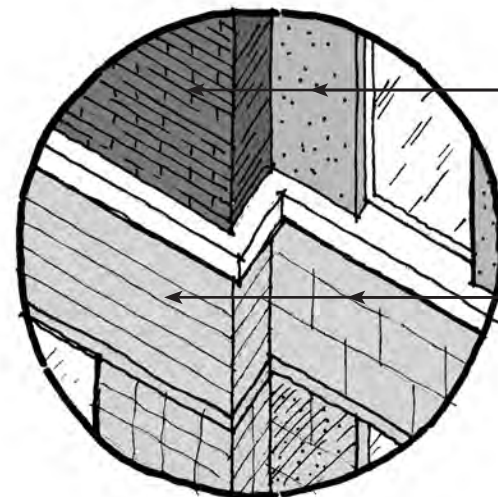
Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Façades longer (horizontal) than 60 feet shall be articulated into smaller units. At least three of the following methods of horizontal articulation shall be employed:
 - a) Change of material (at inside corner or with a reveal);
 - b) Change of color, texture, or pattern of similar materials;
 - c) Major façade planes that are vertical in proportion;
 - d) Bays and recesses at least 8 feet wide but no more than 25 feet wide, and at least 3 feet in depth;
 - e) Breaks in roof elevation (height) of 2 feet or greater in height; and/or
 - f) Unique storefront design for each tenant, including change of material, color, and glazing patterns.



Cartoon elevation depicting all six (a. - e.) methods of horizontal articulation for the Plaza Address.



a) Change of material at inside corner

b) Change of color, texture, or pattern of similar materials



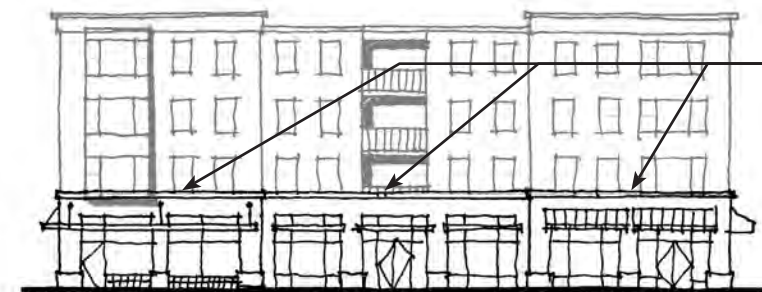
c) Major façade planes are vertical in proportion



d) Bays and recesses (see dimensional requirements) break up the façade into smaller units



e) Breaks in roof elevation and varying cornice line



f) Unique storefront design for each tenant



4.1 Corner Massing & Articulation

Intent:

Provide a reference point at the end of a block of façades and to mark intersections, further providing visual interest to the street fabric.

Required Standards:

- 1) Developments at intersections of streets or public ways shall emphasize this unique site aspect through three or more of the following methods:
 - a) Placement of the primary entry;
 - b) Tower massing;
 - c) Substantially different roof forms;
 - d) Substantial different canopy design;
 - e) Double height space at the ground floor;
 - f) Landscape features such as public art, monuments, unique paving and lighting, etc.; and/or
 - g) Other architectural features meeting the intent of this requirement.
- 2) Buildings near or across from other building corners may use the same strategies. However, specific design for emphasizing the building corner shall be substantially different from nearby building corners.

4.2 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede **Table V-4: Permitted Materials and Configurations** (Village Zone).
- 2) At least 75 percent of each building façade to which these standards apply shall be finished in one or more of the following materials:
 - a) Brick, stone, or cast stone;
 - b) Stucco or plaster;
 - c) Poured-in-place concrete, or pre-cast concrete veneer; and/or
 - d) Metal panel systems.
- 3) The additional following materials may be used up to the remaining percentage of each façade:
 - a) Wood;
 - b) Cellulose fiber-reinforced cement products (i.e. Hardi-Board) or other cement building products approved by a nationally recognized building products evaluation service;
 - c) Rock, glass block, tile; and/or
 - d) Concrete block: split-faced, ground-faced, or scored.
- 4) The percentage calculation applies only to the façades facing a public or private street.
- 5) Doors and windows and their associated trim shall be excluded from the percentage calculation.
- 6) Glass shall have less than 20 percent reflectance.

4.3 Ground Level Building Components

Intent:

Ensure that buildings with commercial uses on the ground floor display a great amount of visual interest. Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Required Standards:

- 1) Standard corporate designs shall be adjusted to be compatible with the architectural character of the building in which the business is located. See the Signage and Wayfinding Plan for additional information.
 - 2) Buildings on the Plaza Address shall incorporate at least three of the following elements into any ground-floor, street-facing façade:
 - a) Planter boxes or hanging baskets;
 - b) Masonry base or kick plates for storefront windows;
 - c) Projecting sills;
 - d) Tilework;
 - e) Pedestrian scale blade signs and/or signs painted on windows;
 - f) Operable storefront windows; and/or
 - g) Art.
 - 3) Mixed use buildings shall have a canopy or awning.
- Optional:**
- 4) Storefront design should be unique for each tenant to the extent feasible. Long undifferentiated lengths of storefront should be avoided.
 - 5) Canopies, where provided, should be metal or glass.
 - 6) Awnings, where provided, should be rolling or otherwise operable.

4.4 Façade Components

Intent:

Maintain a lively and active street face. Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

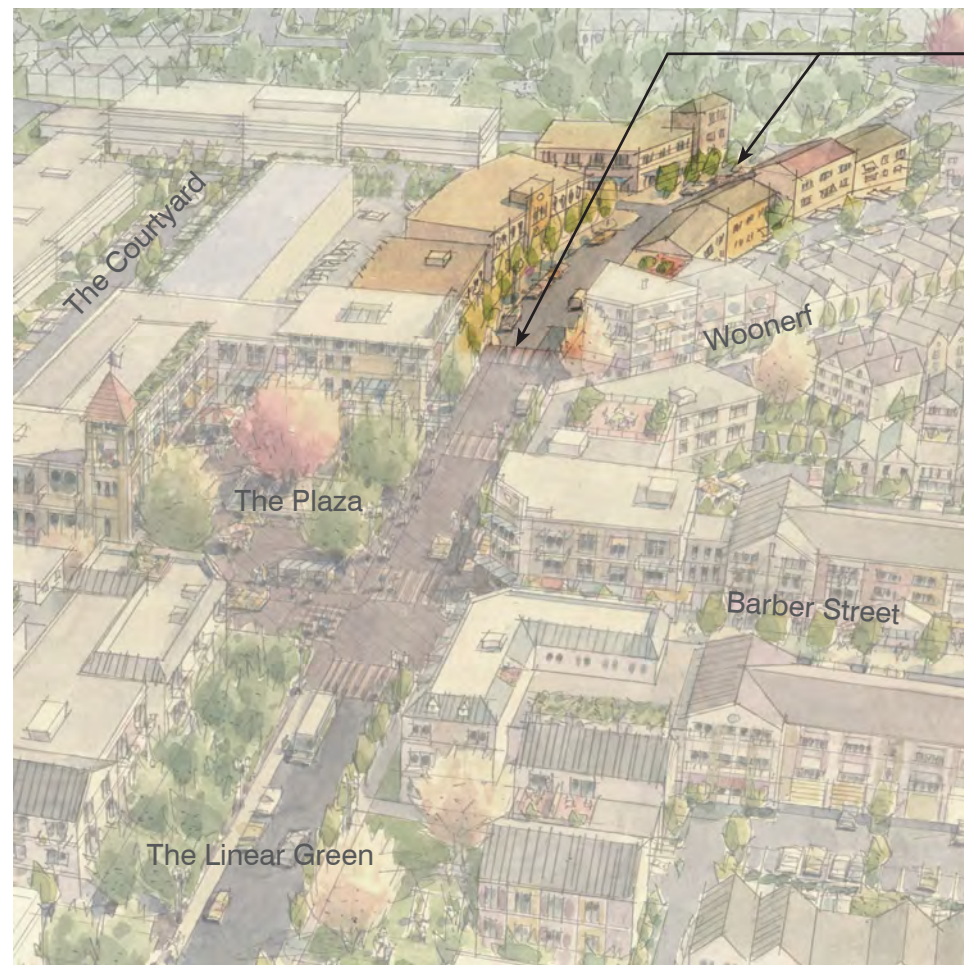
- 1) Scuppers and downspouts at the Plaza Address shall be metal or clay. See the Rainwater Management Program for additional requirements.
 - 2) Where provided, outdoor living spaces must be recessed into the building façade. Projecting balconies and decks are not allowed. French balconies two feet or less in depth are allowed.
 - 3) Wood or simulated wood railing or fencing is prohibited.
- Optional:**
- 4) French balconies and cantilevered bay windows two feet or less in depth are encouraged as predominate outdoor living space components for the Plaza Address.

1.1 Narrative

Villebois Drive is a front door to the Village Center. Though predominantly residential, it sets the tone for a more urban experience. The architectural components of this address, therefore, are similar to that of the Plaza.

Villebois Drive is envisioned as a potential growth corridor for future commercial uses. Accordingly, this Address has specific requirements to accommodate and encourage these possible transitions. Most of these Standards apply to the ground level buffer between the public way and private zones. The intent is for ground level units not to prohibit future conversion to small commercial spaces.

See the Community Elements Book for additional ways in which the streetscape design assists the transition from residential to mixed-use characteristics.



Villebois Drive Address

Artist's interpretation of the Village Center





2.1 Building Types

The Building Type, per **Table V-1: Development Standards** (Village Zone), shall be Multi-Family Dwellings - Village Center or Row Houses - Village Center. This does not exclude mixed use building programs. Row houses may be detached or attached.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of Villebois Drive as a public room by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) In addition to the Maximum Building Height as required by **Table V-1: Development Standards** (Village Zone), this address shall have a Minimum Building Height of two stories.
- 2) Roof form: All buildings shall have one or more the following roof forms:
 - a) Flat or low-slope roof with parapet; or
 - b) Sloped principal roof with 4:12 or greater pitch.

Optional:

- 3) Roofs are encouraged to have dormers, chimneys, light monitors, and similar roof components to add visual interest.
- 4) Variations on the Plaza Address roof forms are encouraged.
- 5) A variety of roof heights and configurations are encouraged.

2.3 Horizontal Façade Articulation

Intent:

Reduce the apparent bulk of large buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Horizontal articulation: Horizontal façades longer than 60 feet shall be articulated into smaller units. At least two of the following methods of horizontal articulation shall be employed:
 - a) Change of material (at inside corner or with a reveal);
 - b) Change of color, texture, or pattern of similar materials;
 - c) Major façade planes that are vertical in proportion;
 - d) Bays and recesses at least 8 feet wide and no more than 25 feet wide and at least 3 feet in depth;
 - e) Breaks in roof elevation (height) of 2 feet or greater in height; and/or
 - f) Unique storefront design for each tenant, including change of material, color, and glazing patterns.

2.4 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede **Table V-4: Permitted Materials and Configurations** (Village Zone).
- 2) At least 30 percent of each building façade to which these standards apply shall be finished in one or more of the following materials:
 - a) Brick, stone, or cast stone;
 - b) Stucco or plaster;
 - c) Poured-in-place concrete, or pre-cast concrete veneer; and/or
 - d) Metal panel systems.
- 3) The additional following materials may be used up to the remaining percentage of each façade:
 - a) Wood;
 - b) Cellulose fiber-reinforced cement products (i.e. Hardi-Board) or other cement building products approved by a nationally recognized building products evaluation service;
 - c) Rock, glass block, tile; and/or
 - d) Concrete block: split-faced, ground-faced, or scored.
- 4) The percentage calculation applies only to the façades facing a public or private street.
- 5) Doors and windows and their associated trim shall be excluded from the percentage calculation.
- 6) Glass shall have less than 20 percent reflectance.

3.1 Ground Level Building Components

Intent:

Provide for future commercial growth at Villebois by creating a building infrastructure that accommodates easy ground level conversion. Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians.

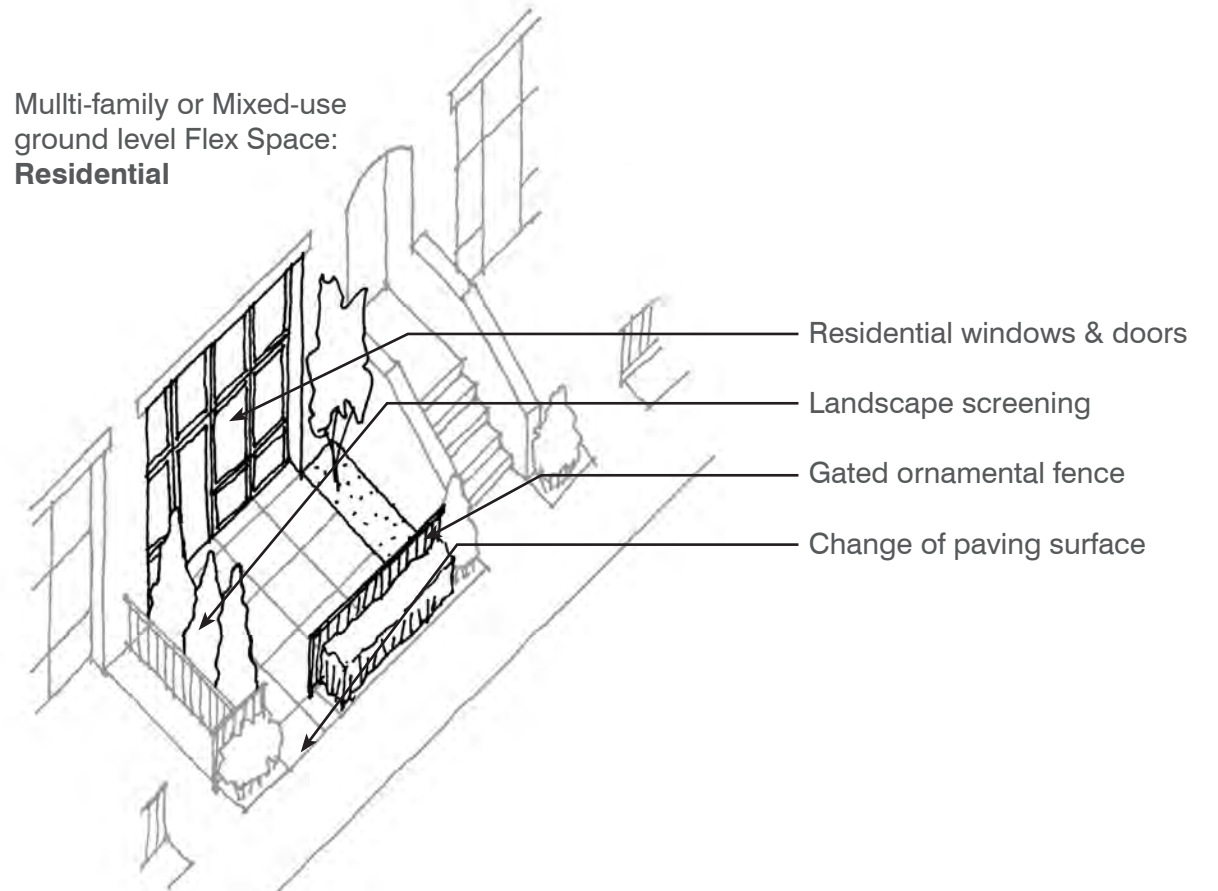
Required Standards:

- 1) The ground level of **multi-family** or **mixed-use buildings** (excluding common entries and other spaces necessary to the function of the building) shall be Flex Space, meeting the following requirements:
 - a) Ground level units shall be at grade and shall have direct access;
 - b) Ground level units shall have openings no narrower than 9 feet in width to accommodate future commercial uses; and
 - c) Ground level floor-to-floor height shall be 14 feet or greater to accommodate future commercial uses.
- 2) Ground level residential units shall utilize buffering elements between private zones and the public right-of-way. Strategies include, but are not limited to: gated fences, planter walls, change of paving material, recessed entries, and landscaping.

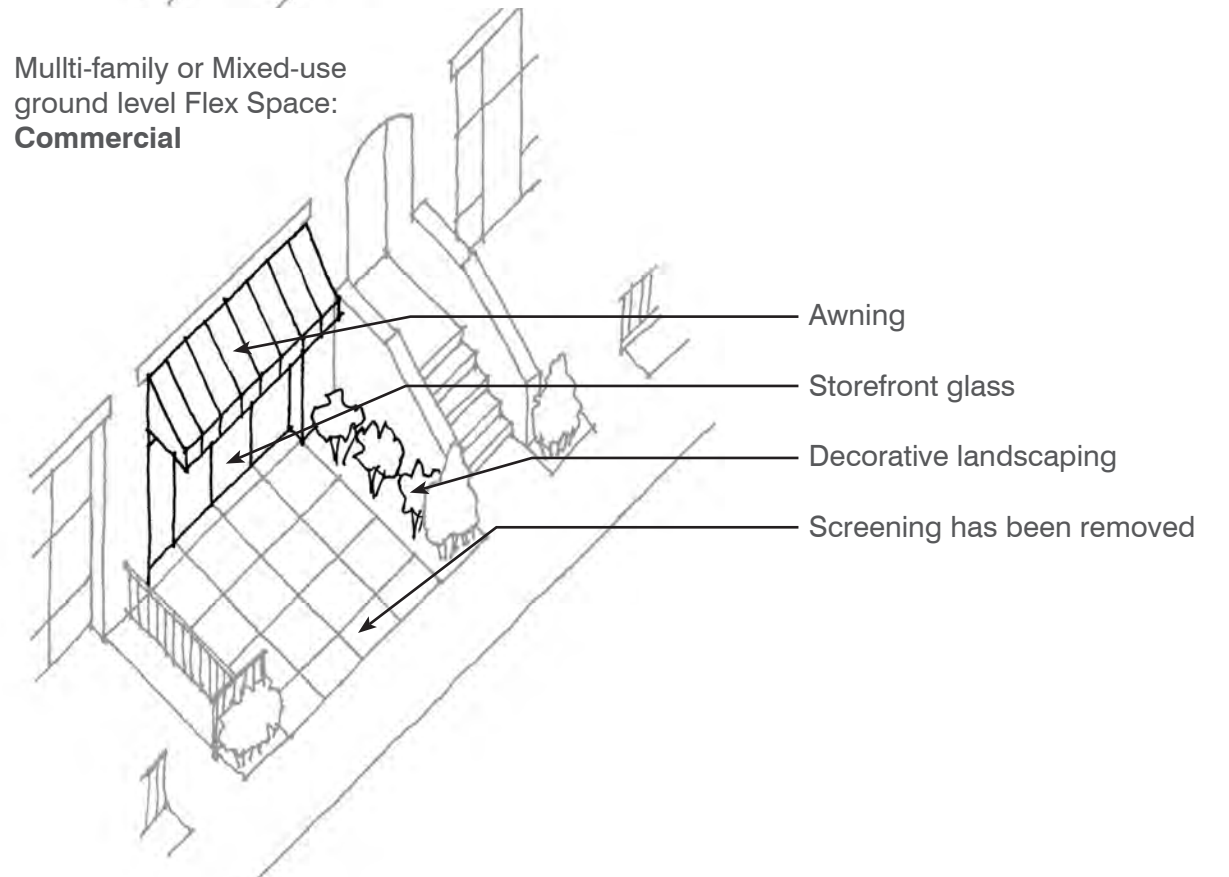
Optional:

- 3) Row Houses do not have to meet the requirements of Flex Space, above. However, Live/Work unit configurations are encouraged.
- 4) Building construction should take into account fire separations, sprinklers, and other requirements for mixed-use buildings.

Multi-family or Mixed-use ground level Flex Space:
Residential



Multi-family or Mixed-use ground level Flex Space:
Commercial



1.1 Narrative

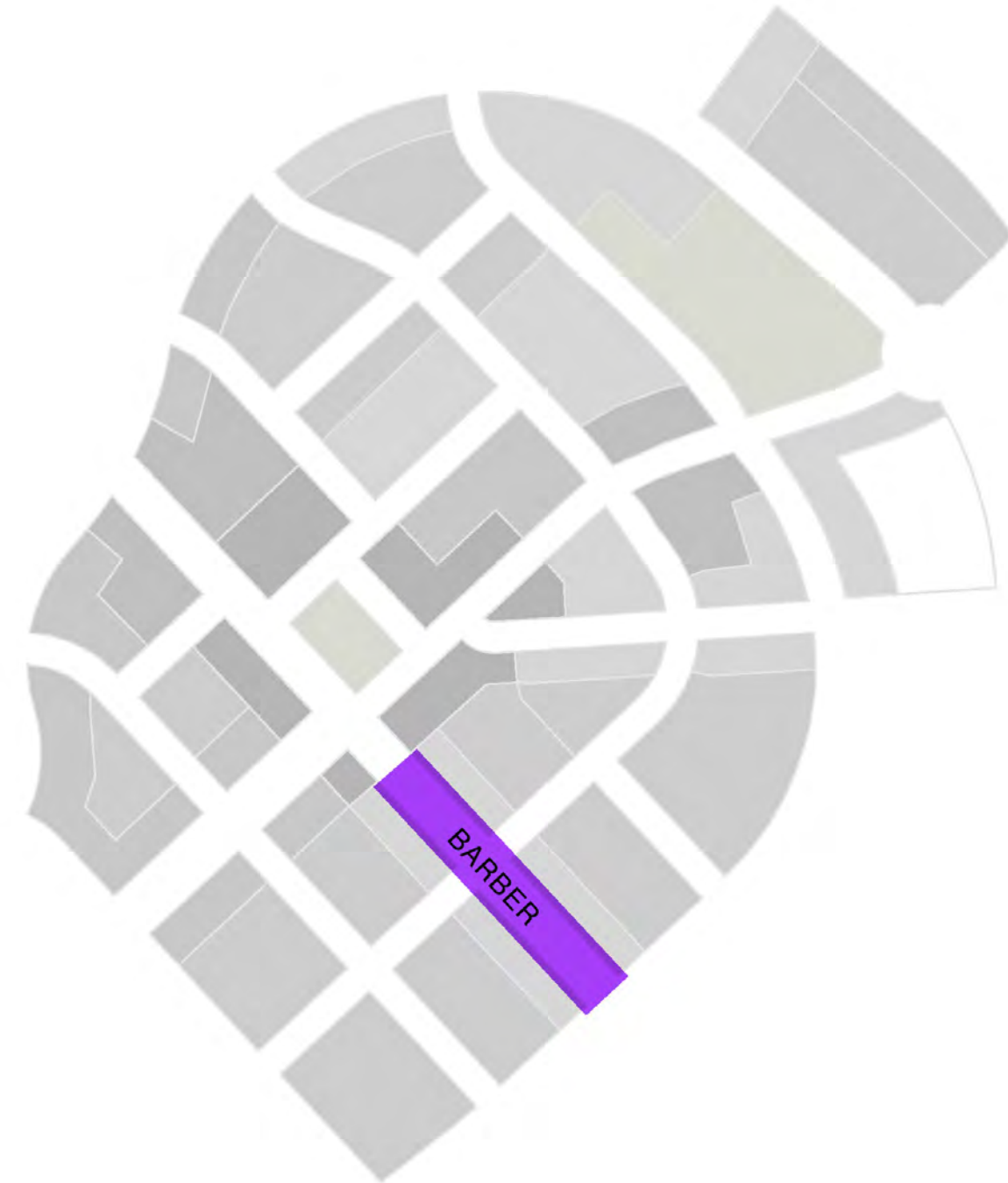
Barber Street is the largest street entering the Village Center, making the Barber Street Address an important corridor to the Plaza. The Barber streetscape in its entirety transitions from a parkway to a more typical urban street. Similarly, the urban row houses of this Address transition between village residences and the mixed-use residences surrounding the Plaza.

Because of its proximity to the Plaza and its pedestrian emphasis, the Barber Street Address has specific characteristics to complement the streetscape. Modeled after historic European and American models, it exhibits a grand manner appropriate to such a prominent location. Residential entrances, for example, feature porches or stoops.

The Barber Street Address will build anticipation as a foreground to the Plaza, offer a unique visual identity *from* the plaza, and mark a distinct location within a consistent strategy of massing, façade design, and materials within the Village Center.



Artist's interpretation





2.1 Building Types

The Building Type per **Table V-1 Development Standards** (Village Zone), shall be Row Houses - Village Center or Multi-Family Dwellings - Village Center. Row houses may be detached or attached.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of the Barber Street Address as a gateway to the Plaza by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) In addition to the Maximum Building Height as required by **Table V-1: Development Standards** (Village Zone), this address shall have a Minimum Building Height of two stories.
- 2) Roof forms within a set of row houses shall be similar in character, but may vary between sets. For example, one set of house might be a row of mansard roofs and the next set might be a row of 'flat' roofs with an expressed cornice.

Optional:

- 3) Building facades in a set of row houses are encouraged to be identical or similar in height.

2.3 Horizontal Façade Articulation

Intent:

Reinforce the urban historic pattern of single-family residences that are attached or closely spaced. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Each row house shall be articulated as an individual unit. Two or more of the following methods of horizontal articulation shall be used:
 - a) Unique entries, shaped by a combination of elevated covered porches and stoops.
 - b) Bays, recesses, and other components that prevent flat facades at window and door locations;
 - c) Window shapes and configurations that add rhythm and detail to facades;
 - d) Change of color, texture, or pattern of similar materials;
 - e) Breaks in roof elevation per dwelling unit;
 - f) Alternating offsets of major façade planes.

Optional:

- 2) Change of primary façade material per dwelling unit is not a preferred method of Horizontal Articulation because it will detract from the consistency of the streetscape.

2.4 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede **Table V-4: Permitted Materials and Configurations** (Village Zone).
- 2) At least 15 percent of each building façade to which these standards apply shall be finished in one or more of the following materials:
 - a) Brick, stone, or cast stone;
 - b) Stucco or plaster;
 - c) Poured-in-place concrete, or pre-cast concrete veneer; and/or
 - d) Metal panel systems.
- 3) The additional following materials may be used up to the remaining percentage of each façade:
 - a) Wood;
 - b) Cellulose fiber-reinforced cement products (i.e. Hardi-Board) or other cement building products approved by a nationally recognized building products evaluation service;
 - c) Rock, glass block, tile; and/or
 - d) Concrete block: split-faced, ground-faced, or scored.
- 4) The percentage calculation applies only to the façades facing a public or private street.
- 5) Doors and windows and their associated trim shall be excluded from the percentage calculation.
- 6) Glass shall have less than 20 percent reflectance.

3.1 Ground Level Building Components

Intent:

Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians, while providing a greater measure of separation for implied privacy and personal safety from the street.

Required Standards:

- 1) Each row house shall have a porch or stoop meeting the following requirements:
 - a) Shall be oriented towards the street;
 - b) Shall have access from the main dwelling entry;
 - c) Shall be elevated 24 inches or greater above grade; and
 - d) Stoops shall measure no narrower than 5 feet in depth, while porches shall have a min. 4 feet covered depth and provide a minimum usable area of 6' x 6'; and
 - e) Porches shall have guardrails.
- 2) Dwelling entrances shall be differentiated from neighboring entrances. Difference may be achieved through material, color, door and trim style, porch covering form and style, column style, railing style, or other similar architectural components.
- 3) Porches and stoops within a set of row houses shall compliment each other in height, configuration, and detail. Porches and stoops may vary between each set of row houses.

Optional:

- 4) Stacked (two-story) porches are allowed and encouraged as a unique building component.
- 5) Porches and stoops are encouraged to have columns, posts, piers, brackets, and other similar structural features.
- 6) Extra wide formal steps are encouraged.

- 7) Porches continuous along the entire facade width are encouraged.

3.2 Façade Components

Intent:

Maintain a lively and active street face. Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Projecting porches, balconies and decks are not allowed above the second floor on street facing facades. French balconies two feet or less are allowed.
- 2) Scuppers and downspouts shall be metal or clay. Downspouts shall connect with the street's drainage as per the Rainwater Management Plan.

Optional:

- 3) Façade components within each set of row houses are encouraged to be similar in proportion and configuration.

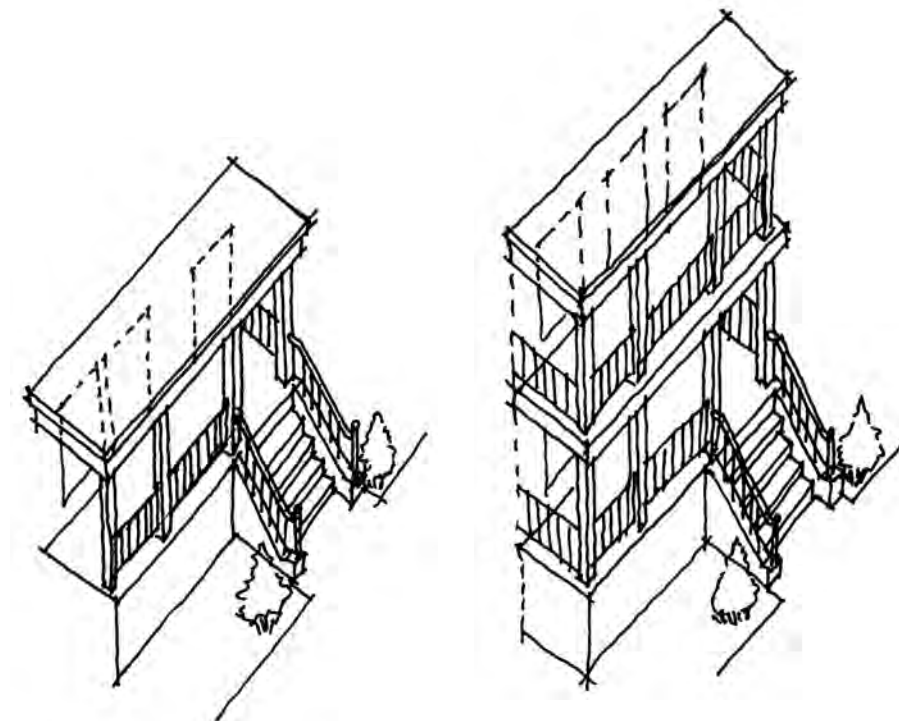
Porch and Stoop variation at the Barber Street Address



Example 1: Porches within a set of rowhouses vary in height, but are consistent in configuration and detail.



Example 2: Porches within a set of rowhouses vary in detail, but are consistent in height and configuration.



One-story porch

Two-story porch

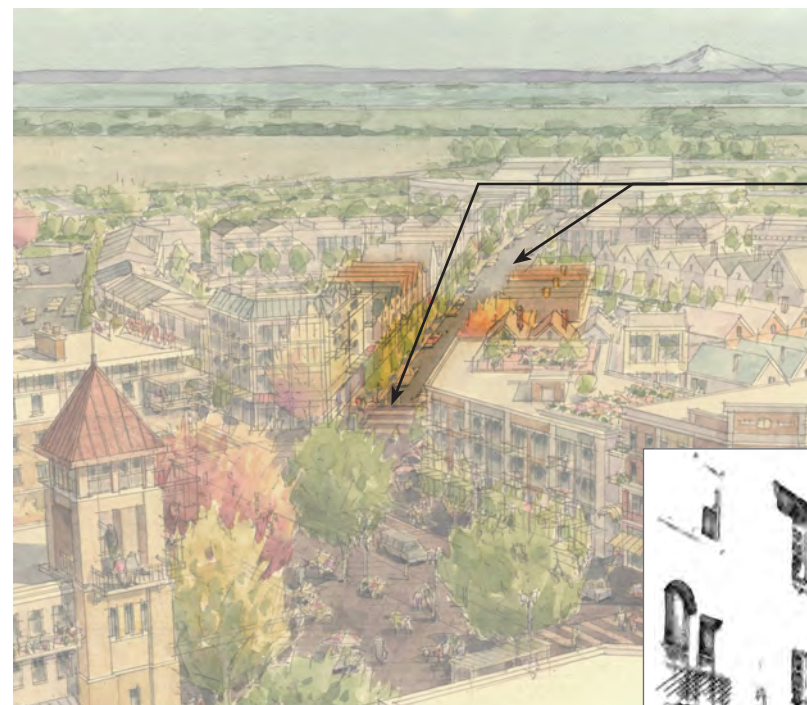
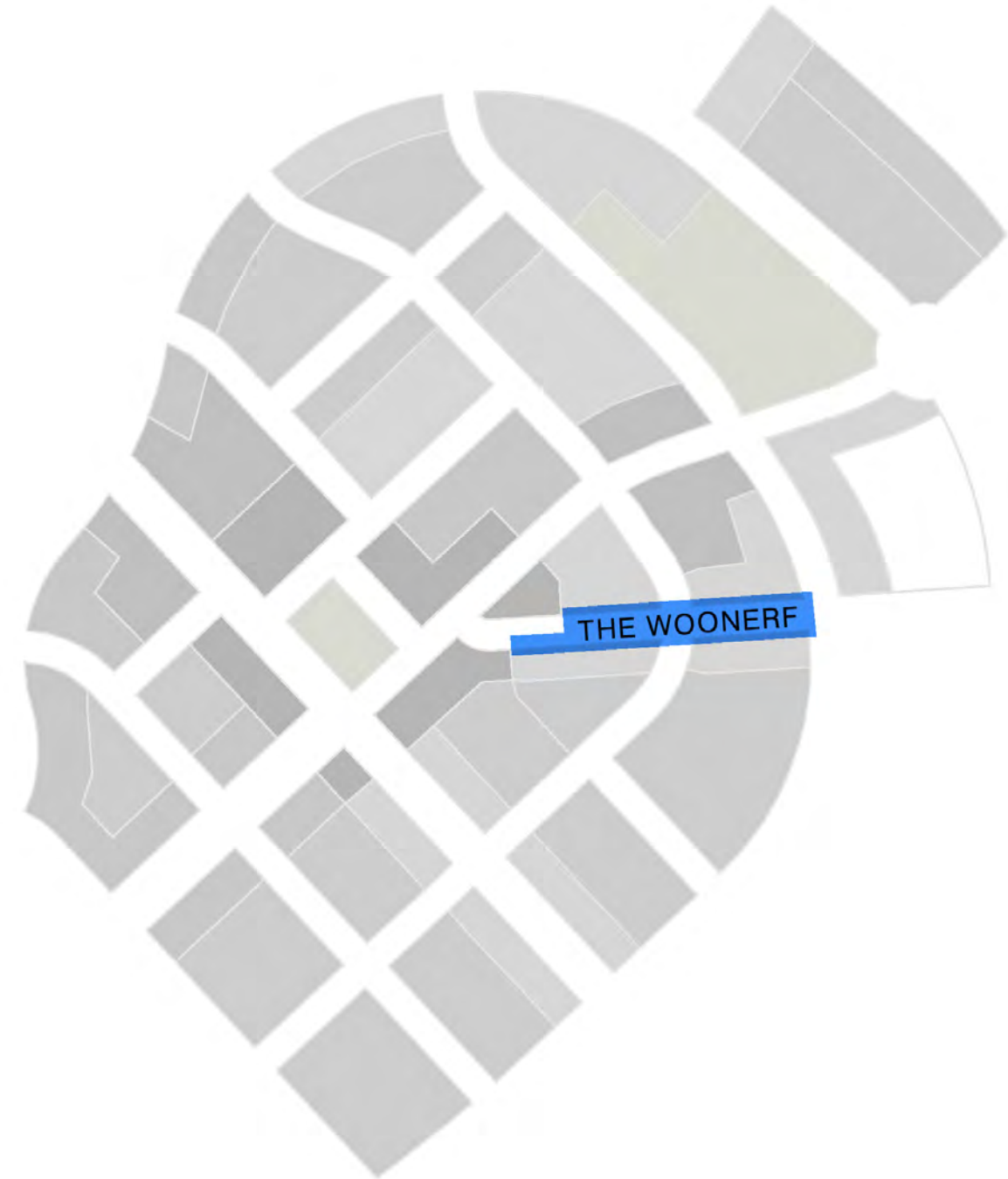
1.1 Narrative

The Woonerf Address is a special and deliberate deviation from the Village Center street grid. Aligned to the view of Mt. Hood, the public way connects the heart of Villebois, the Plaza, to its regional context. Additionally, the Woonerf is part of the pedestrian connection between East Park and the Plaza.

Woonerf is a Dutch word meaning “living street.” A woonerf is common space shared equally by pedestrians, cyclists, and low-speed motor vehicles. Raising the street to the same grade as sidewalks, and placing trees, planters, parking areas, and other obstacles in the street slows vehicles to walking speed. This makes the street available for social use of the local residents while maintaining connectivity and the parking needs of vehicles.

Because of its proximity to the Plaza and its pedestrian emphasis, the Woonerf Address has specific design characteristics to complement the streetscape. The lifestyle is urban, with a compressed threshold between public and private zones. Row Houses will have stoops, terraces, and/or at-grade outdoor living spaces. These components encourage interaction between neighbors as well as pedestrians going to and from the Plaza.

To reinforce the spirit of urban living and strengthen the uniqueness of this outdoor room, the Woonerf Address emphasizes consistency of massing, façade design, and materials. The Homes will have similar heights and materials, with encouraged minor variation of façade elements.



Woonerf Address

Artist's interpretation



2.1 Building Types

The Building Type, per Table V-1, shall be Row Houses - Village Center. Row houses must be attached in this address.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of the Woonerf as a public room by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) In addition to the Maximum Building Height as required by **Table V-1: Development Standards** (Village Zone), this address shall have a Minimum Building Height of two stories.
- 2) Roof forms in a set of row houses shall be substantially similar in character.

Optional:

- 3) Buildings façades in a set of row houses are encouraged to be similar in height.

2.3 Horizontal Façade Articulation

Intent:

Reinforce the urban historic pattern of single-family attached residences. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

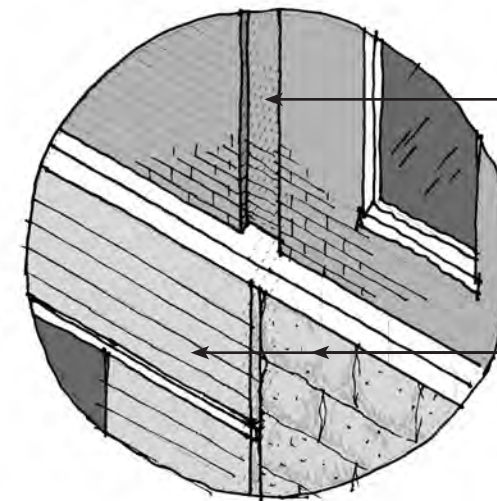
- 1) Each row house shall be articulated as an individual unit. Two or more of the following methods of horizontal articulation shall be used:
 - a) Prominent entry, bay, or similar component for each dwelling unit;
 - b) Reveal or trim between major façade planes;
 - c) Change of color, texture, or pattern of similar materials;
 - d) Breaks in roof elevation per dwelling unit; and
 - e) Offsets of major façade planes.

Optional:

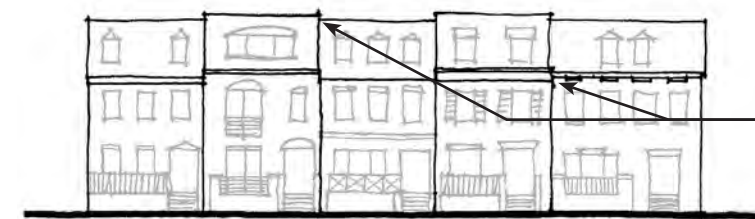
- 2) Change of material per dwelling unit is not a preferred method of Horizontal Articulation as it detracts from the consistency of the streetscape.



a) **Prominent entry, bay, or similar component** for each dwelling unit



b) **Reveal** between major facade planes



d) **Breaks in roof elevation** per each dwelling unit



e) **Alternating offsets of major facade planes**

Elevation showing all five methods of **Horizontal Façade Articulation**





3.1 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede **Table V-4: Permitted Materials and Configurations** (Village Zone).
- 2) At least 40 percent of each building façade to which these standards apply shall be finished in one or more of the following materials:
 - a) Brick, stone, or cast stone;
 - b) Stucco or plaster;
 - c) Poured-in-place concrete, or pre-cast concrete veneer; and/or
 - d) Metal panel systems.
- 3) The additional following materials may be used up to the remaining percentage of each façade:
 - a) Wood;
 - b) Cellulose fiber-reinforced cement products (i.e. Hardi-Board) or other cement building products approved by a nationally recognized building products evaluation service;
 - c) Rock, glass block, tile; and/or
 - d) Concrete block: split-faced, ground-faced, or scored.
- 4) The percentage calculation applies only to the façades facing a public or private street.
- 5) Doors and windows and their associated trim shall be excluded from the percentage calculation.
- 6) Glass shall have less than 20 percent reflectance.

Optional:

- 7) Brick, when used, should match or be compatible with the street pavers.

3.2 Façade Components

Intent:

Maintain a lively and active street face. Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Scuppers and downspouts at the Woonerf Address shall be metal or clay. Downspouts shall connect with the street's drainage as per the Rainwater Management Plan.
- 2) Projecting balconies and decks are not allowed above the first floor on street facing façades. French balconies two feet or less in depth are allowed.
- 3) Wood or simulated wood railing or fencing is prohibited.

Optional:

- 4) Small punched openings in a thick wall is the preferred window expression. Large expanses of contiguous windows should be limited to bay windows.
- 5) French balconies and bay windows two feet or less in depth are encouraged as predominate outdoor living space components for the Woonerf Address.
- 6) Façade components in each set of row houses are encouraged to be substantially similar in proportion and configuration.

4.1 Ground Level Building Components

Intent:

Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

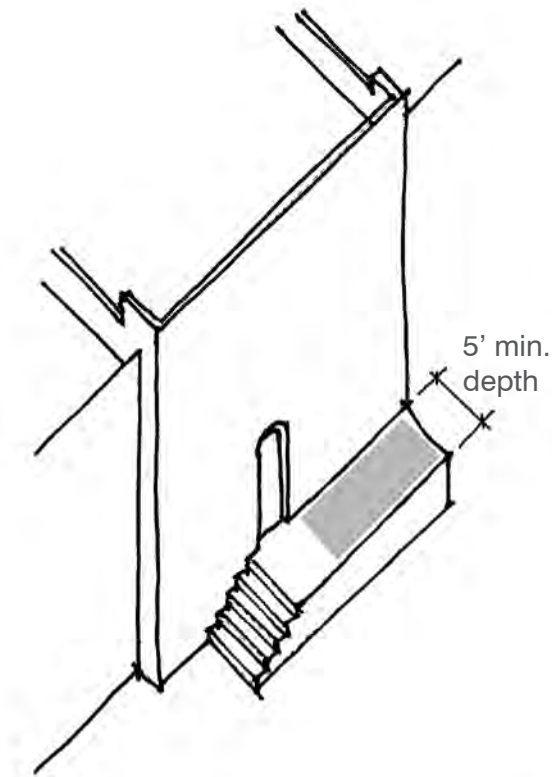
Required Standards:

- 1) Each row house shall have a stoop or terrace. See Glossary for distinction.
- 2) The stoop or terrace shall be 30 inches or greater in elevation above grade.
- 3) Each row house shall have a private outdoor living space at the entry façade. The space shall meet the following requirements:
 - a) The usable space shall measure 5 feet or greater in depth and 7 feet or greater in length along the façade;
 - b) The required space may be sunken no more than 24 inches below grade;
 - c) The required space may be elevated no higher than the stoop/terrace elevation;
 - d) The required space may be screened from the street, but fences and railing may be no more than 50% opaque and no taller than 4 feet; and
 - e) The required space must have direct access from the front entry, or direct access from a secondary entrance, such as a sliding patio door.

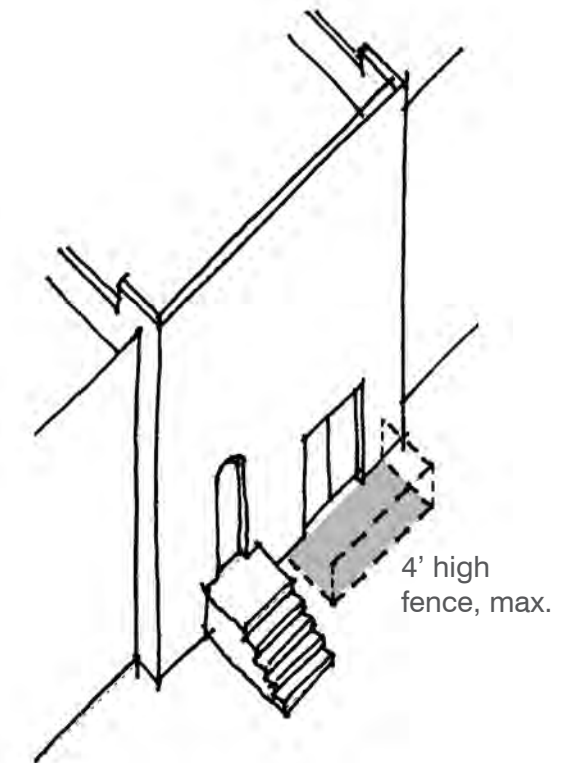
Optional:

- 4) Stoops and terraces in each set of row houses should be substantially similar in height and configuration.

Required private outdoor living space



Allowed: Stoop and outdoor living space are combined into a terrace



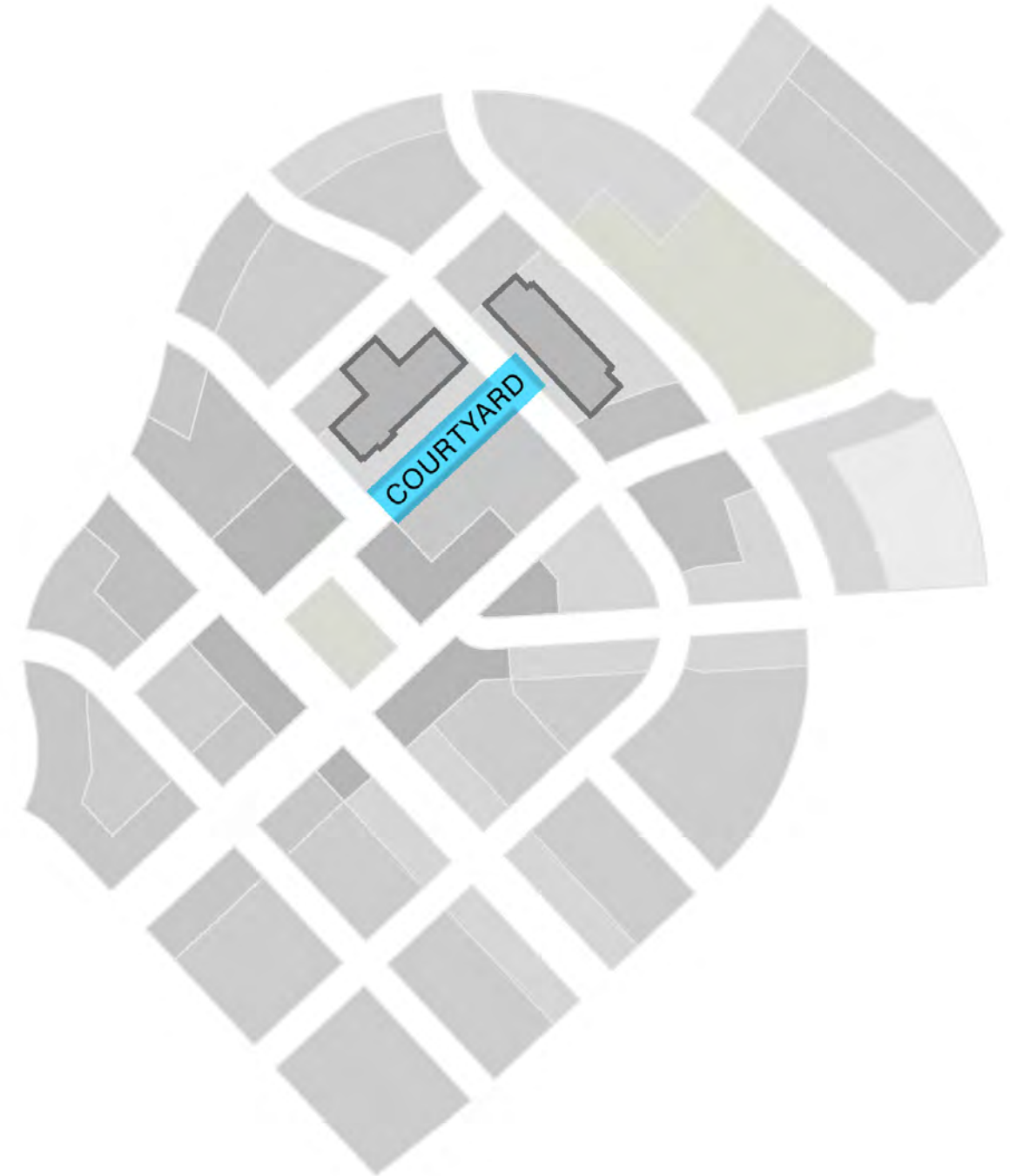
Allowed: Stoop and outdoor living space are separate. Outdoor living space can be sunken no more than 24 inches below grade or elevated no higher than the stoop.

1.1 Narrative

The Courtyard is aligned with the Plaza, connecting the site's historic buildings to their new village context. The space is conceived as a shared-use courtyard between buildings C, D, and the new condos to the southeast. The courtyard contains designated areas for private yards, walkways, and vehicular lanes. Trees in the parking lane will define spaces, and an allee of trees will connect the Plaza and Building D with a shaded pathway.

The building character of the Courtyard is largely defined by the existing masonry buildings. Any new stories added to the building will likely be lightweight, and so will have a different expression. This language, new lightly clad stories over a heavier masonry base will be carried over to the new buildings for consistency. Large punched openings, as found on the existing buildings, will be encouraged. A more urban and contemporary architectural expression will be encouraged here to create a unique experience.

To reinforce the spirit of urban living and strengthen the uniqueness of this outdoor room, the Courtyard Address emphasizes consistency of massing, façade design, and materials. The Homes on Courtyard will have similar heights and materials, with encouraged variation of smaller façade elements.



2.1 Building Types

The Building Type, per Table V-1 Development Standards (Village Zone), shall be Multi-Family Dwellings - Village Center. Any additions to the existing buildings shall conform to the setbacks, building height, and other development standards of Table V-1.

The preferred new construction product type is the maisonette: a residence occupying two or more floors of a larger building and having its own entrance from outside.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of the Courtyard as a public room by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) Maximum Building Height for new buildings shall be 40 feet.
- 2) Maximum Building Height for existing buildings, plus any new construction levels, shall be 60 feet.
- 3) The roof form for all new buildings and new levels shall be a flat, low-slope, or shed roof with a parapet or substantial overhang.

Optional:

- 4) Buildings façades in a set of row houses are encouraged to be similar in height.
- 5) Roof gardens, “green-roofs”, and roof trellises are encouraged.

2.3 Horizontal Façade Articulation

Intent:

Reduce the apparent bulk of long buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

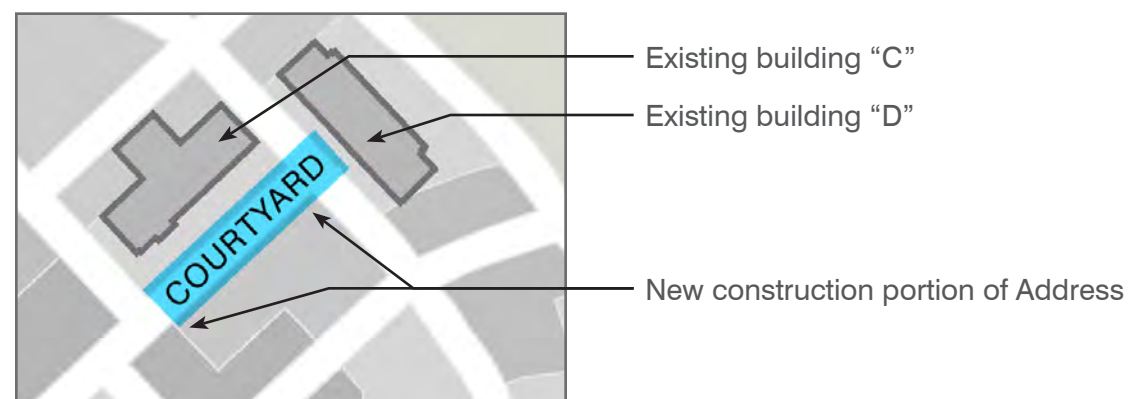
Required Standards:

- 1) The southeast (new construction) Address length shall be broken into at least two building masses with a public pedestrian connection between Villebois Drive and the Courtyard. The pedestrian connection shall align with the center of Building C. The pedestrian connection shall be consistent with the Courtyard streetscape character as described in the Community Elements Plan.
- 2) Horizontal Articulation: Horizontal façades shall be articulated into smaller units. At least two of the following methods of horizontal articulation shall be employed:
 - a) Change of material (at inside corner or with a reveal);
 - b) Change of color, texture, or pattern of similar materials;
 - c) Major façade planes that are vertical in proportion;
 - d) Bays and recesses at least 8 feet wide and no more than 25 feet wide and at least 3 feet in depth;
 - e) Breaks in roof elevation (height) of 2 feet or greater in height;
 - f) Individual entries, bays, and/or recesses for each dwelling unit; and
 - g) Reveal between major façade planes.

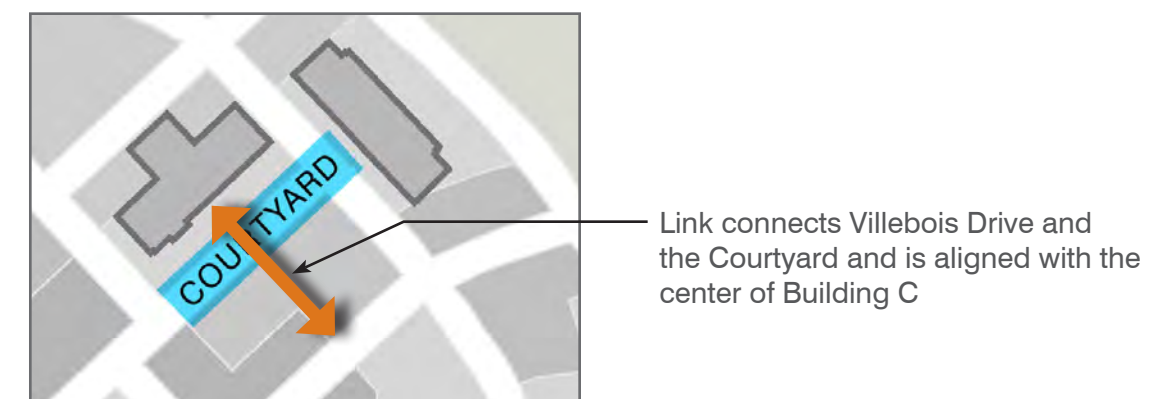
Optional:

- 3) Articulation should extend to the roof. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.

Existing buildings and new construction



Required public pedestrian connection



3.1 Vertical Façade Articulation

Intent:

Ensure a clear and compatible language between new and existing construction.

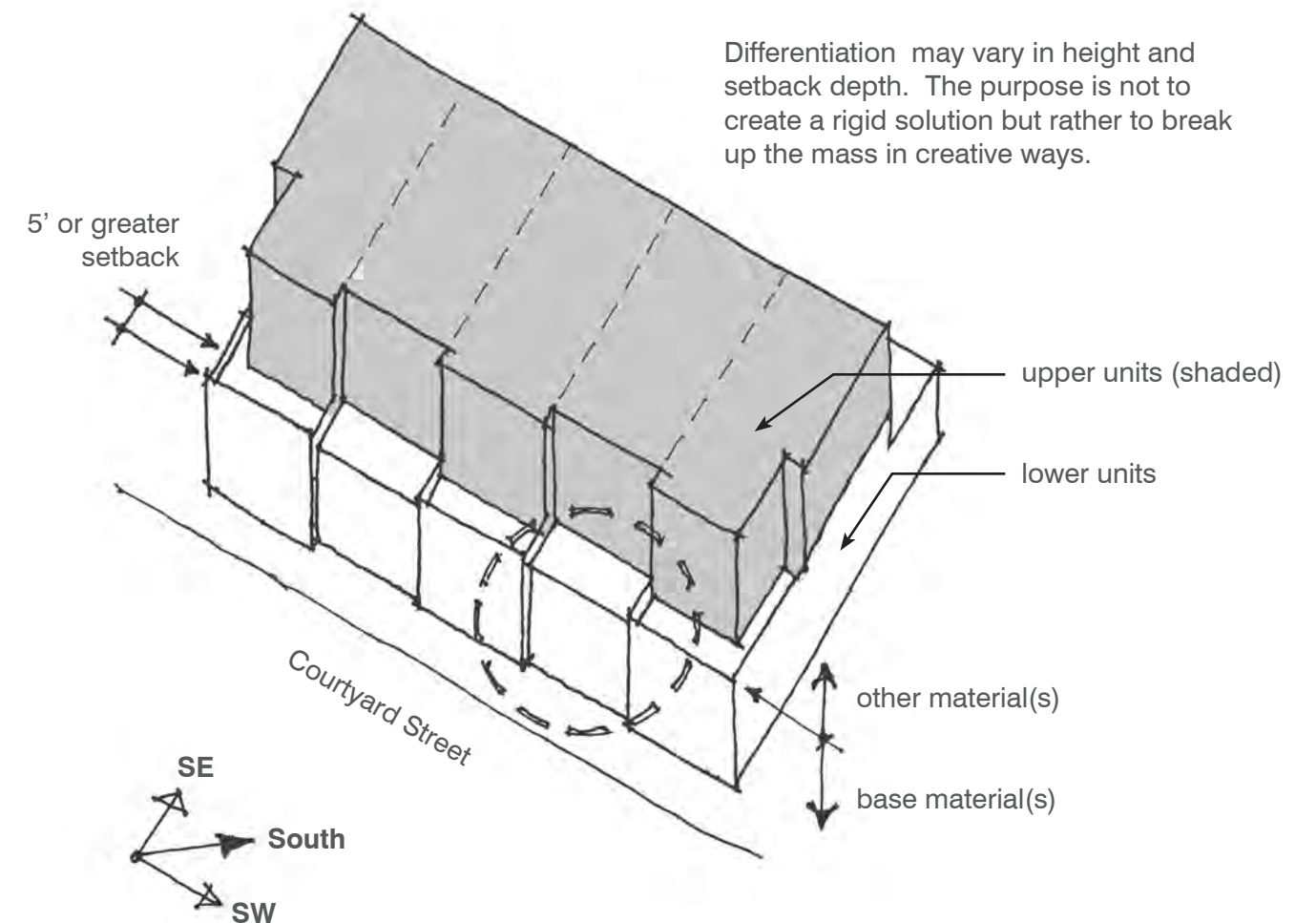
Required Standards:

- 1) Differentiation of Building's Base: Building façades shall express a vertical division between stacked units. For example, a two-story townhouse on the second and third floors should have substantially different character than the ground level unit. Both of the following methods of horizontal articulation shall be incorporated:
 - a) Change of material occurring at or near the floor level of transition; and
 - b) Setback of 5 feet or greater located at or near the demising floor level. The setback shall occur along at least 60% of the façade length. The setback requirement is only for the street facing façade.

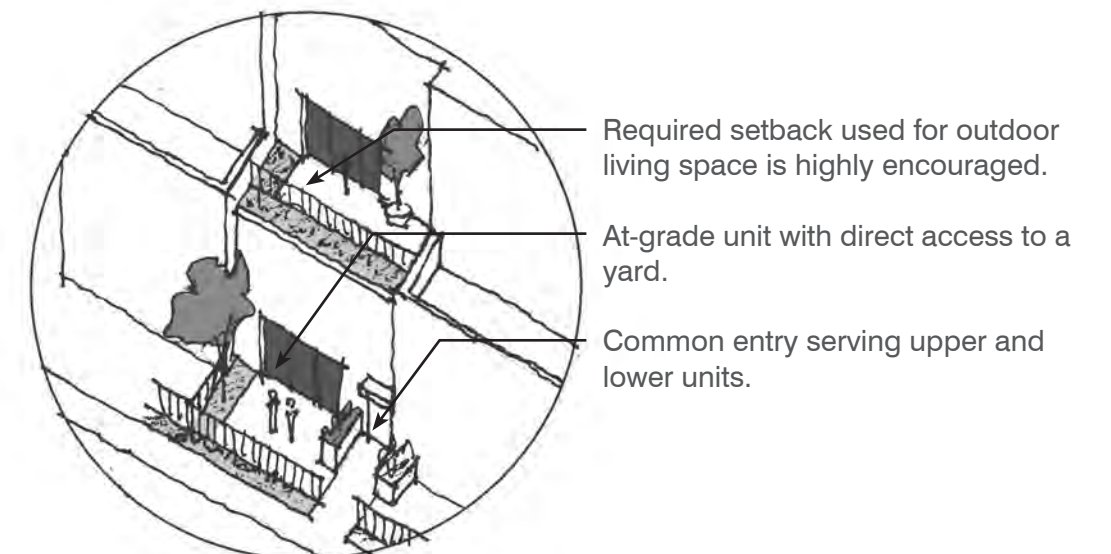
Optional:

- 2) Use of the required upper unit setback for outdoor space is strongly encouraged.
- 3) Differentiation of base may vary in height and setback depth. The purpose is not to create a regular rigid solution but rather to break up the mass in creative ways.

Differentiation of Building's Base



Enlarged view



4.1 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede **Table V-4: Permitted Materials and Configurations** (Village Zone).
- 2) For the new construction length of the Address, the first floor (min.) shall have vertical walls (excluding doors and windows) finished in material compatible in color and texture to the material used on the existing buildings.
- 3) Wood or simulated wood railing or fencing is prohibited.

Optional:

- 4) For this Address in particular, unique materials and innovative use of materials is encouraged.
- 5) Exteriors should be constructed of durable and maintainable materials that have texture, pattern, or lend themselves to quality detailing.

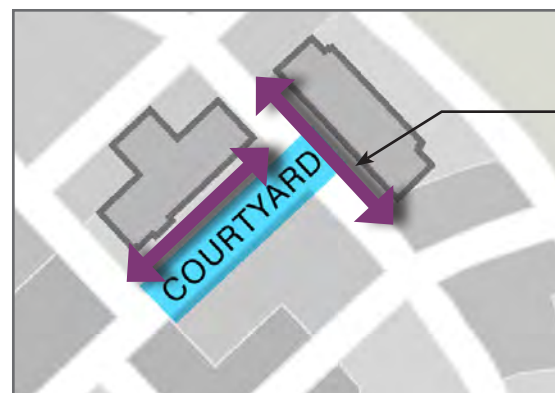
4.2 Ground Level Building Components

Intent:

Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Required Standards:

- 1) Ground level units at existing buildings shall have direct access to a private yard or terrace whenever feasible.
- 2) Ground level units at new buildings shall be at grade and have direct access to a private yard or shared outdoor space.
- 3) Off-street parking meeting the following requirements will be allowed in front of the existing buildings:
 - a) The parking surface shall be at the same grade as the street;
 - b) Parking stalls shall be located adjacent to the street with the travel lane towards the existing building;
 - c) Parking stalls shall be screened from the street with landscaping; and
 - d) Entrances and exits shall be located at side streets (not the Address street) to the extent feasible.



Surface parking is allowed in front of existing buildings (meeting additional criteria)

1.1 Narrative

The Linear Green is a major pedestrian corridor linking West Park (Regional Trail) and the Plaza. Its character is that of a pedestrian boulevard or promenade: a place where people can stroll, sit, and interact under the canopy of a tree-lined allee. Unique landscape features, as defined in the Community Elements Book, will further enhance the Linear Green's role as a major social space.

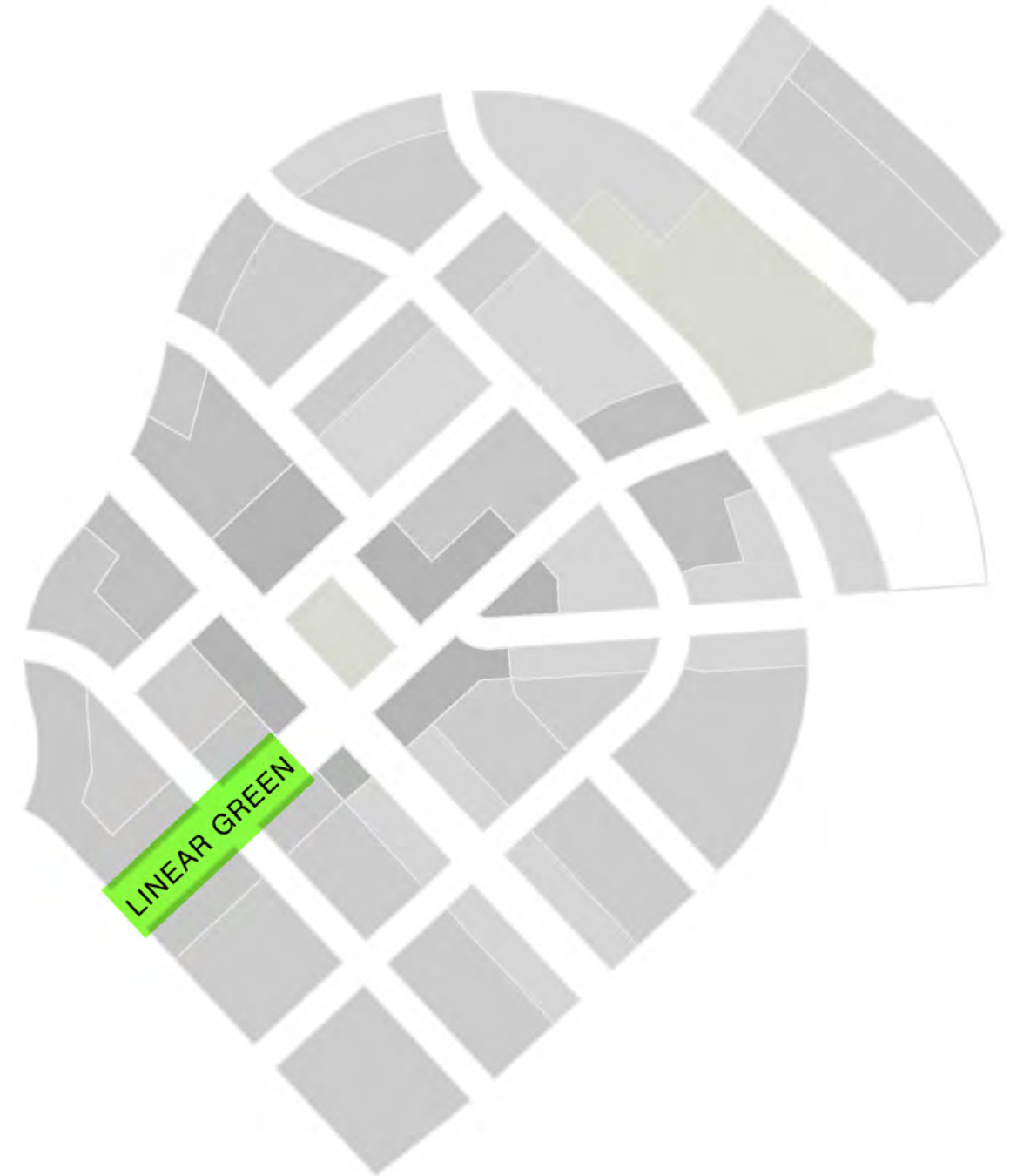
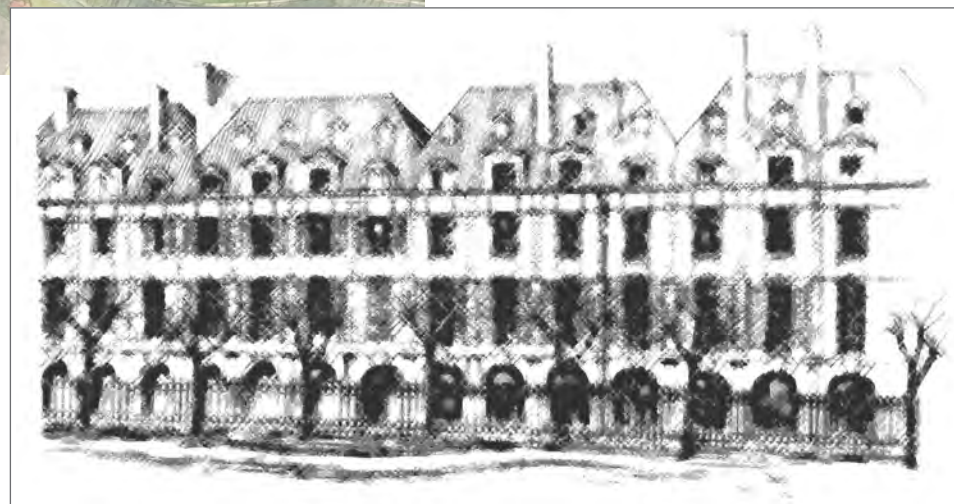
At the Parkway Address, the streetscape takes the primary role in place making, and the buildings form the boundaries of and backdrop for the room. Accordingly, a more flat, consistent, and rhythmic architectural character is appropriate. Buildings on opposite sides of the street are encouraged to be similar in mass, material, color, and articulation.

To reinforce the spirit of urban living and strengthen the uniqueness of this outdoor room, the Parkway Address emphasizes consistency of massing, façade design, and materials. The buildings on the Parkway will have similar heights and materials, with encouraged variation of smaller façade elements.



The Linear Green Address

Artist's interpretation





2.1 Building Types

The Building Type, per **Table V-1 Development Standards** (Village Zone), shall be Multi-Family Dwellings - Village Center.

The preferred product type is the maisonette: a residence occupying two or more floors of a larger building and having its own entrance from outside.

2.2 Building Height & Roof Form

Intent:

Strengthen the perception of the Parkway as a public room by establishing a consistency of façade heights and roof forms.

Required Standards:

- 1) Buildings shall be three stories or greater in height.
- 2) Principal roofs shall have 6:12 or greater pitch towards the Address, such that the roof is visible from the street. Gables are allowed only at building corners.

Optional:

- 3) Dormers, light monitors, chimneys, and other roof elements are encouraged to create visual interest.
- 4) Roof forms along the Linear Green Address are encouraged to be substantially similar in character.

3.1 Horizontal Façade Articulation

Intent:

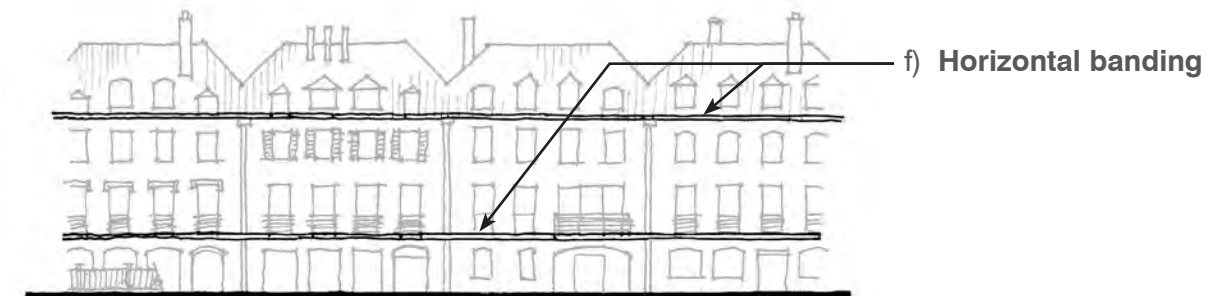
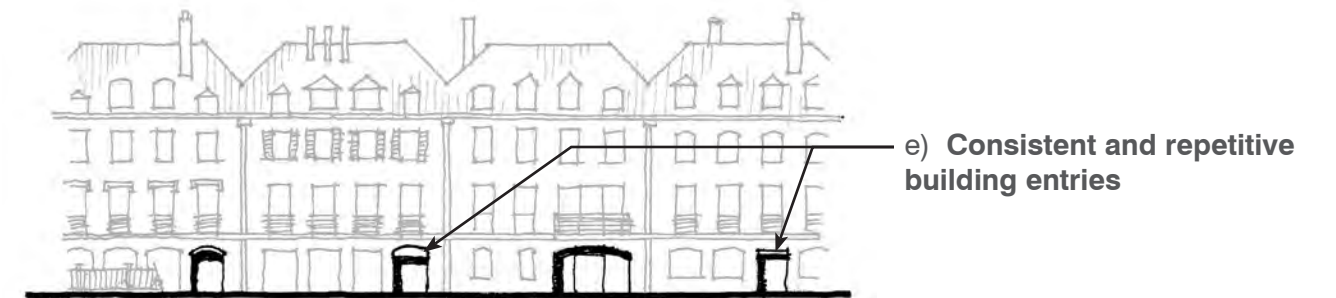
Reduce the apparent bulk of long buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) Horizontal Articulation: Horizontal façades longer than 60 feet shall be articulated through consistent and rhythmic facades. At least two of the following methods of rhythmic facade articulation shall be employed:
 - a) Expression of structural bay or width of units;
 - b) Subtle variation of color, texture, or grain of materials;
 - c) Major façade planes that are consistent and repetitive in proportion;
 - d) Consistent and repetitive windows;
 - e) Consistent and repetitive building entries; and/or
 - f) Horizontal banding.

Optional:

- 2) Each dwelling need not be articulated as an individual unit. Consistency of the building character is more important than unit identity for this Address.
- 3) Buildings along the Linear Green Address are encouraged to be bookmatched. That is, the buildings on opposite sides of the street are similar in mass, material, color, and articulation.





4.1 Exterior Building Materials

Intent:

Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Required Standards:

- 1) The requirements of this Section supersede **Table V-4: Permitted Materials and Configurations** (Village Zone).
- 2) At least 30 percent of each building façade to which these standards apply shall be finished in one or more of the following materials:
 - a) Brick, stone, or cast stone;
 - b) Stucco or plaster;
 - c) Poured-in-place concrete, or pre-cast concrete veneer; and/or
 - d) Metal panel systems.
- 3) The additional following materials may be used up to the remaining percentage of each façade:
 - a) Wood;
 - b) Cellulose fiber-reinforced cement products (i.e. Hardi-Board) or other cement building products approved by a nationally recognized building products evaluation service;
 - c) Rock, glass block, tile; and/or
 - d) Concrete block: split-faced, ground-faced, or scored.
- 4) The percentage calculation applies only to the façades facing a public or private street.
- 5) Doors and windows and their associated trim shall be excluded from the percentage calculation.
- 6) Glass shall have less than 20 percent reflectance.

4.2 Ground Level Building Components

Intent:

Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that all ground floors reinforce the streetscape character.

Required Standards:

- 1) Developments shall include at least two of the following at all primary building entrances:
 - a) Recesses;
 - b) Distinct roof forms;
 - c) Porches or stoops;
 - d) Trellises; and/or
 - e) Glass at sides or above entry doors.
- 2) Ground level units shall be at grade and have direct access to a yard.
- 3) Each unit shall have a fence between the yard and street meeting the following requirements:
 - a) The fence may be as tall as four feet but not less than two feet;
 - b) The fence shall be no more than 25% opaque; and
 - c) The fence shall be constructed out of painted metal and/or masonry, predominantly vertical in configuration.

Optional:

- 4) Vertically stacked units are encouraged to share a common entry.
- 5) Raised entries, such as a stoop, are encouraged.
- 6) Fences are strongly encouraged to be metal.

4.3 Façade Components

Intent:

Maintain a lively and active street face. Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.

Optional:

- 1) Building elements that lend themselves to rhythmic patterns are encouraged. These elements include but are not limited to: bay windows, shuttered windows, dormers, covered unit entries, pilasters, brackets, etc.



Definitions of widely interpreted or specialized terms used in this document:

Accessory Building A secondary building, whose use is incidental to that of the main building located on the same plot.

Arcade A covered passageway, usually formed by a series of arches supported by columns or piers.

Architectural Character Not to be confused with Architectural Style, which is the combination of distinct features particular to a person, school, or era of architecture. Architectural character is the combination of qualities that distinguish one design from another. Architectural character is intentionally more open-ended to allow for contemporary interpretations of historic architecture.

Architectural Style The combination of distinct features particular to a person, school, or era of architecture.

Articulation The method and manner of connecting two or more parts to make a clear whole. In the context of this document, it refers to combining multiple building components (walls, roofs, windows, etc.) to create a clear and expressive facade. (See also Horizontal Façade Articulation and Vertical Façade Articulation.)

Awning A rooflike structure - usually made of canvas - covering an individual storefront, door, or window. The principal function of an awning, as referenced in this document, is to shield glass from the sun; a secondary function is rain protection. (See also, Canopy.)

Balcony A platform that projects from the wall of a building and is surrounded by a railing. (See also, French Balcony.)

Belt Course A molding or projecting line of masonry running horizontally along the face of a building. In this document, a belt course is used to separate the base of a building. (See also, Signage Band.)

Building Base Refers to the specific design of the lower level(s) of a building. Typically, the base coincides with the programmatic division of a building - for example, housing over retail.

Building Type In this document, a reference to Table V-1 (Development Standards) of the Village Zone.

Canopy A rooflike structure - often made of metal, glass, and/or canvas - covering a walkway, sidewalk, or building entrance. A canopy, as referenced in this document, is deeper and longer than an awning. It's principal function is weather protection. (See also, Awning.)

Component (Building Components) A constituent element of a system. Building components include the windows, entrances, balconies, cornices, canopies, etc. that make up a building facade.

Consistent (or, Consistency) Marked by an orderly, logical, and aesthetically compatible relation of parts.

Cornice The exterior trim of a structure at the meeting of the roof and wall.

Decorative Serving a purpose that is primarily aesthetic.

Differentiation To show the difference between things; discriminate as different and unique.

Façade The face (exterior surface) of a building. In the context of this document, the facade usually refers to the building face(s) along a street or public way.

Flex Space Ground floor units of a multi-family or mixed-use building that can be converted between commercial and residential uses. (See also Live/Work.)

French Balcony Doors opening to the outside of a building, but accessing a shallow platform (2 feet or less) or railing, as opposed to a full balcony. (See also, Balcony.)

Grade (At Grade) The level at which the ground surface meets the building foundation. In this document, At Grade generally refers to a building entrance with no or minimal number of steps.

Horizontal Façade Articulation The ways in which the face of a building is broken up into discreet elements across the horizontal dimension. A building that has one long uninterrupted facade plane would be said to have low facade articulation. A building that has frequent recesses, bays, and material changes would be said to have high facade articulation. (See also, Façade and Articulation.)

Legible (or, Legibility) Distinctness that makes perception of difference or similarity easy. In this document, Legibility is usually used to describe the characteristics of a particular Address.

Live/Work A row house where the ground level can be converted to a commercial use. The lower level may be separate from the upper level, or connected via an internal stair.

Maisonette A residence occupying two or more floors of a larger building and having its own entrance from outside.

Mixed-Use Containing or zoned for a mixture of program types. Mixed-use development can be horizontal - as in Villebois' land use distribution - or vertical, as in a single building, or both. Typical mixed-use buildings contain commercial and residential facilities. A mixture of commercial uses - retail, office, and hospitality, for example - also constitutes mixed-use development.

Outdoor Living Space A private outdoor space associated with and controlled by a dwelling unit. The space may take the form of a stoop, porch, balcony, deck, patio, terrace, etc.

Pilaster A pier, pillar, or thickened column. If not directly supporting the structure above, the pilaster usually encloses a column or other load bearing element.

Porch An open air room appended to the mass of a building, with floor and roof, but may also be partially enclosed, screened, or glass-enclosed. The minimum area of usable space must be 6' x 6', with a min. 4' covered depth.

Planter (Planter Box) A decorative and permanent container for plants or small trees.

Rainwater Path The conveyance of rainwater from the building roof to the ground. Scuppers, gargoyles, downspouts, gutters, and rain chains are examples of rainwater path components.



Reveal Generally refers to an inside surface or corner, as between a window frame and the outer wall surface.

Roof Form Refers to the shape, components, and dimensions of a building's roof as perceived from the ground. Common roof form types include parapet, gable, hip, mansard, etc.

Rhythmic (Rhythmic Façade) Refers to elements that reoccur with measured regularity and with slight variation.

Row House One of a series of houses, often of similar or identical design, with or without an accessory dwelling unit or building. Within the Village Center boundary, row houses may be attached or detached in accordance with the Village Center Architectural Standards.

Signage Band A thickened horizontal band onto which signage is mounted. A signage band in this document is a device to separate the base of a building. (See also Belt Course.)

Stoop An *elevated* platform or small porch at the top of steps leading to a building entrance.

Storefront The front side of a store or business facing the street, usually containing display windows and entrances.

Structural Expression The way(s) in which a building is perceived as resisting gravity. Common structural expressions include thick walls with frequent small openings; columns or pilasters supporting lintels; cantilevers; curtain wall (glazing) with columns behind; etc.

Substantially Different When the scale, proportion, composition, and materials of two or more parts are visually distinct to a degree that even a casual observer could mark the difference. This term may apply to a specific building component or a facade as a whole.

Substantially Similar When the scale, proportion, composition, and materials of two or more parts are visually comparable to a degree that even a casual observer could mark the similarity. This term may apply to a specific building component or a facade as a whole.

Terrace A raised outdoor living space adjoining a building.

Trellis A structure to support climbing plants, latticework, or other shading devices.

Vertical Façade Articulation The ways in which the face of a building is broken up into discreet elements across the vertical dimension. Typically, a building facade is vertically divided into a base, middle, and top. (See also Façade and Articulation.)

SUPPORTING COMPLIANCE REPORT
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
VILLEBOIS VILLAGE CENTER APARTMENTS
BUILDING 'C' ON LOT 73
PRELIMINARY DEVELOPMENT PLAN AND MODIFICATION 2 - CENTRAL

SECTION IVA

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.125 VILLAGE (V) ZONE.....	2
	(.02) PERMITTED USES	2
	(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE....	3
	(.06) STANDARDS APPLYING TO COMMERCIAL USES	7
	(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING	8
	(.08) OPEN SPACE	12
	(.09) STREET & ACCESS IMPROVEMENT STANDARDS.....	13
	(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS	16
	(.11) LANDSCAPING, SCREENING AND BUFFERING.....	16
	(.12) MASTER SIGNAGE AND WAYFINDING	17
	(.15) VILLAGE CENTER DESIGN PRINCIPLES	19
	(.16) VILLAGE CENTER DESIGN STANDARDS.....	20
	(.17) VILLAGE ZONE PLAZA DESIGN STANDARDS	22
	(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS	23
	COMMUNITY ELEMENTS BOOK	36
	PLAZA ADDRESS.....	37
	MASTER SIGNAGE AND WAYFINDING PLAN	38
	RAINWATER PROGRAM	38
	SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE.....	39
	SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS	39
	SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION	41
	SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES	43
	SECTION 4.172 FLOOD PLAIN REGULATIONS	46
	SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING	47
	SECTION 4.177 STREET IMPROVEMENT STANDARDS	47
II.	PROPOSAL SUMMARY & CONCLUSION	47

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125 VILLAGE (V) ZONE

(.02) PERMITTED USES

Examples of principle uses that are typically permitted:

E. Multi-Family Dwellings

I. Commercial uses within the Village Center, subject to the standards of (.06) Standards Applying to Commercial Uses and similar to the following:

1. Sales and servicing of consumer goods:

Bicycle shop

Bookstore

Clothing Store

Electronics and appliances store

Florist

Furniture store

Jeweler Pet shop

2. Food and sundries:

Bakery Butcher shop

Convenience store

Delicatessen

Drugstore

Gifts Store

Hardware store

3. Lifestyle and recreation:

Art gallery

Barbershop or hair salon

Boutique shops and other specialty retail

Coffee shops including outdoor eating areas

Health club or gymnasium

Restaurants and pubs including outdoor eating areas

Dance or martial arts studio

4. Service Commercial:

Banking and investment services

Child day care

Custom tailoring

Dry cleaners
Photo processing
Postal service
Reproduction services
Laundromat
Locksmith
Telecommunications services
Upholstery shop

5. General Office:

Computer and technology companies
Governmental services
Health services
Insurance agencies
Nonprofit organizations
Professional-type services
Real estate offices
Secretarial services
Travel agencies

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed development is a mixed-use building and parking area. The building will contain commercial space and the community mail center on the ground floor with market-rate multi-family rental units above. The commercial space will be similar to the above-reference list and will comply with the standards applying to commercial uses. All proposed uses within the subject PDP are permitted pursuant to this section.

(.03) PERMITTED ACCESSORY USES

C. Structured parking, garages, and parking areas

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed development is a mixed-use building with associated parking area.

(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE

In addition to other applicable provisions of the Wilsonville Planning and Land Development Ordinance, all development in the Village zone shall be subject to Tables V-1 through V-4, and to the following. If there is a conflict, then the standards of this section shall apply.

A. Block, Alley, Pedestrian and Bicycle Standards:

1. **Maximum Block Perimeter:** 1,800 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent a block perimeter from meeting this standard.

Response: The subject property abuts to SW Barber Street on the northeast and SW Toulouse Street on the southwest. SW Barber Street and SW Toulouse Street are existing streets within Villebois Village Center and meet the maximum 1,800-foot block perimeter.

2. **Maximum spacing between streets for local access:** 530 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent street extensions from meeting this standard.

Response: The subject property abuts to SW Barber Street on the northeast and SW Toulouse Street on the southwest. SW Barber Street and SW Toulouse Street are existing streets within Villebois Village Center with blocks that meet the maximum 530-foot spacing for local street access.

- B. **Access:** All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

Response: The proposed development has vehicular access from SW Toulouse Street, an existing public street, to the associated parking area.

- C. **Trailers, travel trailers, mobile coaches, or any altered variation thereof shall not be used for the purpose of conducting a trade or calling, or for storage of material, unless approved for such purpose as a temporary use.**

Response: No trailers, travel trailers, mobile coaches, or such vehicles will be used for the purpose of conducting a trade or calling, or storage of material unless approved as a temporary use.

- D. **Fences:**

1. **General Provisions:**

- a. **Fencing within the Village Zone shall be in compliance with the Master Fencing Program in the adopted Architectural Pattern Book for the appropriate SAP.**
- b. **When two or more properties with different setbacks abut, the property with the largest front yard setback requirement shall be used to determine the length and height of the shared side yard fence, as required by section 4.125 above.**

- c. The development Review Board may, in their discretion, require such fencing as deemed necessary to promote and provide traffic safety, noise mitigation, and nuisance abatement, and the compatibility of different uses permitted on adjacent lots of the same zone and on adjacent lots of different zones.
2. Residential:
- a. The maximum height of any fence located in the required front yard of a residential development shall not exceed three (3) feet.
 - b. Fences on residential lots shall not include chain link, barbed wire, razor wire, electrically charged wire, or be constructed of sheathing material such as plywood or flake board. Fences in residential areas that protect wetlands, or other sensitive areas, may be chain link.

Response: The SAP Central Plan and Villebois Village Master Plan do not indicate any required community fencing within the subject PDP modification. The Village Center Architectural Standards (VCAS) indicate that fencing is optional in the Plaza Address, and where provided should be consistent with the architecture. The applicant is not proposing fencing within the development.

- E. Recreational Area in Multi-Family Residential and Mixed-Use Developments.
- 1. The Recreational Area Requirement is intended to provide adequate recreational amenities for occupants of multiple family developments and mixed-use developments where the majority of the developed square footage is to be in residential use.
 - 2. Recreational Area is defined as the common area of all lawns, community gardens, play lots, plazas, court yard, interior and exterior swimming pools, ball courts, tennis courts, exercise rooms, health and exercise facilities, libraries, internet/electronic media rooms, decks and other similar areas for common recreational uses. Recreational Area may include Parks required under the Villebois Village Master Plan, and any usable park areas not shown in such plan. Private areas under this definition, defined as those areas that are accessible only by a single owner or tenant, or commercial or retail recreation facilities serving the general public, shall not constitute or contribute to the measurement of Recreational Area.
 - 3. A variety of age appropriate facilities shall be included in the mix of Recreational Area facilities.
 - 4. Recreational Area shall be calculated at the following ratios:
 - a. At the SAP Level - 195 square feet per residential unit.

- b. At the PDP level - an additional 30 square feet per residential unit.
5. Outdoor Living Area shall be considered to be part of the Open Space requirement in Section 4.125(.08). [Section 4.125(.05)(E.) amended by Ord. 606, 4/3/06.]

Response: The 195 square feet recreation area per residential unit was addressed at the SAP level. Building 'C' in PDP 2C provides 49 units, requiring 1,470 square feet of recreational area recreational area.

Building C in PDP 2C is part of the larger Villebois Village Center mixed-use development that includes Buildings 'A' and 'B' in PDP 12C. Building C in PDP 2C is designed to provide 1,158 of recreational space as noted below:

- 358 sq. ft. Lobby; and
- 800 square foot outdoor recreation area behind the building.

Additionally, residents of Building 'C' will have access to 4,483 square feet of recreational space in Buildings 'A' and 'B' that include:

- 1,076 square foot community room in Building 'A'
- 972 square foot fitness room in Building 'A'
- 623 square foot lobby in Building 'A'
- 1,038 square foot amenity room and deck in Building 'B'
- 128 square foot dog washing station in Building 'B'
- 646 square foot lobby in Building 'B'

Therefore, the recreation area for the residents of Building 'C' in PDP exceeds the 30 square foot per residential unit requirement.

In addition to the recreation areas, the development includes a 465 square foot leasing office in Building 'B', a 2,568 square foot community mail center in Building 'C', and each building contains common bike storage, and individual storage rental areas.

F. Fire Protection:

1. All structures shall include a rated fire suppression system (i.e., sprinklers), as approved by the Fire Marshal

Response: The building within the PDP area will include appropriate fire suppression systems. This will be verified with review of future building permit applications.

Table V-1: Development Standards

Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width ^{10,12} (%)	Max. Bldg. Height (ft.)	Front Min. (ft.)	Setbacks ^{10,13,20}			Alley-Loaded Garage (note)	Street-Loaded Garage (note)
								Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)		
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ³	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ⁵	15	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17,18
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17

Notes: NR, No Requirement
 NA, Not Allowed

- Lot < 8000sf, NR; Lot > 8000sf, 80% (Max. Lot Coverage)
- Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
- Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
- Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
- Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
- For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
- The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
- Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main facade of the associated dwelling unit.
- Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
- For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
- Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
- See Definitions, 4.125.01, for measurement of Minimum Frontage Width.
- Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
- See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.
- On Estate Lots and Large Lots with frontage 70 ft. or wider, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.
- For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
- Dwellings on lots without alley access shall be at least 36 feet wide.
- Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
- Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
- Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

[Table V-1 amended by Ord. 667 on 8/17/09; Ord. 682, 9/9/10]

Response: This application proposes to develop a four-story mixed-use building with associated parking on the 0.50-acre Lot 73 in the Villebois Village Center. The building will contain commercial space and the community mail center on the ground floor with market-rate rental residential units above. Design of the development incorporates unique, attractive architecture and flexible uses that activate the Village Center and bring variety to Central Villebois. The proposed development lots meet applicable standards, as addressed below.

The proposed development meets applicable requirements for a mixed-use building. Table V-1 does not indicate a minimum lot size, width or depth for Mixed Use Buildings in the Village Center. The proposed building complies with the minimum frontage width standard and the applicable setback and height requirements.

(.06) STANDARDS APPLYING TO COMMERCIAL USES

A. All commercial uses shall be subject to the following:

1. A Neighborhood Center shall only be located at a Neighborhood Commons

Response: This proposal is located in the Village Center.

2. The total area of all commercial uses in a Neighborhood Center shall not exceed 3,500 sq. ft. (excluding residential uses, home occupations, or home businesses).

Response: This criterion is not applicable as it is not a Neighborhood Center.

3. Commercial use shall not include “drive-through” facilities.

Response: This proposal does not include a request for a “drive-through” facility.

4. A commercial use shall be adjacent to a street.

Response: This application proposes to develop a mixed-use building on Lot 73 in the Villebois Village Center. The building will contain commercial space and the community mail center on the ground floor with market-rate rental units above. The commercial space on the ground floor is adjacent to SW Barber Street as shown on the site plan.

5. All businesses, service or processing, shall be conducted wholly within a completely enclosed building; except for off-street parking and off-street loading. Except, however, that exterior displays, outdoor dining areas, or exterior sales may be specifically authorized through temporary use permit or development permit approval, subject to conditions of approval. Exterior sales that may be permitted are those that are limited in time duration, such as sidewalk sales, grand openings, or farmers’ markets. Said areas must maintain the minimum required clear space accessible to pedestrian movement on pathways and/or sidewalks. See the following figure:

Response: All areas of the proposed commercial space within this development are enclosed.

6. Except as may be approved through the processes noted in Section (.07)(A)(5), above, all commercial uses shall meet the performance standards specified in Section 4.135(.05).

Response: All areas of the proposed commercial space within this development are enclosed. The site is not located within the PDI Zone or an industrial property; therefore, Section 4.135(.05) does not apply.

(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING

Except as required by Subsections (A) through (D), below, the requirements of Section 4.155 shall apply within the village zone.

Response: The general provisions of Section 4.155 General Regulations - Parking, Loading and Bicycle Parking are addressed later in this report.

A. General Provisions:

1. The provision and maintenance of off-street parking spaces is a continuing obligation of the property owner. The standards set forth herein shall be considered by the Development Review Board as minimum criteria.
2. The Board shall have the authority to grant variances or refinements to these standards in keeping with the purposes and objectives set forth in this zone.

Response: The applicant acknowledges that the provision and maintenance of off-street parking is the continuing obligation of the property owner. There are no variances or refinements to the standards of this section proposed with this application.

B. Minimum and Maximum Off-Street Parking Requirements:

1. Table V-2, Off-Street Parking Requirements, below, shall be used to determine the minimum and maximum parking standards for noted land uses. The number of required parking spaces shown in Table V-2 shall be determined by rounding to the nearest whole parking space.

Table V-2: Off-Street Parking Requirements

Use	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short-term	Bicycle Long-term
Multi-family Dwellings	1.0/1 Bdr 1.5/2 Bdr 1.75/3 Bdr	NR	1 per 20 units, Min. of 2	1 per 4 units Min. of 2
Commercial	2/1,000 sf	4/1,000sf	1 per 10,000 sf Min. of 2	1 per 40,000 sf Min. of 2

Response: In its entirety, the proposed Villebois Village mixed-use development provides 183 vehicle parking spaces, exceeding the 167-space parking requirement before the allowed reductions for excess bicycle and motorcycle parking. With the allowed reductions the development is required to provide 149 spaces. The 183 parking spaces provided, 138 off-street and 45 on-street, more than adequately serves residents, employees, and visitors of the development. Parking calculations and details for the entire development are provided in the Introductory Narrative located in Section IA.

This PDP addresses requirements for Building 'C' individually, however Building 'C' is part of a larger development that includes Buildings 'A' and 'B' located on Lot 76 and a parking lot on Lot 12. Building 'C' provides 43 of the 49-parking space requirement when viewed individually; however, the parking lot proposed on Lot 12, across Villebois Drive from Building 'C', provides an additional 24 off-street parking spaces and is easily accessible from Building 'C'. Therefore, parking available to Building 'C' exceeds the required amounts. Parking requirements and parking provided for Building 'C' are detailed below:

The proposed mixed-use building will have a rear-located parking lot. The four-story building is proposed to have 49 multi-family residential units (16 studio residential units, 26 one-bedroom units, 7 two-bedroom units), and 1,129 square feet of retail. According to Section 4.125 Table V-2 the proposed building is required to provide 55 off-street vehicle parking spaces as calculated below:

Off-Street Parking according to Section 4.125 Table V-2:

Multi-family Dwellings		
16 Studio Units at 1.0 space/ unit	=	16 spaces
26 1-Bed Units at 1.0 space/ unit	=	26 spaces
7 2-Bed Units at 1.5 spaces/ unit	=	11 spaces
Retail/ Commercial		
1,129 sf. at 2.0 Spaces/ 1,000 sf	=	2 spaces
Vehicle Parking Requirements	=	55 spaces
Total Vehicle Parking Requirement	=	55 spaces

Forty percent, or 22 spaces, of the required off-street parking spaces are permitted to be compact spaces according to Section 4.155.(2.)N. Section 4.125(.07)B.4.b states "*Bicycle parking may substitute for up to 25% of required Mixed-Use or Multi-Family Residential parking. For every five non-required bicycle parking spaces that meet the short or long-term bicycle parking standards, the motor vehicle parking requirement for compact spaces may be reduced by one space.*" The applicant is providing 50 bicycle parking spaces in excess of the requirement within Building 'C' (see calculation in following section) to offset the number of compact vehicle parking spaces permitted up to 25%, or 6 spaces.

With the reduction of 6-spaces allowed for excess bicycle parking the proposed mixed-use building on Lot 73 is required to provide 49 off-street vehicle parking spaces:

Vehicle Parking Requirements per Section 4.125 Table V-2		55 spaces
Vehicle Parking Off-set Allowed		-6 spaces
Total Vehicle Parking Spaces Required	=	49 spaces

The parking area located behind Building 'C' provides 28 off-street parking spaces as detailed in the following table:

Off-Street Vehicle Parking Provided:

Parking Provided with Building 'C' on Lot 73		
Standard Spaces	=	13 spaces
Compact Spaces	=	13 spaces
ADA Spaces	=	2 spaces
Off-Street Vehicle Parking Provided	=	28 spaces

In addition to the 28 off-street parking spaces, the development provides 15 on-street parking spaces located directly adjacent to the development to be counted toward meeting the minimum off-street parking as allowable per Section 4.125(.07)B.3. as detailed below:

On-Street Vehicle Parking Provided:

Parking Provided with Building 'C' on Lot 73		
SW Barber Street	=	5 spaces
SW Barber Street (15-min. parking for Mail Room)	=	3 spaces
SW Villebois Drive North	=	6 spaces
SW Toulouse Street	=	1 spaces
On-Street Vehicle Parking Provided	=	15 spaces

With 28 off-street parking spaces and 15 on-street parking spaces, *the mixed-use development provides a total of 43 parking spaces to serve residents, employees, and visitors of the Village Center Apartment Building 'C'.*

Vehicle Parking for Future Conversion to Retail

As noted on the elevation and floor plans submitted in Section V of this application, 2 ground floor residential units facing the Piazza in Villebois Village Center Apartments Building C is designed to convert to 1,528 square feet of retail space to meet future market conditions. The 2 ground floor units require 3 parking spaces as detailed below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Building 'C' Ground Floor Residential

1 Studio Units at 1.0 space/ unit	=	1 spaces
1 2-Bed Unit at 1.5 space/ unit	=	2 space

Vehicle Parking Requirements	=	3 spaces
-------------------------------------	---	-----------------

Alternatively, 1,528 square feet of retail space which requires 2.0 spaces per 1,000 square feet also results in a requirement of 3 vehicle parking spaces; therefore, the conversion or residential to retail does not impact the parking requirements in Building 'C'.

C. Minimum Off-Street Loading Requirements:

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed development is a mixed-use building with associated parking area. The applicant does not propose any off-street loading space to be provided at this time.

D. Bicycle Parking Requirements:

Response: Building 'C' of the Villebois Village mixed-use development, located on Lot 73 of PDP 2C is required to provide 18 short and long-term bicycle parking spaces and 68 spaces are provided, resulting in an excess of 50 bicycle parking spaces as detailed below:

Bicycle Parking Requirements according to Section 4.125 Table V-2:

Multi-family Dwellings		
Short Term 49 units at 1.0 space/ 20 units	=	2 spaces
Long Term 49 units at 1.0 space/ 4 units	=	12 spaces
Retail/ Commercial		
Short Term:		
1,129 sf. at 1.0 space/ 10,000 sf (Min. 2 spaces)	=	2 spaces
Long Term:		
1,129 sf. at 1.0 Spaces/ 40,000 sf (Min. 2 spaces)	=	2 spaces
Total Short Term Bicycle Parking Spaces Required	=	4 spaces
Total Long Term Bicycle Parking Spaced Required	=	14 spaces
Total Bicycle Parking Spaces Required	=	18 spaces

Bicycle Parking Provided:

Short Term

Exterior Bike Racks = 4 spaces

Long Term

Building 'A' Bike Storage Room on 1st Floor = 15 spaces

1.0 Storage Space per Unit = 49 spaces

Total Bicycle Parking Provided = 68 spaces

Bicycle parking requirements and vehicle parking provided for the entire Villebois Village Center Mixed-Use Development is detailed in the Introductory Narrative provided in Section IA of this application.

(.08) OPEN SPACE

Open space shall be provided as follows:

- A. In all residential developments and in mixed-use developments where the majority of the developed square footage is to be in residential use, at least twenty-five percent (25%) of the area shall be open space, excluding street pavement and surface parking. In multi-phased developments, individual phases are not required to meet the 25% standard as long as an approved Specific Area Plan demonstrates that the overall development shall provide a minimum of 25% open space. Required front yard areas shall not be counted towards the required open space area. Required rear yard areas and other landscaped areas that are not within required front or side yards may be counted as part of the required open space.
- B. Open space area required by this Section may, at the discretion of the Development Review Board, be protected by a conservation easement or dedicated to the City, either rights in fee or easement, without altering the density or other development standards of the proposed development. Provided that, if the dedication is for public park purposes, the size and amount of the proposed dedication shall meet the criteria of the City of Wilsonville standards. The square footage of any land, whether dedicated or not, which is used for open space shall be deemed a part of the development site for the purpose of computing density or allowable lot coverage. See SROZ provisions, Section 4.139.10.
- C. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review and approve any pertinent bylaws, covenants, or agreements prior to recordation.

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The Parks *Master Plan* for Villebois states that there are 58.42 acres of parks and 101.31 acres of open space for a total of 159.73 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent and in excess of the *Master Plan*. The

Parks Master Plan for Villebois does not show required open space within the subject site and the applicant is not proposing any changes to this designation. Therefore, this standard is not applicable, as it has already been met and exceeded within SAP Central.

(.09) STREET & ACCESS IMPROVEMENT STANDARDS

- A. Except as noted below, the provisions of Section 4.177 apply within the Village zone:**

Response: The general provisions of Section 4.177 Street Improvement Standards are addressed later in this report.

1. General Provisions:

- a) All street alignment and access improvements shall conform to Figures 7, 8, 9a, and 9B of the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan and the following standards:**

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. The proposed development includes construction of public sidewalks adjacent to SW Barber and SW Toulouse streets and a driveway approach on SW Toulouse Street. The applicant is not proposing to modify or alter the existing street alignment. The existing street alignments and access improvements within this PDP modification remain consistent with those approved in the *Villebois Village Master Plan* and SAP Central.

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.**

Response: All street improvements within this PDP modification will comply with the applicable Public Works Standards. The street system within this PDP modification is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Circulation Plan* (see Sheet 6 of Section IVB).

- ii. All streets shall be developed in according to the Master Plan.**

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. The proposed development includes construction of public sidewalks adjacent to SW Barber and SW Toulouse streets and a driveway approach on SW Toulouse Street. All streets within this PDP modification will be developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian

pathways as depicted on the *Circulation Plan* (See Sheet 6 of Section IVB) and in accordance with the *Master Plan*.

2. Intersections of streets

- a) **Angles:** Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.
- b) **Intersections:** If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety (90) degrees shall require approval by the City Engineer after consultation with the Fire District.

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. No new streets are proposed with this development.

- c) **Offsets:** Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:
 - i. 1000 ft. for major arterials
 - ii. 600 ft. for minor arterials
 - iii. 100 ft. for major collector
 - iv. 50 ft. for minor collector

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. No new streets are proposed with this development.

- d) **Curb Extensions:**
 - i. Curb extensions at intersections shall be shown on the Specific Area Plans required in subsection 4.125(.18)(C) through (F) below, and shall:
 - Not obstruct bicycle lanes on collector streets.
 - Provide a minimum 20 foot wide clear distance between curb extensions all local residential street intersections shall have, shall meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. No new streets or curb extensions are proposed with this development. Existing curb extensions are shown on the *Circulation Plan* (see

Sheet 6 in Section IVB) Curb extensions do not obstruct the bicycle lane on SW Barber Street, classified as a minor collector. The attached drawings illustrate that all street intersections have a minimum 20-foot wide clear distance between curb extensions on all local residential street intersections.

3. Street grades shall be a maximum of 6% on arterials and 8% for collector and local streets. Where topographic conditions dictate, grades in excess of 8%, but not more than 12%, may be permitted for short distances, as approved by the City Engineer, where topographic conditions or existing improvements warrant modification of these standards.

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. No new streets are proposed with this development. This project does not propose to modify street grades.

4. Centerline Radius Street Curves:

The minimum centerline radius street curves shall be as follows:

- a) Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by City Engineer.
- b) Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.
- c) Local streets: 75 feet

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. SW Barber Street is classified as a minor collector and SW Toulouse is classified as a local street. The proposed development does not alter the existing streets.

5. Rights-of-way:

- a) See Section 4.125(.09) (A), above.

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest. Rights-of-way for adjacent streets have already been dedicated as shown on the plan sheets located in Section IVB of this application.

6. Access drives.

- a) See Section 4.125(.09) (A), above.
- b) 16 feet for two-way traffic.

Response: The access drive within the parking area will be paved at least 16-feet, as shown on the *Circulation Plan*. In accordance with Section 4.177, the access drive will be constructed with a hard surface capable of carrying a 23-ton load. Easements

for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

7. Clear Vision Areas

- a) See Section 4.125(.09) (A), above.

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177 Street Improvement Standards as addressed later in this report.

8. Vertical clearance:

- a) See Section 4.125(.09) (A), above.

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177 Street Improvement Standards as addressed later in this report.

9. Interim Improvement Standard:

- a) See Section 4.129(.09) (A), above.

Response: The subject property abuts SW Barber Street on the northeast and SW Toulouse Street on the southwest, existing public rights-of-way. No interim improvements are proposed.

(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS

- A. The provisions of Section 4.154 and 4.177(.03) shall apply within the Village zone.

Response: All sidewalks and pathways within SAP Central will be constructed in accordance with the Villebois Village Master Plan and meet the standards of Section 4.154 On-Site Pedestrian Access and Circulation, Section 4.177 Street Improvement Standards as addressed later in this report. Sidewalks and pathways are shown on the *Circulation Plan* (see Sheet 6 in Section IVB).

(.11) LANDSCAPING, SCREENING AND BUFFERING

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:

Response: The standards of Section 4.176 Landscaping, Screening & Buffering are addressed later in this report.

1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The *Street Tree Planting Layout Plan* shows the street trees proposed within this PDP (see Sheet L1 in Exhibit IVB). The trees are in conformance with the Community Elements Book.

(.12) MASTER SIGNAGE AND WAYFINDING

- A. All signage and wayfinding elements within the Village Zone shall be in compliance with the adopted Signage and wayfinding Master Plan for the appropriate SAP.

Response: The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

(.14) Design Standards Applying to the Village Zone

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. General Provisions:

- a. Flag lots are not permitted.

Response: No flag lots are proposed with this application.

- b. The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.

Response: No single-family dwellings are proposed with this application.

- c. Village Center lots may have multiple front lot lines.

Response: The proposed mixed-use development on Lot 73 of Villebois Village Center will front SW Barber Street.

- d. For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use building and associated parking area on Lot 73 in the Villebois Village Center with frontage on SW Barber Street. on the northeast and SW Toulouse Street on the southwest. The façade of mixed-use building occupies 100% of frontage on SW Barber Street.

2. Building and site design shall include:

- a. Proportions and massing of architectural elements consistent with those established in an approved

Architectural Pattern Book or Village Center Architectural Standards.

- b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Pattern Book, Community Elements Book or approved Village Center Architectural Standards.

Response: Compliance with the *Village Center Architectural Standards* is demonstrated with the FDP in Section V of this application. Compliance with the Community Elements Book is demonstrated later in this report.

- c. Protective overhangs or recesses at windows and doors.
- d. Raised stoops, terraces or porches at single-family dwellings.
- e. Exposed gutters, scuppers, and downspouts, or approved equivalent.

Response: As shown in the architectural drawings in the FDP, the multi-use building proposed will include protective overhangs and recesses at windows and doors and exposed gutters and downspouts (see Section V).

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: As shown on the Tree Preservation Plan no significant trees are located on the subject (see Sheet 8 in Section IVB).

- g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

Response: The FDP plans comply with the requirements of Sections 4.125(.11) (see Section V).

- h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.
- i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.

Response: A block complex is defined as "an assemblage of buildings bounded entirely by intersecting streets so as to form a single, comprehensive group." Buildings A and B on Lot 76 and Building C on Lot 73 of Villebois Village Center have similar architectural styles but each building incorporates different architectural details providing a variety in the Village Center (see Section V).

- j. A porch shall have no more than three walls.

Response: No porches are proposed with this mixed-use building.

- k. A garage shall provide enclosure for the storage of no more than three vehicles, as described in the definition of Parking Space.

Response: No garages are proposed with this mixed-use building.

3. Lighting and site furnishings shall be in compliance with the approved Architectural Pattern Book, Community Elements Book, or approved Village Center Architectural Standards.

Response: Bike racks are provided as shown on the Street Tree Layout Planting Plan in Section IVB are consistent with the Community Elements Book (pages 11 and 12) for SAP Central. The *Preliminary Composite Utility Plan* (see Sheet 5 in Section IVB) shows existing street lights for this Preliminary Development Plan. These plans illustrate that lighting and site furnishings will be provided in compliance with the Community Elements Book.

4. Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein. Design creativity is encouraged. The LEED Building Certification Program of the U.S. Green Building Council may be used as a guide in this regard.

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed development is a mixed-use building with associated parking area. A concurrent FDP application for the proposed architecture included in Section V of this application illustrate the development complies with Table V-4 materials, applications and configurations.

(.15) VILLAGE CENTER DESIGN PRINCIPLES

- A. In addition to the design principles found in Section 4.125(.13), above, the following principles reflect the fundamental concepts, support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities within the Village Center:

1. The buildings, streets and open spaces of the Village Center are intended to relate in such a way as to create an identifiable and related series of public and private spaces.

Response: The Villebois Village's central plaza is the physical and symbolic heart of Villebois. Building C in PDP 2C is part of the larger Villebois Village Center mixed-use development that includes Buildings 'A' and 'B' in PDP 12C. The three proposed 4-story buildings wrap the plaza to create a sense of enclosure, acting as the "walls" around this public "room". At the primary streets surrounding the plaza, the buildings' accentuated corners identify one's arrival into the plaza. At Building B, the top-floor

Amenity Deck provides a focal point along Barber Street, drawing visitors toward the plaza.

The ground level of each building encourages activity around the plaza. Building A has large common area amenities for the three apartment buildings with large storefront windows. Three Live/Work units facing the plaza provide opportunities for small office or retail. At Building B, a corner Retail space (approx. 1200 SF) activates the streetscape along Barber Street and the plaza, with the Leasing Center next door. Building C has a large Mail Center for the community (with over 900 mailboxes), and a small retail space fronting Barber Street. Above the ground-level activity, balconies face the plaza at Building A and Building C.

At the public and common area spaces, the buildings' façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. The residential housing is primarily demarcated with lap siding or revealed Hardi panels ("stucco board"), with vinyl windows at the apt units. Each building has a unique color palette, which complement one another for a cohesive project wrapping the plaza. Architectural elevations, floor plans, and details are provided in Section VC of this application.

(.16) VILLAGE CENTER DESIGN STANDARDS

A. In addition to the design standards found in Section 4.125(.14), above, the following Design Standards are applicable to the Village Center, exclusive of single-family detached dwellings and row houses:

1. Off-street parking areas shall not be located between buildings and the street.

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed development is a mixed-use building with associated parking area. The 'L' shaped lot abuts to SW Barber Street on the northeast and SW Toulouse Street on the southwest. The building and parking areas are oriented on the site to meet the frontage requirements of Table V-1. While the parking area is located between SW Toulouse Street and the building, the main entrance of the building is located on SW Barber Street. Orientation of the building promotes pedestrian access and connectivity to The Piazza, located directly across from the development, and neighboring amenities.

2. The design of off-street parking areas shall include pedestrian connections to the buildings they serve, sidewalks, and adjacent parking areas.

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed

development is a is a mixed-use building with associated parking area. The off-street parking area provides pedestrian connections to the mixed-use building, the public sidewalk along SW Toulouse Street and the public accessway that abuts the property on the northwest.

- 3. The design of buildings and public spaces shall include interior (through-buildings) and exterior public pedestrian accessways, as required, to facilitate pedestrian connections.**

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed development is a is a mixed-use building with associated parking area. The building is designed to provide pedestrian access from the parking area to the public sidewalk along SW Barber Street. In addition, the parking area provides pedestrian connections to the mixed-use building, the public sidewalk along SW Toulouse Street and the public accessway that abuts the property on the northwest.

- 4. The design of buildings shall include rear and side entrances in addition to primary street front entrances when necessary to facilitate pedestrian connections.**

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center that includes a mixed-use building with associated parking area. The primary entrance of the building is oriented onto SW Barber Street. A rear entrance provides access to the parking area and side entrances provides access to the public pedestrian accessway and linear green that are adjacent to the building.

- 5. Building facades shall be broken into multiple vertical elements.**

Response: As shown in the architectural drawings in the FDP, the multi-use building proposed is broken into multiple vertical elements (see Section V).

- 6. Canopies and awnings should be provided as specified in the Village Center Architectural Standards.**

Response: Compliance with the Village Center Architectural Standards is demonstrated with the FDP in Section V of this application, illustrating compliance with the Village Center architectural standards.

- 7. The design of buildings and landscapes shall provide opportunities for public art at a minimum of one location per block.**

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The proposed development is a is a mixed-use building with associated parking area. The subject

property is adjacent to the linear green and directly across from The Piazza. While public art is not proposed on the subject property, opportunities for public art are available within the linear green and The Piazza.

(.17) VILLAGE ZONE PLAZA DESIGN STANDARDS

A. In addition to the design standards found in Section 4.125(.16), above, the following Design Standards are specific to the design of the Village Center Plaza:

1. The Village Center Plaza shall be measured as all space enclosed by the surrounding buildings.

Response: The Village Center Plaza has been constructed as The Piazza and is located in the center of the proposed PDP Modification (PDP 2C) and the concurrent application for PDP 12C.

2. The Village Center Plaza landscape shall consist of textured paving differentiated from typical street pavement. Vehicular movement and on-street parking within the Village Center Plaza is encouraged to have similar paving treatments and occur at the same elevation as the sidewalk and the Village Center Plaza.

Response: The proposed PDP plans are compliant with this standard and changes to the existing Plaza, which is also compliant with this standard, are not proposed with this application.

3. The Village Center Plaza shall include the following:

a. Incorporation of existing significant trees, street furniture, bollards or similar elements, and exterior lighting.

Response: Section VI includes the Tree Report prepared by Morgan Holen addressing existing trees and development impacts within the subject area, a tree inventory and tree mitigation details. All trees were evaluated on an individual basis in regards to retention. Tree numbers 481, 482, and 482.2 were rated as "Good", tree numbers 460 and 467 were rated as "Moderate", and tree number 475 was rated as "Poor". Based on the Tree Report and the proposed PDP all trees are proposed to be removed. All trees were evaluated on an individual basis in regards to retention. Trees will be planted on-site in the form of parking lot trees and street trees.

b. One vertical tower element facing the Village Center Plaza with proportions, massing, and architectural elements consistent with the Village Center Architectural Standards

Response: Buildings 'C' in PDP 2C is part of the larger Villebois Village mixed-use development that includes Buildings 'A' and 'B' on PDP 12C and a parking lot in PDP

1C. A contemporary tower element is proposed on the Southeast corner of Building B. Driving northbound on SW Barber St, Building B becomes the focal point of the central plaza. The amenity terrace on the top floor serves as a contemporary tower, providing views of the plaza below and of Mt. Hood in the distance. The banding of the building's upper three floor levels accentuates the building's vertical design. More detail can be found in the Architectural Plans provided in Section V of this application.

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

B. Unique Features and Processes of the Village (V) Zone. To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural, landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:

2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Section 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a zone change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists.

Final Development (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.

Response: The Applicant is requesting approval of a Preliminary Development Plan (PDP). Compliance with Sections 4.125(.18)(G) through (K) is demonstrated in the following sections of this report. This PDP modification addresses Lot 73 of Phase 1 on the SAP Central Phasing Plan. A Final Development Plan is also submitted concurrent with this PDP (see Section V).

G. Preliminary Development Plan Approval Process:

1. An application for approval of a Preliminary Development Plan for a development in an approved SAP shall:

a) Be filed with the City Planning Division for the entire SAP, or when submission of the SAP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.

Response: This PDP modification addresses Lot 73 of Phase 2 on the SAP Central Phasing Plan.

- b) Be made by the owner of all affected property or the owner's authorized agent; and

Response: This application is made by Costa Pacific, with the authorization of the property owner. The application form is provided in Section IB of this application.

- c) Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution; and

Response: The appropriate application form is included in Section IB of this application. Applicable fees have been paid.

- d) Set forth the professional coordinator and professional design team for the project; and

Response: The professional coordinator and professional design team are set forth in the Introductory Narrative, located in Section IA of this application.

- e) State whether the development will include mixed land uses, and if so, what uses and in what proportions and locations.

Response: This PDP modification includes mixed land uses. The proposed mixed-use building will each have a rear-located parking lot. The four-story building is proposed to have 49 multi-family residential units (16 studio residential units, 26 one-bedroom units, 7 two-bedroom units), 1,129 square feet of retail space and a 2,569 square foot community postal center. The proposed land uses are shown on the *Site/Land Use Plan*, in Section IVB of this application.

- f) Include a preliminary land division (concurrently) per Section 4.400, as applicable.

Response: The applicant is not proposing a change in the current lot configuration and the subject site was platted with a previous subdivision (Villebois Village Center, No. 2); therefore, a tentative plat is not being proposed with this application.

- g) Include a concurrent application for a Zone Map Amendment (i.e., Zone Change) for the subject phase.

Response: This application does not include a request for a zone map amendment. The proposed development is in compliance with the site's Village (V) zone.

2. The application for Preliminary Development Plan approval shall include conceptual and quantitatively accurate representations of the entire development sufficient to demonstrate conformance with the approved SAP and to

judge the scope, size and impact of the development on the community and shall be accompanied by the following information:

- a) A boundary survey or a certified boundary description by a surveyor licensed in the State of Oregon.
- b) Topographic information sufficient to determine direction and percentage of slopes, drainage patterns, and in environmentally sensitive areas, (e.g., flood plain, wetlands, forested areas, steep slopes or adjacent to stream banks). Contour lines shall relate to North American Vertical Datum of 1988 and be at minimum intervals as follows:
 - i) One (1) foot contours for slopes of up to five percent (5%);
 - ii) Two (2) foot contours for slopes from six percent (6%) to twelve (12%);
 - iii) Five (5) foot contours for slopes from twelve percent (12%) to twenty percent (20%). These slopes shall be clearly identified, and
 - iv) Ten (10) foot contours for slopes exceeding twenty percent (20%).
- c) The location of areas designated Significant Resource Overlay Zone (SROZ), and associated 25-foot Impact Areas, within the PDP and within 50 feet of the PDP boundary, as required by Section 4.139.

Response: The subject property is legally defined as Lot 73 of Villebois Village Center, No. 2. A copy of the Villebois Village Center, No. 2 plat prepared by a licensed surveyor is provided in Section IC of this application.

- d) A tabulation of the land area to be devoted to various uses, and a calculation of the average residential density per net acre.

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 73 in the Villebois Village Center. The development includes a four-story building is proposed to have 49 multi-family residential units (16 studio residential units, 26 one-bedroom units, 7 two-bedroom units), 1,129 square feet of retail space, a 2,569 square foot community postal center, and 0.18-acre surface parking area. Following is a tabulation of land area devoted to the various uses and a calculation of net residential density:

Gross Acreage	0.50-acres
Buildings	0.25-acres
Surface Parking Area	0.18-acres
Landscaping	0.06-acres
Patio	0.01-acres

Net Residential Density: 49 units / 0.50 acres = 98 units per net acre

- e) The location, dimensions and names, as appropriate, of existing and platted streets and alleys on and within 50 feet of the perimeter of the SAP, together with the location of existing and planned easements, sidewalks, bike routes and bikeways, trails, and the location of other important features such as section lines, section corners, and City boundary lines. The plan shall also identify all trees 6 inches and greater d.b.h. on the project site only.

Response: The above information is shown on the *Existing Conditions* and the *Circulation Plan*. The *Tree Preservation Plan* identifies all trees 6 inches and greater diameter at breast height (d.b.h.) on the project site. Tree numbers are identified on the Tree Preservation Plan Sheets which correspond with the Tree Inventory in the Tree Report (see Section VI). The plan sheets mentioned above can be found in Section IVB of this application.

- f) Conceptual drawings, illustrations and building elevations for each of the listed housing products and typical non-residential and mixed-use buildings to be constructed within the Preliminary Development Plan boundary, as identified in the approved SAP, and where required, the approved Village Center Design.

Response: The proposed PDP modification is for a mixed-use building with ground-floor commercial space and common/amenity space and multi-family apartments above. A concurrent application for the FDP for architecture is included in Section V. The proposed elevations can be found in Exhibit VC.

- g) A composite utility plan illustrating existing and proposed water, sanitary sewer, and storm drainage facilities necessary to serve the SAP.

Response: Proposed storm drainage facilities, and water and sanitary lines are shown on the *Composite Utility Plan* (see Sheet 5 in Section IVB).

- h) If it is proposed that the Preliminary Development Plan will be executed in Phases, the sequence thereof shall be provided.

Response: The PDP modification is proposed to be executed in one phase.

- i) A commitment by the applicant to provide a performance bond or other acceptable security for the capital improvements required by the project.

Response: The applicant will provide a performance bond or other acceptable security for the capital improvements required by the project.

- j) At the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the SAP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire SAP, and it shall meet Subsection 4.140(.09)(J)(2).

Response: A copy of the Traffic Impact Analysis is provided in Section IF of this application.

H. PDP Application Submittal Requirements:

- 1. The Preliminary Development Plan shall conform with the approved Specific Area Plan, and shall include all information required by Sections 4.125(.18)(D)(1) and (2), plus the following:
 - a) The location of water, sewerage and drainage facilities;
 - b) Conceptual building and landscape plans and elevations, sufficient to indicate the general character of the development;
 - c) The general type and location of signs;
 - d) Topographic information as set forth in Section 4.035;
 - e) A map indicating the types and locations of all proposed uses; and
 - f) A grading and erosion control plan illustrating existing and proposed contours as prescribed previously in this section.

Response: The proposed PDP modification of Lot 73 generally conforms to the approved SAP Central, with the proposed refinements described in the following sections of this report. As demonstrated above, the PDP application includes all information required by 4.125(.18)(D)(1) and (2), as applicable to a PDP. The *Existing Conditions* shows the existing site features, including topographic features. Proposed lots to be created for development are shown on the *Tentative Plat*. The *Grading and Erosion Control Plan* shows the location of drainage facilities, topographic information, and grading and erosion control facilities. The *Composite Utility Plan* indicates the proposed location of water and sanitary sewer lines and drainage facilities. The *Site/Land Use Plan* indicates the types and locations of all proposed uses in the Preliminary Development Plan. The plan sheets mentioned above can be found in Section IVB of this application.

No signs are proposed at this time, as the SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

The proposed PDP of Lot 73 includes a mixed-use building with retail commercial space on the ground-floor, along with common/amenity space and 49 units of multi-family above. Elevations for the building proposed within the PDP are included in Exhibit VC along with a concurrent request for FDP approval of the architecture.

2. In addition to this information, and unless waived by the City's Community Development Director as enabled by Section 4.008(.02)(B), at the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the PDP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire PDP, and it shall meet Subsection 4.140(.09)(J)(2) for the full development of all five SAPs.

Response: A copy of the Traffic Impact Analysis is provided in Section IF.

3. The Preliminary Development Plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the phase of development. However, approval of a Final Development Plan is a separate and more detailed review of proposed design features, subject to the standards of Section 4.125(.18)(L) through (P), and Section 4.400 through Section 4.450.

Response: The plan sheets for the proposed Preliminary Development Plan provide sufficient detail to show the ultimate operation and appearance of the proposed development. The FDP application is submitted concurrent with this PDP modification application (see Section V).

4. Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner's association, shall also be submitted.

Response: Copies of legal documents will be provided as appropriate and required by the Development Review Board.

I. PDP Approval Procedures

1. An application for PDP approval shall be reviewed using the following procedures:
 - a) Notice of a public hearing before the Development Review Board regarding a proposed PDP shall be made in accordance with the procedures contained in Section 4.012.

- b) A public hearing shall be held on each such application as provided in Section 4.013.
- c) After such hearing, the Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.

Response: In accordance with the procedures contained in Section 4.012, the City shall provide notice of a public hearing before the Development Review Board on the proposed Preliminary Development Plan. This report, in conjunction with all submitted information, demonstrates that the proposal conforms to the applicable permit criteria set forth in the City's Code.

J. PDP Refinements to Approved Specific Area Plan

- 1. In the process of reviewing a PDP for consistency with the approved Specific Area Plan, the DRB may approve refinements, but not amendments, to the SAP. Refinements to the SAP may be approved by the Development Review Board, upon the applicant's detailed graphic demonstration of compliance with the criteria set forth in Section (.18)(J)(2), below.

a) Refinements to the SAP are defined as:

- i. Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.

Response: The PDP modification of Lot 73 design does not propose any refinements to the street network or functional classification of streets.

- ii. Changes to the nature or location of parks types, trails or open space that do not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the Preliminary Development Plan.

Response: The *Villebois Village Master Plan* and SAP Central do not show any parks, linear greens, open space or pathways on the subject property. The applicant is not proposing a refinement to the amount of required green space in the proposed PDP.

- iii. Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.

Response: No refinements are proposed with this application.

- iv. Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the Preliminary Development Plan. For the purposes of this subsection, “land uses” or “uses” are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.
- v. A change in density that does not exceed ten percent, provided such density change has not already been approved as a refinement to the underlying SAP or PDP, and does not result in fewer than 2,300 dwelling units in the Village.

Response: SAP Central was approved in 2006. Since the approval of SAP Central separate PDP’s have been approved or submitted for approval and some modifications of original approvals have also occurred. The following analysis reflects the final and current approved unit counts in all other PDP approvals and modifications in SAP Central.

Buildings ‘C’ in PDP 2C is part of the larger Villebois Village mixed-use development that includes Buildings ‘A’ and ‘B’ on PDP 12C and a parking lot in PDP 1C. To accommodate the development, the applicant proposes modifications to Preliminary Development Plan 1C and Preliminary Development Plan 2C as noted below:

- PDP 1C modification of Lot 12 refines the subject area beyond what was described in SAP Central. The conceptual ranges of density shown for the subject area in SAP Central was 8 to 12 Mixed Use Condos. Approval of a three-unit residential development, including one mixed-use unit and associate improvements was granted on August 27, 2018 by the Development Review Board on Resolution No. 357 (Casefile DB18-0040, DB18-0041, and DB18-0042). After the developer of the proposed three-unit residential development did not proceed with purchase of the property, the applicant took the opportunity to acquire the property and proceed with the proposed modification that eliminates the mixed-use condos on Lot 12 to provide a surface parking area to serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C.
- PCP 2C modification of Lot 73 proposes to increase the number of mixed-use condos from the conceptual range of 24 to 30 units to provide 49 units in Building ‘C’.

For purposes of this analysis, it is important to keep in mind that changes to the mix/location of “land uses” are to be evaluated as described by the code - in the aggregate. The code defines one land use group as condos, apartments, row houses, and small detached uses - which will be referred to as the ‘smaller land use group’ in the following analysis. The recent Planning Director’s Interpretation approved under Case File AR12-0021 found small attached uses to be included in this smaller land use group. The code defines the second land use group as mediums, standards, large and estate uses - which will be referred to as the ‘larger land use group’ in the following analysis.

The original SAP Central approved 1,010 units with a potential 10% increase or decrease overtime. With approval of the proposed PDP 1C and PDP 2C Modifications the density in SAP Central will be 986 units resulting in less than 10% change to the unit counts in the Central SAP and continues to meet the density requirement across Villebois.

Table 1. shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinements as well as the percent change in each aggregate land use category.

Table 1. Comparison of Current and Proposed Unit Counts

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	933	986	5.9%
Total	933	986	5.9%

Table 2. below, compares the original number of units shown in SAP Central, the number of units proposed, and the percent change for each aggregate land use category.

Table 2. Comparison of Original SAP Central and Proposed Unit Counts

	Original Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	1,010	986	-2.4%
Total	1,010	986	-2.4%

NOTE: The Current Unit Count for SAP Central reflects the final approved unit counts for PDP 1C, PDP 2C, PDP 3C, PDP 4C, PDP 5C (Montague Park), PDP 6C, PDP 7C, PDP 8C, PDP 9C, PDP 10C and PDP 11C. This number includes PDP 2C modification and PDP 12C, which were submitted concurrently.

Both tables show that the proposed refinements do not exceed the 10% standard. This proposal results in a total of 2,568 units within Villebois. This is above the density of 2,300 units required to be obtained across Villebois, meeting the refinement criteria.

vi. Changes that are significant under the above definitions, but necessary to protect an important community resource or improve the function of collector or minor arterial roadways.

a. As used herein, "significant" means:

i. More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above, or,

ii. That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.

Response: The PDP does not include changes that are significant under the above definitions. As the above findings demonstrate, the proposed refinements of providing additional apartment units does not cause a quantifiable change greater or less than 10%. Additionally, the proposed refinements do not negatively affect an important, qualitative feature of Villebois as demonstrated in the following responses. The proposed refinements contribute to the range of housing options within the Village Center and within Villebois.

2. Refinements meeting the above definition may be approved by the DRB upon the demonstration and finding that:

a) The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

Response: None of the conditions of approval for SAP Central are specific to the proposed refinements. As the proposed refinements will not compromise the project's ability to comply with SAP conditions of approval, they will equally meet the conditions of approval of SAP Central.

The proposed refinements will equally or better meet the following Goals, Policies and Implementation Measures of the *Villebois Village Master Plan* than the SAP Central plan.

- **Land Use, General Land Use Plan Goal** - *Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.*

The proposed PDP 2C modification plan better integrates land use, transportation and natural resource elements by activating a pedestrian friendly landscape that will provide nearby residents with destinations that are accessible by multiple modes of transportation, specifically modes of active transportation. The dense character of the project, along with Villebois Village Center allow for a more compact, environmentally-friendly neighborhood design.

- *Land Use, General Land Use Plan Policy 1 - The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.*

The proposed PDP 2C modification meets this Land Use Plan Policy by contributing to the range of living choices. The SAP showed a conceptual range 24-30 Mixed Use units. Now a mixed-use building with 49 multi-family residential units, retail/ commercial space, and the community mail center is proposed. The proposal of mixed use with multi-family residential units and retail space meets the current market demand and city-wide goals while complying with the urban design goals and density targets in the Village Center. This project continues to comply with the minimum density of 2,300 units across Villebois.

- *Villebois Village Master Plan, Village Center Policy 1 - The Village Center shall be a highly pedestrian-oriented place that is the focus of a mix of residential, shopping, service, and civic and mixed-use buildings.*

The proposed PDP 2C modification plan meets this Land Use Plan Policy with the addition of proposed buildings that are oriented towards The Piazza and are abutting the sidewalk. With the proposed PDP 2C modification plan, The Village Center will be a vibrant locale filled with multi-family residential, retail spaces, and community amenities. The PDP 2C modification proposes 49 multi-family residential units above of the community mail center and retail space, allowing people to live close to neighborhood destinations in the Village Center.

- *Villebois Village Master Plan, Village Center Policy 2 - The Village Center shall encourage multi-modal transportation system opportunities with good access by vehicular, pedestrian, bicycle and transit traffic.*

The proposed PDP 2C modification of Lot 73 plan encourages multi-modal transportation system opportunities by providing convenient vehicular access to parking lots and encouraging pedestrian oriented street frontages.

- *Villebois Village Master Plan, Village Center Implementation Measure 2 - Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.*

- *Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.*
- *Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.*
- *General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.*
- *Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.*

- *Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.*
- *Hospitality: hotel, bed and breakfast, conference center.*
- *Light Manufacturing/Research and Development.*
- *Civic/Institutional: meeting hall, library, museum, churches, farmer's market, community center.*
- *Residential: condominiums, apartments, and townhouses*

The proposed PDP 2C modification of Lot 73 plan is consistent with the Village Center Implementation Measure 2 by providing retail/ commercial space and the community mail center on the ground floor with residential units above. This use is included in the above list of intended Village Center uses. As described above, Lot 73 of PDP 2C contributes to the mix of residential options in the Village Center by providing 49 multi-family market rate rental units. Additionally, the proposed PDP 2C modification of Lot 73 provides convenient vehicular access with a parking area located behind the building and street frontages that are pedestrian oriented with covered entries.

- *Parks and Open Space/Off-Street Trails and Pathways Goal* - *The Parks system within Villebois Village shall create a range of experiences for its residents and visitors through an interconnected network of pathways, parks, trails, open space and other public spaces that protect and enhance the site's natural resources and connect Villebois to the larger regional park/open space system.*

The Villebois Village Master Plan and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP modification area.

- *Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 3-* *Parks and open spaces shall be designed to incorporate native vegetation, landforms and hydrology to the fullest extent possible.*

The proposed PDP 2C modification of Lot 73 plan incorporates native vegetation, landforms and hydrology to the fullest extent possible, given the planned level of urban uses on this site.

- *Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 9-* *The design of Villebois shall retain the maximum number of existing trees practicable that are six inches or more DBH in the "Important" and "Good" tree rating categories, which are defined in the Community Elements Books. Trees rated "Moderate" shall be evaluated on an individual basis as regards retention. Native species of trees and trees with historical importance shall be given special consideration for retention.*

As described in the Tree Report in Section VI of the Application, three trees are rated as "Good", two trees are rated as "Moderate" and one is rated as "Poor". All six trees are proposed to be removed. All trees were evaluated on an individual basis in regards to retention.

- b) **The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area, and**

Response: As described above, the proposed refinements will better meet the goals, policies, and implementation measures of the VVMP and the framework of SAP Central and do not impact environmental or natural or scenic resources within the PDP or the Village area.

- c) The refinement will not preclude an adjoining or subsequent PDP or SAP from development consistent with the approved SAP or Master Plan.

Response: These refinements in and of themselves have no effect on the development potential of an adjoining or subsequent PDP; therefore, these refinements will not preclude an adjoining or subsequent PDP or SAP from developing consistent with the approved SAP or *Master Plan*.

- 3. Amendments to the SAP, not including SAP amendments for phasing, must follow the same procedures applicable to adoption of the SAP itself. Amendments are defined as changes to elements of the SAP not constituting a refinement.
- 4. Amendments to the SAP for phasing will be processed as a Class II administrative review proposal.

Response: This application does not include an amendment of SAP Central to modify the SAP phasing plan.

K. **PDP Approval Criteria**

The Development Review Board may approve an application for a PDP only upon finding that the following approval criteria are met:

- 1. That the proposed PDP:
 - a. Is consistent with the standards identified in this section.

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the standards of the Village zone.

- b. Complies with the applicable standards of the Planning and Land Development Ordinance, including Section 4.140(.09)(J)(1)-(3).

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the applicable standards of the Planning and Land Development Ordinance. A description of how the proposed development complies with Section 4.140(.09)(J)(1)-(3) is included in the subsequent pages of this report.

- c. Is consistent with the approved Specific Area Plan in which it is located.

Response: The proposed Preliminary Development Plan modification is consistent with Specific Area Plan - Central, as demonstrated by the plan sheets located in Section IVB and this application, and as refined and described earlier in this report.

- d. Is consistent with the approved Architectural Pattern Book and, where required, the approved Village Center Architectural Standards.

Response: The applicant presumes the requested Specific Area Plan Amendment to refine the Village Center Architectural Standards (VCAS) of the Village Center will be approved. With the approval of the SAP amendment, the Preliminary Development Plans for the Villebois Village Mixed-Use Development on Lot 73 will be consistent with the amended VCAS, as demonstrated by the plan sheets located in Sections IVB and VC and this application, and as refined and described earlier in this report.

COMMUNITY ELEMENTS BOOK

Lighting Master Plan

Response: This PDP application shows exhibits for street lighting as illustrated on the plans. No changes in the Lighting Master Plan are proposed with this PDP.

The outdoor lighting will comply with the LZ 2 requirements of the Light Zone Map, as well as comply with all applicable building codes. See Landscape drawings for site lighting information. See the following description regarding the exterior architectural lighting at the proposed buildings.

Building C: See drawing sheet A.502 of this application for proposed architectural lighting at exterior perimeter of Building C, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances, and balconies at upper floor levels.

Light Fixtures: Lighting cut-sheets provided in Section VI of the application are provided for proposed architectural exterior lighting, which include recessed LED downlight and LED wall sconces to conserve energy. All exterior LED fixtures have dimming abilities, to control brightness.

- The D-1 LED recessed downlight distributes lighting downward to prevent unnatural brightening of the night sky.
- The D-2 LED ribbon lighting will be used with acrylic panels at the Building B amenity terrace at Level 5. Geometric shapes within the terrace soffit will provide a visual focal point, while illuminating the exterior space.
- The S-1 LED wall sconce provides both uplighting and downlighting; the S-1 light fixture is proposed at two locations at Building B, to accentuate the stepped back massing of the primary façade facing the central plaza.
- The S-2 LED wall sconce and S-3 LED wall sconce both distribute the lighting downward to prevent unnatural brightening of the night sky.

Curb Extensions

Response: As shown on the *Circulation Plan*, pedestrian calming curb extensions exist along SW Barber Street and SW Toulouse Street to facilitate crossing of those streets. No changes are proposed.

Street Tree Master Plan

Response: As shown on the *Street Tree Planting layout Plan*, street trees proposed along the streets in the PDP modification area are consistent with the respective designated street tree lists (see Sheet L1 of Exhibit IVB).

Site Furnishings

Response: Bike racks are provided as shown on the Street Tree Layout Planting Plan in Section IVE are consistent with the Community Elements Book (pages 11 and 12) for SAP Central.

Play Structures

Response: No play structures are proposed with this PDP/FDP application.

Tree Protection

Response: The Tree Protection component of the Community Elements Book for SAP - Central (page 15) describes the goal, policies, and implementation measures that were used to promote the protection of existing trees in the design of the PDP modification area. A *Tree Protection Plan* has been prepared for this PDP modification, consistent with Implementation Measures 1 and 2 of the Tree Protection component of the *Community Elements Book*. The *Tree Protection Plans* were based on a Tree Report prepared by Morgan E. Holen, a certified arborist (see Section VI).

Plant List

Response: The *Community Elements Book* approved with SAP - Central contains a Plant List (pages 16-18) of non-native and native trees, shrubs, and groundcovers, ferns, herbs, vines, perennials, grasses, and bulbs for species to plant throughout Villebois. Additional landscaping details are provided with the FDP application which is submitted concurrent with this PDP modification (see Section V).

PLAZA ADDRESS

Response: The *Community Elements Book* approved with SAP - Central contains standards for site furnishings, plant material, and surfaces (pages 27-29). The Plaza and surrounding frontages have been constructed in accordance with these standards. This PDP Modification will not alter compliance of the existing improvements with the Plaza standards.

MASTER SIGNAGE AND WAYFINDING PLAN

Response: No signs are proposed, as the SAP Central *Signage & Wayfinding Plan* does not indicate any identifiers within the subject property.

RAINWATER PROGRAM

Response: A rainwater management plan is included with the supporting utility reports located in Section IIC of this application. The rainwater management plan included in this application includes refinements to the rainwater program for SAP Central. The Rainwater Analysis, prepared by Jaki Hunt, PE, indicates there is adequate rainwater treatment provided.

2. If the PDP is to be phased, that the phasing schedule is reasonable and does not exceed two years between commencement of development of the first, and completion of the last phase, unless otherwise authorized by the Development Review Board.

Response: The PDP modification is proposed to be executed in one phase.

3. Parks within each PDP or PDP phase shall be constructed prior to occupancy of 50% of the dwelling units in the PDP or PDP phase, unless weather or special circumstances prohibit completion, in which case bonding for the improvements shall be permitted.

Response: The Central SAP does not indicate any public parks or open space within PDP 2C. The PDP 2C modification does not propose construction of any public parks or open space.

4. In the Central SAP, parks shall be constructed within each PDP as provided above, and that pro-rata portion of the estimated cost of Central SAP parks not within the PDP, calculated on a dwelling unit basis, shall be bonded or otherwise secured to the satisfaction of the city.

Response: The Central SAP does not indicate any public parks or open space within PDP 2C. The PDP 2C modification does not propose construction of any public parks or open space.

5. The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.

Response: This report demonstrates that the proposed Preliminary Development Plan is in conformance with Specific Area Plan - Central, and thus, the *Villebois Village Master Plan* as well as the applicable requirements and standards of the Planning and Land Development Ordinance.

6. The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.

Response: This report demonstrates that the proposed Preliminary Development Plan is in conformance with Specific Area Plan - Central, and thus, the *Villebois Village Master Plan* as well as the applicable requirements and standards of the Planning and Land Development Ordinance.

SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE

Response: The PDP 2C modification of Lot 73 application does not include any areas within the SROZ; therefore, Section 4.139 does not apply.

SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS

(.09) FINAL APPROVAL (STAGE TWO)

- J. A planned development permit may be granted by the Development Review Board only if it is found that the development conforms to all the following criteria, as well as to the Planned Development Regulations in Section 4.140:

1. The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.

Response: This Supporting Compliance Report demonstrates that the location, design, size, and uses proposed with the PDP are both separately and as a whole consistent with SAP Central, and thus the *Villebois Village Master Plan*, the City's Comprehensive Plan designation of Residential - Village for the area, and the City's Planning and Land Development Ordinance.

2. That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City's adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.

Response: The location, design, size and uses are such that traffic generated within the PDP modification at the most heavily used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D. The proposed uses and the circulation system are consistent with the SAP - Central application, which included an Internal Circulation Evaluation including an assessment of intersection performance by DKS Associates. A copy of the Traffic Impact Analysis is provided in Section IF of this application.

- a. In determining levels of Service D, the City shall hire a traffic engineer at the applicant's expense who shall prepare a written report containing the following minimum information for consideration by the Development Review Board:
 - i. An estimate of the amount of traffic generated by the proposed development, the likely routes of travel of the estimated generated traffic, and the source(s) of information of the estimate of the traffic generated and the likely routes of travel; (Amended by Ord 561, adopted 12/15/03.)
 - ii. What impact the estimate generated traffic will have on existing level of service including traffic generated by (1) the development itself, (2) all existing developments, (3) Stage II developments approved but not yet built, and (4) all developments that have vested traffic generation rights under section 4.140(.10), through the most probable used intersection(s), including state and county intersections, at the time of peak level of traffic. This analysis shall be conducted for each direction of travel if backup from other intersections will interfere with intersection operations. (Amended by Ord 561, adopted 12/15/03.).

Response: The traffic generated by the PDP modification and its impact on the existing level of service will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is provided in Section IF of this application.

- b. The following are exempt from meeting the Level of Service D criteria standard:
 - i. A planned development or expansion thereof which generates three (3) new p.m. peak hour traffic trips or less;

- ii. A planned development or expansion thereof which provides an essential governmental service.

Response: This PDP modification does not request an exemption from meeting the Level of Service D; therefore, this criterion does not apply to this project.

- c. Traffic generated by development exempted under this subsection on or after Ordinance No. 463 was enacted shall not be counted in determining levels of service for any future applicant. (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP modification will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is provided in Section IF of this application.

- d. Exemptions under 'b' of this subsection shall not exempt the development or expansion from payment of system development charges or other applicable regulations. (Added by Ord 561, adopted 12/15/03.)

Response: The subject PDP modification is not exempt from subsection 'b' and the system development charges will be provided as required.

- e. In no case will development be permitted that creates an aggregate level of traffic at LOS "F". (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP modification will be consistent with the SAP - Central application. The DKS evaluation for SAP Central showed that the development will not create an aggregate level of traffic at Level of Service "F". A copy of the Traffic Impact Analysis is provided in Section IF of this application.

- 3. That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.

Response: The Utility Analysis Report and *Composite Utility Plan* show that the future residents of PDP-2 Central modification of Lot 73 will be adequately served by the planned facilities and services (see Section IVC and Sheet 5 in Section IVB).

SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION

(.01) On-site Pedestrian Access and Circulation

- A. The purpose of this section is to implement the pedestrian access and connectivity policies of the Transportation System Plan. It is intended to provide for safe, reasonably direct, and convenient pedestrian access and circulation.

Response: PDP 2C modification of Lot 73 will be in compliance with Section 4.154 and provide for safe, reasonably direct, and convenient pedestrian access and circulation, as described below.

- B. Standards. Development shall conform to all the following standards:
1. Continuous Pathway System. A pedestrian pathway system shall extend throughout the development site and connect to adjacent sidewalks, and to all future phases of the development, as applicable.

Response: The pedestrian pathway systems in PDP 2C modification of Lot 73 extend throughout the development site and connect to adjacent sidewalks.

2. Safe, Direct, and Convenient. Pathways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, recreational areas/playgrounds, and public rights-of-way and crosswalks based on all of the following criteria:

Response: The front/main entrance of the mixed-use building connect directly to the public sidewalk adjacent to SW Barber Street. The rear entrance from the building will connect to the public sidewalk along SW Toulouse Street through a private path. Side entrances from the building connect to the public pedestrian accessway and linear green adjacent to the site.

- a. Pedestrian pathways area designed primarily for pedestrian safety and convenience, meaning they are free from hazards and provide a reasonably smooth and consistent surface.

Response: Pedestrian pathways will be free from hazards and will provide a reasonably smooth and consistent surface.

- b. The pathway is reasonably direct. A pathway is reasonably direct when it follows a route between destinations that does not involve a significant amount of unnecessary out-of-direction travel.

Response: The pathways will be reasonably direct and will not involve a significant amount of unnecessary out-of-direction travel.

- c. The pathway connects to all primary building entrances and is consistent with the Americans with Disabilities Act (ADA) requirements.

Response: Pathways connect to the primary building entrances in compliance with the Americans with Disabilities Act (ADA) requirements.

- d. All parking lots larger than three acres in size shall provide an internal bicycle and pedestrian pathway pursuant to Section 4.155(.03)(B.)(3.)(d.).

Response: There are no proposed parking lots larger than three acres; therefore, this criteria is not applicable.

- 3. **Vehicle/Pathway Separation.** Except as required for crosswalks, per subsection 4, below, where a pathway abuts a driveway or street it shall be vertically or horizontally separated from the vehicular lane. For example, a pathway may be vertically raised six inches above the abutting travel lane, or horizontally separated by a row of bollards.

Response: Sidewalks adjacent to streets are separated from vehicle travel areas by bollards. Pedestrian crossings of streets or access aisles are facilitated with either curb extensions or painted crosswalks.

- 4. **Crosswalks.** Where a pathway crosses a parking area or driveway, it shall be clearly marking with a contrasting paint or paving materials (e.g., pavers, light-color concrete inlay between asphalt, or similar contrast).

Response: Where pathways cross parking or driving areas, they will be clearly marked with contrasting paint.

- 5. **Pathway Width and Surface.** Primary pathways shall be constructed concrete, asphalt, brick/masonry pavers, or other durable surface, and not less than five (5) feet wide. Secondary pathways and pedestrian trails may have an alternative surface except as otherwise required by the ADA.

Response: Primary pathways will be constructed of concrete, not less than five (5) feet in width.

- 6. All pathways shall be clearly marked with appropriate standard signs.

Response: Pathways will be clearly marked with appropriate standard signs.

SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES

(.02) General Terrain Preparation

- A. All developments shall be planned designed, constructed and maintained with maximum regard to natural terrain features and topography, especially hillside areas, floodplains, and other significant land forms.
- B. All grading, filling and excavating done in connection with any development shall be in accordance with the Uniform Building Code,

all development shall be planned, designed, constructed and maintained so as to:

1. Limit the extent of disturbance of soils and site by grading, excavation and other land alterations.
2. Avoid substantial probabilities of: (1) accelerated erosion; (2) pollution, contamination or siltation of lakes, rivers, streams and wetlands; (3) damage to vegetation; (4) injury to wildlife and fish habitats.
3. Minimize the removal of trees and other native vegetation that stabilize hillsides, retain moisture, reduce erosion, siltation and nutrient runoff, and preserve the natural scenic character.

Response: The plan sheets located in Section IVB demonstrate that the subject Preliminary Development Plan is designed with maximum regard to natural terrain features and topography. The subject PDP modification does not contain hillside areas or flood plains. The *Grading and Erosion Control Plan* shows proposed grading within the subject area and the *Tree Preservation Plan* shows proposed tree preservation.

All subsequent grading, filling and excavating will be done in accordance with the Uniform Building Code. Disturbance of soils and removal of trees and other native vegetation will be limited to the extent necessary to construct the proposed development. Construction will occur in a manner that avoids substantial probabilities of accelerated erosion; pollution, contamination or siltation of lakes, rivers, streams and wetlands; damage to vegetation; and injury to wildlife and fish habitats.

(.03) **Hillsides:** All developments proposed on slopes greater than 25% shall be limited to the extent that:

Response: The subject Preliminary Development Plan modification does not include any areas of slopes in excess of 25%; therefore, this standard does not apply to this application.

(.04) **Trees and Wooded Areas.**

- A. All developments shall be planned, designed, constructed and maintained so that:
 1. Existing vegetation is not disturbed, injured, or removed prior to site development and prior to an approved plan for circulation, parking and structure location.
 2. Existing wooded areas, significant clumps/groves of trees and vegetation, and all trees with a diameter at breast height of six inches or greater shall be incorporated into the development plan and protected wherever feasible.
 3. Existing trees are preserved within any right-of-way when such trees are suitably located, healthy, and when approved grading allows.

- B. Trees and woodland areas to be retained shall be protected during site preparation and construction according to City Public Works design specifications, by:
1. Avoiding disturbance of the roots by grading and/or compacting activity.
 2. Providing for drainage and water and air filtration to the roots of trees which will be covered with impermeable surfaces.
 3. Requiring, if necessary, the advisory expertise of a registered arborist/horticulturist both during and after site preparation.
 4. Requiring, if necessary, a special maintenance, management program to insure survival of specific woodland areas of specimen trees or individual heritage status trees.

Response: The *Tree Preservation Plan* depicts existing trees within the subject area and identifies six (6) trees to be removed (see Sheet 8 in Section IVB). This application includes a request for a Type "C" Tree Removal Plan, which will be applied for at the time of construction documents (see Section VI).

Section VI includes the Tree Report prepared by Morgan Holen addressing existing trees and development impacts within the subject area, a tree inventory and tree mitigation details. All trees were evaluated on an individual basis in regards to retention. Tree numbers 481, 482, and 482.2 were rated as "Good", tree numbers 460 and 467 were rated as "Moderate", and tree number 475 was rated as "Poor". Based on the Tree Report and the proposed PDP all trees are proposed to be removed.

(.05) High Voltage Power line Easements and Rights of Way and Petroleum Pipeline Easements:

- A. Due to the restrictions placed on these lands, no residential structures shall be allowed within high voltage powerline easements and rights of way and petroleum pipeline easements, and any development, particularly residential, adjacent to high voltage powerline easements and rights of way and petroleum pipeline easement shall be carefully reviewed.
- B. Any proposed non-residential development within high voltage powerline easements and rights of way and petroleum pipeline easements shall be coordinated with and approved by the Bonneville Power Administration, Portland General Electric Company or other appropriate utility, depending on the easement or right of way ownership.

Response: This Preliminary Development Plan modification does not contain any high voltage powerline or petroleum pipeline easements or rights of way.

(.06) Hazards to Safety: Purpose:

- A. To protect lives and property from natural or human-induced geologic or hydrologic hazards and disasters.

- B. To protect lives and property from damage due to soil hazards.
- C. To protect lives and property from forest and brush fires.
- D. To avoid financial loss resulting from development in hazard areas.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety.

(.07) Standards for Earth Movement Hazard Areas:

- A. No development or grading shall be allowed in areas of land movement, slump or earth flow, and mud or debris flow, except under one of the following conditions.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No earth movement hazard areas have been identified within the subject PDP modification area.

(.08) Standards for Soil Hazard Areas:

- A. Appropriate siting and design safeguards shall insure structural stability and proper drainage of foundation and crawl space areas for development on land with any of the following soil conditions: wet or high water table; high shrink-swell capability; compressible or organic; and shallow depth-to-bedrock.
- B. The principal source of information for determining soil hazards is the State DOGAMI Bulletin 99 and any subsequent bulleting and accompanying maps. Approved site-specific soil studies shall be used to identify the extent and severity of the hazardous conditions on the site, and to update the soil hazards database accordingly.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No soil hazard areas have been identified within the subject area.

(.09) Historic Protection: Purpose:

- A. To preserve structures, sites, objects, and areas within the City of Wilsonville having historic, cultural, or archaeological significance.

Response: A Historic/ Cultural Resource Inventory was previously conducted for the property identified as SAP - Central. The inventory shows that the subject PDP modification does not include any sites, objects, or areas having historic, cultural, or archaeological significance. Therefore, the standards of this section are not applicable.

SECTION 4.172 FLOOD PLAIN REGULATIONS

Response: The site does not include any areas identified as flood plain.

SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING

Response: Landscaping will be provided in accordance with the standards in Section 4.176. The *Street Tree Planting Layout Plan* depicts street trees along rights-of-way within the subject Preliminary Development Plan modification area (see Sheet L1 in Exhibit IVB). The plan has been developed in conformance with the Community Elements Book and the applicable standards of Section 4.176. Landscaping details will be reviewed with the concurrent FDP application in Section V of this application.

SECTION 4.177 STREET IMPROVEMENT STANDARDS

Response: Adjacent street rights-of-way have been dedicated in conformance with required widths. The plan sheets located in Section IVB demonstrate that the proposed access drive within the PDP modification area will have a minimum improvement width of 16 feet and will provide two-way travel. The access drive will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. The access drive will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

II. PROPOSAL SUMMARY & CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the Village Zone and other applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Preliminary Development Plan. Therefore, the applicant requests approval of this application. Concurrent applications for a Final Development Plan and Tree Removal Plan are included in this application as Sections V and VI, respectively, pursuant to City requirements.



MEMORANDUM

DATE: May 13, 2021

TO: City of Wilsonville

FROM: Jaki Hunt, PE
Pacific Community Design

RE: Villebois Village Mixed-Use (PDP2C) Utility Analysis
Job No. 398-063

This memorandum report is to address the utility connections for the Villebois Village Mixed-Use (PDP 2C) development portion of Villebois SAP Central. This phase is located within the Villebois Village Center, north and west of the SW Toulouse Street and Villebois Drive intersection. This report will be divided into four sections: Water, Sanitary Sewer, Storm Sewer, and Rainwater Management.

Water

SAP Central defined the land use for this area to be mixed-use and village apartments. SAP Central also outlined the water system plan for the area. The proposed development falls within the defined land use, and therefore complies with the design intent of SAP Central.

Sanitary Sewer

This site is located within service areas 3A and 3B, see attached exhibit. SAP Central defined the land use for this area to be mixed use, condos, and village apartments with a total unit count of 60. Previous development in the area constructed a mix of 7 single-family attached and detached units, and the proposed development includes a unit count of 49 apartments, for a total unit count of 56. Based on this, there is adequate capacity for this development.

Storm Sewer

SAP Central defined the land use for this area to be commercial area with 90% impervious area. The water quality and detention facilities were designed to provide treatment for this land use. The proposed layout has an impervious area

of 77.1%. Based on this information, the current facilities are adequately sized to provide treatment per the City of Wilsonville Public Work Standards.

Rainwater Management

The SAP Central plan identified two planter boxes capable of treating 28,934 square feet of impervious area. Based on the site area (0.50 ac) and the anticipated impervious area (90%) shown in SAP Central, the actual maximum treatment area is 19,602 sf. The current building layout does not provide for a suitable location for planter boxes. The parking lot makes up 7,887 square feet of impervious area. Two bio-retention cells will be installed in the parking lot to provide treatment. The bio-retention cells will be 7' wide by 15' long (105 sf). Using a sizing factor of 0.03, these facilities will be sized to treat 7,000 sf. Given the existing site topography, we have maximized the rainwater treatment available for the site and thus are in accordance with the SAP Central Rainwater Management plan.

Thank you.

Attachments:

1. SAP Central Sanitary Sewer Service Area Exhibit
2. SAP Central Rainwater Management Plan
3. SAP Central Rainwater Management Summary



Villebois

C2K ARCHITECTURE

FOCUS COMMUNITY DESIGN
12564 SW Main Street, Portland, OR
97223
111.303.9414-1484
GEODESIGN, INC.

REVISIONS
DATE DESCRIPTION

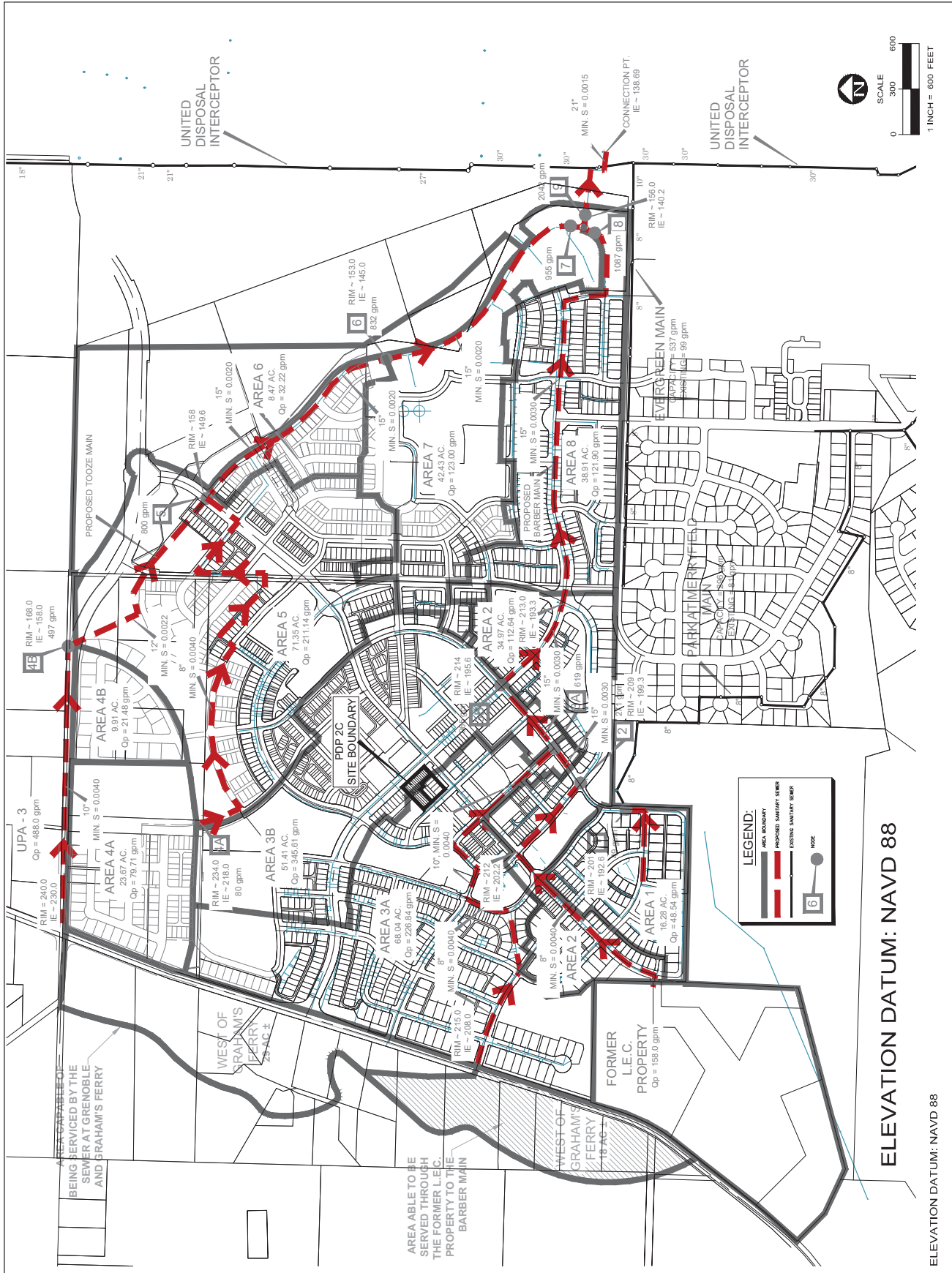
PDP 2C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

SANITARY
SEWER
UNITED
DISPOSAL

1st Submission Date: 01/15/2020

SS



ELEVATION DATUM: NAVD 88

ELEVATION DATUM: NAVD 88



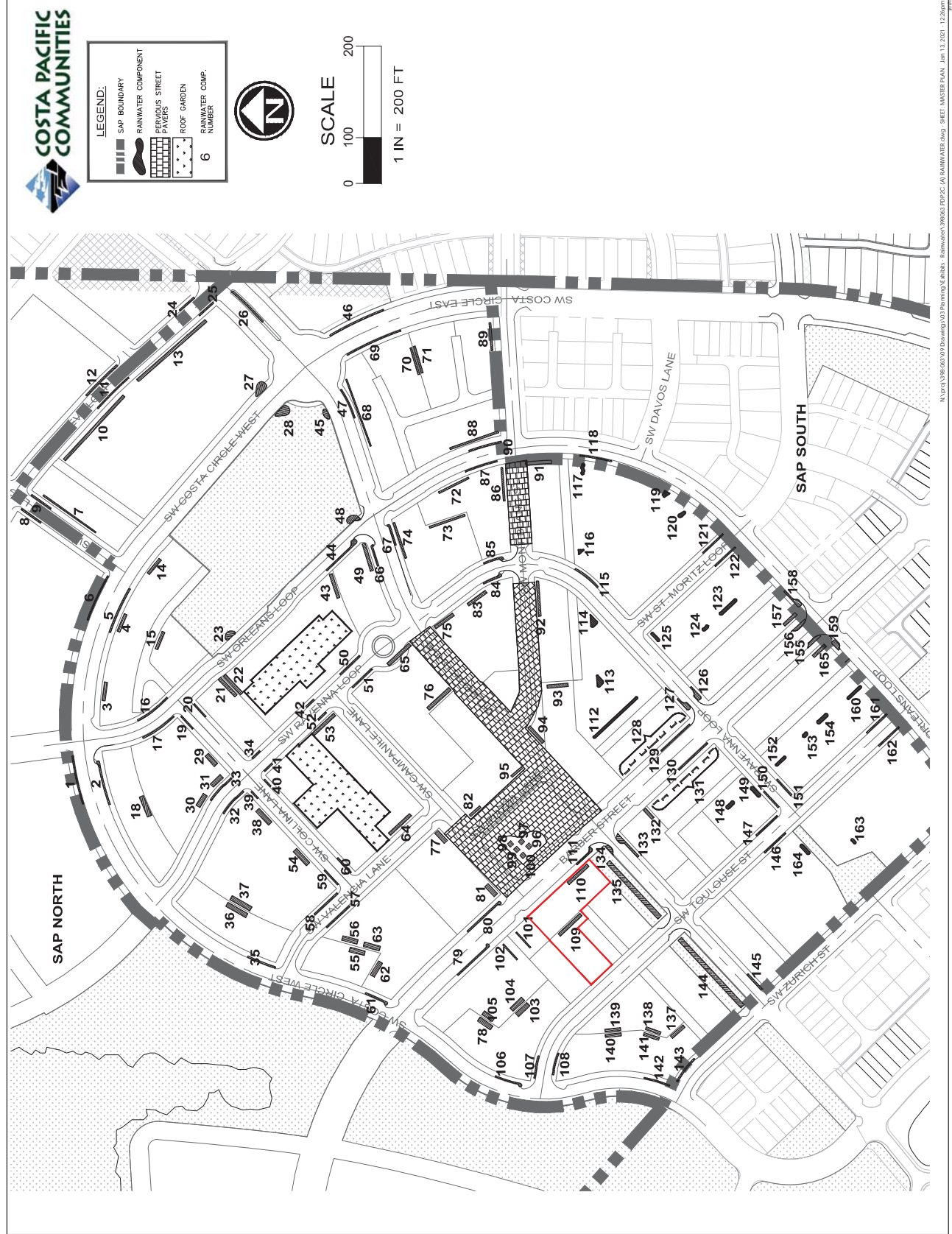
COSTA PACIFIC COMMUNITIES
 ALPHA COMMUNITY DEVELOPMENT
 FLETCHER PARK AVOTTE
 DIVISION ASSOCIATES
 PACIFIC CHARITAT SERVICES
 WALT KNAPP
 KITTELSON & ASSOCIATES
 MAYER REED

**VILLEBOIS
 SAP CENTRAL**

**Rainwater
 Management
 Plan**

DATE: February 24, 2006

FIGURE A



N:\proj\308\303\WP Drawings\303 Planning\4. Encls - Rainwater\30803 PPP.C (A) RAINWATER.dwg - SHEET - MASTER PLAN - Jan 13, 2001 - 12:26pm



JOB NUMBER: 398063
 PROJECT: VILLEBOIS VILLAGE MIXED-USE
 FILE: N:\proj\398063\05 Reports\Rainwater Analysis\398063\Rainwater Analysis_202105-13.xlsx

EXHIBIT C:
 RAINWATER COMPLIANCE SUMMARY - SAP CENTRAL

PHASE	DRAINAGE BASIN	BASIN ID	AREA (SF)	% IMPERVIOUS	IMPERVIOUS AREA (SF)	RAINWATER COMPONENT NO.	RAINWATER COMPONENT TYPE	RAINWATER COMPONENT AREA / NO. OF TREES	SIZING FACTOR	IMPERVIOUS AREA TREATED ¹			% IMPERVIOUS AREA TREATED	
										ARROWHEAD CREEK	MILL CREEK	COFFEE LAKE CREEK		
1C	ARROWHEAD CREEK	F6.1	0	16.75/43.5%	Imp. Area (sf)	-	-	-	-	7,333	-	-	-	
2C	ARROWHEAD CREEK	F6.1	0	33.49/84.0%	0	132	BIO-RETENTION CELL	220	0.03	7333	-	-	-	
12C	ARROWHEAD CREEK	F6.1	76,107	72.0%	54,676	109	BIO-RETENTION CELL	105	0.03	3483	-	-	-	
						111	BIO-RETENTION CELL	106	0.03	3523	-	-	-	-
						-	-	-	-	11,057	-	-	-	
						77	BIO-RETENTION CELL	87	0.03	2910	-	-	-	-
						81	BIO-RETENTION CELL	122	0.03	4077	-	-	-	-
						81 A	BIO-RETENTION CELL	122	0.03	4070	-	-	-	-
						82	BIO-RETENTION CELL	258	0.03	8607	-	-	-	-
					95	BIO-RETENTION CELL	182	0.03	6073	-	-	-		
TOTAL PDP 1C			717,433		556,610					389,104			66%	
TOTAL PDP 2C			230,432		189,922					90,499			48%	
TOTAL PIAZZA VILLEBOIS			38,768		38,768					26,042			67%	
TOTAL PHASE 4C			354,143		251,361					165,600			66%	
TOTAL PHASE 6C			80,884		61,092					24,516			40%	
TOTAL PHASE 7C			178,700		115,947					39,199			80%	
FUTURE SAP CENTRAL PHASES ²			735,763		593,168					47,547		444,498	83%	
SAP CENTRAL TOTAL			2,336,123		1,806,868					524,844		47,547	687,714	70%

¹COMPONENT IMPERVIOUS AREA TREATED REFLECTS ACTUAL COMPONENT CA TCHMENT AREA AND MAY NOT REFLECT SIZING FACTOR

²FUTURE SAP CENTRAL PHASE TOTALS PER APPROVED SAP CENTRAL RAINWATER MANAGEMENT PLAN



JOB: VILLEBOIS SAP CENTRAL
 PROJECT: 398-023
 FILE: N:/PROJ/999-225/STORM. MASTER/SAP CENTRAL/RAIN.XLS

**EXHIBIT C:
 SAP CENTRAL RAINWATER MANAGEMENT COMPONENT SUMMARY**

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
1	4C	Bioretention Cell	0.03	323	10,767	Reduced to reflect revised catchment area	267	8,900
2	4C	Bioretention Cell	0.03	310	10,339	Reduced to reflect revised catchment area	199	6,633
3	4C	Planter Box	0.03	264	8,784	Reduced in the field	1816	60,533
4		Bioretention Cell	0.03	264	8,784	Eliminated	0	0
5	4C	Bioretention Cell	0.03	314	10,477	Reduced to reflect revised catchment area	304	10,133
6	4C	Bioretention Cell	0.03	317	10,567	Reduced to reflect revised catchment area	269	8,967
7	4C	Bioretention Cell	0.03	420	14,000	area; Changed to bio-retention cell	114	3,800
8		Bioretention Cell	0.03	156	5,200	Eliminated	0	0
9		Bioretention Cell	0.03	156	5,200	Eliminated	0	0
10A	7C	Pervious Pavement	1	0	0	Added	6,049	6,049
10B	7C	Pervious Pavement	1	0	0	Added	22,424	22,424
10	8C	Planter Box	0.06	1,231	20,517	Changed to vegetated swale; enlarged to reflect new treatment area	2,231	37,183
11		Bioretention Cell	0.03	283	9,424	Eliminated	0	0
12	7C	Bioretention Cell	0.03	0	0	Added	48	1,600
13	8C	Bioretention Cell	0.03	1,283	42,759	Reduced to reflect revised catchment area; Changed to bio-retention cell	570	19,000
14	4C	Planter Box	0.03	264	8,784	Expanded to reflect revised catchment area; Changed to bio-retention cell	128	4,267
15	4C	Planter Box	0.03	264	8,784	area; Changed to bio-retention cell	905	30,167
16		Bioretention Cell	0.03	245	8,156	No Change	245	8,156
17	6C	Bioretention Cell	0.03	248	8,276	Reduced in the field	125	4,167
18		Planter Box	0.03	471	15,689	Eliminated	0	0
19		Bioretention Cell	0.03	113	3,750	Eliminated	0	0
20	6C	Bioretention Cell	0.03	113	3,750	Expanded in the field	116	3,867
21		Planter Box	0.03	364	12,138	Eliminated	0	0
22	9C	Planter Box	0.03	385	12,833	Expanded in the field	448	14,933
23		Bioretention Cell	0.03	272	9,072	Eliminated	0	0
25		Bioretention Cell	0.03	125	4,150	Eliminated	0	0
26		Bioretention Cell	0.03	374	12,478	Eliminated	0	0
27		Bioretention Cell	0.03	489	16,294	Eliminated	0	0
28		Bioretention Cell	0.03	489	16,294	Eliminated	0	0
29		Planter Box	0.03	300	10,000	Eliminated	0	0
30	6C	Planter Box	0.03	300	10,000	Reduced in the field	205	6,833
31	6C	Planter Box	0.03	300	10,000	Expanded in the field	384	12,800
32	6C	Bioretention Cell	0.03	196	6,544	Reduced in the field	151	5,033
33	6C	Bioretention Cell	0.03	199	6,626	Reduced in the field	126	4,200
34	9C	Bioretention Cell	0.03	70	2,320	Reduced in the field	65	2,167
35	9C	Bioretention Cell	0.03	195	6,484	Expanded in the field; Changed to bio-retention cell	240	8,000
36	9C	Bioretention Cell	0.03	500	16,667	Expanded in the field; Changed to bio-retention cell	657	21,900
37		Planter Box	0.03	500	16,667	Eliminated	0	0
38	9C	Bioretention Cell	0.03	408	13,599	Reduced in the field; Changed to bio-retention cell	143	4,767
39	10C	Bioretention Cell	0.03	60	2,000	Expanded in the field	86	2,867
40	10C	Bioretention Cell	0.03	60	2,000	Expanded in the field	97	3,233
41	10C	Bioretention Cell	0.03	70	2,320	Reduced in the field	66	2,200
42	9C	Bioretention Cell	0.03	70	2,320	Expanded in the field	166	5,533
43	9C	Planter Box	0.03	385	12,833	Expanded in the field	456	15,200
44		Bioretention Cell	0.03	365	12,150	Eliminated	0	0
45	5C	Bioretention Cell	0.03	202	6,731	Expanded in the field	1,125	37,500
46		Bioretention Cell	0.03	389	12,983	Eliminated	0	0
47		Bioretention Cell	0.03	207	6,903	Eliminated	0	0
48	5C	Bioretention Cell	0.03	331	11,030	Reduced in the field	175	5,833
49	9C	Planter Box	0.03	434	14,467	Expanded in the field	437	14,567
50	9C	Bioretention Cell	0.03	176	5,883	Reduced in the field	115	3,833
51	10C	Bioretention Cell	0.03	176	5,883	Reduced in the field	114	3,800
52	10C	Bioretention Cell	0.03	70	2,320	Expanded in the field	174	5,800
52A	10C	Bioretention Cell	0.03	0	0	Added	150	5,000
53	9C	Planter Box	0.03	441	14,700	No Change	441	14,700
53A	10C	Planter Box	0.03	0	0	Added	206	6,867
53B	10C	Planter Box	0.03	0	0	Add	144	4,800
54		Planter Box	0.03	419	13,975	Eliminated	0	0
55	9C	Planter Box	0.03	341	11,359	No Change	341	11,359
56	9C	Planter Box	0.03	341	11,359	No Change	341	11,359
56A	11C	Bioretention Cell	0.03	0	0	Added	567	18,900
57	11C	Bioretention Cell	0.03	204	6,800	Reduced in the field	102	3,400
57A	10C	Bioretention Cell	0.03	0	0	Added	185	6,167
58	11C	Bioretention Cell	0.03	204	6,800	Reduced in the field	102	3,400
58A	10C	Bioretention Cell	0.03	0	0	Added	185	6,167
59	10C	Bioretention Cell	0.03	129	4,300	Reduced in the field	74	2,467
60	10C	Bioretention Cell	0.03	129	4,300	Reduced in the field	84	2,800
61	11C	Bioretention Cell	0.03	203	6,780	Reduced in the field	174	5,800
62	9C	Planter Box	0.03	354	11,784	No Change	354	11,784
63	9C	Planter Box	0.03	364	12,118	No Change	364	12,118
64	9C	Planter Box	0.03	441	14,700	No Change	441	14,700

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
64A	10C	Planter Box	0.03	0	0	Added	178	5,933
64B	10C	Planter Box	0.03	0	0	Added	233	7,767
65	10C	Planter Box	0.03	520	17,333	Reduced in the field Expanded to reflect revised catchment area	152	5,067
66	7C	Bioretention Cell	0.03	153	5,106	Expanded to reflect revised catchment area	224	7,467
67	7C	Bioretention Cell	0.03	153	5,106	Reduced to reflect revised catchment area	231	7,700
68	4C	Bioretention Cell	0.03	467	15,553	area; Changed to bio-retention cell	1,076	35,867
69	4C	Bioretention Cell	0.03	387	12,884	Reduced in the field	209	6,967
70	4C	Vegetated Swale	0.06	244	4,067	Expanded in the field; Changed to vegetated swale	369	6,150
71	4C	Vegetated Swale	0.06	244	4,067	Expanded in the field; Changed to vegetated swale	1,116	18,600
72	7C	Bioretention Cell	0.03	292	9,733	Expanded to reflect revised catchment area; Changed to bio-retention cell	356	11,867
73	7C	Bioretention Cell	0.03	328	10,933	Expanded to reflect revised catchment area; Changed to bio-retention cell	328	10,933
74	7C	Planter Box	0.03	328	10,933	Eliminated	0	0
75	7C	Bioretention Cell	0.03	343	11,433	Reduced to reflect revised catchment area; Changed to bio-retention cell	48	1,600
76	10C	Planter Box	0.03	520	17,333	Reduced in the field	116	3,867
77	12C	Bioretention Cell	0.03	300	10,000	Resized to reflect available area; Changed to bio-retention cell	87	2,900
78	2C	Planter Box	0.03	341	11,359	Planter Boxes only receive 40% of roof runoff	120	1,500
79	2C	Bioretention Cell	0.03	313	10,444	No Change	314	10,467
79A	2C	Bioretention Cell	0.03	0	0	Added to treat catchment area flowing to new low spot	67	2,233
80	2C	Bioretention Cell	0.03	318	10,587	Catchment area for facility has been decreased	316	10,533
81	9C	Bioretention Cell	0.03	300	10,000	Resized to reflect available area; Changed to bio-retention cell	122	4,067
81A	9C	Bioretention Cell	0.03	0	0	Added to reflect available area; Changed to bio-retention cell	122	4,067
82	9C	Bioretention Cell	0.03	150	5,000	Resized to reflect available area; Changed to bio-retention cell	258	8,600
83	7C	Bioretention Cell	0.03	343	11,433	Reduced to reflect revised catchment area; Changed to bio-retention cell	240	8,000
84	7C	Bioretention Cell	0.03	167	5,568	Reduced to reflect revised catchment area; Changed to bio-retention cell	64	2,133
85	7C	Bioretention Cell	0.03	160	5,339	Reduced to reflect revised catchment area; Changed to bio-retention cell	115	3,833
86		Planter Box	0.03	292	9,733	Eliminated	0	0
87		Bioretention Cell	0.03	220	7,334	Eliminated	0	0
88		Planter Box	0.03	448	14,933	Eliminated	0	0
90		Bioretention Cell	0.03	221	7,382	Eliminated	0	0
91		Planter Box	0.03	395	13,154	Eliminated	0	0
92	7C	Bioretention Cell	0.03	385	12,833	Reduced to reflect revised catchment area; Changed to bio-retention cell	130	4,333
93	1C	Planter Box	0.03	322	10,733	Removed because area is now permeable pavement	0	0
94	1C	Planter Box	0.03	322	10,733	Removed because area is now permeable pavement	0	0
95	9C	Bioretention Cell	0.03	150	5,000	Resized to reflect available area; Changed to bio-retention cell	182	6,067
96	PIAZZA	Planter Box	0.03	100	3,333	Planter Box Resized to reflect catchment area	30	170
97	PIAZZA	Planter Box	0.03	100	3,333	Planter Box Resized to reflect catchment area	30	170
98	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
99	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
100	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
101	9C	Bioretention Cell	0.03	137	4,550	No Change	137	4,550
102	9C	Bioretention Cell	0.03	137	4,550	No Change	137	4,550
103	2C	Planter Box	0.03	341	11,359	Treatment area is limited to building foot print of 11,350 square feet	341	11,350
104	2C	Planter Box	0.03	341	11,359	Treatment area is limited to accessible building foot print of 7,000 square feet	215	7,167
105	2C	Planter Box	0.03	272	9,057	Planter Boxes only receive 40% of roof runoff	120	1,500
106	2C	Bioretention Cell	0.03	208	6,933	Catchment area for facility has been increased	318	10,600
107	2C	Bioretention Cell	0.03	147	4,900	This facility was eliminated because it was located in a 4-ft wide planter. These planters do not have adequate room for a properly constructed facility.	0	0
108	2C	Bioretention Cell	0.03	146	4,867	This facility was eliminated because it was located in a 4-ft wide planter. These planters do not have adequate room for a properly constructed facility.	0	0
109	2C	Planter Box	0.03	455	15,167	Reduced in field	105	3,500
110	2C	Planter Box	0.03	413	13,767	Treatment area is limited to accessible building foot print of 7,000 square feet	195	6,500
111	2C	Bioretention Cell	0.03	178	5,937	Reduced in field	106	3,533
112	1C	Planter Box	0.03	693	23,094	Changed to a bioretention cell and scaled down to provide room for ADA accessibility	539	17,967
113	1C	Planter Box	0.03	253	8,421	No Change	253	8,421
114	1C	Planter Box	0.03	263	8,767	No Change	263	8,767
115	1C	Bioretention Cell	0.03	231	7,695	No Change	231	7,695

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
116	1C	Planter Box	0.03	80	2,677	Expanded in the field	84	2,800
117	1C	Planter Box	0.03	155	5,152	Reduced in the field	143	4,767
118	1C	Bioretention Cell	0.03	211	7,019	Enlarged due to street grade changes and larger catchment area	298	9,933
119	1C	Planter Box	0.03	130	4,342	Reduced in the field	111	3,700
120	1C	Planter Box	0.03	124	4,142	Expanded in the field	176	5,867
121	1C	Bioretention Cell	0.03	180	6,013	Enlarged due to street grade changes and larger catchment area	322	10,733
122	1C	Bioretention Cell	0.03	180	6,013	Enlarged due to street grade changes and larger catchment area	328	10,933
123	1C	Planter Box	0.03	316	10,525	Per Field Conditions	315	10,500
124	1C	Planter Box	0.03	97	3,229	Per Field Conditions	90	3,000
125	1C	Planter Box	0.03	161	5,366	No Change	161	5,366
126	1C	Bioretention Cell	0.03	218	7,260	Decreased due to spacial limitations	134	4,467
127	1C	Bioretention Cell	0.03	218	7,260	No Change	152	5,067
128	1C	Planter Box	0.03	360	12,000	No Change	349	11,633
129	1C	Bioretention Cell	0.03	156	5,211	Enlarged due to street grade changes and larger catchment area	426	8,944
130	1C	Bioretention Cell	0.03	256	8,545	Enlarged due to street grade changes and larger catchment area	427	8,990
131	1C	Planter Box	0.03	360	12,000	No Change	349	11,633
132	1C	Bioretention Cell	0.03	189	6,300	Enlarged due to larger available area for facility; Changed to bio-retention cell	220	7,333
133	1C	Bioretention Cell	0.03	328	10,939	Decreased due to limitations in catchment area	393	4,032
134	1C	Bioretention Cell	0.03	713	23,752	Enlarged due to street grade changes and larger catchment area	538	5,731
135	1C	Bioretention Cell	0.03	240	7,996	Enlarged due to larger available area for facility	1,433	47,767
136	1C	Bioretention Cell	0.03	240	7,996	Eliminated, area now treated by component 144.	0	0
137	2C	Planter Box	0.03	250	8,343	Changed to Bioretention Cell to pick up parking lot runoff	200	6,667
138	2C	Planter Box	0.03	222	7,413	Changed to Bioretention Cell to pick up parking lot runoff	219	7,300
138A	2C	Bioretention Cell	0.03	0	0	Added to treat additional parking lot area	72	2,400
139	2C	Planter Box	0.03	222	7,413	Eliminated due to lack of room and feasibility of treating carriage homes for rainwater management	0	0
140	2C	Planter Box	0.03	236	7,864	Planter Boxes only receive 40% of roof runoff	160	2,004
141	2C	Planter Box	0.03	231	7,712	Planter Boxes only receive 40% of roof runoff	200	2,445
142	2C	Bioretention Cell	0.03	177	5,901	Bioretention Cell can receive more runoff area	235	7,833
143	2C	Bioretention Cell	0.03	190	6,337	Street Runoff is directed away from facility	0	0
144	1C	Bioretention Cell	0.03	1,017	33,894	Decreased due to limitations in catchment area	2,095	31,735
145	1C	Bioretention Cell	0.03	517	17,244	Decreased due to limitations in catchment area	183	4,853
146	1C	Bioretention Cell	0.03	188	6,280	Enlarged due to street grade changes and larger catchment area	246	6,400
147	1C	Bioretention Cell	0.03	188	6,280	Enlarged due to street grade changes and larger catchment area	302	10,067
148	1C	Planter Box	0.03	159	5,294	Per Field Conditions	160	5,333
149	1C	Planter Box	0.03	210	6,987	Per Field Conditions	224	7,467
150	1C	Bioretention Cell	0.03	140	4,676	Enlarged due to street grade changes and larger catchment area	151	5,033
151	1C	Bioretention Cell	0.03	140	4,676	Decreased due to limitations in catchment area	124	3,218
152	1C	Planter Box	0.03	170	5,665	Per Field Conditions	156	5,200
153	1C	Planter Box	0.03	92	3,078	Per Field Conditions	120	4,000
154	1C	Planter Box	0.03	224	7,455	Per Field Conditions	210	7,000
155	1C	Bioretention Cell	0.03	182	6,071	Enlarged due to street grade changes and larger catchment area	447	8,761
156	1C	Bioretention Cell	0.03	182	6,071	Enlarged due to street grade changes and larger catchment area	451	8,766
157	1C	Planter Box	0.03	504	16,800	No Change	252	8,400
158	1C	Bioretention Cell	0.03	265	8,833	Decreased due to spacial limitations	200	6,667
159	1C	Bioretention Cell	0.03	205	6,821	Decreased due to limitations in catchment area	141	4,700
160	1C	Planter Box	0.03	239	7,970	Per Field Conditions	280	9,333
161	1C	Bioretention Cell	0.03	180	6,011	Enlarged due to street grade changes and larger catchment area	270	6,308
162	1C	Bioretention Cell	0.03	180	6,011	Enlarged due to street grade changes and larger catchment area	368	8,973
163	1C	Planter Box	0.03	73	2,418	Per Field Conditions	84	2,800
164	1C	Planter Box	0.03	206	6,854	Per Field Conditions	168	5,600
165	1C	Planter Box	0.03	252	8,400	No Change	252	8,400
166	1C	Deciduous Trees	0.01	815	81,500	Landscaping plan has been revised with fewer trees.	108	10,800
167		Evergreen Trees	0.005	0	0	No Change	0	0
168	Piazza	Permeable Pavers-Mt Blanc	1	20,297	20,297	No Change	20,297	20,297
169	Piazza	Permeable Pavers-Campanile	1	12,224	12,224	No Change	12,224	12,224
170	Piazza	Permeable Pavers-Villebois Dr.	1	30,479	30,479	No Change	30,479	30,479
171	Piazza	Permeable Pavers-Plaza Lane	1	8,736	8,736	No Change	8,736	8,736
172	Piazza	Permeable Pavers-Plaza	1	25,558	25,558	No Change	25,558	25,558
173		Green Roof	1	5,000	5,000	Eliminated	0	0
177	1C	Bioretention Cell	0.03	0	0	Added to construction plans due to availability of space	291	9,700

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
	Total	Total		147,967	1,650,421		167,396	1,352,243
	Total Impervious Area in SAP	Total Impervious Area in SAP	1,806,695					
	Percent Mitigated	Percent Mitigated	91.4%					
	Percent Adjusted	Percent Adjusted	-16.5%					
	Cumulative Percent Achieved	Cumulative Percent Achieved	74.8%					

SUPPORTING COMPLIANCE REPORT
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
VILLEBOIS VILLAGE CENTER APARTMENTS
BUILDINGS 'A' & 'B' ON LOT 76
PRELIMINARY DEVELOPMENT PLAN 12 - CENTRAL

SECTION IVD

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.125 VILLAGE (V) ZONE.....	2
	(.02) PERMITTED USES	2
	(.03) PERMITTED ACCESSORY USES.....	3
	(.04) CONDITIONAL USES.....	3
	(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE....	4
	(.06) STANDARDS APPLYING TO COMMERCIAL USES	8
	(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING	8
	(.08) OPEN SPACE	12
	(.09) STREET & ACCESS IMPROVEMENT STANDARDS.....	13
	(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS	16
	(.11) LANDSCAPING, SCREENING AND BUFFERING.....	16
	(.12) MASTER SIGNAGE AND WAYFINDING	16
	(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE	16
	(.15) VILLAGE CENTER DESIGN PRINCIPLES	19
	(.16) VILLAGE CENTER DESIGN STANDARDS.....	19
	(.17) VILLAGE ZONE PLAZA DESIGN STANDARDS	21
	(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS	22
	COMMUNITY ELEMENTS BOOK	34
	PLAZA ADDRESS.....	36
	MASTER SIGNAGE AND WAYFINDING PLAN	36
	RAINWATER PROGRAM	36
	SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE.....	37
	SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS	37
	SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION	40
	SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES	42
	SECTION 4.172 FLOOD PLAIN REGULATIONS	45
	SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING	45
	SECTION 4.177 STREET IMPROVEMENT STANDARDS	45
II.	PROPOSAL SUMMARY & CONCLUSION	45

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125 VILLAGE (V) ZONE

(.02) PERMITTED USES

Examples of principle uses that are typically permitted:

E. Multifamily Dwellings

I. Commercial uses within the Village Center, subject to the standards of (.06) Standards Applying to Commercial Uses and similar to the following:

1. Sales and servicing of consumer goods:

Bicycle shop

Bookstore

Clothing Store

Electronics and appliances store

Florist

Furniture store

Jeweler Pet shop

2. Food and sundries:

Bakery Butcher shop

Convenience store

Delicatessen

Drugstore

Gifts Store

Hardware store

3. Lifestyle and recreation:

Art gallery

Barbershop or hair salon

Boutique shops and other specialty retail

Coffee shops including outdoor eating areas

Health club or gymnasium

Restaurants and pubs including outdoor eating areas

Dance or martial arts studio

4. Service Commercial:

Banking and investment services

Child day care

Custom tailoring

- Dry cleaners
- Photo processing
- Postal service
- Reproduction services
- Laundromat
- Locksmith
- Telecommunications services
- Upholstery shop

5. General Office:

- Computer and technology companies
- Governmental services
- Health services
- Insurance agencies
- Nonprofit organizations
- Professional-type services
- Real estate offices
- Secretarial services
- Travel agencies

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 76 in the Villebois Village Center. The proposal will create two (2) mixed-use buildings, one on each side of The Piazza. The building to the northwest, named Building A, will have a fitness center, a community room, and three (3) live-work spaces on the ground floor. The building to the northeast of The Piazza will have retail space on the ground floor and an amenity space on the top floor. The commercial space will be similar to the above-reference list and will comply with the standards applying to commercial uses. All proposed uses within the subject PDP are permitted pursuant to this section.

(.03) PERMITTED ACCESSORY USES

C. Structured parking, garages, and parking areas

Response: This Preliminary Development Plan (PDP) application proposes to develop two mixed-use buildings on Lot 76 in the Villebois Village Center. Both buildings will have rear-located parking lots that are required in order to address the site's vehicular parking requirements.

(.04) CONDITIONAL USES

F. Community Centers

Response: This Preliminary Development Plan (PDP) application includes a proposal for a community room on the first floor of Building A. Additionally, amenity space is being proposed in Building B.

(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE

All development in this zone shall be subject to the V Zone and the applicable provisions of the Wilsonville Planning and Land Development Ordinance. If there is a conflict, then the standards of this section shall apply. The following standards shall apply to all development in the V zone:

A. Block, Alley, Pedestrian and Bicycle Standards:

1. Maximum Block Perimeter: 1,800 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent a block perimeter from meeting this standard.

Response: Blocks within the proposed PDP plan meet the maximum 1,800-foot block perimeter.

2. Maximum spacing between streets for local access: 530 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent street extensions from meeting this standard.

Response: Blocks within the proposed PDP plan meet the maximum 530-foot spacing for local street access.

- B. Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

Response: All of the lots within the proposed PDP that have frontage on a public street and access to an alley will take vehicular access from an alley to a garage or parking area.

- C. Trailers, travel trailers, mobile coaches, or any altered variation thereof shall not be used for the purpose of conducting a trade or calling, or for storage of material, unless approved for such purpose as a temporary use.

Response: No trailers, travel trailers, mobile coaches, or such vehicles will be used for the purpose of conducting a trade or calling or for the storage of material unless approved as a temporary use.

D. Fences:

1. General Provisions:

- a. Fencing within the Village Zone shall be in compliance with the Master Fencing Program in the adopted Architectural Pattern Book for the appropriate SAP.

- b. When two or more properties with different setbacks abut, the property with the largest front yard setback requirement shall be used to determine the length and height of the shared side yard fence, as required by section 4.125 above.
- c. The development Review Board may, in their discretion, require such fencing as deemed necessary to promote and provide traffic safety, noise mitigation, and nuisance abatement, and the compatibility of different uses permitted on adjacent lots of the same zone and on adjacent lots of different zones.

2. Residential:

- a. The maximum height of any fence located in the required front yard of a residential development shall not exceed three (3) feet.
- b. Fences on residential lots shall not include chain link, barbed wire, razor wire, electrically charged wire, or be constructed of sheathing material such as plywood or flake board. Fences in residential areas that protect wetlands, or other sensitive areas, may be chain link.

Response: The SAP Central Master Fencing Plan does not indicate any required community fencing within the subject PDP. The Village Center Architectural Standards (VCAS) indicate that fencing is optional in the Plaza Address and when provided should be consistent with the architecture. No fencing is proposed.

E. Recreational Area in Multi-Family Residential and Mixed Use Developments.

- 1. The Recreational Area Requirement is intended to provide adequate recreational amenities for occupants of multiple family developments and mixed use developments where the majority of the developed square footage is to be in residential use.
- 2. Recreational Area is defined as the common area of all lawns, community gardens, play lots, plazas, court yard, interior and exterior swimming pools, ball courts, tennis courts, exercise rooms, health and exercise facilities, libraries, internet/electronic media rooms, decks and other similar areas for common recreational uses. Recreational Area may include Parks required under the Villebois Village Master Plan, and any usable park areas not shown in such plan. Private areas under this definition, defined as those areas that are accessible only by a single owner or tenant, or commercial or retail recreation facilities serving the general public, shall not constitute or contribute to the measurement of Recreational Area.

3. A variety of age appropriate facilities shall be included in the mix of Recreational Area facilities.
4. Recreational Area shall be calculated at the following ratios:
 - a. At the SAP Level - 195 square feet per residential unit.
 - b. At the PDP level - an additional 30 square feet per residential unit.
5. Outdoor Living Area shall be considered to be part of the Open Space requirement in Section 4.125(.08). [Section 4.125(.05)(E.) amended by Ord. 606, 4/3/06.]

Response: The 195 square feet recreation area per residential unit was addressed at the SAP level. PDP 12C provides 94 units, requiring 2,820 square feet of recreational area. Buildings A and B in PDP 12 C are designed with 4,483 square feet of recreational space as noted below, meeting the requirement:

- 1,076 sq. ft. Community Room located in Building A,
- 972 sq. ft. Fitness Room located in Building A,
- 623 sq. ft. Lobby in Building A,
- 1,038 sq. ft. Amenity Room/ Deck located in Building B,
- 646 sq. ft. Lobby in Building B, and
- 128 sq. ft. Dog Washing Station in Building B.

Additionally, the development's 465 square foot leasing office is located in Building 'B', and each building contains common bike storage, and individual storage rental areas.

F. Fire Protection:

1. All structures shall include a rated fire suppression system (i.e., sprinklers), as approved by the Fire Marshal

Response: Both buildings within the proposed PDP area will include appropriate fire suppression systems. This will be verified with review of future building permit applications.

Table V-1 Development Standards

Table V-1: Development Standards												
Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width ^{10,12} (%age)	Max. Bldg. Height (ft.)	Front Min. (ft.)	Setbacks ^{10,13,20}			Alley-Loaded Garage (note)	Street-Loaded Garage (note)
								Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)		
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ³	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ⁵	15	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17,18
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17

Notes: NR - No Requirement
 NA - Not Allowed

- Lot < 8000sf: NR; Lot > 8000sf: 80% (Max. Lot Coverage)
- Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
- Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
- Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
- Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
- For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
- The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
- Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main façade of the associated dwelling unit.
- Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
- For Village Center buildings with lots fronting two or more streets, at least two façades shall be subject to the minimum frontage width and front setback requirements.
- Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
- See Definitions, 4.125.01, for measurement of Minimum Frontage Width.
- Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
- See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.
- On Estate Lots and Large Lots with frontage 70 ft. or wider, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.
- For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
- Dwellings on lots without alley access shall be at least 36 feet wide.
- Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
- Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
- Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

[Table V-1 amended by Ord. 667 on 8/17/09; Ord. 682, 9/9/10]

Response: The propose development meets applicable requirements, as addressed below. The proposed lots will be developed as mixed-use buildings. The design incorporates unique, attractive architecture and flexible uses that will activate the plaza area and bring variety to Central Villebois. Table V-1 does not indicate a minimum lot size, width or depth for Mixed Use Buildings in the Village Center. The proposed units comply with the minimum frontage width standard and the applicable setback and height requirements.

(.06) STANDARDS APPLYING TO COMMERCIAL USES

A. All commercial uses shall be subject to the following:

1. A Neighborhood Center shall only be located at a Neighborhood Commons

Response: This proposal is located in the Village Center, which is not shown on the Villebois Village Center as a Neighborhood Commons.

2. The total area of all commercial uses in a Neighborhood Center shall not exceed 3,500 sq. ft. (excluding residential uses, home occupations, or home businesses).

Response: This criteria is not applicable as it is not a Neighborhood Center.

3. Commercial use shall not include "drive-through" facilities.

Response: This proposal does not include a request for a "drive-through" facility.

4. A commercial use shall be adjacent to a street.

Response: As shown on the site plan, Lot 76 is proposed as two (2) mixed-use buildings. Both buildings have ground-floor commercial and/or communal uses that will abut a street and face towards The Piazza.

5. All businesses, service or processing, shall be conducted wholly within a completely enclosed building; except for off-street parking and off-street loading. Except, however, that exterior displays, outdoor dining areas, or exterior sales may be specifically authorized through temporary use permit or development permit approval, subject to conditions of approval. Exterior sales that may be permitted are those that are limited in time duration, such as sidewalk sales, grand openings, or farmers' markets. Said areas must maintain the minimum required clear space accessible to pedestrian movement on pathways and/or sidewalks. See the following figure:

Response: All of the proposed commercial spaces are enclosed. The applicant is proposing live-work spaces in Building A that will share space with residences, however, these units are still fully enclosed.

(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING

Except as required by Subsections (A) through (D), below, the requirements of Section 4.155 shall apply within the village zone.

A. General Provisions:

1. The provision and maintenance of off-street parking spaces is a continuing obligation of the property owner. The standards set forth herein shall be considered by the Development Review Board as minimum criteria.
2. The Board shall have the authority to grant variances or refinements to these standards in keeping with the purposes and objectives set forth in this zone.

Response: The applicant acknowledges that the provision and maintenance of off-street parking is the continuing obligation of the property owner. There are no variances or refinements to the standards of this section proposed with this application.

B. Minimum and Maximum Off-Street Parking Requirements:

1. Table V-2, Off-Street Parking Requirements, below, shall be used to determine the minimum and maximum parking standards for noted land uses. The number of required parking spaces shown in Table V-2 shall be determined by rounding to the nearest whole parking space.

Table V-2: Off-Street Parking Requirements

Category	Min. Vehicle Spaces	Max. Vehicle Spaces	Bicycle Short-term	Bicycle Long-term
Multi-family Dwellings	1.0 / 1 Bdr 1.5 / 2 Bdr 1.75 / 3 Bdr	NR	1 / 20 units, 2 min.	1 / 4 units, 2 min.
Commercial	2 / 1000 SF	4 / 1000 SF	1 per 10,000 SF Min. of 2	1 per 40,000 SF Min. of 2

Response: Buildings 'A' and 'B' exceed the 100-parking space requirement by providing 112 vehicle parking spaces, 86 off-street parking spaces and 26 on-street parking spaces, providing more than adequate vehicle parking to serve the residents, employees, and visitors of Buildings 'A' and 'B' of the Villebois Village Center mixed-use development. Parking requirements and parking provided for the buildings are detailed below:

Buildings 'A' and 'B' of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C, will provide 94 multi-family residential units (69 one-bedroom units, 14 two-bedroom units, and 11 3-bedroom units) and 1,331 square feet of retail. According to Section 4.125 Table V-2 the proposed mixed-use buildings on Lot 76 are required to provide 112 off-street vehicle parking spaces as detailed below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Multi-family Dwellings		
69 1-Bed Units at 1.0 space/ unit	=	69 spaces
14 2-Bed Units at 1.5 spaces/ unit	=	21 spaces
11 3-Bed Units at 1.75 spaces/ unit	=	19 spaces
Retail/ Commercial		
1,331 sf. at 2.0 Spaces/ 1,000 sf	=	3 spaces
Vehicle Parking Requirements per Section 4.125 Table V-2		= 112 spaces

Forty percent, or 45 spaces, of the required off-street parking spaces are permitted to be compact spaces according to Section 4.155.(2.)N. Section 4.125(.07)B.4.b states *"Bicycle parking may substitute for up to 25% of required Mixed-Use or Multi-Family Residential parking. For every five non-required bicycle parking spaces that meet the short or long-term bicycle parking standards, the motor vehicle parking requirement for compact spaces may be reduced by one space."* The applicant is providing 133 bicycle parking spaces in excess of the requirement within Buildings 'A' and 'B' on Lots 76 (see calculation in following section) to offset the number of compact vehicle parking spaces permitted up to 25%, or 11 spaces.

Section 4.155.(1.)1. States *"Motorcycle parking may substitute for up to 5 spaces or 5 percent of required automobile parking, whichever is less. For every 4 motorcycle parking spaces provided, the automobile parking requirement is reduced by one space."* The applicant is providing 4 motorcycle parking spaces on the surface parking lot behind Building 'A' to reduce the vehicle parking requirement by 1 space.

Including the reduction of 11-spaces allowed for excess bicycle parking and 1-space reduction allowed for motorcycle parking, the proposed mixed-use buildings on Lot 76 are required to provide 100 off-street vehicle parking spaces:

Vehicle Parking Requirements per Section 4.125 Table V-2		112 spaces
Vehicle Parking Off-set Allowed		-12 spaces
Total Vehicle Parking Spaces Required	=	100 spaces

The parking areas located behind Buildings 'A', 'B' provide 86 off-street parking spaces as detailed in the following table:

Off-Street Vehicle Parking Provided:

Parking Provided with Buildings 'A' and 'B' on Lot 76		
Standard Spaces	=	52 spaces
Compact Spaces	=	30 spaces
ADA Spaces	=	4 spaces
Off-Street Vehicle Parking Provided	=	86 spaces

In addition to the 86 off-street parking spaces, the development provides 26 on-street parking spaces located directly adjacent to the development to be counted toward meeting the minimum off-street parking as allowable per Section 4.125(.07)B.3. as detailed below:

On-Street Vehicle Parking Provided:

Parking Provided with Buildings 'A' and 'B' on Lot 76		
SW Barber Street	=	4 spaces
SW Campanile Ln.	=	8 spaces
SW Valencia Lane	=	4 spaces
Royal Scott Lane	=	5 spaces
SW Villebois Drive North	=	5 spaces
On-Street Vehicle Parking Provided	=	26 spaces

With 86 off-street parking spaces and 26 on-street parking spaces, *the mixed-use development provides a total of 112 parking spaces to serve residents, employees, and visitors of the Village Center Apartment Buildings 'A' and 'B'.*

Vehicle Parking for Future Conversion to Retail

As noted on the elevation and floor plans submitted in Section V of this application, 9 ground floor residential units facing the Piazza in Villebois Village Center Apartments Buildings A and B are designed to convert to 5,999 square feet of retail space to meet future market conditions. The 9 ground floor units require 10 parking spaces as detailed below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Building 'A' Ground Floor Residential		
3 Studio Units at 1.0 space/ unit	=	3 spaces
1 1-Bed Unit at 1.0 space/ unit	=	1 space
Building 'B' Ground Floor Residential		
1 Studio Unit at 1.0 space/ unit	=	1 space
3 1-Bed Units at 1.0 space/ unit	=	3 spaces
1 2-Bed Unit at 1.5 spaces/ unit	=	2 spaces
<hr/>		
Vehicle Parking Requirements	=	10 spaces

Alternatively, 5,999 square feet of retail space which requires 2.0 spaces per 1,000 square feet results in a total of 12 vehicle parking spaces, an additional 2 parking spaces. The 26 on-street parking spaces adjacent to the development will adequately serve a future conversion of residential units to commercial space.

Vehicle parking requirements and vehicle parking provided for the entire Villebois Village Center Mixed-Use Development is detailed in the Introductory Narrative provided in Section IA of this application.

C. Minimum Off-Street Loading Requirements:

Response: The proposed PDP includes a development of mixed-use buildings with residential units above ground floor commercial space.

D. Bicycle Parking Requirements:

Response: Buildings 'A' and 'B' of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C are required to provide 33 short and long-term bicycle parking spaces and 166 spaces are provided, resulting in an excess of 133 bicycle parking spaces as detailed below:

Bicycle Parking Requirements according to Section 4.125 Table V-2:

<hr/>		
Multi-family Dwellings		
Short Term 94 units at 1.0 space/ 20 units	=	5 spaces
Long Term 94 units at 1.0 space per 4 units	=	24 spaces
Retail/ Commercial		
Short Term:		

1,331 sf. at 1.0 space/ 10,000 sf (Min. 2 spaces)	=	2 spaces
Long Term:		
1,331 sf. at 1.0 Spaces/ 40,000 sf (Min. 2 spaces)	=	2 spaces
Total Short Term Bicycle Parking Spaces Required	=	7 spaces
Total Long Term Bicycle Parking Spaced Required	=	26 spaces
Total Bicycle Parking Spaces Required	=	33 spaces

Bicycle Parking Provided:

Short Term		
Exterior Bike Racks	=	4 spaces
Bike Storage Room	=	3 space
Long Term		
Building 'A' Bike Storage Room on 1 st Floor	=	46 spaces
Building 'B' Bike Storage Room on 1 st Floor	=	19 spaces
1.0 Storage Space per Unit	=	94 spaces
Total Bicycle Parking Provided	=	166 spaces

Bicycle parking requirements and vehicle parking provided for the entire Villebois Village Center Mixed-Use Development is detailed in the Introductory Narrative provided in Section IA of this application.

(.08) OPEN SPACE

Open space shall be provided as follows:

- A. In all residential developments and in mixed-use developments where the majority of the developed square footage is to be in residential use, at least twenty-five percent (25%) of the area shall be open space, excluding street pavement and surface parking. In multi-phased developments, individual phases are not required to meet the 25% standard as long as an approved Specific Area Plan demonstrates that the overall development shall provide a minimum of 25% open space. Required front yard areas shall not be counted towards the required open space area. Required rear yard areas and other landscaped areas that are not within required front or side yards may be counted as part of the required open space.
- B. Open space area required by this Section may, at the discretion of the Development Review Board, be protected by a conservation easement or dedicated to the City, either rights in fee or easement, without altering the density or other development standards of the proposed development. Provided that, if the dedication is for public park purposes, the size and amount of the proposed dedication shall meet the criteria of the City of Wilsonville standards. The square footage of any land, whether dedicated or not, which is used for open space shall be deemed a part of the development site for the purpose of computing density or allowable lot coverage. See SROZ provisions, Section 4.139.10.

- C. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review and approve any pertinent bylaws, covenants, or agreements prior to recordation.

Response: The Parks *Master Plan* for Villebois does not show required open space within the subject site and the applicant is not proposing any changes to this designation. Therefore, this standard is not applicable.

(.09) STREET & ACCESS IMPROVEMENT STANDARDS

- A. Except as noted below, the provisions of Section 4.177 apply within the Village zone:

- 1. General Provisions:

- a) All street alignment and access improvements shall conform to the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan and the following standards:

Response: The current street configuration has already been constructed. The applicant is not proposing any changes or alterations to the existing street alignments.

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.

Response: All street improvements within this PDP will comply with the applicable Public Works Standards. The street system within this PDP is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Circulation Plan* (see Section IVE of this application).

- ii. All streets shall be developed with curbs, landscape strips, bikeways or pedestrian pathways, according to the Master Plan.

Response: All streets within this PDP will be developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways as depicted on the *Circulation Plan* (Section IVE of this application) and in accordance with the *Master Plan*. The streets abutting The Piazza will not have curbs, however, as SW Campanile Lane and SW Royal Scot Lane are both built flush to the sidewalk to provide for pedestrian-friendly streetscapes, a shared-street environment, and community opportunities.

2. Intersections of streets

- a) **Angles:** Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.
- b) **Intersections:** If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety (90) degrees shall require approval by the City Engineer after consultation with the Fire District.

Response: The plan sheets located in Section IVE of this application demonstrate that all proposed streets will intersect at angles consistent with the above standards.

- c) **Offsets:** Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:
 - i. 1000 ft. for major arterials
 - ii. 600 ft. for minor arterials
 - iii. 100 ft. for major collector
 - iv. 50 ft. for minor collector

Response: The plan sheets located in Section IVE of this application demonstrate that opposing intersections on public streets are offset, as appropriate, so that no danger to the traveling public is created.

- d) **Curb Extensions:**
 - i. Curb extensions at intersections shall be shown on the Specific Area Plans required in subsection 4.125(.18)(C) through (F) below, and shall:
 - Not obstruct bicycle lanes on collector streets.
 - Provide a minimum 20 foot wide clear distance between curb extensions all local residential street intersections shall have, shall meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.

Response: Curb extensions are shown on the *Circulation Plan* (see Section IVE). Curb extensions will not obstruct bicycle lanes on collector streets. The attached drawings illustrate that all street intersections will have a minimum 20 foot wide clear distance between curb extensions on all local residential street intersections.

3. Street grades shall be a maximum of 6% on arterials and 8% for collector and local streets. Where topographic conditions dictate, grades in excess of 8%, but not more than 12%, may be permitted for short distances, as approved by the City Engineer, where topographic conditions or existing improvements warrant modification of these standards.

Response: The *Grading & Erosion Control Plan* located in Section IVE, demonstrates that proposed streets can comply with this standard.

4. Centerline Radius Street Curves:

The minimum centerline radius street curves shall be as follows:

- a) Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by City Engineer.
- b) Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.
- c) Local streets: 75 feet

Response: The surrounding street network is already constructed and complies with this standard. The applicant is not proposing any changes to the street system.

5. Rights-of-way:

- a) See (.09) (A), above.

Response: Rights-of-way for adjacent streets have already been dedicated as shown on the plan sheets located in Section IVE of this application.

6. Access drives.

- a) See (.09) (A), above.
- b) 16 feet for two-way traffic.

Response: Access drives (parking lots) will be paved at least 16-feet in width as shown on the *Circulation Plan*. In accordance with Section 4.177, all access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

7. Clear Vision Areas

- a) See (.09) (A), above.

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177.

8. Vertical clearance:
 - a) See (.09) (A), above.

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177.

9. Interim Improvement Standard:
 - a) See (.09) (A), above.

Response: No interim improvements are proposed.

(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS

- A. The provisions of Section 4.178 shall apply within the Village zone.

Response: All sidewalks and pathways within SAP Central will be constructed in accordance with the standards of Section 4.154 and the *Villebois Village Master Plan*. Sidewalks and pathways are shown in the street cross-sections on the *Circulation Plan* (see Section IVE of this application).

(.11) LANDSCAPING, SCREENING AND BUFFERING

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:
 1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The *Street Tree Layout Planting Plan* shows the street trees proposed within this PDP. The trees are in conformance with the Community Elements Book.

(.12) MASTER SIGNAGE AND WAYFINDING

Response: The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:
 1. Generally:
 - a. Flag lots are not permitted.

Response: No flag lots are proposed with this application.

- b. Dwellings on lots without alley access shall be at least 36 feet wide.

Response: No single-family dwellings are proposed in this PDP.

- c. The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.

Response: None of the lots include accessory dwellings; therefore this standard does not apply.

- d. For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.

Response: Building A and B are both located on the subject lot, which is divided into two by the SW Campanile Lane Right-of-Way. Both buildings face public streets. The façade of Building A has a frontage of 99.9% along SW Royal Scot Lane and Building B has a frontage of 96.8% along SW Campanile Lane. Both of these facades exceed the required minimum frontage standard for a mixed-use building (90%).

2. Building and site design shall include:

- a. Proportions and massing of architectural elements consistent with those established in an approved Pattern Book or Village Center Design.
- b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Pattern Book, Community Elements Book or approved Village Center Architectural Standards.

Response: Compliance with the *Village Center Architectural Standards* is demonstrated with the FDP in Section V of this application. Compliance with the Community Elements Book is demonstrated later in this report.

- c. Protective overhangs or recesses at windows and doors.
- d. Raised stoops, terraces or porches at single-family dwellings.
- e. Exposed gutters, scuppers, and downspouts.

Response: As shown in the architectural drawings in the FDP (see Section VF of this application), the buildings proposed in the FDP will include protective overhangs and recesses at windows and doors and exposed gutters and downspouts.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: There are no trees being retained on-site. Protection of nearby trees that are located off-site are addressed in the Tree Removal Plan (Section VI of this application).

- g. A landscape plan in compliance with Section (.11), above.

Response: The FDP plans (see Section V) comply with the requirements of Sections 4.125(.07) and (.11).

- h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.
- i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.

Response: Upon entering the central plaza, Building A acts as the backdrop to the activities within the plaza. The façade design has a more traditional base, middle, and top, per the window banding of the middle floors. The light-colored brick highlights the common areas at the ground level of the building, while the bright accent color at the recessed Hardi panels (“stucco boards”) helps break down the building’s massing. Balconies overlooking the plaza provide additional texture to the building’s façade.).

Driving northbound on SW Barber St, Building B becomes the focal point of the central plaza. The amenity terrace on the top floor serves as a contemporary tower, providing views of the plaza below and of Mt. Hood in the distance. The banding of the building’s upper three floor levels accentuates the building’s vertical design. The color palette is more muted in tones of off-white, greys, and blacks, as the façade is design as an ensemble with the adjacent buildings surrounding the central plaza. The dark grey lap siding at the façade’s primary field helps complement the adjacent buildings by contrasting.

Architectural elevations, floor plans, and details are provided in Section VF of this application and samples of proposed building materials are provided separately.

- j. A porch shall have no more than three walls.

Response: No porches are proposed with this development.

- k. A garage shall provide enclosure for the storage of no more than three vehicles.

Response: No garages are proposed with this development.

- 3. Lighting and site furnishings shall be in compliance with the approved Community Elements Book.

Response: The FDP application in Section IV of the application does not show any site furnishings. The *Street Tree Layout Planting Plan* (see Section IVE) shows proposed street trees and *Preliminary Composite Utility Plan* shows the existing street lighting for this Preliminary Development Plan. These plans illustrate that lighting and site furnishings will be provided in compliance with the Community Elements Book.

- 4. Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein.

Response: A concurrent FDP application for the proposed architecture is included in Section V of this application.

(.15) VILLAGE CENTER DESIGN PRINCIPLES

A. In addition to the design principles found in Section 4.125(.13), above, the following principles reflect the fundamental concepts, support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities within the Village Center:

1. The buildings, streets and open spaces of the Village Center are intended to relate in such a way as to create an identifiable and related series of public and private spaces.

Response: The Villebois Village’s central plaza is the physical and symbolic heart of Villebois. The three proposed 4-story buildings wrap the plaza to create a sense of enclosure, acting as the “walls” around this public “room”. At the primary streets surrounding the plaza, the buildings’ accentuated corners identify one’s arrival into the plaza. At Building B, the top-floor Amenity Deck provides a focal point along Barber Street, drawing visitors toward the plaza.

The ground level of each building encourages activity around the plaza. Building A has large common area amenities for the three apartment buildings with large storefront windows. Three Live/Work units facing the plaza provide opportunities for small office or retail. At Building B, a corner Retail space (approx. 1200 SF) activates the streetscape along Barber Street and the plaza, with the Leasing Center next door. Above the ground-level activity, balconies face the plaza at Building A.

At the public and common area spaces, the buildings’ façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. The residential housing is primarily demarcated with lap siding or revealed Hardi panels (“stucco board”), with vinyl windows at the apt units. Each building has a unique color palette, which complement one another for a cohesive project wrapping the plaza. Architectural elevations, floor plans, and details are provided in Section VF of this application.

(.16) VILLAGE CENTER DESIGN STANDARDS

A. In addition to the design standards found in Section 4.125(.14), above, the following Design Standards are applicable to the Village Center, exclusive of single-family detached dwellings and row houses:

1. Off-street parking areas shall not be located between buildings and the street.

Response: The two proposed mixed-use buildings have rear-located parking lots; therefore, parking lots will not be between the buildings and the frontage streets.

2. The design of off-street parking areas shall include pedestrian connections to the buildings they serve, sidewalks, and adjacent parking areas.

Response: Both proposed parking lots have access for pedestrians by way of the side walk and on-site pathways to the respective buildings as shown on the Preliminary Plans (Section IVE of this application).

3. The design of buildings and public spaces shall include interior (through buildings) and exterior public pedestrian accessways, as required, to facilitate pedestrian connections.

Response: The two proposed mixed-use buildings are constructed within the grid system of Villebois Village Center. The grid system provides short block lengths and easy navigation for pedestrians. The proposed buildings abut wide sidewalks, designed for pedestrian comfort.

5. The design of buildings shall include rear and side entrances in addition to primary street front entrances when necessary to facilitate pedestrian connections.

Response: Rear entrances are provided for both buildings to allow for access to the rear-located parking lots. Side entrances are provided on Building A on the southeastern end of the building and on the northwestern end of the building where the bike storage is. Both buildings are relatively narrow; therefore, distance from any side of the building to either the front or rear doors is a manageable distance for a pedestrian.

6. Building facades shall be broken into multiple vertical elements.

Response: As shown on the Architectural Elevation Plans in Section VF of this application, each building is designed with multiple vertical elements.

7. Canopies and awnings should be provided as specified in the Village Center Architectural Standards. [Section 4.125(.16)(A)(6) amended by Ord. No. 595, 12/5/05.]

Response: Canopies and Awnings will adhere to the Village Center Architectural Standards section that are addressed in the FDP Application that is included in Section V of this application.

8. The design of buildings and landscapes shall provide opportunities for public art at a minimum of one location per block.

Response: This Preliminary Development Plan (PDP) application proposes to develop a mixed-use project on Lot 76 in the Villebois Village Center. The proposed development is a mixed-use building with associated parking area. The subject property is adjacent to the linear green and directly across from The Piazza. While

public art is not proposed on the subject property, opportunities for public art are available within the linear green and The Piazza.

(.17) VILLAGE ZONE PLAZA DESIGN STANDARDS

A. In addition to the design standards found in Section 4.125(.16), above, the following Design Standards are specific to the design of the Village Center Plaza:

1. The Village Center Plaza shall be measured as all space enclosed by the surrounding buildings.

Response: The Village Center Plaza has been constructed as The Piazza and is located in the center of the proposed PDP (PDP 12C) and the concurrent application for PDP 2C Modification.

2. The Village Center Plaza landscape shall consist of textured paving differentiated from typical street pavement. Vehicular movement and on-street parking within the Village Center Plaza is encouraged to have similar paving treatments and occur at the same elevation as the sidewalk and the Village Center Plaza.

Response: The proposed PDP plans are compliant with this standard and changes to the existing Plaza, which is also compliant with this standard, are not proposed with this application.

3. The Village Center Plaza shall include the following:
 - a. Incorporation of existing significant trees, street furniture, bollards or similar elements, and exterior lighting.

Response: As described in the Tree Report attached in Section VB of the application, there is one tree within the subject site rated as "Important" and another rated as "Good." Two other trees rated as "Poor" are also included on-site. All trees will be removed in order to construct Building A, which, as required by the Villebois Master Plan, is confined to its proposed location. Building A has a maximum setback of 8 feet, a minimum lot frontage of 90%, and minimum parking standards that require a rear-located parking lot of the proposed size. In order to comply with these standards, the existing trees need to be removed. All trees were evaluated on an individual basis in regards to retention. Trees will be planted on-site in the form of parking lot trees and street trees.

- b. One vertical tower element facing the Village Center Plaza with proportions, massing, and architectural elements consistent with the Village Center Architectural Standards

Response: A contemporary tower element is proposed on the Southeast corner of Building B. Driving northbound on SW Barber St, Building B becomes the focal point of

the central plaza. The amenity terrace on the top floor serves as a contemporary tower, providing views of the plaza below and of Mt. Hood in the distance. The banding of the building's upper three floor levels accentuates the building's vertical design. More detail can be found in the Architectural Plans provided in Section VF of this application.

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

B. Unique Features and Processes of the Village (V) Zone. To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural, landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:

2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Section 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a zone change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists.

Final Development (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.

Response: The Applicant is requesting approval of a Preliminary Development Plan (PDP). Compliance with Sections 4.125(.18)(G) through (K) is demonstrated in the following sections of this report. This PDP addresses lot 76 of Villebois Village Center, No. 2.

A Final Development Plan is submitted concurrent with this PDP application (see Section V of this application).

G. Preliminary Development Plan Approval Process:

1. An application for approval of a Preliminary Development Plan for a development in an approved SAP shall:
 - a) Be filed with the City Planning Division for the entire SAP, or when submission of the SAP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.

Response: This PDP addresses Phase 12 on the SAP Central Phasing Plan.

- b) Be made by the owner of all affected property or the owner's authorized agent; and.

Response: This application is made by Costa Pacific Communities/RCS Development, with the owner's authorization. The application form can be found in Exhibit IB.

- c) Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution; and.

Response: The appropriate application form has been filed with this submittal and payment has been made as required.

- d) Set forth the professional coordinator and professional design team for the project; and.

Response: The professional coordinator and professional design team are set forth in the Introductory Narrative, located in Section IA of this application.

- e) State whether the development will include mixed land uses, and if so, what uses and in what proportions and locations.

Response: This PDP includes mixed land uses. Two mixed-use buildings are proposed containing retail space, common space, a fitness center, a community room, live-work spaces, neighborhood amenities, and 94 residential apartments. The proposed land uses are shown on the *Site/Land Use Plan*, in Section IVE of this application.

- f) Include a preliminary land division (concurrently) per Section 4.400, as applicable.

Response: The applicant is not proposing a change in the current lot configuration and the subject site has already been platted with a previous subdivision (Villebois Village Center, no. 2). Therefore, a tentative plat is not being proposed with this application.

- g) Include a concurrent application for a Zone Map Amendment (i.e., Zone Change) for the subject phase.

Response: The subject property is currently zoned as Public Facility (PF). A Zone Map Amendment is being submitted concurrently with this application to change the subject property from a Public Facility (PF) designation to a Village (V) zoning designation.

2. The application for Preliminary Development Plan approval shall include conceptual and quantitatively accurate representations of the entire development sufficient to demonstrate conformance with the approved SAP and to judge the scope, size and impact of the development on the community and shall be accompanied by the following information:

- a) A boundary survey or a certified boundary description by a surveyor licensed in the State of Oregon.
- b) Topographic information sufficient to determine direction and percentage of slopes, drainage patterns, and in environmentally sensitive areas, (e.g., flood plain, wetlands, forested areas, steep slopes or adjacent to stream banks). Contour lines shall relate to North American Vertical Datum of 1988 and be at minimum intervals as follows:
 - i) One (1) foot contours for slopes of up to five percent (5%);
 - ii) Two (2) foot contours for slopes from six percent (6%) to twelve (12%);
 - iii) Five (5) foot contours for slopes from twelve percent (12%) to twenty percent (20%). These slopes shall be clearly identified, and
 - iv) Ten (10) foot contours for slopes exceeding twenty percent (20%).
- c) The location of areas designated Significant Resource Overlay Zone (SROZ), and associated 25-foot Impact Areas, within the PDP and within 50 feet of the PDP boundary, as required by Section 4.139.

Response: The subject property is legally defined as Lot 76 of Villebois Village Center, No. 2. A copy of the recorded plat prepared by a licensed surveyor is provided in Section IC of this application.

- d) A tabulation of the land area to be devoted to various uses, and a calculation of the average residential density per net acre.

Response: Following is a tabulation of land area devoted to the various uses and a calculation of net residential density:

Gross Acreage	1.40-acres
Public Right-of-Way	0.22-acres
Buildings	0.48-acres
Surface Parking Lot	0.58-acres
Landscape	0.12-acres
Units	94

Net Residential Density: 94 units / 1.18 Acres = 79.7 units per net acre

- e) The location, dimensions and names, as appropriate, of existing and platted streets and alleys on and within

50 feet of the perimeter of the PDP, together with the location of existing and planned easements, sidewalks, bike routes and bikeways, trails, and the location of other important features such as section lines, section corners, and City boundary lines. The plan shall also identify all trees 6 inches and greater d.b.h. on the project site only.

Response: The above information is shown on the *Existing Conditions* and the *Circulation Plan*. The *Tree Preservation Plan* identifies all trees 6 inches and greater diameter at breast height (d.b.h.) on the project site. Tree numbers are identified on the Tree Preservation Plan Sheets which correspond with the Tree Inventory in the Tree Report. The tree preservation plan and report is provided in Section VI of this application.

- f) Conceptual drawings, illustrations and building elevations for each of the listed housing products and typical non-residential and mixed-use buildings to be constructed within the Preliminary Development Plan boundary, as identified in the approved SAP, and where required, the approved Village Center Design.

Response: The proposed PDP includes two (2) buildings, which are mixed-use multifamily apartments with ground-floor commercial space and common/amenity space included. A concurrent application for the FDP for architecture and proposed elevations, floorplans, and details are provided in Section V of this application.

- g) A composite utility plan illustrating existing and proposed water, sanitary sewer, and storm drainage facilities necessary to serve the SAP.

Response: Proposed storm drainage facilities, and water and sanitary lines are shown on the *Composite Utility Plan* (see Section IVE in this application).

- h) If it is proposed that the Preliminary Development Plan will be executed in Phases, the sequence thereof shall be provided.

Response: The PDP is proposed to be executed in one phase with Building construction beginning approximately one month apart.

- i) A commitment by the applicant to provide a performance bond or other acceptable security for the capital improvements required by the project.

Response: The applicant will provide a performance bond or other acceptable security for the capital improvements required by the project.

- j) At the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of

the SAP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire SAP, and it shall meet Subsection 4.140(.09)(J)(2).

Response: A copy of the Traffic Impact Analysis is provided in Section IF.

H. PDP Application Submittal Requirements:

1. The Preliminary Development Plan shall conform with the approved Specific Area Plan, and shall include all information required by (.18)(D)(1) and (2), plus the following:
 - a) The location of water, sewerage and drainage facilities;
 - b) Conceptual building and landscape plans and elevations, sufficient to indicate the general character of the development;
 - c) The general type and location of signs;
 - d) Topographic information as set forth in Section 4.035;
 - e) A map indicating the types and locations of all proposed uses; and
 - f) A grading and erosion control plan illustrating existing and proposed contours as prescribed previously in this section.

Response: The proposed PDP of Lot 76 generally conforms to the approved SAP Central, with the proposed refinements described in the following sections of this report. As demonstrated above, the PDP application includes all information required by 4.125(.18)(D)(1) and (2), as applicable to a PDP. The *Existing Conditions* shows the existing site features, including topographic features. The *Grading and Erosion Control Plan* shows the location of drainage facilities, topographic information, and grading and erosion control facilities. The *Composite Utility Plan* indicates the proposed location of water and sanitary sewer lines and drainage facilities. The *Site/Land Use Plan* indicates the types and locations of all proposed uses in the Preliminary Development Plan. The plan sheets mentioned above can be found in Section IVE of this application.

No signs are proposed at this time, as the SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

The proposed PDP of Lot 76 includes two mixed use buildings with retail commercial space on the ground-floor, along with common/amenity space. 94 units are proposed with this PDP application. Elevations for the buildings being proposed within the PDP are included in Section V of this application along with a concurrent request for FDP approval of the architecture.

2. In addition to this information, and unless waived by the City's Community Development Director as enabled by Section 4.008(.02))B), at the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by

Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the PDP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire PDP, and it shall meet Subsection 4.140(.09)(J)(2) for the full development of all five SAPs.

Response: A copy of the Traffic Impact Analysis is provided in Section IF.

3. The Preliminary Development Plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the phase of development. However, approval of a Final Development Plan is a separate and more detailed review of proposed design features, subject to the standards of Section 4.125(.18)(L) through (P), and Section 4.400 through Section 4.450.

Response: The plan sheets for the proposed Preliminary Development Plan provide sufficient detail to show the ultimate operation and appearance of the subject phase of development. The FDP application is submitted concurrent with this PDP application (see Section V of this application).

4. Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner's association, shall also be submitted.

Response: Copies of legal documents will be provided as appropriate and required by the Development Review Board.

I. PDP Approval Procedures

1. An application for PDP approval shall be reviewed using the following procedures:
 - a) Notice of a public hearing before the Development Review Board regarding a proposed PDP shall be made in accordance with the procedures contained in Section 4.012.
 - b) A public hearing shall be held on each such application as provided in Section 4.013.
 - c) After such hearing, the Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.

Response: In accordance with the procedures contained in Section 4.012, the City shall provide notice of a public hearing before the Development Review Board on the proposed Preliminary Development Plan. This report, in conjunction with all submitted

information, demonstrates that the proposal conforms to the applicable permit criteria set forth in the City's Code.

J. PDP Refinements to Approved Specific Area Plan

1. In the process of reviewing a PDP for consistency with the approved Specific Area Plan, the Development Review Board may approve refinements, but not amendments, to the SAP. Refinements to the SAP may be approved by the Development Review Board as set forth in Section (.18)(J)(2), below.

a) Refinements to the SAP are defined as:

i. Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.

Response: The PDP of Lot 76 design does not propose any refinements to the street network or functional classification of streets.

ii. Changes to the nature or location of parks types, trails or open space that do not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the Preliminary Development Plan.

Response: The *Villebois Village Master Plan* and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP area. The applicant is not proposing a refinement to the amount of required green space in the proposed PDP.

iii. Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.

Response: No refinements are proposed with this application.

iv. Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the Preliminary Development Plan. For the purposes of this subsection, "land uses" or "uses" are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.

- v. A change in density that does not exceed ten percent, provided such density change has not already been approved as a refinement to the underlying SAP or PDP, and does not result in fewer than 2,300 dwelling units in the Village.

Response: SAP Central was approved in 2006. Since the approval of SAP Central separate PDP's have been approved or submitted for approval and some modifications of original approvals have also occurred.

Buildings 'A' and 'B' in PDP 12C are part of the larger Villebois Village mixed-use development that includes Building 'C' on PDP 2C and a parking lot in PDP 1C. To accommodate the development, the applicant proposes modifications to Preliminary Development Plan 1C and Preliminary Development Plan 2C as noted below:

- PDP 1C modification of Lot 12 refines the subject area beyond what was described in SAP Central. The conceptual ranges of density shown for the subject area in SAP Central was 8 to 12 Mixed Use Condos. Approval of a three-unit residential development, including one mixed-use unit and associate improvements was granted on August 27, 2018 by the Development Review Board on Resolution No. 357 (Casefile DB18-0040, DB18-0041, and DB18-0042). After the developer of the proposed three-unit residential development did not proceed with purchase of the property, the applicant took the opportunity to acquire the property and proceed with the proposed modification that eliminates the mixed-use condos on Lot 12 to provide a surface parking area to serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C.
- PCP 2C modification of Lot 73 proposes to increase the number of mixed-use condos from the conceptual range of 24 to 30 units to provide 49 units in Building 'C'.

For purposes of this analysis, it is important to keep in mind that changes to the mix/location of "land uses" are to be evaluated as described by the code - in the aggregate. The code defines one land use group as condos, apartments, row houses, and small detached uses - which will be referred to as the 'smaller land use group' in the following analysis. The recent Planning Director's Interpretation approved under Case File AR12-0021 found small attached uses to be included in this smaller land use group. The code defines the second land use group as mediums, standards, large and estate uses - which will be referred to as the 'larger land use group' in the following analysis.

The original SAP Central approved 1,010 units with a potential 10% increase or decrease overtime. With approval of the proposed PDP 1C and PDP 2C Modifications the density in SAP Central will be 986 units resulting in less than 10% change to the unit counts in the Central SAP and continues to meet the density requirement across Villebois.

Table 1. shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinements as well as the percent change in each aggregate land use category.

Table 1. Comparison of Current and Proposed Unit Counts

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/ Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/Neighborhood Apt.	933	986	5.9%
Total	933	986	5.9%

Table 2. below, compares the original number of units shown in SAP Central, the number of units proposed, and the percent change for each aggregate land use category.

Table 2. Comparison of Original SAP Central and Proposed Unit Counts

	Original Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/Neighborhood Apt.	1,010	986	-2.4%
Total	1,010	986	-2.4%

NOTE: The following analysis reflects the final and current approved unit counts in PDP 1C, the pending applications for PDP 2C, PDP 3C, PDP 4C, PDP 5C or Montague Park, PDP 6C, PDP 7C, PDP 8C, PDP 9C, PDP 10C, and PDP 11C.

Both tables show that the proposed refinements do not exceed the 10% standard. This proposal results in a total of 2,568 units within Villebois. This is above the density of 2,300 units required to be obtained across Villebois, meeting the refinement criteria.

- vi. Changes that are significant under the above definitions, but necessary to protect an important community resource or improve the function of collector or minor arterial roadways.
 - a. As used herein, “significant” means:
 - i. More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above, or,
 - ii. That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.

Response: The PDP does not include changes that are significant under the above definitions. As the above findings demonstrate, the proposed refinements of providing additional apartment units does not cause a quantifiable change greater or less than 10%. Additionally, the proposed refinements do not negatively affect an important, qualitative feature of Villebois as demonstrated in the following responses. The proposed refinements contribute to the range of housing options within the Village Center and within Villebois.

2. Refinements meeting the above definition may be approved by the DRB upon the demonstration and finding that:
 - a) The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

Response: None of the conditions of approval for SAP Central are specific to the proposed refinements. As the proposed refinements will not compromise the project's ability to comply with SAP conditions of approval, they will equally meet the conditions of approval of SAP Central.

The proposed refinements will equally or better meet the following Goals, Policies and Implementation Measures of the *Villebois Village Master Plan* than the SAP Central plan.

- *Land Use, General Land Use Plan Goal - Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.*

The proposed PDP 12C plan better integrates land use, transportation and natural resource elements by activating a pedestrian friendly landscape that will provide nearby residents with destinations that are accessible by multiple modes of transportation, specifically modes of active transportation. The dense character of the project, along with Villebois Village Center allow for a more compact, environmentally-friendly neighborhood design.

- *Land Use, General Land Use Plan Policy 1 - The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.*

The proposed PDP 12C plan meets this Land Use Plan Policy by contributing to the range of living choices, providing mixed-use apartments within the Village Center. The SAP designated the subject site as Mixed Use units. Now, 94 mixed use apartments are proposed, along with retail space, and community amenities. The proposal of mixed-use apartments and retail space meets current market demand and city-wide goals while complying with the urban design goals and density targets in the Village Center. This project continues to comply with the minimum density of 2,300 units across Villebois.

- *Villebois Village Master Plan, Village Center Policy 1 - The Village Center shall be a highly pedestrian-oriented place that is the focus of a mix of residential, shopping, service, and civic and mixed-use buildings.*

The proposed PDP 12C plan meets this Land Use Plan Policy with the addition of proposed buildings that are oriented towards The Piazza and are abutting the sidewalk. With the proposed PDP 12C plan, The Piazza area will be a vibrant locale filled with retail spaces, a mail center, community amenities, a fitness center and a community room. Additionally, PDP 12C proposes 94 apartment units on top of the before-mentioned first-floor uses, allowing people to live close to these neighborhood destinations in The Piazza area.

- *Villebois Village Master Plan, Village Center Policy 2* - *The Village Center shall encourage multi-modal transportation system opportunities with good access by vehicular, pedestrian, bicycle and transit traffic.*

The proposed PDP 12C plan encourages multi-modal transportation system opportunities by providing convenient vehicular access to parking lots, and by encouraging pedestrian-oriented street frontages. The local transit district, South Metro Area Regional Transit (SMART), will also be providing service to the development.

- *Villebois Village Master Plan, Village Center Implementation Measure 2* - *Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.*

- *Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.*
- *Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.*
- *General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.*
- *Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.*
- *Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.*
- *Hospitality: hotel, bed and breakfast, conference center.*
- *Light Manufacturing/Research and Development.*
- *Civic/Institutional: meeting hall, library, museum, churches, farmer's market, community center.*
- *Residential: condominiums, apartments, and townhouses*

The proposed PDP 12C plan is consistent with the Village Center Implementation Measure 2 by providing mixed use apartment buildings in the Village Center. Building A will have three (3) live-work units, which may be used as either residential space or as space for an appropriate above-listed use. Building B will provide space for retail, which could be occupied by any of the above-listed uses depending on the tenant. As described above, PDP 12C contributes to the mix of residential options in the Village Center by providing additional housing options in the Villebois area.

- *Parks and Open Space/Off-Street Trails and Pathways Goal* - *The Parks system within Villebois Village shall create a range of experiences for its residents and visitors through an interconnected network of pathways, parks, trails, open space and other public spaces that protect and enhance the site's natural resources and connect Villebois to the larger regional park/open space system.*

The Villebois Village Master Plan and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP area. The proposed buildings surround The Piazza, a plaza located at the center of the Villebois neighborhood and nearby neighborhood parks are within walking distance.

- *Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 3-* *Parks and open spaces shall be designed to incorporate native vegetation, landforms and hydrology to the fullest extent possible.*

The proposed PDP 12C plan incorporates native vegetation, landforms and hydrology to the fullest extent possible, given the planned level of urban uses on this site.

- *Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 9-* *The design of Villebois shall retain the maximum number of existing trees practicable that are six inches or more DBH in the "Important" and "Good" tree rating categories, which are defined in the Community Elements Books. Trees rated "Moderate" shall be evaluated on an individual basis as regards retention. Native species of trees and trees with historical importance shall be given special consideration for retention.*

As described in the Tree Report attached in Section VI of the application, there is one tree within the subject site rated as "Important" and another rated as "Good." Two other trees rated as "Poor" are also included on-site. All of these trees will be removed in order to construct Building A, which, as required by the Villebois Master Plan, is confined to its proposed location. Building A has a maximum setback of 8 feet, a minimum lot frontage of 90%, and minimum parking standards that require a rear-located parking lot of the proposed size. In order to comply with these standards, the existing trees need to be removed. All trees were evaluated on an individual basis in regards to retention. Trees will be planted on-site in the form of parking lot trees and street trees.

- b) The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area, and

Response: As described above, the proposed refinements will better meet the goals, policies, and implementation measures of the Villebois Village Master Plan and the framework of SAP Central and do not impact environmental or natural or scenic resources within the PDP or the Village area.

- c) The refinement will not preclude an adjoining or subsequent PDP or SAP from development consistent with the approved SAP or Master Plan.

Response: These refinements in and of themselves have no effect on the development potential of an adjoining or subsequent PDP. Therefore, these refinements will not preclude an adjoining or subsequent PDP or SAP from developing consistent with the approved SAP or *Master Plan*.

3. Amendments to the SAP, not including SAP amendments for phasing, must follow the same procedures applicable to adoption of the SAP itself. Amendments are defined as changes to elements of the SAP not constituting a refinement.

4. Amendments to the SAP for phasing will be processed as a Class II administrative review proposal.

Response: This application does not include an amendment of SAP Central to modify the SAP phasing plan.

K. PDP Approval Criteria

The Development Review Board may approve an application for a PDP only upon finding that the following approval criteria are met:

1. That the proposed PDP:
 - a. Is consistent with the standards identified in this section.

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the standards of the Village zone.

- b. Complies with the applicable standards of the Planning and Land Development Ordinance, including Section 4.140(.09)(J)(1)-(3).

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the applicable standards of the Planning and Land Development Ordinance. A description of how the proposed development complies with Section 4.140(.09)J.1-3 is included in the subsequent pages of this report.

- c. Is consistent with the approved Specific Area Plan in which it is located.

Response: The applicant presumes the requested Specific Area Plan (SAP) Amendment to refine the Village Center Architectural Standards (VCAS) of the Village Center will be approved. With the approval of the SAP amendment, the Preliminary Development Plans for the Villebois Village Mixed-Use Development on Lot 76 will be consistent with the amended VCAS, as demonstrated by the plan sheets located in Sections IVE and VF and this application, and as refined and described earlier in this report.

- d. Is consistent with the approved Pattern Book and, where required, the approved Village Center Architectural Standards

Response: The applicant presumes the requested Specific Area Plan Amendment to refine the Village Center Architectural Standards (VCAS) of the Village Center will be approved. With the approval the SAP amendment, the proposed mixed-use buildings on Lot 76 are consistent with the Village Center Architectural Standards (VCAS), as demonstrated with the concurrent FDP application in Section VF.

COMMUNITY ELEMENTS BOOK

Lighting Master Plan

Response: This PDP application shows exhibits for street lighting as illustrated on the plans. No changes in the Lighting Master Plan are proposed with this PDP.

The outdoor lighting will comply with the LZ 2 requirements of the Light Zone Map, as well as comply with all applicable building codes. See Landscape drawings for site lighting information. See the following description regarding the exterior architectural lighting at the proposed buildings.

Building A: See drawing sheet A.501 for proposed architectural lighting at exterior perimeter of Building A, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances, and balconies at upper floor levels.

Building B: See drawing sheet A.501 for proposed architectural lighting at exterior perimeter of Building B, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances. The amenity terrace at Level 5 will also have soffit lighting.

Light Fixtures: Lighting cut-sheets provided in Section VI of the application are provided for proposed architectural exterior lighting, which include recessed LED downlight and LED wall sconces to conserve energy. All exterior LED fixtures have dimming abilities, to control brightness.

- The D-1 LED recessed downlight distributes lighting downward to prevent unnatural brightening of the night sky.
- The D-2 LED ribbon lighting will be used with acrylic panels at the Building B amenity terrace at Level 5. Geometric shapes within the terrace soffit will provide a visual focal point, while illuminating the exterior space.
- The S-1 LED wall sconce provides both uplighting and downlighting; the S-1 light fixture is proposed at two locations at Building B, to accentuate the stepped back massing of the primary façade facing the central plaza.
- The S-2 LED wall sconce and S-3 LED wall sconce both distribute the lighting downward to prevent unnatural brightening of the night sky.

Curb Extensions

Response: As shown on the *Circulation Plan*, pedestrian calming curb extensions exist along Villebois Drive, Royal Scot Lane, Campanile Lane, and Barber Street to facilitate crossing of those streets. The location of these curb extensions is consistent with the Curb Extension Concept Plan Diagram in the Community Elements Book.

Street Tree Master Plan

Response: As shown on the *Street Tree Layout Planting Plan*, street trees already exist on-site and are consistent with the respective designated street tree lists.

Site Furnishings

Response: Benches and bike racks are provided as shown on the *Street Tree Layout Planting Plan* in Section IVE are consistent with the Community Elements Book (pages 11 and 12) for SAP Central.

Play Structures

Response: No play structures are proposed with this PDP/FDP application.

Tree Protection

Response: The Tree Protection component of the Community Elements Book for SAP - Central (page 15) describes the goal, policies, and implementation measures that were used to promote the protection of existing trees in the design of the PDP area. The *Tree Preservation Plan* shows that four trees are proposed to be removed. A *Tree Protection Plan* has been prepared for this PDP, consistent with Implementation Measures 1 and 2 of the Tree Protection components of the *Community Elements Book*. The *Tree Protection Plans* were based on a Tree Report prepared by Morgan E. Holen, a certified arborist (see Section VI of this application).

Plant List

Response: The *Community Elements Book* approved with SAP - Central contains a Plant List (pages 16-18) of non-native and native trees, shrubs, and groundcovers, ferns, herbs, vines, perennials, grasses, and bulbs for species to plant throughout Villebois. Within the rights-of-way in this PDP, only street trees and rainwater components are proposed. Additional landscaping details are provided with the FDP application which is submitted concurrent with this PDP (see Section V of this application).

PLAZA ADDRESS

Response: The *Community Elements Book* approved with SAP - Central contains standards for site furnishings, plant material, and surfaces (pages 27-29). The Plaza and surrounding frontages have been constructed in accordance with these standards. This PDP includes the two lots located to the northeast and northwest of the plaza. No alterations are being proposed to the existing improvements with the Plaza standards.

MASTER SIGNAGE AND WAYFINDING PLAN

Response: No signs are proposed, as the SAP Central *Signage & Wayfinding Plan* does not indicate any identifiers within the subject property.

RAINWATER PROGRAM

Response: A rainwater management plan is included with the supporting utility reports located in Section IVF of this application. The rainwater management plan included in this application includes refinements to the rainwater program for SAP Central. The Rainwater Analysis, prepared by Jaki Hunt, PE, indicates there is adequate rainwater treatment provided.

3. If the PDP is to be phased, that the phasing schedule is reasonable and does not exceed two years between commencement of development of the first, and completion of the last phase, unless otherwise authorized by the Development Review Board.

Response: The PDP is proposed to be executed in one phase, with building construction starting approximately one month apart.

4. Parks within each PDP or PDP phase shall be constructed prior to occupancy of 50% of the dwelling units in the PDP or PDP phase, unless weather or special circumstances prohibit completion, in which case bonding for the improvements shall be permitted.

Response: There are no parks being proposed with this PDP. All surrounding parks and open spaces have already been constructed with previous developments.

5. In the Central SAP, parks shall be constructed within each PDP as provided above, and that pro-rata portion of the estimated cost of Central SAP parks not within the PDP, calculated on a dwelling unit basis, shall be bonded or otherwise secured to the satisfaction of the city.

Response: There are no parks being proposed with this PDP. All surrounding parks and open spaces have already been constructed with previous developments.

6. The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.

Response: This report demonstrates that the proposed Preliminary Development Plan is in conformance with Specific Area Plan - Central, and thus, the *Villebois Village Master Plan* as well as the applicable requirements and standards of the Planning and Land Development Ordinance.

SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE

Response: The PDP 12C application does not include any areas within the SROZ. Therefore, Section 4.139 does not apply.

SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS

(.09) FINAL APPROVAL (STAGE TWO)

- J. A planned development permit may be granted by the Development Review Board only if it is found that the development conforms to all the following criteria, as well as to the Planned Development Regulations in Section 4.140:

1. The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.

Response: This Supporting Compliance Report demonstrates that the location, design, size, and uses proposed with the PDP are both separately and as a whole consistent with SAP Central, and thus the *Villebois Village Master Plan*, the City's Comprehensive Plan designation of Residential - Village for the area, and the City's Planning and Land Development Ordinance.

2. That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City's adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.

Response: The location, design, size and uses are such that traffic generated within the PDP at the most heavily used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D. The proposed uses and the circulation system are consistent with the SAP - Central application, which included an Internal Circulation Evaluation including an assessment of intersection performance by DKS Associates. A copy of the Traffic Impact Analysis is attached in Section IF of this application.

- a. In determining levels of Service D, the City shall hire a traffic engineer at the applicant's expense who shall prepare a written report containing the following minimum information for consideration by the Development Review Board:
 - i. An estimate of the amount of traffic generated by the proposed development, the likely routes of travel of the estimated generated traffic, and the source(s) of information of the estimate of the traffic generated and the likely routes of travel; (Amended by Ord 561, adopted 12/15/03.)
 - ii. What impact the estimate generated traffic will have on existing level of service including traffic generated by (1) the development itself, (2) all existing developments, (3) Stage II developments approved but not yet built, and (4) all developments that have vested traffic generation rights under section 4.140(.10), through the most probable used intersection(s), including state and county intersections, at the time of peak level of traffic. This analysis shall be conducted for each direction of travel if backup from other intersections will interfere with intersection

operations. (Amended by Ord 561, adopted 12/15/03.).

Response: The traffic generated by the PDP and its impact on the existing LOS will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is attached in Section IF of this application.

- b. The following are exempt from meeting the Level of Service D criteria standard:
 - i. A planned development or expansion thereof which generates three (3) new p.m. peak hour traffic trips or less;
 - ii. A planned development or expansion thereof which provides an essential governmental service.

Response: This PDP does not request an exemption from meeting the Level of Service D; therefore this criterion does not apply to this project.

- c. Traffic generated by development exempted under this subsection on or after Ordinance No. 463 was enacted shall not be counted in determining levels of service for any future applicant. (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP will be consistent with the SAP - Central application. A copy of the Traffic Impact Analysis is attached in Section IF of this application.

- d. Exemptions under 'b' of this subsection shall not exempt the development or expansion from payment of system development charges or other applicable regulations. (Added by Ord 561, adopted 12/15/03.)

Response: The subject PDP is not exempt from subsection 'b' and the system development charges will be provided as required.

- e. In no case will development be permitted that creates an aggregate level of traffic at LOS "F". (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP will be consistent with the SAP - Central application. The DKS evaluation for SAP Central showed that the development will not create an aggregate level of traffic at LOS "F". A copy of the Traffic Impact Analysis is attached in Section IF of this application.

- 3. That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.

Response: This Supporting Compliance Report, the Utility and Drainage Reports (see Section IVF of this application) and the plan sheets (see *Composite Utility Plan* in Section IVE) show that the future residents of PDP-1 Central modification of Lot 12 will be adequately served by the planned facilities and services.

SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION

(.02) On-site Pedestrian Access and Circulation

- B. The purpose of this section is to implement the pedestrian access and connectivity policies of the Transportation System Plan. It is intended to provide for safe, reasonably direct, and convenient pedestrian access and circulation.

Response: PDP 12C will be in compliance with Section 4.154 and provide for safe, reasonably direct, and convenient pedestrian access and circulation, as described below.

- C. Standards. Development shall conform to all the following standards:
1. Continuous Pathway System. A pedestrian pathway system shall extend throughout the development site and connect to adjacent sidewalks, and to all future phases of the development, as applicable.

Response: Pedestrian pathway systems (sidewalks) in PDP 12C extend throughout the development site and connect to adjacent sidewalks. This PDP proposes wide sidewalks surrounding the Piazza, a central pedestrian attraction.

2. Safe, Direct, and Convenient. Pathways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, recreational areas/playgrounds, and public rights-of-way and crosswalks based on all of the following criteria:

Response: Villebois Village Center, including the proposed PDP, is designed with a grid system, which allows for short blocks and easy navigation for pedestrians.

- a. Pedestrian pathways area designed primarily for pedestrian safety and convenience, meaning they are free from hazards and provide a reasonably smooth and consistent surface.

Response: Pedestrian pathways will be free from hazards and will provide a reasonably smooth and consistent surface. Pedestrian bulb-outs also exist at the intersections surrounding the site.

- b. The pathway is reasonably direct. A pathway is reasonably direct when it follows a route between destinations that does not involve a significant amount of unnecessary out-of-direction travel.

Response: As mentioned above, pathways are designed in a grid system to provide direct, easy-to-navigate travel. Therefore, the pathways will be reasonably direct and will not involve a significant amount of unnecessary out-of-direction travel.

- c. The pathway connects to all primary building entrances and is consistent with the Americans with Disabilities Act (ADA) requirements.

Response: Pathways connect to the primary building entrances in compliance with the Americans with Disabilities Act (ADA) requirements.

- d. All parking lots larger than three acres in size shall provide an internal bicycle and pedestrian pathway pursuant to Section 4.155(.03)(B.)(3.)(d.).

Response: There are no proposed parking lots larger than three acres; therefore, this criteria is not applicable.

3. **Vehicle/Pathway Separation.** Except as required for crosswalks, per subsection 4, below, where a pathway abuts a driveway or street it shall be vertically or horizontally separated from the vehicular lane. For example, a pathway may be vertically raised six inches above the abutting travel lane, or horizontally separated by a row of bollards.

Response: Sidewalks adjacent to streets are separated from vehicle travel areas by curbs. Pedestrian crossings of streets or access aisles are facilitated with either curb extensions or painted crosswalks. The Piazza area, in conformance with the standards of the Plaza Address in the Community Elements Book, does not have vertical separation from Villebois Drive, Campanile Lane, or Royal Scot Lane.

4. **Crosswalks.** Where a pathway crosses a parking area or driveway, it shall be clearly marking with a contrasting paint or paving materials (e.g., pavers, light-color concrete inlay between asphalt, or similar contrast).

Response: Where pathways cross parking or driving areas, they will be clearly marked with contrasting paint.

5. **Pathway Width and Surface.** Primary pathways shall be constructed concrete, asphalt, brick/masonry pavers, or other durable surface, and not less than five (5) feet wide. Secondary pathways and pedestrian trails may have an alternative surface except as otherwise required by the ADA.

Response: Primary pathways will be constructed of concrete, not less than five (5) feet in width.

6. All pathways shall be clearly marked with appropriate standard signs.

Response: Pathways will be clearly marked with appropriate standard signs.

(.02) General Terrain Preparation

- A. All developments shall be planned designed, constructed and maintained with maximum regard to natural terrain features and topography, especially hillside areas, floodplains, and other significant land forms.
- B. All grading, filling and excavating done in connection with any development shall be in accordance with the Uniform Building Code, all development shall be planned, designed, constructed and maintained so as to:
 - 1. Limit the extent of disturbance of soils and site by grading, excavation and other land alterations.
 - 2. Avoid substantial probabilities of: (1) accelerated erosion; (2) pollution, contamination or siltation of lakes, rivers, streams and wetlands; (3) damage to vegetation; (4) injury to wildlife and fish habitats.
 - 3. Minimize the removal of trees and other native vegetation that stabilize hillsides, retain moisture, reduce erosion, siltation and nutrient runoff, and preserve the natural scenic character.

Response: The plan sheets located in Section IVE demonstrate that the subject Preliminary Development Plan is designed with maximum regard to natural terrain features and topography. The subject PDP does not contain hillside areas or flood plains. The *Grading and Erosion Control Plan* shows proposed grading within the subject area and the *Tree Preservation Plan* shows proposed tree preservation.

All subsequent grading, filling and excavating will be done in accordance with the Uniform Building Code. Disturbance of soils and removal of trees and other native vegetation will be limited to the extent necessary to construct the proposed development. Construction will occur in a manner that avoids substantial probabilities of accelerated erosion; pollution, contamination or siltation of lakes, rivers, streams and wetlands; damage to vegetation; and injury to wildlife and fish habitats.

(.03) Hillsides: All developments proposed on slopes greater than 25% shall be limited to the extent that:

Response: The subject Preliminary Development Plan modification does not include any areas of slopes in excess of 25%. Therefore, this standard does not apply to this application.

(.04) Trees and Wooded Areas.

- A. All developments shall be planned, designed, constructed and maintained so that:
 - 1. Existing vegetation is not disturbed, injured, or removed prior to site development and prior to an approved plan for circulation, parking and structure location.
 - 2. Existing wooded areas, significant clumps/groves of trees and vegetation, and all trees with a diameter at breast height of six inches or greater shall be incorporated into the development plan and protected wherever feasible.
 - 3. Existing trees are preserved within any right-of-way when such trees are suitably located, healthy, and when approved grading allows.
- B. Trees and woodland areas to be retained shall be protected during site preparation and construction according to City Public Works design specifications, by:
 - 1. Avoiding disturbance of the roots by grading and/or compacting activity.
 - 2. Providing for drainage and water and air filtration to the roots of trees which will be covered with impermeable surfaces.
 - 3. Requiring, if necessary, the advisory expertise of a registered arborist/horticulturist both during and after site preparation.
 - 4. Requiring, if necessary, a special maintenance, management program to insure survival of specific woodland areas of specimen trees or individual heritage status trees.

Response: The *Tree Preservation Plan*, located in Section VIF, depicts existing trees within the subject area and identifies four (4) trees to be removed. This application includes a request for approval for a Tree Removal Plan, which will be applied for at the time of construction documents.

Section VIE includes the Tree Report prepared by Morgan Holen addressing existing trees and development impacts within the subject area, a tree inventory and tree mitigation details. All trees were evaluated on an individual basis in regards to retention and one tree on the site was rated as "Important." One (1) tree was rated as "Good," and the other two (2) trees were rated as "Poor." All these trees will be removed in order to construct Building A, which, as required by the Villebois Master Plan, is confined to its proposed location and size. Building A has a maximum setback of 8 feet, a minimum lot frontage of 90%, and minimum parking standards that require a rear-located parking lot of the proposed size. In order to comply with these standards, the existing trees need to be removed.

(.05) High Voltage Power line Easements and Rights of Way and Petroleum Pipeline Easements:

- A. Due to the restrictions placed on these lands, no residential structures shall be allowed within high voltage powerline easements

and rights of way and petroleum pipeline easements, and any development, particularly residential, adjacent to high voltage powerline easements and rights of way and petroleum pipeline easement shall be carefully reviewed.

- B. Any proposed non-residential development within high voltage powerline easements and rights of way and petroleum pipeline easements shall be coordinated with and approved by the Bonneville Power Administration, Portland General Electric Company or other appropriate utility, depending on the easement or right of way ownership.

Response: This Preliminary Development Plan modification does not contain any high voltage powerline or petroleum pipeline easements or rights of way.

(.06) Hazards to Safety: Purpose:

- A. To protect lives and property from natural or human-induced geologic or hydrologic hazards and disasters.
- B. To protect lives and property from damage due to soil hazards.
- C. To protect lives and property from forest and brush fires.
- D. To avoid financial loss resulting from development in hazard areas.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety.

(.07) Standards for Earth Movement Hazard Areas:

- A. No development or grading shall be allowed in areas of land movement, slump or earth flow, and mud or debris flow, except under one of the following conditions.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No earth movement hazard areas have been identified within the subject PDP area.

(.08) Standards for Soil Hazard Areas:

- A. Appropriate siting and design safeguards shall insure structural stability and proper drainage of foundation and crawl space areas for development on land with any of the following soil conditions: wet or high water table; high shrink-swell capability; compressible or organic; and shallow depth-to-bedrock.
- B. The principal source of information for determining soil hazards is the State DOGAMI Bulletin 99 and any subsequent bulleting and accompanying maps. Approved site-specific soil studies shall be used to identify the extent and severity of the hazardous conditions on the site, and to update the soil hazards database accordingly.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No soil hazard areas have been identified within the subject area.

(.09) Historic Protection: Purpose:

- A. To preserve structures, sites, objects, and areas within the City of Wilsonville having historic, cultural, or archaeological significance.

Response: A Historic/ Cultural Resource Inventory was previously conducted for the property identified as SAP - Central. The inventory shows that the subject PDP does not include any sites, objects, or areas having historic, cultural, or archaeological significance. Therefore, the standards of this section are not applicable.

SECTION 4.172 FLOOD PLAIN REGULATIONS

Response: The site does not include any areas identified as flood plain.

SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING

Response: Landscaping will be provided in accordance with the standards in Section 4.176. The *Street Tree Layout Planting Plan* depicts street trees along rights-of-way within the subject Preliminary Development Plan modification area. The plan has been developed in conformance with the Community Elements Book and the applicable standards of Section 4.176. Landscaping details will be reviewed with the concurrent FDP application in Section VF of this application.

SECTION 4.177 STREET IMPROVEMENT STANDARDS

Response: Adjacent street rights-of-way will be dedicated in conformance with required widths. The plan sheets located in Section IVE demonstrate that all proposed access drives (parking lots) within the PDP area will have a minimum improvement width of 16 feet and will provide two-way travel. All access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

II. PROPOSAL SUMMARY & CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the Village Zone and other applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Preliminary Development Plan. Therefore, the applicant requests approval of this application. Concurrent applications for an SAP Amendment, a Zone Map Amendment, Tree Removal Plan, and a Final Development Plan are included in this application, pursuant to City requirements.



MEMORANDUM

DATE: May 13, 2021

TO: City of Wilsonville

FROM: Jaki Hunt, PE
Pacific Community Design

RE: Villebois Village Mixed-Use (PDP12C) Utility Analysis
Job No. 398-063

This memorandum report is to address the utility connections for the Villebois Village Mixed-Use (PDP 12C) development portion of Villebois SAP Central. This phase is two sites located within the Villebois Village Center, one site northwest of the intersection of SW Campanile Lane and SW Valencia Lane, the other southwest of the intersection. This report will be divided into four sections: Water, Sanitary Sewer, Storm Sewer, and Rainwater Management.

Water

SAP Central defined the land use for this area to be mixed-use. SAP Central also outlined the water system plan for the area. The proposed development falls within the defined land use, and therefore complies with the design intent of SAP Central.

Sanitary Sewer

This site is located with service areas 3B, see attached exhibit. SAP Central defined the land use for this area to be mixed use, condos, specialty condos, and village apartments with a total unit count of 200. Previous development approved with the Siena project included 92 condos, while the proposed development includes a unit count of 94 apartments, for a total of 186 units. Based on this, there is adequate capacity for this development.

Storm Sewer

SAP Central defined the land use for this area to be commercial area with 90% impervious area. The water quality and detention facilities were designed to provide treatment for this land use. The proposed layout has an impervious area

of 78.7%. Based on this information, the current facilities are adequately sized to provide treatment per the City of Wilsonville Public Work Standards.

Rainwater Management

The SAP Central plan identified four planter boxes capable of treating 30,000 square feet of impervious area. The current building layout does not provide for a suitable location for planter boxes. Bio-retention cells will be installed in the parking lot to collect 25,242 square feet of runoff from the parking lot. The size of the bio-retention cells will vary but will provide 789 sf of treatment area. Using a sizing factor of 0.03, these facilities will be sized to treat 26,300 sf. Given the existing site topography, we have maximized the rainwater treatment available for the site and thus are in accordance with the SAP Central Rainwater Management plan.

Thank you.

Attachments:

1. SAP Central Sanitary Sewer Service Area Exhibit
2. SAP Central Rainwater Management Plan
3. SAP Central Rainwater Management Summary



Villebois

C2K ARCHITECTURE

PROPOSED COMMUNITY SEWER
12564 SW Main Street, Portland, OR
97223
111.303.9414#84
GEODESIGN, INC.

REVISIONS
DATE DESCRIPTION

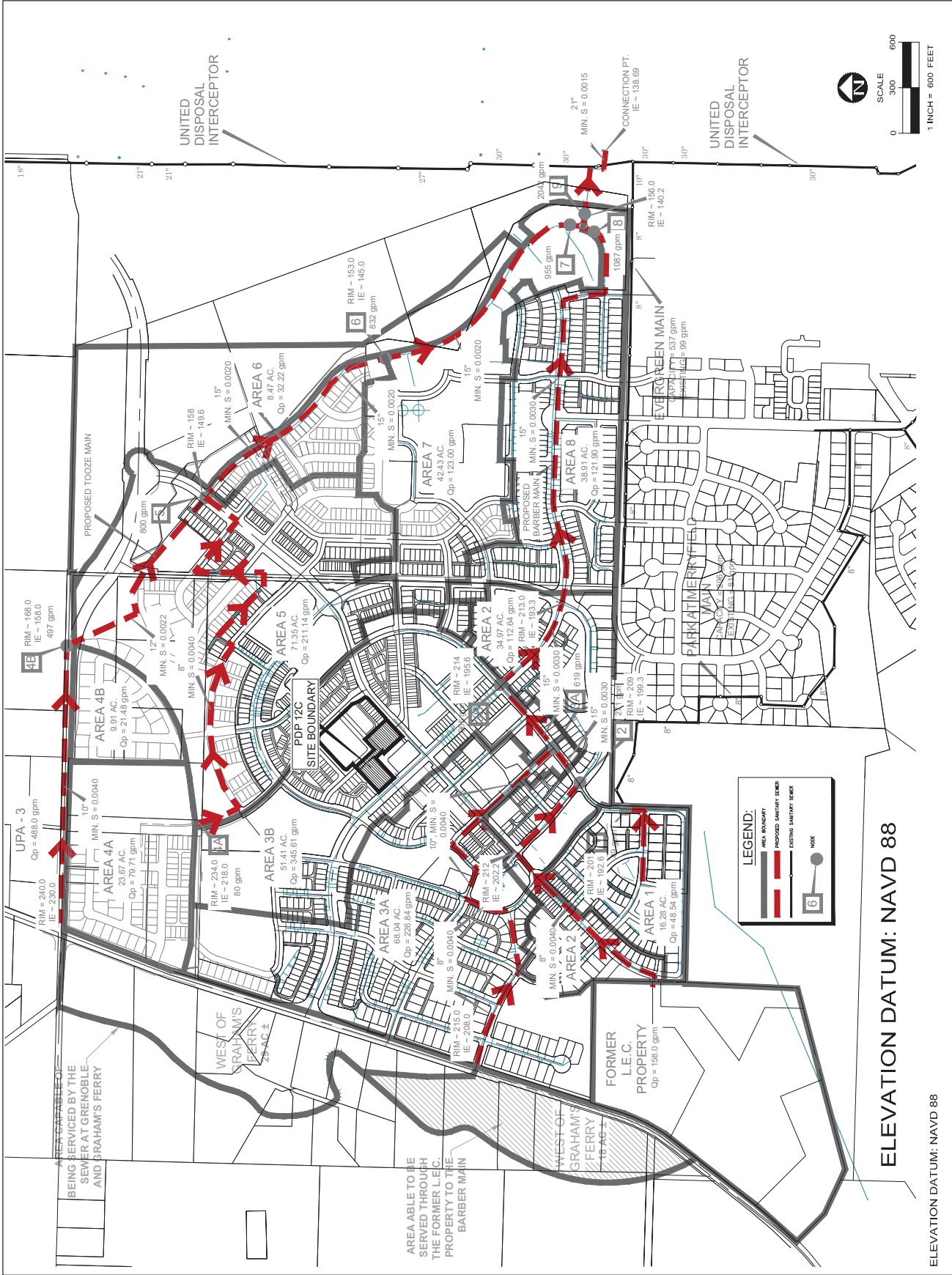
PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

SANITARY
SEWER
UNITED
DISPOSAL

1st Submission Date: 01/15/2023

SS



LEGEND:

- AREA BOUNDARY
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- MANHOLE
- NOTE

ELEVATION DATUM: NAVD 88

ELEVATION DATUM: NAVD 88



JOB NUMBER: 398063
 PROJECT: VILLEBOIS VILLAGE MIXED-USE
 FILE: N:\proj\398063\05 Reports\Rainwater Analysis\398063_Rainwater Analysis_202105-13.xlsx

EXHIBIT C:
 RAINWATER COMPLIANCE SUMMARY - SAP CENTRAL

PHASE	DRAINAGE BASIN	BASIN ID	AREA (SF)	% IMPERVIOUS	IMPERVIOUS AREA (SF)	RAINWATER COMPONENT NO.	RAINWATER COMPONENT TYPE	RAINWATER COMPONENT AREA / NO. OF TREES	SIZING FACTOR	IMPERVIOUS AREA TREATED ¹			% IMPERVIOUS AREA TREATED	
										ARROWHEAD CREEK	MILL CREEK	COFFEE LAKE CREEK		
1C	ARROWHEAD CREEK	F6.1	0	16.75/43.5%	Imp. Area (sf)	-	-	-	-	7,333	-	-	-	
2C	ARROWHEAD CREEK	F6.1	0	33.49/84.0%	0	132	BIO-RETENTION CELL	220	0.03	7333	-	-	-	
12C	ARROWHEAD CREEK	F6.1	76,107	72.0%	54,676	109	BIO-RETENTION CELL	105	0.03	3483	-	-	-	
						111	BIO-RETENTION CELL	106	0.03	3523	-	-	-	-
						-	-	-	-	11,057	-	-	-	
						77	BIO-RETENTION CELL	87	0.03	2910	-	-	-	-
						81	BIO-RETENTION CELL	122	0.03	4077	-	-	-	-
						81 A	BIO-RETENTION CELL	122	0.03	4070	-	-	-	-
						82	BIO-RETENTION CELL	258	0.03	8607	-	-	-	-
					95	BIO-RETENTION CELL	182	0.03	6073	-	-	-		
TOTAL PDP 1C			717,433		556,610					389,104			66%	
TOTAL PDP 2C			230,432		189,922					90,499			48%	
TOTAL PIAZZA VILLEBOIS			38,768		38,768					26,042			67%	
TOTAL PHASE 4C			354,143		251,361					165,600			66%	
TOTAL PHASE 6C			80,884		61,092					24,516			40%	
TOTAL PHASE 7C			178,700		115,947					39,199			80%	
FUTURE SAP CENTRAL PHASES ²			735,763		593,168					47,547		444,498	83%	
SAP CENTRAL TOTAL			2,336,123		1,806,868					524,844		47,547	687,714	70%

¹COMPONENT IMPERVIOUS AREA TREATED REFLECTS ACTUAL COMPONENT CATCHMENT AREA AND MAY NOT REFLECT SIZING FACTOR

²FUTURE SAP CENTRAL PHASE TOTALS PER APPROVED SAP CENTRAL RAINWATER MANAGEMENT PLAN



JOB: VILLEBOIS SAP CENTRAL
 PROJECT: 398-023
 FILE: N:/PROJ/999-225/STORM. MASTER/SAP CENTRAL/RAIN.XLS

**EXHIBIT C:
 SAP CENTRAL RAINWATER MANAGEMENT COMPONENT SUMMARY**

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
1	4C	Bioretention Cell	0.03	323	10,767	Reduced to reflect revised catchment area	267	8,900
2	4C	Bioretention Cell	0.03	310	10,339	Reduced to reflect revised catchment area	199	6,633
3	4C	Planter Box	0.03	264	8,784	Reduced in the field	1816	60,533
4		Bioretention Cell	0.03	264	8,784	Eliminated	0	0
5	4C	Bioretention Cell	0.03	314	10,477	Reduced to reflect revised catchment area	304	10,133
6	4C	Bioretention Cell	0.03	317	10,567	Reduced to reflect revised catchment area	269	8,967
7	4C	Bioretention Cell	0.03	420	14,000	area; Changed to bio-retention cell	114	3,800
8		Bioretention Cell	0.03	156	5,200	Eliminated	0	0
9		Bioretention Cell	0.03	156	5,200	Eliminated	0	0
10A	7C	Pervious Pavement	1	0	0	Added	6,049	6,049
10B	7C	Pervious Pavement	1	0	0	Added	22,424	22,424
10	8C	Planter Box	0.06	1,231	20,517	Changed to vegetated swale; enlarged to reflect new treatment area	2,231	37,183
11		Bioretention Cell	0.03	283	9,424	Eliminated	0	0
12	7C	Bioretention Cell	0.03	0	0	Added	48	1,600
13	8C	Bioretention Cell	0.03	1,283	42,759	Reduced to reflect revised catchment area; Changed to bio-retention cell	570	19,000
14	4C	Planter Box	0.03	264	8,784	Expanded to reflect revised catchment area; Changed to bio-retention cell	128	4,267
15	4C	Planter Box	0.03	264	8,784	area; Changed to bio-retention cell	905	30,167
16		Bioretention Cell	0.03	245	8,156	No Change	245	8,156
17	6C	Bioretention Cell	0.03	248	8,276	Reduced in the field	125	4,167
18		Planter Box	0.03	471	15,689	Eliminated	0	0
19		Bioretention Cell	0.03	113	3,750	Eliminated	0	0
20	6C	Bioretention Cell	0.03	113	3,750	Expanded in the field	116	3,867
21		Planter Box	0.03	364	12,138	Eliminated	0	0
22	9C	Planter Box	0.03	385	12,833	Expanded in the field	448	14,933
23		Bioretention Cell	0.03	272	9,072	Eliminated	0	0
25		Bioretention Cell	0.03	125	4,150	Eliminated	0	0
26		Bioretention Cell	0.03	374	12,478	Eliminated	0	0
27		Bioretention Cell	0.03	489	16,294	Eliminated	0	0
28		Bioretention Cell	0.03	489	16,294	Eliminated	0	0
29		Planter Box	0.03	300	10,000	Eliminated	0	0
30	6C	Planter Box	0.03	300	10,000	Reduced in the field	205	6,833
31	6C	Planter Box	0.03	300	10,000	Expanded in the field	384	12,800
32	6C	Bioretention Cell	0.03	196	6,544	Reduced in the field	151	5,033
33	6C	Bioretention Cell	0.03	199	6,626	Reduced in the field	126	4,200
34	9C	Bioretention Cell	0.03	70	2,320	Reduced in the field	65	2,167
35	9C	Bioretention Cell	0.03	195	6,484	Expanded in the field; Changed to bio-retention cell	240	8,000
36	9C	Bioretention Cell	0.03	500	16,667	Expanded in the field; Changed to bio-retention cell	657	21,900
37		Planter Box	0.03	500	16,667	Eliminated	0	0
38	9C	Bioretention Cell	0.03	408	13,599	Reduced in the field; Changed to bio-retention cell	143	4,767
39	10C	Bioretention Cell	0.03	60	2,000	Expanded in the field	86	2,867
40	10C	Bioretention Cell	0.03	60	2,000	Expanded in the field	97	3,233
41	10C	Bioretention Cell	0.03	70	2,320	Reduced in the field	66	2,200
42	9C	Bioretention Cell	0.03	70	2,320	Expanded in the field	166	5,533
43	9C	Planter Box	0.03	385	12,833	Expanded in the field	456	15,200
44		Bioretention Cell	0.03	365	12,150	Eliminated	0	0
45	5C	Bioretention Cell	0.03	202	6,731	Expanded in the field	1,125	37,500
46		Bioretention Cell	0.03	389	12,983	Eliminated	0	0
47		Bioretention Cell	0.03	207	6,903	Eliminated	0	0
48	5C	Bioretention Cell	0.03	331	11,030	Reduced in the field	175	5,833
49	9C	Planter Box	0.03	434	14,467	Expanded in the field	437	14,567
50	9C	Bioretention Cell	0.03	176	5,883	Reduced in the field	115	3,833
51	10C	Bioretention Cell	0.03	176	5,883	Reduced in the field	114	3,800
52	10C	Bioretention Cell	0.03	70	2,320	Expanded in the field	174	5,800
52A	10C	Bioretention Cell	0.03	0	0	Added	150	5,000
53	9C	Planter Box	0.03	441	14,700	No Change	441	14,700
53A	10C	Planter Box	0.03	0	0	Added	206	6,867
53B	10C	Planter Box	0.03	0	0	Add	144	4,800
54		Planter Box	0.03	419	13,975	Eliminated	0	0
55	9C	Planter Box	0.03	341	11,359	No Change	341	11,359
56	9C	Planter Box	0.03	341	11,359	No Change	341	11,359
56A	11C	Bioretention Cell	0.03	0	0	Added	567	18,900
57	11C	Bioretention Cell	0.03	204	6,800	Reduced in the field	102	3,400
57A	10C	Bioretention Cell	0.03	0	0	Added	185	6,167
58	11C	Bioretention Cell	0.03	204	6,800	Reduced in the field	102	3,400
58A	10C	Bioretention Cell	0.03	0	0	Added	185	6,167
59	10C	Bioretention Cell	0.03	129	4,300	Reduced in the field	74	2,467
60	10C	Bioretention Cell	0.03	129	4,300	Reduced in the field	84	2,800
61	11C	Bioretention Cell	0.03	203	6,780	Reduced in the field	174	5,800
62	9C	Planter Box	0.03	354	11,784	No Change	354	11,784
63	9C	Planter Box	0.03	364	12,118	No Change	364	12,118
64	9C	Planter Box	0.03	441	14,700	No Change	441	14,700

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
64A	10C	Planter Box	0.03	0	0	Added	178	5,933
64B	10C	Planter Box	0.03	0	0	Added	233	7,767
65	10C	Planter Box	0.03	520	17,333	Reduced in the field Expanded to reflect revised catchment area	152	5,067
66	7C	Bioretention Cell	0.03	153	5,106	Expanded to reflect revised catchment area	224	7,467
67	7C	Bioretention Cell	0.03	153	5,106	Reduced to reflect revised catchment area	231	7,700
68	4C	Bioretention Cell	0.03	467	15,553	area; Changed to bio-retention cell	1,076	35,867
69	4C	Bioretention Cell	0.03	387	12,884	Reduced in the field	209	6,967
70	4C	Vegetated Swale	0.06	244	4,067	Expanded in the field; Changed to vegetated swale	369	6,150
71	4C	Vegetated Swale	0.06	244	4,067	Expanded in the field; Changed to vegetated swale	1,116	18,600
72	7C	Bioretention Cell	0.03	292	9,733	Expanded to reflect revised catchment area; Changed to bio-retention cell	356	11,867
73	7C	Bioretention Cell	0.03	328	10,933	Expanded to reflect revised catchment area; Changed to bio-retention cell	328	10,933
74	7C	Planter Box	0.03	328	10,933	Eliminated	0	0
75	7C	Bioretention Cell	0.03	343	11,433	Reduced to reflect revised catchment area; Changed to bio-retention cell	48	1,600
76	10C	Planter Box	0.03	520	17,333	Reduced in the field	116	3,867
77	12C	Bioretention Cell	0.03	300	10,000	Resized to reflect available area; Changed to bio-retention cell	87	2,900
78	2C	Planter Box	0.03	341	11,359	Planter Boxes only receive 40% of roof runoff	120	1,500
79	2C	Bioretention Cell	0.03	313	10,444	No Change	314	10,467
79A	2C	Bioretention Cell	0.03	0	0	Added to treat catchment area flowing to new low spot	67	2,233
80	2C	Bioretention Cell	0.03	318	10,587	Catchment area for facility has been decreased	316	10,533
81	9C	Bioretention Cell	0.03	300	10,000	Resized to reflect available area; Changed to bio-retention cell	122	4,067
81A	9C	Bioretention Cell	0.03	0	0	Added to reflect available area; Changed to bio-retention cell	122	4,067
82	9C	Bioretention Cell	0.03	150	5,000	Resized to reflect available area; Changed to bio-retention cell	258	8,600
83	7C	Bioretention Cell	0.03	343	11,433	Reduced to reflect revised catchment area; Changed to bio-retention cell	240	8,000
84	7C	Bioretention Cell	0.03	167	5,568	Reduced to reflect revised catchment area; Changed to bio-retention cell	64	2,133
85	7C	Bioretention Cell	0.03	160	5,339	Reduced to reflect revised catchment area; Changed to bio-retention cell	115	3,833
86		Planter Box	0.03	292	9,733	Eliminated	0	0
87		Bioretention Cell	0.03	220	7,334	Eliminated	0	0
88		Planter Box	0.03	448	14,933	Eliminated	0	0
90		Bioretention Cell	0.03	221	7,382	Eliminated	0	0
91		Planter Box	0.03	395	13,154	Eliminated	0	0
92	7C	Bioretention Cell	0.03	385	12,833	Reduced to reflect revised catchment area; Changed to bio-retention cell	130	4,333
93	1C	Planter Box	0.03	322	10,733	Removed because area is now permeable pavement	0	0
94	1C	Planter Box	0.03	322	10,733	Removed because area is now permeable pavement	0	0
95	9C	Bioretention Cell	0.03	150	5,000	Resized to reflect available area; Changed to bio-retention cell	182	6,067
96	PIAZZA	Planter Box	0.03	100	3,333	Planter Box Resized to reflect catchment area	30	170
97	PIAZZA	Planter Box	0.03	100	3,333	Planter Box Resized to reflect catchment area	30	170
98	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
99	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
100	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
101	9C	Bioretention Cell	0.03	137	4,550	No Change	137	4,550
102	9C	Bioretention Cell	0.03	137	4,550	No Change	137	4,550
103	2C	Planter Box	0.03	341	11,359	Treatment area is limited to building foot print of 11,350 square feet	341	11,350
104	2C	Planter Box	0.03	341	11,359	Treatment area is limited to accessible building foot print of 7,000 square feet	215	7,167
105	2C	Planter Box	0.03	272	9,057	Planter Boxes only receive 40% of roof runoff	120	1,500
106	2C	Bioretention Cell	0.03	208	6,933	Catchment area for facility has been increased	318	10,600
107	2C	Bioretention Cell	0.03	147	4,900	This facility was eliminated because it was located in a 4-ft wide planter. These planters do not have adequate room for a properly constructed facility.	0	0
108	2C	Bioretention Cell	0.03	146	4,867	This facility was eliminated because it was located in a 4-ft wide planter. These planters do not have adequate room for a properly constructed facility.	0	0
109	2C	Planter Box	0.03	455	15,167	Reduced in field	105	3,500
110	2C	Planter Box	0.03	413	13,767	Treatment area is limited to accessible building foot print of 7,000 square feet	195	6,500
111	2C	Bioretention Cell	0.03	178	5,937	Reduced in field	106	3,533
112	1C	Planter Box	0.03	693	23,094	Changed to a bioretention cell and scaled down to provide room for ADA accessibility	539	17,967
113	1C	Planter Box	0.03	253	8,421	No Change	253	8,421
114	1C	Planter Box	0.03	263	8,767	No Change	263	8,767
115	1C	Bioretention Cell	0.03	231	7,695	No Change	231	7,695

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
116	1C	Planter Box	0.03	80	2,677	Expanded in the field	84	2,800
117	1C	Planter Box	0.03	155	5,152	Reduced in the field	143	4,767
118	1C	Bioretention Cell	0.03	211	7,019	Enlarged due to street grade changes and larger catchment area	298	9,933
119	1C	Planter Box	0.03	130	4,342	Reduced in the field	111	3,700
120	1C	Planter Box	0.03	124	4,142	Expanded in the field	176	5,867
121	1C	Bioretention Cell	0.03	180	6,013	Enlarged due to street grade changes and larger catchment area	322	10,733
122	1C	Bioretention Cell	0.03	180	6,013	Enlarged due to street grade changes and larger catchment area	328	10,933
123	1C	Planter Box	0.03	316	10,525	Per Field Conditions	315	10,500
124	1C	Planter Box	0.03	97	3,229	Per Field Conditions	90	3,000
125	1C	Planter Box	0.03	161	5,366	No Change	161	5,366
126	1C	Bioretention Cell	0.03	218	7,260	Decreased due to spacial limitations	134	4,467
127	1C	Bioretention Cell	0.03	218	7,260	No Change	152	5,067
128	1C	Planter Box	0.03	360	12,000	No Change	349	11,633
129	1C	Bioretention Cell	0.03	156	5,211	Enlarged due to street grade changes and larger catchment area	426	8,944
130	1C	Bioretention Cell	0.03	256	8,545	Enlarged due to street grade changes and larger catchment area	427	8,990
131	1C	Planter Box	0.03	360	12,000	No Change	349	11,633
132	1C	Bioretention Cell	0.03	189	6,300	Enlarged due to larger available area for facility; Changed to bio-retention cell	220	7,333
133	1C	Bioretention Cell	0.03	328	10,939	Decreased due to limitations in catchment area	393	4,032
134	1C	Bioretention Cell	0.03	713	23,752	Enlarged due to street grade changes and larger catchment area	538	5,731
135	1C	Bioretention Cell	0.03	240	7,996	Enlarged due to larger available area for facility	1,433	47,767
136	1C	Bioretention Cell	0.03	240	7,996	Eliminated, area now treated by component 144.	0	0
137	2C	Planter Box	0.03	250	8,343	Changed to Bioretention Cell to pick up parking lot runoff	200	6,667
138	2C	Planter Box	0.03	222	7,413	Changed to Bioretention Cell to pick up parking lot runoff	219	7,300
138A	2C	Bioretention Cell	0.03	0	0	Added to treat additional parking lot area	72	2,400
139	2C	Planter Box	0.03	222	7,413	Eliminated due to lack of room and feasibility of treating carriage homes for rainwater management	0	0
140	2C	Planter Box	0.03	236	7,864	Planter Boxes only receive 40% of roof runoff	160	2,004
141	2C	Planter Box	0.03	231	7,712	Planter Boxes only receive 40% of roof runoff	200	2,445
142	2C	Bioretention Cell	0.03	177	5,901	Bioretention Cell can receive more runoff area	235	7,833
143	2C	Bioretention Cell	0.03	190	6,337	Street Runoff is directed away from facility	0	0
144	1C	Bioretention Cell	0.03	1,017	33,894	Decreased due to limitations in catchment area	2,095	31,735
145	1C	Bioretention Cell	0.03	517	17,244	Decreased due to limitations in catchment area	183	4,853
146	1C	Bioretention Cell	0.03	188	6,280	Enlarged due to street grade changes and larger catchment area	246	6,400
147	1C	Bioretention Cell	0.03	188	6,280	Enlarged due to street grade changes and larger catchment area	302	10,067
148	1C	Planter Box	0.03	159	5,294	Per Field Conditions	160	5,333
149	1C	Planter Box	0.03	210	6,987	Per Field Conditions	224	7,467
150	1C	Bioretention Cell	0.03	140	4,676	Enlarged due to street grade changes and larger catchment area	151	5,033
151	1C	Bioretention Cell	0.03	140	4,676	Decreased due to limitations in catchment area	124	3,218
152	1C	Planter Box	0.03	170	5,665	Per Field Conditions	156	5,200
153	1C	Planter Box	0.03	92	3,078	Per Field Conditions	120	4,000
154	1C	Planter Box	0.03	224	7,455	Per Field Conditions	210	7,000
155	1C	Bioretention Cell	0.03	182	6,071	Enlarged due to street grade changes and larger catchment area	447	8,761
156	1C	Bioretention Cell	0.03	182	6,071	Enlarged due to street grade changes and larger catchment area	451	8,766
157	1C	Planter Box	0.03	504	16,800	No Change	252	8,400
158	1C	Bioretention Cell	0.03	265	8,833	Decreased due to spacial limitations	200	6,667
159	1C	Bioretention Cell	0.03	205	6,821	Decreased due to limitations in catchment area	141	4,700
160	1C	Planter Box	0.03	239	7,970	Per Field Conditions	280	9,333
161	1C	Bioretention Cell	0.03	180	6,011	Enlarged due to street grade changes and larger catchment area	270	6,308
162	1C	Bioretention Cell	0.03	180	6,011	Enlarged due to street grade changes and larger catchment area	368	8,973
163	1C	Planter Box	0.03	73	2,418	Per Field Conditions	84	2,800
164	1C	Planter Box	0.03	206	6,854	Per Field Conditions	168	5,600
165	1C	Planter Box	0.03	252	8,400	No Change	252	8,400
166	1C	Deciduous Trees	0.01	815	81,500	Landscaping plan has been revised with fewer trees.	108	10,800
167		Evergreen Trees	0.005	0	0	No Change	0	0
168	Piazza	Permeable Pavers-Mt Blanc	1	20,297	20,297	No Change	20,297	20,297
169	Piazza	Permeable Pavers-Campanile	1	12,224	12,224	No Change	12,224	12,224
170	Piazza	Permeable Pavers-Villebois Dr.	1	30,479	30,479	No Change	30,479	30,479
171	Piazza	Permeable Pavers-Plaza Lane	1	8,736	8,736	No Change	8,736	8,736
172	Piazza	Permeable Pavers-Plaza	1	25,558	25,558	No Change	25,558	25,558
173		Green Roof	1	5,000	5,000	Eliminated	0	0
177	1C	Bioretention Cell	0.03	0	0	Added to construction plans due to availability of space	291	9,700

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
	Total	Total		147,967	1,650,421		167,396	1,352,243
	Total Impervious Area in SAP	Total Impervious Area in SAP	1,806,695					
	Percent Mitigated	Percent Mitigated	91.4%					
	Percent Adjusted	Percent Adjusted	-16.5%					
	Cumulative Percent Achieved	Cumulative Percent Achieved	74.8%					

SUPPORTING COMPLIANCE REPORT
PRELIMINARY DEVELOPMENT PLAN 1 - CENTRAL MODIFICATION
VILLEBOIS VILLAGE CENTER LOT 12
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
SURFACE PARKING AREA SITE 'D'

SECTION IVG

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.125 VILLAGE (V) ZONE.....	2
	(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE....	2
	(.06) STANDARDS APPLYING TO COMMERCIAL USES	5
	(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING	5
	(.08) OPEN SPACE	6
	(.09) STREET & ACCESS IMPROVEMENT STANDARDS.....	7
	(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS	10
	(.11) LANDSCAPING, SCREENING AND BUFFERING.....	10
	(.12) MASTER SIGNAGE AND WAYFINDING	10
	(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE	10
	(.16) VILLAGE CENTER DESIGN STANDARDS.....	12
	(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS	13
	COMMUNITY ELEMENTS BOOK	25
	PLAZA ADDRESS.....	26
	MASTER SIGNAGE AND WAYFINDING PLAN	26
	RAINWATER PROGRAM	26
	SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE.....	27
	SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS	27
	SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION	29
	SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES	31
	SECTION 4.172 FLOOD PLAIN REGULATIONS	34
	SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING	34
	SECTION 4.177 STREET IMPROVEMENT STANDARDS	34
II.	PROPOSAL SUMMARY & CONCLUSION	35

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125 VILLAGE (V) ZONE

(.03) PERMITTED ACCESSORY USES

C. Structured parking, garages, and parking areas

Response: This Preliminary Development Plan (PDP) modification application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed use development located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, an accessory use permitted by Section 4.125(.03)C.

(.05) DEVELOPMENT STANDARDS APPLYING TO ALL DEVELOPMENTS IN THE VILLAGE ZONE

In addition to other applicable provisions of the Wilsonville Planning and Land Development Ordinance, all development in the Village zone shall be subject to Tables V-1 through V-4, and to the following. If there is a conflict, then the standards of this section shall apply.

A. Block, Alley, Pedestrian and Bicycle Standards:

1. Maximum Block Perimeter: 1,800 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent a block perimeter from meeting this standard.

Response: The subject property abuts to SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, all existing streets within Villebois Village Center which meet the maximum 1,800-foot block perimeter.

2. Maximum spacing between streets for local access: 530 feet, unless the Development Review Board makes a finding that barriers such as existing buildings, topographic variations, or designated Significant Resource Overlay Zone areas will prevent street extensions from meeting this standard.

Response: The subject property abuts to SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, all existing streets within Villebois Village Center with blocks that meet the maximum 530-foot spacing for local street access.

- #### B. Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

Response: The proposed development has vehicular access from SW Toulouse Street or SW Ravenna Loop. Access easements will be granted as required.

- #### C. Trailers, travel trailers, mobile coaches, or any altered variation thereof shall not be used for the purpose of conducting a trade or calling, or for storage of material, unless approved for such purpose as a temporary use.

Response: No trailers, travel trailers, mobile coaches, or such vehicles will be used for the purpose of conducting a trade or calling, or storage of material unless approved as a temporary use.

D. Fences:

1. General Provisions:

- a. Fencing within the Village Zone shall be in compliance with the Master Fencing Program in the adopted Architectural Pattern Book for the appropriate SAP.
- b. When two or more properties with different setbacks abut, the property with the largest front yard setback requirement shall be used to determine the length and height of the shared side yard fence, as required by section 4.125 above.
- c. The development Review Board may, in their discretion, require such fencing as deemed necessary to promote and provide traffic safety, noise mitigation, and nuisance abatement, and the compatibility of different uses permitted on adjacent lots of the same zone and on adjacent lots of different zones.

Response: The SAP Central Plan and Villebois Village Master Plan do not indicate any required community fencing within the subject PDP modification. The Village Center Architectural Standards (VCAS) indicate that fencing is optional in the Plaza Address, and where provided should be consistent with the architecture. The applicant is proposing 6-foot high vine support fence, consisting of welded wire mesh fencing with cedar posts, around the entirety of the site except at breaks for pedestrian and vehicle access points, as illustrated on Detail 4 of Sheet L1 in Section IVH.

2. Residential:

Response: This application does not propose residential development; therefore, this standard does not apply.

E. Recreational Area in Multi-Family Residential and Mixed-Use Developments.

1. The Recreational Area Requirement is intended to provide adequate recreational amenities for occupants of multiple family developments and mixed-use developments where the majority of the developed square footage is to be in residential use.
2. Recreational Area is defined as the common area of all lawns, community gardens, play lots, plazas, court yard, interior and exterior swimming pools, ball courts, tennis courts, exercise rooms, health and exercise facilities, libraries, internet/electronic media rooms, decks and other similar areas for common recreational uses. Recreational Area may include Parks required under the Villebois Village Master Plan, and any usable park areas not shown in such plan. Private areas under this definition, defined as those areas that are accessible only by a single owner or tenant, or commercial or retail recreation facilities serving the general public, shall not constitute or contribute to the measurement of Recreational Area.
3. A variety of age appropriate facilities shall be included in the mix of Recreational Area facilities.
4. Recreational Area shall be calculated at the following ratios:

- a. At the SAP Level - 195 square feet per residential unit.
 - b. At the PDP level - an additional 30 square feet per residential unit.
5. Outdoor Living Area shall be considered to be part of the Open Space requirement in Section 4.125(.08). [Section 4.125(.05)(E.) amended by Ord. 606, 4/3/06.]

Response: The 195 square feet recreation area per residential unit was addressed at the SAP level. This PDP modification does not add residential units.

F. Fire Protection:

- 1. All structures shall include a rated fire suppression system (i.e., sprinklers), as approved by the Fire Marshal

Response: No structures are proposed to be constructed; therefore, this standard does not apply.

Table V-1: Development Standards

Table V-1: Development Standards

Building Type	Min. Lot Size (sq.ft.)	Min. Lot Width (ft.)	Min. Lot Depth (ft.)	Max. Lot Coverage (note)	Min. Frontage Width (%) ^{10,12}	Max. Bldg. Height (ft.)	Setbacks ^{10,13,20}				Alley-Loaded Garage (note)	Street-Loaded Garage (note)
							Front Min. (ft.)	Front Max. (ft.)	Rear Min. (ft.)	Side Min. (ft.)		
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	1	80	60	NR ³	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	1	90	60	NR ³	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	1	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	1	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	1	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	1	80	45	8 ⁵	15	NR	NR	NR	NA
Duplexes	4,000	45	70	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17,18
Single-Family Dwellings	2,250	35	50	2	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17,18

Notes: NR = No Requirement

NA = Not Allowed

1 Lot < 8000sf: NR; Lot >8000sf: 80% (Max. Lot Coverage)

2 Small lots: 75%; Medium Lots: 65%; Standard and Large Lots: 55%; Estate Lots: 45% Maximum Lot Coverage

On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.

3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.

4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.

5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.

6 For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.

7 The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.

8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main façade of the associated dwelling unit.

9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.

10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.

11 Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.

12 See Definitions, 4.125.01, for measurement of Minimum Frontage Width.

13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.

14 See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.

15 On Estate Lots and Large Lots with frontage 70 ft. or wider, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.

16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.

17 Dwellings on lots without alley access shall be at least 36 feet wide.

18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.

19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.

20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

[Table V-1 amended by Ord. 667 on 8/17/09; Ord. 682, 9/9/10]

Response: This Preliminary Development Plan (PDP) modification application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed use development located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, an accessory use permitted by Section 4.125(.03)C. No structures are proposed to be constructed. The parking area is setback 5-feet from the southwest site boundary adjacent to Tax Lot 90000, Carvalho Condominiums; setback 11.96-feet from the southeast site boundary adjacent to

rowhome located on Tax Lot 8700; setback 8-feet from the SW Villebois Drive public right-of-way; and 10.79-feet from the SW Barber Street public right-of-way.

(.06) STANDARDS APPLYING TO COMMERCIAL USES

A. All commercial uses shall be subject to the following:

1. A Neighborhood Center shall only be located at a Neighborhood Commons

Response: This proposal is located in the Village Center.

2. The total area of all commercial uses in a Neighborhood Center shall not exceed 3,500 sq. ft. (excluding residential uses, home occupations, or home businesses).

Response: This criterion is not applicable as it is not a Neighborhood Center.

3. Commercial use shall not include “drive-through” facilities.

Response: This proposal does not include a request for a “drive-through” facility.

4. A commercial use shall be adjacent to a street.

Response: This application does not propose development of a commercial use.

5. All businesses, service or processing, shall be conducted wholly within a completely enclosed building; except for off-street parking and off-street loading. Except, however, that exterior displays, outdoor dining areas, or exterior sales may be specifically authorized through temporary use permit or development permit approval, subject to conditions of approval. Exterior sales that may be permitted are those that are limited in time duration, such as sidewalk sales, grand openings, or farmers’ markets. Said areas must maintain the minimum required clear space accessible to pedestrian movement on pathways and/or sidewalks. See the following figure:

Response: No businesses, service or processing will be conducted onsite.

6. Except as may be approved through the processes noted in Section (.07)(A)(5), above, all commercial uses shall meet the performance standards specified in Section 4.135(.05).

Response: No commercial uses are proposed to be located onsite. The site is not located within the PDI Zone or an industrial property; therefore, Section 4.135(.05) does not apply.

(.07) GENERAL REGULATIONS - OFF-STREET PARKING, LOADING & BICYCLE PARKING

Except as required by Subsections (A) through (D), below, the requirements of Section 4.155 shall apply within the village zone.

Response: The general provisions of Section 4.155 General Regulations - Parking, Loading and Bicycle Parking are addressed later in this report.

A. General Provisions:

1. The provision and maintenance of off-street parking spaces is a continuing obligation of the property owner. The standards set forth herein shall be considered by the Development Review Board as minimum criteria.

2. The Board shall have the authority to grant variances or refinements to these standards in keeping with the purposes and objectives set forth in this zone.

Response: Maintenance of the parking lot on Lot 12 and parking areas on Lots 73 and 76 will be managed by the Villebois Village mixed-use development.

B. Minimum and Maximum Off-Street Parking Requirements:

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. Off-street parking requirements for the entire mixed-use development is addressed in the Introductory Narrative provided in Section IA of this submittal.

C. Minimum Off-Street Loading Requirements:

Response: The applicant does not propose any off-street loading space to be located in the parking lot on Lot 12.

D. Bicycle Parking Requirements:

Response: No short or long-term bicycle parking is proposed.

(.08) OPEN SPACE

Open space shall be provided as follows:

- A. In all residential developments and in mixed-use developments where the majority of the developed square footage is to be in residential use, at least twenty-five percent (25%) of the area shall be open space, excluding street pavement and surface parking. In multi-phased developments, individual phases are not required to meet the 25% standard as long as an approved Specific Area Plan demonstrates that the overall development shall provide a minimum of 25% open space. Required front yard areas shall not be counted towards the required open space area. Required rear yard areas and other landscaped areas that are not within required front or side yards may be counted as part of the required open space.
- B. Open space area required by this Section may, at the discretion of the Development Review Board, be protected by a conservation easement or dedicated to the City, either rights in fee or easement, without altering the density or other development standards of the proposed development. Provided that, if the dedication is for public park purposes, the size and amount of the proposed dedication shall meet the criteria of the City of Wilsonville standards. The square footage of any land, whether dedicated or not, which is used for open space shall be deemed a part of the development site for the purpose of computing density or allowable lot coverage. See SROZ provisions, Section 4.139.10.
- C. The Development Review Board may specify the method of assuring the long-term protection and maintenance of open space and/or recreational areas. Where such protection or maintenance are the responsibility of a private party or homeowners' association, the City Attorney shall review and approve any pertinent bylaws, covenants, or agreements prior to recordation.

Response: This Preliminary Development Plan (PDP) application proposes to develop a parking lot on Lot 12 in the Villebois Village Center. The Parks *Master Plan* for Villebois states that there are 58.42 acres of parks and 101.31 acres of open space for a total of 159.73 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent and in excess of the *Master Plan*. The Parks Master Plan for Villebois does not show required open space within the subject site and the applicant is not proposing any changes to this designation. Therefore, this standard is not applicable, as it has already been met and exceeded within SAP Central.

(.09) STREET & ACCESS IMPROVEMENT STANDARDS

- A. Except as noted below, the provisions of Section 4.177 apply within the Village zone:

Response: The general provisions of Section 4.177 Street Improvement Standards are addressed later in this report.

1. General Provisions:

- a) All street alignment and access improvements shall conform to Figures 7, 8, 9a, and 9B of the Villebois Village Master Plan, or as refined in the Specific Area Plan, Preliminary Development Plan, or Final Development Plan and the following standards:

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, existing fully improved streets. The applicant is not proposing to modify or alter the existing street alignment. The existing street alignments and access improvements within this PDP modification remain consistent with those approved in the *Villebois Village Master Plan* and SAP Central.

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, existing fully improved streets. The street system within this PDP modification is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Preliminary Circulation Plan*, Sheet 6 of Section IVH.

- ii. All streets shall be developed in according to the Master Plan.

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop. No new streets are proposed. Streets adjacent to the Lot 12 are developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian

pathways in accordance with the Master Plan as shown on the *Preliminary Circulation Plan*, Sheet 6 of Section IVH.

2. Intersections of streets

- a) Angles: Streets shall intersect one another at angles not less than 90 degrees, unless existing development or topography makes it impractical.
- b) Intersections: If the intersection cannot be designed to form a right angle, then the right-of-way and paving within the acute angle shall have a minimum of thirty (30) foot centerline radius and said angle shall not be less than sixty (60) degrees. Any angle less than ninety (90) degrees shall require approval by the City Engineer after consultation with the Fire District.

Response: No new streets or intersections are proposed with this development; therefore, this standard does not apply.

- c) Offsets: Opposing intersections shall be designed so that no offset dangerous to the traveling public is created. Intersections shall be separated by at least:
 - i. 1000 ft. for major arterials
 - ii. 600 ft. for minor arterials
 - iii. 100 ft. for major collector
 - iv. 50 ft. for minor collector

Response: No new streets or intersections are proposed with this development; therefore, this standard does not apply.

d) Curb Extensions:

- i. Curb extensions at intersections shall be shown on the Specific Area Plans required in subsection 4.125(.18)(C) through (F) below, and shall:
 - Not obstruct bicycle lanes on collector streets.
 - Provide a minimum 20 foot wide clear distance between curb extensions all local residential street intersections shall have, shall meet minimum turning radius requirements of the Public Works Standards, and shall facilitate fire truck turning movements as required by the Fire District.

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop. No new streets or curb extensions are proposed with this development. Existing curb extensions are shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH. Curb extensions do not obstruct the bicycle lane on SW Barber Street, classified as a minor collector. The preliminary plan sheets in Section IVH illustrate that all street intersections adjacent to the site have a minimum 20-foot wide clear distance between curb extensions on all local residential street intersections.

- 3. Street grades shall be a maximum of 6% on arterials and 8% for collector and local streets. Where topographic conditions dictate, grades in excess of 8%, but not more than 12%, may be permitted for short distances, as

approved by the City Engineer, where topographic conditions or existing improvements warrant modification of these standards.

Response: No new streets or modification of grades to existing streets are proposed with this development; therefore, this standard is not applicable.

4. Centerline Radius Street Curves:

The minimum centerline radius street curves shall be as follows:

- a) Arterial streets: 600 feet, but may be reduced to 400 feet in commercial areas, as approved by City Engineer.
- b) Collector streets: 600 feet, but may be reduced to conform with the Public Works Standards, as approved by the City Engineer.
- c) Local streets: 75 feet

Response: The proposed development does not alter any existing streets; therefore, this standard does not apply.

5. Rights-of-way:

- a) See Section 4.125(.09) (A), above.

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, existing rights-of-way dedicated as shown on the plan sheets located in Section IVH of this application. The proposed development has vehicular access from SW Toulouse Street or SW Ravenna Loop. Access easements will be granted as required.

6. Access drives.

- a) See Section 4.125(.09) (A), above.
- b) 16 feet for two-way traffic.

Response: The access drive within the parking lot will be paved at least 16-feet, as shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH. In accordance with Section 4.177, the access drive will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

7. Clear Vision Areas

- a) See Section 4.125(.09) (A), above.

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177 Street Improvement Standards as addressed later in this report.

8. Vertical clearance:

- a) See Section 4.125(.09) (A), above.

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177 Street Improvement Standards as addressed later in this report.

9. Interim Improvement Standard:

- a) See Section 4.129(.09) (A), above.

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, existing public rights-of-way. No interim improvements are proposed.

(.10) SIDEWALK AND PATHWAY IMPROVEMENT STANDARDS

- A. The provisions of Section 4.154 and 4.177(.03) shall apply within the Village zone.

Response: All sidewalks and pathways within SAP Central will be constructed in accordance with the Villebois Village Master Plan and meet the standards of Section 4.154 On-Site Pedestrian Access and Circulation, Section 4.177 Street Improvement Standards as addressed later in this report. Sidewalks and pathways are shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH.

(.11) LANDSCAPING, SCREENING AND BUFFERING

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:

Response: The standards of Section 4.176 Landscaping, Screening & Buffering are addressed later in this report.

1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The *Street Tree Layout Planting Plan* shows the street trees proposed adjacent to the parking lot. The trees are in conformance with the Community Elements Book.

(.12) MASTER SIGNAGE AND WAYFINDING

- A. All signage and wayfinding elements within the Village Zone shall be in compliance with the adopted Signage and wayfinding Master Plan for the appropriate SAP.

Response: The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property and no signs are proposed with this application.

(.14) DESIGN STANDARDS APPLYING TO THE VILLAGE ZONE

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. General Provisions:
a. Flag lots are not permitted.

Response: No flag lots are proposed with this application.

- b. The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.

Response: No single-family dwellings are proposed with this application.

- c. Village Center lots may have multiple front lot lines.

Response: Villebois Village Center Lot 12 abuts SW Barber on the northeast, and Villebois Drive on the northwest.

- d. For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.

Response: No buildings are proposed; therefore, this standard does not apply.

2. Building and site design shall include:

- a. Proportions and massing of architectural elements consistent with those established in an approved Architectural Pattern Book or Village Center Architectural Standards.
- b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Pattern Book, Community Elements Book or approved Village Center Architectural Standards.
- c. Protective overhangs or recesses at windows and doors.
- d. Raised stoops, terraces or porches at single-family dwellings.
- e. Exposed gutters, scuppers, and downspouts, or approved equivalent.

Response: No buildings are proposed; therefore, this standard does not apply.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: As shown on the *Preliminary Tree Preservation Plan* no significant trees are located on the subject site, see Sheet 8 in Section IVH.

- g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

Response: The *Street Tree Layout and Planting Plan*, Sheet L1 in Section IVH, complies with the requirements of Sections 4.125(.07) and (.11) as previously addressed.

- h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.
- i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.

- j. A porch shall have no more than three walls.
- k. A garage shall provide enclosure for the storage of no more than three vehicles, as described in the definition of Parking Space.

Response: No buildings or garages are proposed; therefore, these standards do not apply.

- 3. Lighting and site furnishings shall be in compliance with the approved Architectural Pattern Book, Community Elements Book, or approved Village Center Architectural Standards.

Response: The *Community Elements Book* does not identify site furnishings within the project site. The *Existing Conditions and Demolition Plan* shows the location of the existing lighting fixtures and the *Street Tree Layout Planting Plan* shows existing street trees and proposed landscaping for this Preliminary Development Plan, see Sheets 2 and L1 in Section IVH. No buildings are proposed, and the preliminary plans provided in Section IVH comply with the *Community Elements Book*.

- 4. Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein. Design creativity is encouraged. The LEED Building Certification Program of the U.S. Green Building Council may be used as a guide in this regard.

Response: No buildings are proposed with this application; therefore, this standard does not apply.

(.15) **Village Center Design Principles.**

- A. In addition to the design principles found in Section 4.125(.13), above, the following principles reflect the fundamental concepts, support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities within the Village Center:
 - 1. The buildings, streets, and open spaces of the Village Center are intended to relate in such a way as to create an identifiable and related series of public and private spaces.

Response: This Preliminary Development Plan (PDP) modification application proposes development of a surface parking lot on Lot 12 to serve the residence, employees, and visitors of the development located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, relating directly to the Villebois Village mixed-use development located around in the core of the Village Center.

(.16) **VILLAGE CENTER DESIGN STANDARDS**

- A. In addition to the design standards found in Section 4.125(.14), above, the following Design Standards are applicable to the Village Center, exclusive of single-family detached dwellings and row houses:
 - 1. Off-street parking areas shall not be located between buildings and the street.

Response: This Preliminary Development Plan (PDP) application proposes a parking lot on Lot 12 in the Villebois Village Center which abuts to SW Barber Street on the

northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop. No buildings. The parking lot is not located between a building and a street.

2. **The design of off-street parking areas shall include pedestrian connections to the buildings they serve, sidewalks, and adjacent parking areas.**

Response: The parking lot is designed with walkways that provide pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive. The public sidewalk network connects the parking lot to Lot 76 of PDP 12C and Lot 73 of PDP 2C providing a pedestrian connection for the residence, employees, and visitors of Villebois Village mixed use development the parking lot serves.

3. **The design of buildings and public spaces shall include interior (through-buildings) and exterior public pedestrian accessways, as required, to facilitate pedestrian connections.**

Response: No buildings are proposed with this application. The parking lot is designed with walkways that connect the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive which connects the parking lot to Lot 76 of PDP 12C and Lot 73 of PDP 2C, providing a pedestrian connection for the residence, employees, and visitors of Villebois Village mixed use development the parking lot serves.

4. **The design of buildings shall include rear and side entrances in addition to primary street front entrances when necessary to facilitate pedestrian connections.**

Response: No buildings are proposed; therefore, this standard does not apply.

5. **Building facades shall be broken into multiple vertical elements.**

Response: No buildings are proposed; therefore, this standard does not apply.

6. **Canopies and awnings should be provided as specified in the Village Center Architectural Standards.**

Response: No buildings are proposed; therefore, this standard does not apply.

7. **The design of buildings and landscapes shall provide opportunities for public art at a minimum of one location per block.**

Response: This Preliminary Development Plan (PDP) application proposes development of a parking lot on Lot 12 in the Villebois Village Center. The subject property is located directly south of The Piazza where opportunities for public art are available.

(.18) VILLAGE ZONE DEVELOPMENT PERMIT PROCESS

- A. **Purpose and Intent.** It is the purpose of this subsection to describe the process by which development plans are proposed, reviewed and adopted and to provide the procedures and criteria for development permit application, review and approval.

Response: This Preliminary Development Plan (PDP) modification application proposes development of a surface parking lot on Lot 12.

B. **Unique Features and Processes of the Village (V) Zone.** To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural, landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:

2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Section 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a zone change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists.

Final Development (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.

Response: The Applicant is requesting approval of a Preliminary Development Plan (PDP). Compliance with Sections 4.125(.18)(G) through (K) is demonstrated in the following sections of this report. This PDP modification addresses Lot 12 of Phase 1 on the SAP Central Phasing Plan. A Final Development Plan is also submitted concurrent with this PDP application (see Section V).

G. **Preliminary Development Plan Approval Process:**

1. An application for approval of a Preliminary Development Plan for a development in an approved SAP shall:

a) Be filed with the City Planning Division for the entire SAP, or when submission of the SAP in phases has been authorized by the Development Review Board, for a phase in the approved sequence.

Response: This PDP modification addresses Lot 12 of Phase 1 on the SAP Central Phasing Plan.

b) Be made by the owner of all affected property or the owner's authorized agent; and

Response: This application is made by Costa Pacific, with the authorization of the property owner. The application form is provided in Section IB of this application.

c) Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution; and

Response: The appropriate application form is included in Section IB of this application and applicable fees have been paid.

- d) Set forth the professional coordinator and professional design team for the project; and

Response: The professional coordinator and professional design team are set forth in the Introductory Narrative, located in Section IA of this application.

- e) State whether the development will include mixed land uses, and if so, what uses and in what proportions and locations.

Response: This PDP modification does not include mixed land uses; therefore, this requirement does not apply.

- f) Include a preliminary land division (concurrently) per Section 4.400, as applicable.

Response: The applicant is not proposing a change in the current lot configuration and the subject site was platted with a previous subdivision (Villebois Village Center); therefore, a tentative plat is not being proposed with this application.

- g) Include a concurrent application for a Zone Map Amendment (i.e., Zone Change) for the subject phase.

Response: This application does not include a request for a zone map amendment. The proposed development is in compliance with the site's Village (V) zone.

- 2. The application for Preliminary Development Plan approval shall include conceptual and quantitatively accurate representations of the entire development sufficient to demonstrate conformance with the approved SAP and to judge the scope, size and impact of the development on the community and shall be accompanied by the following information:

- a) A boundary survey or a certified boundary description by a surveyor licensed in the State of Oregon.
- b) Topographic information sufficient to determine direction and percentage of slopes, drainage patterns, and in environmentally sensitive areas, (e.g., flood plain, wetlands, forested areas, steep slopes or adjacent to stream banks). Contour lines shall relate to North American Vertical Datum of 1988 and be at minimum intervals as follows:
 - i) One (1) foot contours for slopes of up to five percent (5%);
 - ii) Two (2) foot contours for slopes from six percent (6%) to twelve (12%);
 - iii) Five (5) foot contours for slopes from twelve percent (12%) to twenty percent (20%). These slopes shall be clearly identified, and
 - iv) Ten (10) foot contours for slopes exceeding twenty percent (20%).
- c) The location of areas designated Significant Resource Overlay Zone (SROZ), and associated 25-foot Impact Areas, within the PDP and within 50 feet of the PDP boundary, as required by Section 4.139.

Response: The subject property is legally defined as Lot 12 of Villebois Village Center, No. 1.

- d) A tabulation of the land area to be devoted to various uses, and a calculation of the average residential density per net acre.

Response: This Preliminary Development Plan (PDP) application proposes to develop a parking lot on Lot 12 in the Villebois Village Center. Following is a tabulation of land area devoted to the various uses:

Gross Acreage	0.33 acres
Surface Parking Area	0.21 acres (63.6%)
Landscaping	0.12 acres (36.4%)

- e) The location, dimensions and names, as appropriate, of existing and platted streets and alleys on and within 50 feet of the perimeter of the SAP, together with the location of existing and planned easements, sidewalks, bike routes and bikeways, trails, and the location of other important features such as section lines, section corners, and City boundary lines. The plan shall also identify all trees 6 inches and greater d.b.h. on the project site only.

Response: Location, dimensions, and names of existing platted streets and alleys within 50-feet of the site are shown on the on the *Existing Conditions & Demolition Plan and Preliminary Circulation Plan, Sheets 2 and 6 in Section IVH*. All trees 6 inches and greater diameter at breast height (d.b.h.) on the project site are identified on the *Preliminary Tree Preservation Plan, Sheet 8 in Section IVH*. Tree numbers on the plan correspond with the Tree Inventory in the Arborist Report in Section IIIB.

- f) Conceptual drawings, illustrations and building elevations for each of the listed housing products and typical non-residential and mixed-use buildings to be constructed within the Preliminary Development Plan boundary, as identified in the approved SAP, and where required, the approved Village Center Design.

Response: No buildings are proposed with this application; therefore, this requirement does not apply.

- g) A composite utility plan illustrating existing and proposed water, sanitary sewer, and storm drainage facilities necessary to serve the SAP.

Response: Proposed storm drainage facilities, and water and sanitary lines are shown on the *Preliminary Composite Utility Plan, Sheet 5 in Section IVH*.

- h) If it is proposed that the Preliminary Development Plan will be executed in Phases, the sequence thereof shall be provided.

Response: The PDP modification is proposed to be executed in one phase.

- i) A commitment by the applicant to provide a performance bond or other acceptable security for the capital improvements required by the project.

Response: The applicant will provide a performance bond or other acceptable security for the capital improvements required by the project.

- j) At the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the SAP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire SAP, and it shall meet Subsection 4.140(.09)(J)(2).

Response: The Traffic Impact Analysis prepared by the City's consultant provided in Section IF analyzes the impact the proposed parking lot has on the local street and road network as required.

H. PDP Application Submittal Requirements:

1. The Preliminary Development Plan shall conform with the approved Specific Area Plan, and shall include all information required by Sections 4.125(.18)(D)(1) and (2), plus the following:
 - a) The location of water, sewerage and drainage facilities;
 - b) Conceptual building and landscape plans and elevations, sufficient to indicate the general character of the development;
 - c) The general type and location of signs;
 - d) Topographic information as set forth in Section 4.035;
 - e) A map indicating the types and locations of all proposed uses; and
 - f) A grading and erosion control plan illustrating existing and proposed contours as prescribed previously in this section.

Response: The proposed PDP modification of Lot 12 generally conforms to the approved SAP Central, with the proposed refinements described in the following sections of this report. As demonstrated above, the PDP application includes all information required by 4.125(.18)(D)(1) and (2), as applicable to a PDP.

Location of existing and proposed water, sewerage, and drainage facilities are shown on the *Preliminary Composite Utility Plan*, Sheet 5 in Section IVH. Proposed landscaping is provided on the *Street Tree Layout Planting Plan*, Sheet L1, in Section IVH. Existing site features, including topographic information is shown on the *Existing Conditions & Demolition Plan*, Sheet 2 in Section IVH. The *Preliminary Grading and Erosion Control Plan*, Sheet 4 in Section IVH, shows the location of drainage facilities, topographic information, and grading and erosion control facilities. The *Site/Land Use Plan*, Sheet 3 in Section IVH, notes the types and locations of all proposed uses in the Preliminary Development Plan.

No buildings are proposed; therefore, no conceptual elevations are required. No signs are proposed at this time, as the SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

2. In addition to this information, and unless waived by the City's Community Development Director as enabled by Section 4.008(.02)(B), at the applicant's expense, the City shall have a Traffic Impact Analysis prepared, as required by Section 4.030(.02)(B), to review the anticipated traffic impacts of the proposed development. This traffic report shall include an analysis of the impact of the PDP on the local street and road network, and shall specify the maximum projected average daily trips and maximum parking demand associated with buildout of the entire PDP, and it shall meet Subsection 4.140(.09)(J)(2) for the full development of all five SAPs.

Response: The Traffic Impact Analysis prepared by the City's consultant provided in Section IF analyzes the impact the proposed parking lot has on the local street and road network as required.

3. The Preliminary Development Plan shall be sufficiently detailed to indicate fully the ultimate operation and appearance of the phase of development. However, approval of a Final Development Plan is a separate and more detailed review of proposed design features, subject to the standards of Section 4.125(.18)(L) through (P), and Section 4.400 through Section 4.450.

Response: The plan sheets provided in Section IVH for the proposed Preliminary Development Plan provide sufficient detail to show the ultimate operation and appearance of the proposed development. The FDP application, submitted concurrently with this PDP modification application, is provided in Section V.

4. Copies of legal documents required by the Development Review Board for dedication or reservation of public facilities, or for the creation of a non-profit homeowner's association, shall also be submitted.

Response: Copies of legal documents will be provided as appropriate and required by the Development Review Board.

I. PDP Approval Procedures

1. An application for PDP approval shall be reviewed using the following procedures:
 - a) Notice of a public hearing before the Development Review Board regarding a proposed PDP shall be made in accordance with the procedures contained in Section 4.012.
 - b) A public hearing shall be held on each such application as provided in Section 4.013.
 - c) After such hearing, the Development Review Board shall determine whether the proposal conforms to the permit criteria set forth in this Code, and shall approve, conditionally approve, or disapprove the application.

Response: In accordance with the procedures contained in Section 4.012, the City shall provide notice of a public hearing before the Development Review Board on the proposed Preliminary Development Plan. This report, in conjunction with all submitted information, demonstrates that the proposal conforms to the applicable permit criteria set forth in the City's Code.

J. PDP Refinements to Approved Specific Area Plan

1. In the process of reviewing a PDP for consistency with the approved Specific Area Plan, the DRB may approve refinements, but not amendments, to the SAP. Refinements to the SAP may be approved by the Development Review Board, upon the applicant's detailed graphic demonstration of compliance with the criteria set forth in Section (.18)(J)(2), below.

a) Refinements to the SAP are defined as:

- i. Changes to the street network or functional classification of streets that do not significantly reduce circulation system function or connectivity for vehicles, bicycles or pedestrians.

Response: The PDP modification of Lot 12 design does not propose any refinements to the street network or functional classification of streets.

- ii. Changes to the nature or location of parks types, trails or open space that do not significantly reduce function, usability, connectivity, or overall distribution or availability of these uses in the Preliminary Development Plan.

Response: The *Villebois Village Master Plan* and SAP Central do not show any parks, linear greens, open space or pathways on the subject property. The applicant is not proposing a refinement to the amount of required green space in the proposed PDP.

- iii. Changes to the nature or location of utilities or storm water facilities that do not significantly reduce the service or function of the utility or facility.

Response: No refinements to existing utilities or storm water facilities are proposed with this application.

- iv. Changes to the location or mix of land uses that do not significantly alter the overall distribution or availability of uses in the Preliminary Development Plan. For the purposes of this subsection, "land uses" or "uses" are defined in the aggregate, with specialty condos, mixed use condos, urban apartments, condos, village apartments, neighborhood apartments, row houses and small detached uses comprising a land use group and medium detached, standard detached, large and estate uses comprising another.

Response: This Preliminary Development Plan (PDP) modification application proposes development of a surface parking lot on Lot 12 to serve the residence, employees, and visitors of the Villebois Village mixed use development located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, an accessory use permitted by Section 4.125(.03)C.

- v. A change in density that does not exceed ten percent, provided such density change has not already been approved as a refinement to the underlying SAP or PDP, and does not result in fewer than 2,300 dwelling units in the Village.

Response: SAP Central was approved in 2006. Since the approval of SAP Central separate PDP's have been approved or submitted for approval and some modifications of original approvals have also occurred. The following analysis reflects the final and

current approved unit counts in all other PDP approvals and modifications in SAP Central.

For purposes of this analysis, it is important to keep in mind that changes to the mix/location of “land uses” are to be evaluated as described by the code - in the aggregate. The code defines one land use group as condos, apartments, row houses, and small detached uses - which will be referred to as the ‘smaller land use group’ in the following analysis. The code defines the second land use group as mediums, standards, large and estate uses - which will be referred to as the ‘larger land use group’ in the following analysis.

PDP 1C modification of Lot 12 refines the subject area beyond what was described in SAP Central. The conceptual ranges of density shown for the subject area in SAP Central was 8 to 12 Mixed Use Condos. Approval of a three-unit residential development, including one mixed-use unit and associate improvements was granted on August 27, 2018 by the Development Review Board on Resolution No. 357 (Casefile DB18-0040, DB18-0041, and DB18-0042). This application proposes further modification, eliminating the mixed-use condos on Lot 12; however, the proposed refinement results in less than 10% change to the unit counts in the Central SAP and continues to meet the density requirement across Villebois.

Table A below shows the number of units in each land use category currently within SAP Central and the number of units in the SAP with the proposed refinement as well as the percent change in each aggregate land use category. Table B shows the number of units originally shown in SAP Central and the number of units with the proposed refinement, as well as the percent change in each aggregate land use category. Units proposed to be provided in the Villebois Village Center Apartments, Lot 73, or PDP 2C modification, and Lot 76, or PDP 12C Modification are reflected in the following tables:

Table A. Comparison of Current and Proposed Unit Counts

	Current Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/ Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Rowhomes/ Neighborhood Apt.	933	986	5.9%
Total	933	986	5.9%

Table B. Comparison of Original SAP Central and Proposed Unit Counts

	Original Unit Count in SAP C	Proposed Unit Count in SAP C	% Change
Medium/Standard/ Large/Estate	0	0	0%
Small Detached/ Small Cottage/ Row Homes/ Neighborhood Apt.	1,010	986	-2.4%
Total	1,010	986	-2.4%

NOTE: The Current Unit Count for SAP Central reflects the final approved unit counts for PDP 1C, PDP 2C, PDP 3C, PDP 4C, PDP 5C (Montague Park), PDP 6C, PDP 7C, PDP 8C, PDP 9C, PDP 10C and PDP 11C. This number includes PDP 2C modification and PDP 12C, which were previously submitted.

Both tables show that the proposed refinement do not exceed the 10% standard. This proposal results in a total of 2,568 units within Villebois. This is above the density of 2,300 units required to be obtained across Villebois, meeting the refinement criteria.

- vi. Changes that are significant under the above definitions, but necessary to protect an important community resource or improve the function of collector or minor arterial roadways.
 - a. As used herein, “significant” means:
 - i. More than ten percent of any quantifiable matter, requirement, or performance measure, as specified in (.18)(J)(1)(a), above, or,
 - ii. That which negatively affects an important, qualitative feature of the subject, as specified in (.18)(J)(1)(a), above.

Response: The PDP does not include changes that are significant under the above definitions. As the above findings demonstrate, the proposed refinements of providing a parking lot instead of the 3 mixed-use condo development approved on August 27, 2018 by the Development Review Board on Resolution No. 357 (Casefile DB18-0040, DB18-0041, and DB18-0042) does not cause a quantifiable change greater or less than 10%. Additionally, the proposed refinements do not negatively affect an important, qualitative feature of Villebois as demonstrated in the following responses. The proposed refinements contribute to the supporting the Villebois Village mixed-use development located in the Village Center.

2. Refinements meeting the above definition may be approved by the DRB upon the demonstration and finding that:
 - a) The refinements will equally or better meet the conditions of the approved SAP, and the Goals, Policies and Implementation Measures of the Villebois Village Master Plan.

Response: None of the conditions of approval for SAP Central are specific to the proposed refinements. As the proposed refinements will not compromise the project’s ability to comply with SAP conditions of approval, they will equally meet the conditions of approval of SAP Central.

The proposed refinements will equally or better meet the following Goals, Policies and Implementation Measures of the *Villebois Village Master Plan* than the SAP Central plan.

- *Land Use, General Land Use Plan Goal* - *Villebois Village shall be a complete community that integrates land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness.*

The proposed Preliminary Development Plan (PDP) 1C modification plan provides a complete community by better integrating land use, transportation, and natural resource elements to foster a unique sense of place and cohesiveness. This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, which is designed to provide 143 residential market-rate apartments and 2,460

square feet of commercial retail space. While the off-street parking area supports motor vehicles, the central location promotes pedestrian transportation throughout the Village Center. The parking lot is designed with walkways that provide pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive and to the mixed-use development that the parking lot supports. The landscaping plan is designed to visually screen the parking lot from the surrounding properties through the use of 6-foot high vine fencing and landscaping in an aesthetically pleasing manner. The fence consists of welded wire mesh fencing with cedar posts, around the entirety of the site except at breaks for pedestrian and vehicle access points, as illustrated on Detail 4 of Sheet L1 in Section IVH

- *Land Use, General Land Use Plan Policy 1* - *The Villebois Village shall be a complete community with a wide range of living choices, transportation choices, and working and shopping choices. Housing shall be provided in a mix of types and densities resulting in a minimum of 2,300 dwelling units within the Villebois Village Master Plan area.*

The proposed PDP 1C modification meets this Land Use Plan Policy by supporting a range of living choices. The conceptual ranges of density shown for the site in SAP Central was 8 to 12 Mixed Use Condos. This proposal replaces development of 3 mixed-use condos approved on Casefile DB18-0040, DB18-0041, and DB18-0042; however, the parking lot on Lot 12 will serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C, designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The proposal of mixed use with multi-family residential units and retail space meets the current market demand and city-wide goals while complying with the urban design goals and density targets in the Village Center. This project continues to comply with the minimum density of 2,300 units across Villebois.

- *Villebois Village Master Plan, Village Center Policy 1* - *The Village Center shall be a highly pedestrian-oriented place that is the focus of a mix of residential, shopping, service, and civic and mixed-use buildings.*

This PDP modification supports the creation of a vibrant Village Center filled with multi-family residential, retail spaces, and community amenities. This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, which is designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. While the off-street parking area supports motor vehicles, the central location promotes pedestrian transportation throughout the Village Center. The parking lot is designed with walkways that provide pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive. The landscaping plan is designed to

visually screen the parking lot from the surrounding properties and public area that includes The Piazza located directly north of the site.

- Villebois Village Master Plan, Village Center Policy 2 - *The Village Center shall encourage multi-modal transportation system opportunities with good access by vehicular, pedestrian, bicycle and transit traffic.*

This Preliminary Development Plan (PDP) modification application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed use development located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. While the off-street parking area supports motor vehicles, the central location promotes pedestrian transportation throughout the Village Center. The parking lot is designed with walkways that provide pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive. The landscaping plan is designed to visually screen the parking lot from the surrounding properties and public areas.

- Villebois Village Master Plan, Village Center Implementation Measure 2 - *Specify a mixture of uses (residential, commercial, retail, civic, and office development) with the implementing Village zone that will support the long-term vitality of the Village Center and enhance the creation of a true urban village at its core. Employment may include uses related to high-tech businesses. The Village Center is intended to provide locations for uses consistent with, but not limited to, the following examples.*
 - *Consumer Goods: bookstore, clothing, florist, jeweler, pet shop, bicycle shop.*
 - *Food & Sundries: bakery, specialty grocery, hardware, laundromat, dry cleaner, gifts.*
 - *General Office: professional offices, non-profit, health services, governmental services, real estate, insurance, travel.*
 - *Service Commercial: bank, day care center, photo processing, telecommunications, upholstery shop.*
 - *Lifestyle & Recreation: hair salon, specialty retail, theater, video/DVD store, art gallery, health club, restaurants, dance studio.*
 - *Hospitality: hotel, bed and breakfast, conference center.*
 - *Light Manufacturing/Research and Development.*
 - *Civic/Institutional: meeting hall, library, museum, churches, farmer's market, community center.*
 - *Residential: condominiums, apartments, and townhouses*

The parking lot on Lot 12 will serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C, designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The density of the residential units and the amount of commercial and retail space will enhance the area and create a vibrant Village Center.

- Parks and Open Space/Off-Street Trails and Pathways Goal - *The Parks system within Villebois Village shall create a range of experiences for its residents and visitors*

through an interconnected network of pathways, parks, trails, open space and other public spaces that protect and enhance the site's natural resources and connect Villebois to the larger regional park/open space system.

The Villebois Village Master Plan and SAP Central do not show any parks, linear greens, open space or pathways within the proposed PDP modification area.

- *Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 3-* *Parks and open spaces shall be designed to incorporate native vegetation, landforms and hydrology to the fullest extent possible.*

The proposed PDP 1C modification of Lot 12 plan incorporates native vegetation, landforms and hydrology to the fullest extent possible, given the planned level of urban uses on this site.

- *Parks and Open Space/Off-Street Trails and Pathways Implementation Measure 9-* *The design of Villebois shall retain the maximum number of existing trees practicable that are six inches or more DBH in the "Important" and "Good" tree rating categories, which are defined in the Community Elements Books. Trees rated "Moderate" shall be evaluated on an individual basis as regards retention. Native species of trees and trees with historical importance shall be given special consideration for retention.*

As described in the Arborist Report in Section VI of the Application, two trees are rated as "Good", one tree is rated as "Moderate" and one is rated as "Poor". Two of the trees are proposed to be removed. All trees were evaluated on an individual basis in regards to retention.

- b) The refinement will not result in significant detrimental impacts to the environment or natural or scenic resources of the PDP and Village area, and

Response: As described above, the proposed refinements will better meet the goals, policies, and implementation measures of the Villebois Village Master Plan and the framework of SAP Central and do not impact environmental or natural or scenic resources within the PDP or the Village area.

- c) The refinement will not preclude an adjoining or subsequent PDP or SAP from development consistent with the approved SAP or Master Plan.

Response: These refinements in and of themselves have no effect on the development potential of an adjoining or subsequent PDP; therefore, these refinements will not preclude an adjoining or subsequent PDP or SAP from developing consistent with the approved SAP or *Master Plan*.

3. Amendments to the SAP, not including SAP amendments for phasing, must follow the same procedures applicable to adoption of the SAP itself. Amendments are defined as changes to elements of the SAP not constituting a refinement.
4. Amendments to the SAP for phasing will be processed as a Class II administrative review proposal.

Response: This application does not include an amendment of SAP Central, or modification to the SAP phasing plan.

K. PDP Approval Criteria

The Development Review Board may approve an application for a PDP only upon finding that the following approval criteria are met:

1. That the proposed PDP:

- a. Is consistent with the standards identified in this section.

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the standards of the Village zone.

- b. Complies with the applicable standards of the Planning and Land Development Ordinance, including Section 4.140(.09)(J)(1)-(3).

Response: This Supporting Compliance Report provides an explanation of how the proposed development is consistent with the applicable standards of the Planning and Land Development Ordinance. A description of how the proposed development complies with Section 4.140(.09)(J)(1)-(3) is included in the subsequent pages of this report.

- c. Is consistent with the approved Specific Area Plan in which it is located.

Response: The proposed Preliminary Development Plan modification is consistent with Specific Area Plan - Central, as demonstrated by the plan sheets located in Section IVH and this application, and as refined and described earlier in this report.

- d. Is consistent with the approved Architectural Pattern Book and, where required, the approved Village Center Architectural Standards.

Response: No buildings are proposed with this application; therefore, this criteria is not applicable.

COMMUNITY ELEMENTS BOOK

Lighting Master Plan

Response: This PDP modification for Lot 12 does not propose any alterations to the existing lighting fixtures located adjacent to the site as shown on the *Existing Conditions & Demolition Plan*, Sheet 2 in Section IVH. No new street lighting is proposed.

Curb Extensions

Response: As shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH, pedestrian calming curb extensions exist along SW Barber Street and Villebois Drive to facilitate crossing of those streets. No changes are proposed.

Street Tree Master Plan

Response: Existing street trees and proposed trees located in the landscape buffer and landscape islands are detailed on the *Street Tree Layout Planting Plan, Sheet L1 in Section IVH*. Existing street trees adjacent to the PDP modification area, Lot 12, are consistent with the respective designated street tree lists.

Site Furnishings

Response: No site furnishings are proposed with this PDP/FDP application.

Play Structures

Response: No play structures are proposed with this PDP/FDP application.

Tree Protection

Response: The Tree Protection component of the *Community Elements Book* for SAP - Central (page 15) describes the goal, policies, and implementation measures that were used to promote the protection of existing trees in the design of the PDP modification area. A *Preliminary Tree Protection Plan* has been prepared for this PDP modification, consistent with Implementation Measures 1 and 2 of the Tree Protection component of the *Community Elements Book*. The *Tree Protection Plans* were based on the Arborist Report prepared by Morgan E. Holen, a certified arborist (see Section VI).

Plant List

Response: The *Community Elements Book* approved with SAP - Central contains a Plant List (pages 16-18) of non-native and native trees, shrubs, and groundcovers, ferns, herbs, vines, perennials, grasses, and bulbs for species to plant throughout Villebois. Additional landscaping details are provided with the FDP application which is submitted concurrent with this PDP modification (see Section V).

PLAZA ADDRESS

Response: The *Community Elements Book* approved with SAP - Central contains standards for site furnishings, plant material, and surfaces (pages 27-29). The Plaza and surrounding frontages have been constructed in accordance with these standards. This PDP Modification will not alter compliance of the existing improvements with the Plaza standards.

MASTER SIGNAGE AND WAYFINDING PLAN

Response: The SAP Central *Signage & Wayfinding Plan* does not indicate any identifiers within the subject property and no signs are proposed.

RAINWATER PROGRAM

Response: A rainwater management plan is included with the supporting utility reports located in Section IIC of this application. The rainwater management plan included in this application includes refinements to the rainwater program for SAP Central. The Rainwater Analysis, prepared by Jaki Hunt, PE, indicates there is adequate rainwater treatment provided.

2. If the PDP is to be phased, that the phasing schedule is reasonable and does not exceed two years between commencement of development of the first, and completion of the last phase, unless otherwise authorized by the Development Review Board.

Response: The PDP modification is proposed to be executed in one phase.

3. Parks within each PDP or PDP phase shall be constructed prior to occupancy of 50% of the dwelling units in the PDP or PDP phase, unless weather or special circumstances prohibit completion, in which case bonding for the improvements shall be permitted.

Response: The Central SAP does not indicate any public parks or open space located on Lot 12 of PDP 1C. The PDP 1C modification does not propose construction of any public parks or open space.

4. In the Central SAP, parks shall be constructed within each PDP as provided above, and that pro-rata portion of the estimated cost of Central SAP parks not within the PDP, calculated on a dwelling unit basis, shall be bonded or otherwise secured to the satisfaction of the city.

Response: The Central SAP does not indicate any public parks or open space located on Lot 12 of PDP 1C. The PDP 1C modification does not propose construction of any public parks or open space.

5. The Development Review Board may require modifications to the PDP, or otherwise impose such conditions as it may deem necessary to ensure conformance with the approved SAP, the Villebois Village Master Plan, and compliance with applicable requirements and standards of the Planning and Land Development Ordinance, and the standards of this section.

Response: This report demonstrates that the proposed Preliminary Development Plan is in conformance with Specific Area Plan - Central, and thus, the *Villebois Village Master Plan* as well as the applicable requirements and standards of the Planning and Land Development Ordinance.

SECTION 4.139 SIGNIFICANT RESOURCE OVERLAY ZONE (SROZ) ORDINANCE

Response: The PDP 1C modification of Lot 12 application does not include any areas within the SROZ; therefore, Section 4.139 does not apply.

SECTION 4.140 PLANNED DEVELOPMENT REGULATIONS

(.09) FINAL APPROVAL (STAGE TWO)

- J. A planned development permit may be granted by the Development Review Board only if it is found that the development conforms to all the following criteria, as well as to the Planned Development Regulations in Section 4.140:
 1. The location, design, size and uses, both separately and as a whole, are consistent with the Comprehensive Plan, and with any other applicable plan, development map or Ordinance adopted by the City Council.

Response: This Supporting Compliance Report demonstrates that the location, design, size, and uses proposed with the PDP are both separately and as a whole consistent with SAP Central, and thus the *Villebois Village Master Plan*, the City's Comprehensive Plan designation of Residential - Village for the area, and the City's Planning and Land Development Ordinance.

2. That the location, design, size and uses are such that traffic generated by the development at the most probable used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D, as defined in the Highway Capacity manual published by the National Highway Research Board, on existing or immediately planned arterial or collector streets and will, in the case of commercial or industrial developments, avoid traversing local streets. Immediately planned arterial and collector streets are those listed in the City's adopted Capital Improvement Program, for which funding has been approved or committed, and that are scheduled for completion within two years of occupancy of the development or four year if they are an associated crossing, interchange, or approach street improvement to Interstate 5.

Response: The location, design, size and uses are such that traffic generated within the PDP modification at the most heavily used intersection(s) can be accommodated safely and without congestion in excess of Level of Service D. The proposed uses and the circulation system are consistent with the SAP - Central application, which included an Internal Circulation Evaluation including an assessment of intersection performance by DKS Associates. A copy of the Traffic Impact Analysis is provided in Section IF of this application.

- a. In determining levels of Service D, the City shall hire a traffic engineer at the applicant's expense who shall prepare a written report containing the following minimum information for consideration by the Development Review Board:
 - i. An estimate of the amount of traffic generated by the proposed development, the likely routes of travel of the estimated generated traffic, and the source(s) of information of the estimate of the traffic generated and the likely routes of travel; (Amended by Ord 561, adopted 12/15/03.)
 - ii. What impact the estimate generated traffic will have on existing level of service including traffic generated by (1) the development itself, (2) all existing developments, (3) Stage II developments approved but not yet built, and (4) all developments that have vested traffic generation rights under section 4.140(.10), through the most probable used intersection(s), including state and county intersections, at the time of peak level of traffic. This analysis shall be conducted for each direction of travel if backup from other intersections will interfere with intersection operations. (Amended by Ord 561, adopted 12/15/03.)

Response: The applicant has authorized the City to hire a traffic engineer. A copy of the Traffic Impact Analysis, estimating amount of traffic generated, the likely routes of travel, and traffic impact, prepared by the City's consultant is provided in Section IF of this application.

- b. The following are exempt from meeting the Level of Service D criteria standard:
 - i. A planned development or expansion thereof which generates three (3) new p.m. peak hour traffic trips or less;
 - ii. A planned development or expansion thereof which provides an essential governmental service.

Response: This PDP modification does not request an exemption from meeting the Level of Service D; therefore, this criterion does not apply to this project.

- c. Traffic generated by development exempted under this subsection on or after Ordinance No. 463 was enacted shall not be counted in determining levels of service for any future applicant. (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP modification will be consistent with the SAP - Central application. The Traffic Impact Analysis prepared by the City's consultant provided in Section IF complies with this regulation.

- d. Exemptions under 'b' of this subsection shall not exempt the development or expansion from payment of system development charges or other applicable regulations. (Added by Ord 561, adopted 12/15/03.)

Response: The subject PDP modification is not exempt from subsection 'b' and the system development charges will be provided as required.

- e. In no case will development be permitted that creates an aggregate level of traffic at LOS "F". (Added by Ord 561, adopted 12/15/03.)

Response: The traffic generated by the PDP modification will be consistent with the SAP - Central application. The Traffic Impact Analysis prepared by the City's consultant provided in Section IIE illustrates that the proposed parking lot will not create an aggregate level of traffic at LOS "F".

- 3. That the location, design, size and uses are such that the residents or establishments to be accommodated will be adequately served by existing or immediately planned facilities and services.

Response: The Utility Analysis Report and *Preliminary Composite Utility Plan* show that existing and planned facilities and services are located, designed and adequately sized to served the parking lot proposed on Lot 12 (see Section IVI and Sheet 5 in Section IVH).

SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION

(.01) On-site Pedestrian Access and Circulation

- A. The purpose of this section is to implement the pedestrian access and connectivity policies of the Transportation System Plan. It is intended to provide for safe, reasonably direct, and convenient pedestrian access and circulation.

Response: PDP 1C modification of Lot 12 will be in compliance with Section 4.154 and provide for safe, reasonably direct, and convenient pedestrian access and circulation, as described below.

B. Standards. Development shall conform to all the following standards:

1. Continuous Pathway System. A pedestrian pathway system shall extend throughout the development site and connect to adjacent sidewalks, and to all future phases of the development, as applicable.

Response: Pedestrian pathways provide direct pedestrian access from the parking lot to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH.

2. Safe, Direct, and Convenient. Pathways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, recreational areas/playgrounds, and public rights-of-way and crosswalks based on all of the following criteria:

Response: Pedestrian pathways provide direct pedestrian access from the parking lot to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH. The public sidewalk network provides a safe, direct, and convenient pedestrian connection from the parking lot to Villebois Village mixed use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C.

- a. Pedestrian pathways area designed primarily for pedestrian safety and convenience, meaning they are free from hazards and provide a reasonably smooth and consistent surface.

Response: Pedestrian pathways will be free from hazards and will provide a reasonably smooth and consistent surface.

- b. The pathway is reasonably direct. A pathway is reasonably direct when it follows a route between destinations that does not involve a significant amount of unnecessary out-of-direction travel.

Response: Pedestrian pathways provide direct pedestrian access from the parking lot to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH.

- c. The pathway connects to all primary building entrances and is consistent with the Americans with Disabilities Act (ADA) requirements.

Response: No buildings are proposed with this application. The ADA accessible parking space in the parking lot has direct connection to a pathway that connects to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan* and *Preliminary Parking Plan*, Sheets 6 and 7 in Section IVH.

- d. All parking lots larger than three acres in size shall provide an internal bicycle and pedestrian pathway pursuant to Section 4.155(.03)(B.)(3.)(d.).

Response: The proposed parking lot is less than 3-acres in area; therefore, this requirement does not apply.

3. **Vehicle/Pathway Separation.** Except as required for crosswalks, per subsection 4, below, where a pathway abuts a driveway or street it shall be vertically or horizontally separated from the vehicular lane. For example, a pathway may be vertically raised six inches above the abutting travel lane, or horizontally separated by a row of bollards.

Response: Existing public sidewalks adjacent to SW Barber Street and Villebois Drive streets are separated from vehicle travel areas with street trees and planter strips. Pathways are located to provide separate pedestrian access to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan*, Sheet 6 in Section IVH.

4. **Crosswalks.** Where a pathway crosses a parking area or driveway, it shall be clearly marking with a contrasting paint or paving materials (e.g., pavers, light-color concrete inlay between asphalt, or similar contrast).

Response: Where pathways cross parking or driving areas, they will be clearly marked with contrasting paint.

5. **Pathway Width and Surface.** Primary pathways shall be constructed concrete, asphalt, brick/masonry pavers, or other durable surface, and not less than five (5) feet wide. Secondary pathways and pedestrian trails may have an alternative surface except as otherwise required by the ADA.

Response: Primary pathways will be constructed of concrete, not less than five (5) feet in width.

6. **All pathways shall be clearly marked with appropriate standard signs.**

Response: Pathways will be clearly marked with appropriate standard signs.

SECTION 4.171 GENERAL REGULATIONS - PROTECTION OF NATURAL FEATURES & OTHER RESOURCES

(.02) General Terrain Preparation

- A. All developments shall be planned designed, constructed and maintained with maximum regard to natural terrain features and topography, especially hillside areas, floodplains, and other significant land forms.
- B. All grading, filling and excavating done in connection with any development shall be in accordance with the Uniform Building Code, all development shall be planned, designed, constructed and maintained so as to:
 1. Limit the extent of disturbance of soils and site by grading, excavation and other land alterations.
 2. Avoid substantial probabilities of: (1) accelerated erosion; (2) pollution, contamination or siltation of lakes, rivers, streams and wetlands; (3) damage to vegetation; (4) injury to wildlife and fish habitats.
 3. Minimize the removal of trees and other native vegetation that stabilize hillsides, retain moisture, reduce erosion, siltation and nutrient runoff, and preserve the natural scenic character.

Response: The plan sheets located in Section IVH demonstrate that the subject Preliminary Development Plan is designed with maximum regard to natural terrain features and topography. The subject PDP modification does not contain hillside areas or flood plains. The *Preliminary Grading and Erosion Control Plan* shows proposed grading within the subject area and the *Preliminary Tree Preservation Plan* shows proposed tree preservation.

All subsequent grading, filling and excavating will be done in accordance with the Uniform Building Code. Disturbance of soils and removal of trees and other native vegetation will be limited to the extent necessary to construct the proposed development. Construction will occur in a manner that avoids substantial probabilities of accelerated erosion; pollution, contamination or siltation of lakes, rivers, streams and wetlands; damage to vegetation; and injury to wildlife and fish habitats.

(.03) **Hillsides:** All developments proposed on slopes greater than 25% shall be limited to the extent that:

Response: The subject Preliminary Development Plan modification does not include any areas of slopes in excess of 25%; therefore, this standard does not apply to this application.

(.04) **Trees and Wooded Areas.**

- A. All developments shall be planned, designed, constructed and maintained so that:
 - 1. Existing vegetation is not disturbed, injured, or removed prior to site development and prior to an approved plan for circulation, parking and structure location.
 - 2. Existing wooded areas, significant clumps/groves of trees and vegetation, and all trees with a diameter at breast height of six inches or greater shall be incorporated into the development plan and protected wherever feasible.
 - 3. Existing trees are preserved within any right-of-way when such trees are suitably located, healthy, and when approved grading allows.
- B. Trees and woodland areas to be retained shall be protected during site preparation and construction according to City Public Works design specifications, by:
 - 1. Avoiding disturbance of the roots by grading and/or compacting activity.
 - 2. Providing for drainage and water and air filtration to the roots of trees which will be covered with impermeable surfaces.
 - 3. Requiring, if necessary, the advisory expertise of a registered arborist/horticulturist both during and after site preparation.
 - 4. Requiring, if necessary, a special maintenance, management program to insure survival of specific woodland areas of specimen trees or individual heritage status trees.

Response: The *Preliminary Tree Preservation Plan* depicts existing trees within the subject area and identifies two (2) trees to be removed (see Sheet 8 in Section

IVH). An Arborist Report prepared by Morgan Holen is provided in Section VI. The report includes a tree inventory, addresses development impacts, and provides mitigation requirements and tree protection standards. Based on the Arborist Report and the proposed PDP two trees are proposed to be removed. This application includes a request for a Type "C" Tree Removal Plan, which will be applied for at the time of construction documents (see Section VI).

(.05) High Voltage Power line Easements and Rights of Way and Petroleum Pipeline Easements:

- A. Due to the restrictions placed on these lands, no residential structures shall be allowed within high voltage powerline easements and rights of way and petroleum pipeline easements, and any development, particularly residential, adjacent to high voltage powerline easements and rights of way and petroleum pipeline easement shall be carefully reviewed.
- B. Any proposed non-residential development within high voltage powerline easements and rights of way and petroleum pipeline easements shall be coordinated with and approved by the Bonneville Power Administration, Portland General Electric Company or other appropriate utility, depending on the easement or right of way ownership.

Response: This Preliminary Development Plan modification does not contain any high voltage powerline or petroleum pipeline easements or rights of way.

(.06) Hazards to Safety: Purpose:

- A. To protect lives and property from natural or human-induced geologic or hydrologic hazards and disasters.
- B. To protect lives and property from damage due to soil hazards.
- C. To protect lives and property from forest and brush fires.
- D. To avoid financial loss resulting from development in hazard areas.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety.

(.07) Standards for Earth Movement Hazard Areas:

- A. No development or grading shall be allowed in areas of land movement, slump or earth flow, and mud or debris flow, except under one of the following conditions.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No earth movement hazard areas have been identified within the subject PDP modification area.

(.08) Standards for Soil Hazard Areas:

- A. Appropriate siting and design safeguards shall insure structural stability and proper drainage of foundation and crawl space areas for development on land with any of the following soil conditions: wet or high water table; high shrink-swell capability; compressible or organic; and shallow depth-to-bedrock.

- B. The principal source of information for determining soil hazards is the State DOGAMI Bulletin 99 and any subsequent bulleting and accompanying maps. Approved site-specific soil studies shall be used to identify the extent and severity of the hazardous conditions on the site, and to update the soil hazards database accordingly.

Response: Development of the subject area will occur in a manner that minimizes potential hazards to safety. No soil hazard areas have been identified within the subject area.

(.09) **Historic Protection: Purpose:**

- A. To preserve structures, sites, objects, and areas within the City of Wilsonville having historic, cultural, or archaeological significance.

Response: A Historic/ Cultural Resource Inventory was previously conducted for the property identified as SAP - Central. The inventory shows that the subject PDP modification does not include any sites, objects, or areas having historic, cultural, or archaeological significance; therefore, the standards of this section are not applicable.

SECTION 4.172 FLOOD PLAIN REGULATIONS

Response: The site does not include any areas identified as flood plain.

SECTION 4.176 LANDSCAPING, SCREENING & BUFFERING

Response: Landscaping will be provided in accordance with the standards in Section 4.176. The *Street Tree Layout Planting Plan*, Sheet L1 in Section IVH depicts street trees along rights-of-way within the subject Preliminary Development Plan modification area. The plan has been developed in conformance with the Community Elements Book and the applicable standards of Section 4.176. Landscaping details will be reviewed with the concurrent FDP application in Section V of this application.

SECTION 4.177 STREET IMPROVEMENT STANDARDS

Response: Adjacent street rights-of-way have been dedicated in conformance with required widths. The plan sheets located in Section IVH demonstrate that the proposed access drive within the PDP modification area will have a minimum improvement width of 16 feet and will provide two-way travel. The access drive will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. The access drive will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

II. PROPOSAL SUMMARY & CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the Village Zone and other applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Preliminary Development Plan; therefore, the applicant requests approval of this application. Concurrent applications for a Final Development Plan and Tree Removal Plan are included in this application as Sections V and VI, respectively, pursuant to City requirements.



MEMORANDUM

DATE: May 13, 2021

TO: City of Wilsonville

FROM: Jaki Hunt, PE
Pacific Community Design

RE: Villebois Village Mixed-Use (PDP 1C) Utility Analysis
Job No. 398-063

This memorandum report is to address the utility connections for the Villebois Village Mixed-Use (PDP 1C) development portion of Villebois SAP Central, specifically Lot 12 of the Villebois Village Center plat. This site is located within the Villebois Village Center, southwest of the intersection of SW Villebois Drive and SW Barber Street. The proposal is to construct a parking lot on this lot to support the mixed-use development of the multi-family/commercial buildings proposed for development within the Village Center. This report will be divided into four sections: Water, Sanitary Sewer, Storm Sewer, and Rainwater Management.

Water

SAP Central defined the land use for this area to be mixed-use. SAP Central also outlined the water system plan for the area. The proposed development falls within the defined land use, and therefore complies with the design intent of SAP Central. Additionally, this proposal is to develop a parking lot on Lot 12 which will only require irrigation water use, and therefore the provided water flow identified in the master water system plan will be adequate.

Sanitary Sewer

This site is located with service areas 3A, see attached exhibit. SAP Central defined the land use for this area to be mixed use condos, with a total unit count of 12. The proposed development is a parking lot and will not be connected to the sanitary sewer. Based on this, there is no impact on sewer capacity with this development.

Storm Sewer

SAP Central defined the land use for this area to be commercial area with 90% impervious area. The water quality and detention facilities were designed to provide treatment for this land use. The proposed layout has an impervious area of 74%. Based on this information, the current facilities are adequately sized to provide treatment per the City of Wilsonville Public Work Standards.

Rainwater Management

The SAP Central plan identified a planter box (facility 132) on the lots for condo building runoff and a bio-retention cell (facility 133) for street runoff. Facility 133 was sized to treat a total of 10,933 sf of street runoff and has already been constructed, but the current area draining to it is 4,320 square feet, resulting in additional capacity in the facility. The proposed development is a parking lot, and a bio-retention cell is proposed onsite to collect 100% (6,736 square feet) of runoff from the parking lot for treatment, and then be discharged into the existing storm main located in SW Villebois Drive. Based on this information, there is adequate rainwater treatment provided and the project is in accordance with the SAP Central Rainwater Management plan.

Thank you.

Attachments:

1. SAP Central Sanitary Sewer Service Area Exhibit
2. SAP Central Rainwater Management Plan
3. SAP Central Rainwater Management Summary



COSTA PACIFIC COMMUNITIES
 ALPHA COMMUNITY DEVELOPMENT
 FLETCHER PARK AVENUE
 DIVISION ASSOCIATES
 PACIFIC CHARITAT SERVICES
 WALT KNAPP
 KITTELSON & ASSOCIATES
 MAYHEW REED



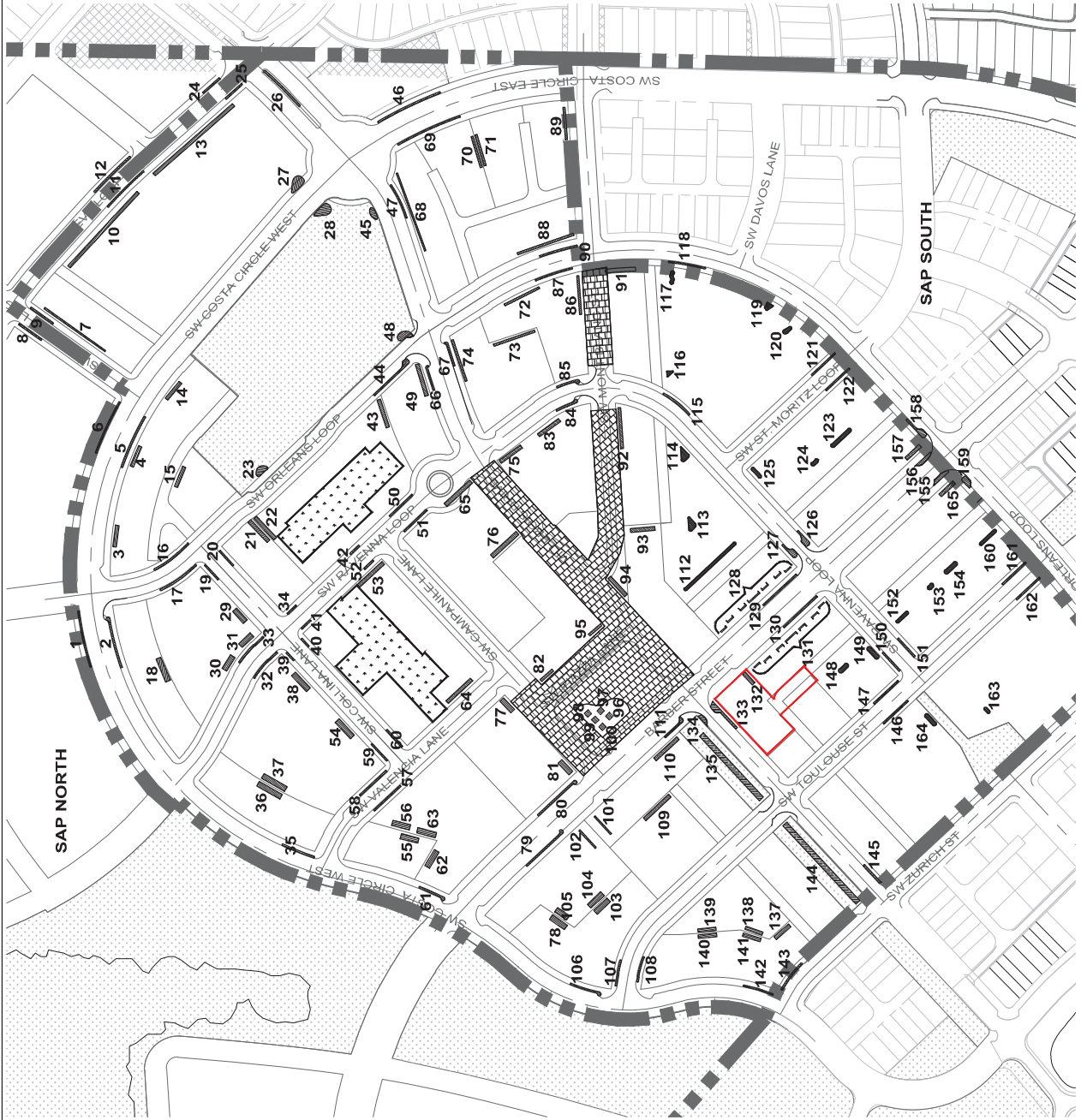
LEGEND:

- SAP BOUNDARY
- RAINWATER COMPONENT
- PERVIOUS STREET PAVEMENT
- ROOF GARDEN
- RAINWATER COMP. NUMBER



SCALE

1 IN = 200 FT



VILLOBOIS
SAP CENTRAL

Rainwater
 Management
 Plan

DATE: February 24, 2006

FIGURE A

N:\proj\988\983\VP Drawings\03 Planning\Entire - Rainwater\VPDR 1-C\98803.FPPT\C (A) RAINWATER.dwg - SHEET - MASTER PLAN - M01.dwg 2/21/06 10:59am



JOB NUMBER: 398063
 PROJECT: VILLEBOIS VILLAGE MIXED-USE
 FILE: N:\proj\398063\05 Reports\Rainwater Analysis\398063.Rainwater Analysis_202105-13.xlsx

EXHIBIT C:
 RAINWATER COMPLIANCE SUMMARY - SAP CENTRAL

PHASE	DRAINAGE BASIN	BASIN ID	AREA (SF)	% IMPERVIOUS	IMPERVIOUS AREA (SF)	RAINWATER COMPONENT NO.	RAINWATER COMPONENT TYPE	RAINWATER COMPONENT AREA / NO. OF TREES	SIZING FACTOR	IMPERVIOUS AREA TREATED ¹			% IMPERVIOUS AREA TREATED	
										ARROWHEAD CREEK	MILL CREEK	COFFEE LAKE CREEK		
1C	ARROWHEAD CREEK	F6.1	0	16.75/43.5%	Imp. Area (sf)	-	-	-	-	7,333	-	-	-	
2C	ARROWHEAD CREEK	F6.1	0	33.49/84.0%	0	132	BIO-RETENTION CELL	220	0.03	7333	-	-	-	
12C	ARROWHEAD CREEK	F6.1	76,107	72.0%	54,676	109	BIO-RETENTION CELL	105	0.03	3483	-	-	-	
						111	BIO-RETENTION CELL	106	0.03	3523	-	-	-	-
						-	-	-	-	11,057	-	-	-	
						77	BIO-RETENTION CELL	87	0.03	2910	-	-	-	-
						81	BIO-RETENTION CELL	122	0.03	4077	-	-	-	-
						81 A	BIO-RETENTION CELL	122	0.03	4070	-	-	-	-
						82	BIO-RETENTION CELL	258	0.03	8607	-	-	-	-
					95	BIO-RETENTION CELL	182	0.03	6073	-	-	-		
TOTAL PDP 1C			717,433		556,610					389,104			66%	
TOTAL PDP 2C			230,432		189,922					90,499			48%	
TOTAL PIAZZA VILLEBOIS			38,768		38,768					26,042			67%	
TOTAL PHASE 4C			354,143		251,361					165,600			66%	
TOTAL PHASE 6C			80,884		61,092					24,516			40%	
TOTAL PHASE 7C			178,700		115,947					39,199			80%	
FUTURE SAP CENTRAL PHASES ²			735,763		593,168					47,547		444,498	83%	
SAP CENTRAL TOTAL			2,336,123		1,806,868					524,844		47,547	687,714	70%

¹COMPONENT IMPERVIOUS AREA TREATED REFLECTS ACTUAL COMPONENT CA TCHMENT AREA AND MAY NOT REFLECT SIZING FACTOR

²FUTURE SAP CENTRAL PHASE TOTALS PER APPROVED SAP CENTRAL RAINWATER MANAGEMENT PLAN



JOB: VILLEBOIS SAP CENTRAL
 PROJECT: 398-023
 FILE: N:/PROJ/999-225/STORM. MASTER/SAP CENTRAL/RAIN.XLS

**EXHIBIT C:
 SAP CENTRAL RAINWATER MANAGEMENT COMPONENT SUMMARY**

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
1	4C	Bioretention Cell	0.03	323	10,767	Reduced to reflect revised catchment area	267	8,900
2	4C	Bioretention Cell	0.03	310	10,339	Reduced to reflect revised catchment area	199	6,633
3	4C	Planter Box	0.03	264	8,784	Reduced in the field	1816	60,533
4		Bioretention Cell	0.03	264	8,784	Eliminated	0	0
5	4C	Bioretention Cell	0.03	314	10,477	Reduced to reflect revised catchment area	304	10,133
6	4C	Bioretention Cell	0.03	317	10,567	Reduced to reflect revised catchment area	269	8,967
7	4C	Bioretention Cell	0.03	420	14,000	area; Changed to bio-retention cell	114	3,800
8		Bioretention Cell	0.03	156	5,200	Eliminated	0	0
9		Bioretention Cell	0.03	156	5,200	Eliminated	0	0
10A	7C	Pervious Pavement	1	0	0	Added	6,049	6,049
10B	7C	Pervious Pavement	1	0	0	Added	22,424	22,424
10	8C	Planter Box	0.06	1,231	20,517	Changed to vegetated swale; enlarged to reflect new treatment area	2,231	37,183
11		Bioretention Cell	0.03	283	9,424	Eliminated	0	0
12	7C	Bioretention Cell	0.03	0	0	Added	48	1,600
13	8C	Bioretention Cell	0.03	1,283	42,759	Reduced to reflect revised catchment area; Changed to bio-retention cell	570	19,000
14	4C	Planter Box	0.03	264	8,784	Expanded to reflect revised catchment area; Changed to bio-retention cell	128	4,267
15	4C	Planter Box	0.03	264	8,784	area; Changed to bio-retention cell	905	30,167
16		Bioretention Cell	0.03	245	8,156	No Change	245	8,156
17	6C	Bioretention Cell	0.03	248	8,276	Reduced in the field	125	4,167
18		Planter Box	0.03	471	15,689	Eliminated	0	0
19		Bioretention Cell	0.03	113	3,750	Eliminated	0	0
20	6C	Bioretention Cell	0.03	113	3,750	Expanded in the field	116	3,867
21		Planter Box	0.03	364	12,138	Eliminated	0	0
22	9C	Planter Box	0.03	385	12,833	Expanded in the field	448	14,933
23		Bioretention Cell	0.03	272	9,072	Eliminated	0	0
25		Bioretention Cell	0.03	125	4,150	Eliminated	0	0
26		Bioretention Cell	0.03	374	12,478	Eliminated	0	0
27		Bioretention Cell	0.03	489	16,294	Eliminated	0	0
28		Bioretention Cell	0.03	489	16,294	Eliminated	0	0
29		Planter Box	0.03	300	10,000	Eliminated	0	0
30	6C	Planter Box	0.03	300	10,000	Reduced in the field	205	6,833
31	6C	Planter Box	0.03	300	10,000	Expanded in the field	384	12,800
32	6C	Bioretention Cell	0.03	196	6,544	Reduced in the field	151	5,033
33	6C	Bioretention Cell	0.03	199	6,626	Reduced in the field	126	4,200
34	9C	Bioretention Cell	0.03	70	2,320	Reduced in the field	65	2,167
35	9C	Bioretention Cell	0.03	195	6,484	Expanded in the field; Changed to bio-retention cell	240	8,000
36	9C	Bioretention Cell	0.03	500	16,667	Expanded in the field; Changed to bio-retention cell	657	21,900
37		Planter Box	0.03	500	16,667	Eliminated	0	0
38	9C	Bioretention Cell	0.03	408	13,599	Reduced in the field; Changed to bio-retention cell	143	4,767
39	10C	Bioretention Cell	0.03	60	2,000	Expanded in the field	86	2,867
40	10C	Bioretention Cell	0.03	60	2,000	Expanded in the field	97	3,233
41	10C	Bioretention Cell	0.03	70	2,320	Reduced in the field	66	2,200
42	9C	Bioretention Cell	0.03	70	2,320	Expanded in the field	166	5,533
43	9C	Planter Box	0.03	385	12,833	Expanded in the field	456	15,200
44		Bioretention Cell	0.03	365	12,150	Eliminated	0	0
45	5C	Bioretention Cell	0.03	202	6,731	Expanded in the field	1,125	37,500
46		Bioretention Cell	0.03	389	12,983	Eliminated	0	0
47		Bioretention Cell	0.03	207	6,903	Eliminated	0	0
48	5C	Bioretention Cell	0.03	331	11,030	Reduced in the field	175	5,833
49	9C	Planter Box	0.03	434	14,467	Expanded in the field	437	14,567
50	9C	Bioretention Cell	0.03	176	5,883	Reduced in the field	115	3,833
51	10C	Bioretention Cell	0.03	176	5,883	Reduced in the field	114	3,800
52	10C	Bioretention Cell	0.03	70	2,320	Expanded in the field	174	5,800
52A	10C	Bioretention Cell	0.03	0	0	Added	150	5,000
53	9C	Planter Box	0.03	441	14,700	No Change	441	14,700
53A	10C	Planter Box	0.03	0	0	Added	206	6,867
53B	10C	Planter Box	0.03	0	0	Add	144	4,800
54		Planter Box	0.03	419	13,975	Eliminated	0	0
55	9C	Planter Box	0.03	341	11,359	No Change	341	11,359
56	9C	Planter Box	0.03	341	11,359	No Change	341	11,359
56A	11C	Bioretention Cell	0.03	0	0	Added	567	18,900
57	11C	Bioretention Cell	0.03	204	6,800	Reduced in the field	102	3,400
57A	10C	Bioretention Cell	0.03	0	0	Added	185	6,167
58	11C	Bioretention Cell	0.03	204	6,800	Reduced in the field	102	3,400
58A	10C	Bioretention Cell	0.03	0	0	Added	185	6,167
59	10C	Bioretention Cell	0.03	129	4,300	Reduced in the field	74	2,467
60	10C	Bioretention Cell	0.03	129	4,300	Reduced in the field	84	2,800
61	11C	Bioretention Cell	0.03	203	6,780	Reduced in the field	174	5,800
62	9C	Planter Box	0.03	354	11,784	No Change	354	11,784
63	9C	Planter Box	0.03	364	12,118	No Change	364	12,118
64	9C	Planter Box	0.03	441	14,700	No Change	441	14,700

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
64A	10C	Planter Box	0.03	0	0	Added	178	5,933
64B	10C	Planter Box	0.03	0	0	Added	233	7,767
65	10C	Planter Box	0.03	520	17,333	Reduced in the field	152	5,067
66	7C	Bioretention Cell	0.03	153	5,106	Expanded to reflect revised catchment area	224	7,467
67	7C	Bioretention Cell	0.03	153	5,106	Expanded to reflect revised catchment area	231	7,700
68	4C	Bioretention Cell	0.03	467	15,553	Reduced to reflect revised catchment area; Changed to bio-retention cell	1,076	35,867
69	4C	Bioretention Cell	0.03	387	12,884	Reduced in the field	209	6,967
70	4C	Vegetated Swale	0.06	244	4,067	Expanded in the field; Changed to vegetated swale	369	6,150
71	4C	Vegetated Swale	0.06	244	4,067	Expanded in the field; Changed to vegetated swale	1,116	18,600
72	7C	Bioretention Cell	0.03	292	9,733	Expanded to reflect revised catchment area; Changed to bio-retention cell	356	11,867
73	7C	Bioretention Cell	0.03	328	10,933	Expanded to reflect revised catchment area; Changed to bio-retention cell	328	10,933
74	7C	Planter Box	0.03	328	10,933	Eliminated	0	0
75	7C	Bioretention Cell	0.03	343	11,433	Reduced to reflect revised catchment area; Changed to bio-retention cell	48	1,600
76	10C	Planter Box	0.03	520	17,333	Reduced in the field	116	3,867
77	12C	Bioretention Cell	0.03	300	10,000	Resized to reflect available area; Changed to bio-retention cell	87	2,900
78	2C	Planter Box	0.03	341	11,359	Planter Boxes only receive 40% of roof runoff	120	1,500
79	2C	Bioretention Cell	0.03	313	10,444	No Change	314	10,467
79A	2C	Bioretention Cell	0.03	0	0	Added to treat catchment area flowing to new low spot	67	2,233
80	2C	Bioretention Cell	0.03	318	10,587	Catchment area for facility has been decreased	316	10,533
81	9C	Bioretention Cell	0.03	300	10,000	Resized to reflect available area; Changed to bio-retention cell	122	4,067
81A	9C	Bioretention Cell	0.03	0	0	Added to reflect available area; Changed to bio-retention cell	122	4,067
82	9C	Bioretention Cell	0.03	150	5,000	Resized to reflect available area; Changed to bio-retention cell	258	8,600
83	7C	Bioretention Cell	0.03	343	11,433	Reduced to reflect revised catchment area; Changed to bio-retention cell	240	8,000
84	7C	Bioretention Cell	0.03	167	5,568	Reduced to reflect revised catchment area; Changed to bio-retention cell	64	2,133
85	7C	Bioretention Cell	0.03	160	5,339	Reduced to reflect revised catchment area; Changed to bio-retention cell	115	3,833
86		Planter Box	0.03	292	9,733	Eliminated	0	0
87		Bioretention Cell	0.03	220	7,334	Eliminated	0	0
88		Planter Box	0.03	448	14,933	Eliminated	0	0
90		Bioretention Cell	0.03	221	7,382	Eliminated	0	0
91		Planter Box	0.03	395	13,154	Eliminated	0	0
92	7C	Bioretention Cell	0.03	385	12,833	Reduced to reflect revised catchment area; Changed to bio-retention cell	130	4,333
93	1C	Planter Box	0.03	322	10,733	Removed because area is now permeable pavement	0	0
94	1C	Planter Box	0.03	322	10,733	Removed because area is now permeable pavement	0	0
95	9C	Bioretention Cell	0.03	150	5,000	Resized to reflect available area; Changed to bio-retention cell	182	6,067
96	PIAZZA	Planter Box	0.03	100	3,333	Planter Box Resized to reflect catchment area	30	170
97	PIAZZA	Planter Box	0.03	100	3,333	Planter Box Resized to reflect catchment area	30	170
98	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
99	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
100	PIAZZA	Planter Box	0.03	100	3,333	Eliminated for lack of structures	0	0
101	9C	Bioretention Cell	0.03	137	4,550	No Change	137	4,550
102	9C	Bioretention Cell	0.03	137	4,550	No Change	137	4,550
103	2C	Planter Box	0.03	341	11,359	Treatment area is limited to building foot print of 11,350 square feet	341	11,350
104	2C	Planter Box	0.03	341	11,359	Treatment area is limited to accessible building foot print of 7,000 square feet	215	7,167
105	2C	Planter Box	0.03	272	9,057	Planter Boxes only receive 40% of roof runoff	120	1,500
106	2C	Bioretention Cell	0.03	208	6,933	Catchment area for facility has been increased	318	10,600
107	2C	Bioretention Cell	0.03	147	4,900	This facility was eliminated because it was located in a 4-ft wide planter. These planters do not have adequate room for a properly constructed facility.	0	0
108	2C	Bioretention Cell	0.03	146	4,867	This facility was eliminated because it was located in a 4-ft wide planter. These planters do not have adequate room for a properly constructed facility.	0	0
109	2C	Planter Box	0.03	455	15,167	Reduced in field	105	3,500
110	2C	Planter Box	0.03	413	13,767	Treatment area is limited to accessible building foot print of 7,000 square feet	195	6,500
111	2C	Bioretention Cell	0.03	178	5,937	Reduced in field	106	3,533
112	1C	Planter Box	0.03	693	23,094	Changed to a bioretention cell and scaled down to provide room for ADA accessibility	539	17,967
113	1C	Planter Box	0.03	253	8,421	No Change	253	8,421
114	1C	Planter Box	0.03	263	8,767	No Change	263	8,767
115	1C	Bioretention Cell	0.03	231	7,695	No Change	231	7,695

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
116	1C	Planter Box	0.03	80	2,677	Expanded in the field	84	2,800
117	1C	Planter Box	0.03	155	5,152	Reduced in the field	143	4,767
118	1C	Bioretention Cell	0.03	211	7,019	Enlarged due to street grade changes and larger catchment area	298	9,933
119	1C	Planter Box	0.03	130	4,342	Reduced in the field	111	3,700
120	1C	Planter Box	0.03	124	4,142	Expanded in the field	176	5,867
121	1C	Bioretention Cell	0.03	180	6,013	Enlarged due to street grade changes and larger catchment area	322	10,733
122	1C	Bioretention Cell	0.03	180	6,013	Enlarged due to street grade changes and larger catchment area	328	10,933
123	1C	Planter Box	0.03	316	10,525	Per Field Conditions	315	10,500
124	1C	Planter Box	0.03	97	3,229	Per Field Conditions	90	3,000
125	1C	Planter Box	0.03	161	5,366	No Change	161	5,366
126	1C	Bioretention Cell	0.03	218	7,260	Decreased due to spacial limitations	134	4,467
127	1C	Bioretention Cell	0.03	218	7,260	No Change	152	5,067
128	1C	Planter Box	0.03	360	12,000	No Change	349	11,633
129	1C	Bioretention Cell	0.03	156	5,211	Enlarged due to street grade changes and larger catchment area	426	8,944
130	1C	Bioretention Cell	0.03	256	8,545	Enlarged due to street grade changes and larger catchment area	427	8,990
131	1C	Planter Box	0.03	360	12,000	No Change	349	11,633
132	1C	Bioretention Cell	0.03	189	6,300	Enlarged due to larger available area for facility; Changed to bio-retention cell	220	7,333
133	1C	Bioretention Cell	0.03	328	10,939	Decreased due to limitations in catchment area	393	4,032
134	1C	Bioretention Cell	0.03	713	23,752	Enlarged due to street grade changes and larger catchment area	538	5,731
135	1C	Bioretention Cell	0.03	240	7,996	Enlarged due to larger available area for facility	1,433	47,767
136	1C	Bioretention Cell	0.03	240	7,996	Eliminated, area now treated by component 144.	0	0
137	2C	Planter Box	0.03	250	8,343	Changed to Bioretention Cell to pick up parking lot runoff	200	6,667
138	2C	Planter Box	0.03	222	7,413	Changed to Bioretention Cell to pick up parking lot runoff	219	7,300
138A	2C	Bioretention Cell	0.03	0	0	Added to treat additional parking lot area	72	2,400
139	2C	Planter Box	0.03	222	7,413	Eliminated due to lack of room and feasibility of treating carriage homes for rainwater management	0	0
140	2C	Planter Box	0.03	236	7,864	Planter Boxes only receive 40% of roof runoff	160	2,004
141	2C	Planter Box	0.03	231	7,712	Planter Boxes only receive 40% of roof runoff	200	2,445
142	2C	Bioretention Cell	0.03	177	5,901	Bioretention Cell can receive more runoff area	235	7,833
143	2C	Bioretention Cell	0.03	190	6,337	Street Runoff is directed away from facility	0	0
144	1C	Bioretention Cell	0.03	1,017	33,894	Decreased due to limitations in catchment area	2,095	31,735
145	1C	Bioretention Cell	0.03	517	17,244	Decreased due to limitations in catchment area	183	4,853
146	1C	Bioretention Cell	0.03	188	6,280	Enlarged due to street grade changes and larger catchment area	246	6,400
147	1C	Bioretention Cell	0.03	188	6,280	Enlarged due to street grade changes and larger catchment area	302	10,067
148	1C	Planter Box	0.03	159	5,294	Per Field Conditions	160	5,333
149	1C	Planter Box	0.03	210	6,987	Per Field Conditions	224	7,467
150	1C	Bioretention Cell	0.03	140	4,676	Enlarged due to street grade changes and larger catchment area	151	5,033
151	1C	Bioretention Cell	0.03	140	4,676	Decreased due to limitations in catchment area	124	3,218
152	1C	Planter Box	0.03	170	5,665	Per Field Conditions	156	5,200
153	1C	Planter Box	0.03	92	3,078	Per Field Conditions	120	4,000
154	1C	Planter Box	0.03	224	7,455	Per Field Conditions	210	7,000
155	1C	Bioretention Cell	0.03	182	6,071	Enlarged due to street grade changes and larger catchment area	447	8,761
156	1C	Bioretention Cell	0.03	182	6,071	Enlarged due to street grade changes and larger catchment area	451	8,766
157	1C	Planter Box	0.03	504	16,800	No Change	252	8,400
158	1C	Bioretention Cell	0.03	265	8,833	Decreased due to spacial limitations	200	6,667
159	1C	Bioretention Cell	0.03	205	6,821	Decreased due to limitations in catchment area	141	4,700
160	1C	Planter Box	0.03	239	7,970	Per Field Conditions	280	9,333
161	1C	Bioretention Cell	0.03	180	6,011	Enlarged due to street grade changes and larger catchment area	270	6,308
162	1C	Bioretention Cell	0.03	180	6,011	Enlarged due to street grade changes and larger catchment area	368	8,973
163	1C	Planter Box	0.03	73	2,418	Per Field Conditions	84	2,800
164	1C	Planter Box	0.03	206	6,854	Per Field Conditions	168	5,600
165	1C	Planter Box	0.03	252	8,400	No Change	252	8,400
166	1C	Deciduous Trees	0.01	815	81,500	Landscaping plan has been revised with fewer trees.	108	10,800
167		Evergreen Trees	0.005	0	0	No Change	0	0
168	Piazza	Permeable Pavers-Mt Blanc	1	20,297	20,297	No Change	20,297	20,297
169	Piazza	Permeable Pavers-Campanile	1	12,224	12,224	No Change	12,224	12,224
170	Piazza	Permeable Pavers-Villebois Dr.	1	30,479	30,479	No Change	30,479	30,479
171	Piazza	Permeable Pavers-Plaza Lane	1	8,736	8,736	No Change	8,736	8,736
172	Piazza	Permeable Pavers-Plaza	1	25,558	25,558	No Change	25,558	25,558
173		Green Roof	1	5,000	5,000	Eliminated	0	0
177	1C	Bioretention Cell	0.03	0	0	Added to construction plans due to availability of space	291	9,700

Component Number	PDP Phase	Rainwater Tool	Sizing Factor	S.F.	S.F. Mitigated - CPC Plan	Reason for Adjustment or Removal of Component	New S.F.	New S.F. Mitigated
	Total	Total		147,967	1,650,421		167,396	1,352,243
	Total Impervious Area in SAP	Total Impervious Area in SAP	1,806,695					
	Percent Mitigated	Percent Mitigated	91.4%					
	Percent Adjusted	Percent Adjusted	-16.5%					
	Cumulative Percent Achieved	Cumulative Percent Achieved	74.8%					

SAP Central (updated 02/23/21)

LAND USE	Existing Count				Proposed***										Total
	SAP CENTRAL	PDP 1C*	PDP 2C**	PDP 4C	PDP 6C	7C	8C	9C	10C	11C	12C				
Estate	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Large	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Standard	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Medium	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
subtotal	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Small Detached	8	0	0	8	0	0	0	0	0	0	0	0	0	8	
Small Attached/Cottage	9	0	0	9	0	0	0	0	0	0	0	0	0	9	
Rowhouse	376	56	23	40	31	68	50	82	10	16	0	0	0	376	
Village Apartments	307	304	3	0	0	0	0	0	0	0	0	0	0	307	
Condos	85	3	0	0	0	0	0	0	82	0	0	0	0	85	
Urban Apartments	58	0	58	0	0	0	0	0	0	0	0	0	0	58	
Mixed Use Condos	90	0	49	0	0	0	0	0	0	0	0	94	0	143	
Specialty Condos	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
subtotal	933	363	133	57	31	68	50	82	92	16	94	0	0	986	
TOTAL UNITS	933						986								

(#-#) indicates range approved with either PDP or SAP, but no building or refined unit count yet defined

* PDP 1C: Approved & Built; FDP's Approved for The Alexan - 274 Apts (built), 39 RH w/ Polygon 2013 MOD (31 built), 3 Carvalho Condos (built), and 30 Rainwater Garden Apts (built) + 2014 PDP Mod to change 30 condos to 18 RH & 8 RH to 7 RH; 2018 PDP 1C Mod; 2021 PDP Mod eliminate 3 Mixed Use Condos to accommodate parking lot on Lot 12.

**PDP 2C: Approved & Built; FDP's Approved for The Chariston - 52 Apts (built), 13 RH w/ Polygon MOD (built), Carvalho Carriage Homes - 6 Apts approved 2014 (0 built), Berkshire - 10 Row Houses Approved 2016

***PDP 3C = Piazza & PDP 5C = Montague Park; no residential density (not included in table); PDP 6C & PDP 7C received planning approval in July 2015; PDP 8C, PDP 9C, PDP 10C & PDP 11C received planning approval

LAND USE	Proposed Count	
	SAP CENTRAL	Total
Estate	0	0
Large	0	0
Standard	0	0
Medium	0	0
subtotal	0	0
Small Detached	8	8
Small Attached/Cottage	9	9
Rowhouse	376	376
Nbhd Apartments	0	0
Village Apartments	307	307
Condos	85	85
Urban Apartments	58	58
Mixed Use Condos	143	143
Specialty Condos	0	0
subtotal	986	986
TOTAL UNITS	986	986

MEMORANDUM

DATE: June 9, 2021

TO: Khoi Le, P.E. | City of Wilsonville

FROM: Scott Mansur, P.E., PTOE | DKS Associates
 Jenna Bogert, P.E. | DKS Associates

SUBJECT: Villebois SAP Central PDP1 and PDP2 Modifications –
 Transportation Evaluation

P#19006-006

This memorandum documents the trip generation estimates and parking evaluation for the current proposal of three apartment buildings (Building A, Building B, and Building C) in Villebois Specific Area Plan (SAP) Central as part of Planned Development Phases (PDP) 1 and 2.

In May 2019, the residential trip generation for the three buildings (totaling 145 apartment units) was previously evaluated and documented.¹ The residential trip generation for the entire SAP Central (with the proposed three apartment buildings) was found to result in a lower trip generation than previous residential trip generation estimates for SAP Central. Therefore, it was found that no significant traffic impact was anticipated due to the proposed three apartment buildings (Buildings A, B, and C). The only recommendation from the previous 2019 memo was for the addition of 17 bicycle parking stalls to meet City code parking requirements. This memo is attached for reference.

Recently, the project applicant provided modified site plans for Buildings A, B, and C. The site plans show that between the three apartment buildings, 11 ground-floor apartment units will be able to be converted to approximately 7,300 square feet of retail space in the future. Because retail space has a higher trip generation rate and parking demand than multifamily housing, this memorandum re-evaluates the trip generation and parking demand for Buildings A, B, and C for when the future conversion of the 11 residential units to 7,300 square feet of retail space occurs.



FIGURE 1: STUDY AREA

¹ Villebois SAP Central (Village Center) Transportation Study, DKS Associates, May 3, 2019.

TRIP GENERATION (SAP CENTRAL)

The residential unit counts and trip generation estimates for all of SAP Central are shown in Table 1 below for the current proposal (May 2021, reduced by 11 apartment units).² Also shown in Table 1 is the residential trip generation for all of SAP Central that was analyzed and documented in the 2013 Traffic Impact Study (TIS),³ which is the most recent full TIS analysis of the Villebois area. This 2013 trip generation is shown so that the 2021 residential trips can be compared to the 2013 residential trips. If it is determined that the 2021 trips are higher than the 2013 trips, then additional traffic impact analysis may be needed.

As shown in Table 1 below, the number of vehicle trips generated by the residential units in May 2021 (550 peak hour trips) is less than the total vehicle trips analyzed in the 2013 TIS (594 peak hour trips). Therefore, the current modifications for Buildings A, B, and C does not cause a higher residential trip generation than previously analyzed in 2013 and there is no need for further traffic impact analysis.

Typically, trip generation estimates are based on trip generation rates from the most current version of the Institute of Transportation Engineers (ITE) Trip Generation Manual.⁴ However, the trip generation used in the previous 2013 TIS utilized an older version of the Trip Generation Manual (9th Edition).⁵ To remain consistent with the previous trip generation studies, the previous trip generation rates were used for the 2021 estimates.

TABLE 1: RESIDENTIAL TRIP GENERATION (SAP CENTRAL)

RESIDENTIAL UNIT TYPE	QUANTITY	PM PEAK HOUR TRIP RATE (RESIDENTIAL)	PM PEAK HOUR TRIP GENERATION (RESIDENTIAL)
October 2013 Traffic Impact Study			
SINGLE FAMILY	49 units	1.01 trips/unit (64% in, 36% out)	49 (31 in, 18 out) trips
CONDO/TOWNHOUSE	459 units	0.52 trips/unit (67% in, 33% out)	234 (157 in, 77 out) trips
APARTMENT	501 units	0.62 trips/unit (67% in, 33% out)	311 (208 in, 103 out) trips
	1,009 units	-	594 (396 in, 198 out) trips
May 2021 Plan – Buildings A, B, and C Modification (11 Units Converted to Retail)			
SINGLE FAMILY	17 units	1.01 trips/unit (64% in, 36% out)	17 (11 in, 6 out) trips
CONDO/TOWNHOUSE	604 units	0.52 trips/unit (67% in, 33% out)	314 (210 in, 104 out) trips
APARTMENT	354 units	0.62 trips/unit (67% in, 33% out)	219 (147 in, 72 out) trips
	975 units	-	550 (368 in, 182 out) trips

² Unit counts for May 2021 update provided by Maureen Jackson, Pacific Community Design, on May 21, 2021.

³ Villebois Future Study Area Transportation Impact Analysis, DKS Associates, October 21, 2013.

⁴ Trip Generation Manual, 10th Edition, Institute of Transportation Engineers, 2017.

⁵ Trip Generation Manual, 9th Edition, Institute of Transportation Engineers, 2012.

TRIP GENERATION INCREASE (BUILDINGS A, B, AND C)

To estimate the net increase in trip generation due to the conversion from 11 residential units to 7,300 square feet of retail in Buildings A, B, and C, the trip generation for the 11 apartment units and for the 7,300 square-feet of retail space is shown in Table 2.

Typically, trip generation estimates are based on trip generation rates from the most current version of the Institute of Transportation Engineers (ITE) Trip Generation Manual.⁶ However, the trip generation used in the previous 2013 study utilized an older version of the Trip Generation Manual for Land Use 220 at a rate of 0.62 trips/unit for apartments. To remain consistent, this was the trip generation rate used for this study. The trip generation rate for Shopping Center (820) is what has been assumed for the 7,300 square feet of retail space, which is consistent with previous Villebois studies.

TABLE 2: VEHICLE TRIP GENERATION

LAND USE (ITE CODE)	PM PEAK HOUR TRIP RATE	BUILDING	SIZE ^a	PM PEAK HOUR TRIPS		
				IN	OUT	TOTAL
APARTMENTS (220) (ITE Trip Generation Manual, 9th Edition)	0.62 trips/unit	Building A	4 units	1	1	2
		Building B	5 units	2	1	3
		Building C	2 units	1	0	1
		<i>Total Vehicle Trips (Removed)</i>			<i>(4)</i>	<i>(2)</i>
SHOPPING CENTER (820) (ITE Trip Generation Manual, 10th Edition)	3.81 trips/KSF	Building A	2.175 KSF	4	4	8
		Building B	3.612 KSF	7	7	14
		Building C	1.469 KSF	3	3	6
		<i>Total Vehicle Trips (Added)</i>			<i>14</i>	<i>14</i>
NET NEW VEHICLE TRIPS				+10	+12	+22

As shown in the table above, the number of vehicle trips generated by the retail space is 28 (14 in, 14 out) p.m. peak hour trips and results in a net increase of 22 (10 in, 12 out) p.m. peak hour trips after the conversion of residential to retail. If the 28 retail trips are added to the May 2021 trips in Table 1, the total residential trips for SAP Central are 578 trips, which is still less than the 594 trips analyzed in the 2013 TIS. Therefore, the conversion of residential units to retail space does not cause the residential trip counts to exceed the trip counts previously analyzed in 2013 TIS and additional traffic impact analysis is not needed.

Because the conversion of 11 residential units to retail space does not cause the SAP Central trip counts to exceed the 2013 SAP Central trip counts, the estimated number of p.m. peak hour trips that are expected to travel through the two I-5 interchanges in Wilsonville does not need to be calculated.

⁶ Trip Generation Manual, 10th Edition, Institute of Transportation Engineers, 2017.

PARKING EVALUATION (BUILDINGS A, B, AND C)

The site plans for each building were provided by the project sponsor and are attached to this memo. The site plans were reviewed to determine if the sites are able to accommodate for the increase in parking demand due to the future conversion of apartment units into retail space.

Because this development is located in the Villebois Zone, specific development code requirements are applicable to the site, including required parking minimums⁷. For multifamily dwellings and commercial uses, the following parking minimums apply:

- 1 parking stall per dwelling unit (studio)
- 1 parking stall per dwelling unit (one-bedroom)
- 1.5 parking stalls per dwelling unit (two-bedroom)
- 1.75 parking stalls per dwelling unit (three-bedroom)
- 2 parking stalls per 1,000 square feet of commercial uses

The parking requirements per City Code are shown in the table below for the revised site plans showing the ground-floor retail. As shown, the minimum required number of parking stalls is 167 stalls (the original analysis reported 166 required vehicle parking stalls). The proposed number of off-street parking stalls provided is 115 total stalls, which is less than the 167-stall minimum requirement. However, according to the Villebois code⁸, the minimum parking requirements may be met by counting on-street parking stalls directly adjoining and on the same side of the street as the subject property. The last column on the table shows the proposed number of on-street parking stalls that meet this criterion, which is a total of 48 stalls. Combined with the off-street parking stalls, the total is at 163 parking stalls for the development, still less than the 167-stall minimum.

The Villebois code also allows for up to 25% percent of the required parking to be substituted with bicycle parking. It is recommended that the project sponsor substitute the remaining 4 vehicle parking stalls (2% of total) with bicycle parking stalls in order to meet the vehicle parking stall minimum. It should be noted that the bicycle stalls intended to substitute the vehicle parking stalls must also meet the required short-term and long-term bicycle parking code requirements.

⁷ Table V-2, Section 4.125, City Development Code, City of Wilsonville, 2015.

⁸ Section 4.125.07.B.4.b, City Development Code, City of Wilsonville, 2015.

TABLE 3: VEHICLE PARKING REQUIREMENTS

BUILDING	QUANTITY	TYPE	RATE	VEHICLE PARKING STALL MINIMUM	PROPOSED OFF-STREET VEHICLE PARKING STALLS	PROPOSED ON-STREET VEHICLE PARKING STALLS
A	12 units	Studio	1.0	12	49	13
	12 units	1 BR	1.0	12		
	3 units	2 BR	1.5	5		
	9 units	3 BR	1.75	16		
	2.175 KSF	Commercial	2.0	4		
Subtotal (Building A)				49		
B	10 units	Studio	1.0	10	38	14
	27 units	1 BR	1.0	27		
	10 units	2 BR	1.5	15		
	2 units	3 BR	1.75	4		
	3.612 KSF	Commercial	2.0	7		
Subtotal (Building B)				63		
C	14 units	Studio	1.0	14	28	21
	29 units	1 BR	1.0	29		
	6 units	2 BR	1.5	9		
	1.469 KSF	Commercial	2.0	3		
Subtotal (Building C)				55		
TOTAL				167	115	48

SUMMARY

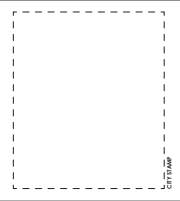
Key findings for the proposed conversion of 11 apartment units to 7,300 square feet of retail space in Buildings A, B, and C in Villebois SAP Central PDP1 and PDP2 are as follows:

- The future conversion of 11 apartment units to 7,300 square feet of retail space is estimated to generate less residential trips for SAP Central than the residential trips for SAP Central as documented in the 2013 TIS. Therefore, there is no need for further traffic impact analysis.
- Because the conversion of 11 residential units to 7,300 square feet of retail space does not cause the SAP Central trip counts to exceed the SAP Central trip counts in the 2013 TIS, the estimated number of p.m. peak hour trips that are expected to travel through the two I-5 interchanges in Wilsonville does not need to be calculated.
- The proposed parking meets the parking minimum requirements as described in the City Code if the developer adds an additional 4 bicycle parking stalls across the three sites.

Please let us know if you have any questions.

Attachments:

- Modified Site Plans for Buildings A, B and C
- Villebois SAP Central (Village Center) Transportation Study, DKS Associates, May 3, 2019



**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**CAPSTONE PARTNERS,
 LLC**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN BY: AUP/ST
 DATE: 01 FEBRUARY 2021
 REVISION: LAND USE REVIEW
 REVISION: DISCUSSION

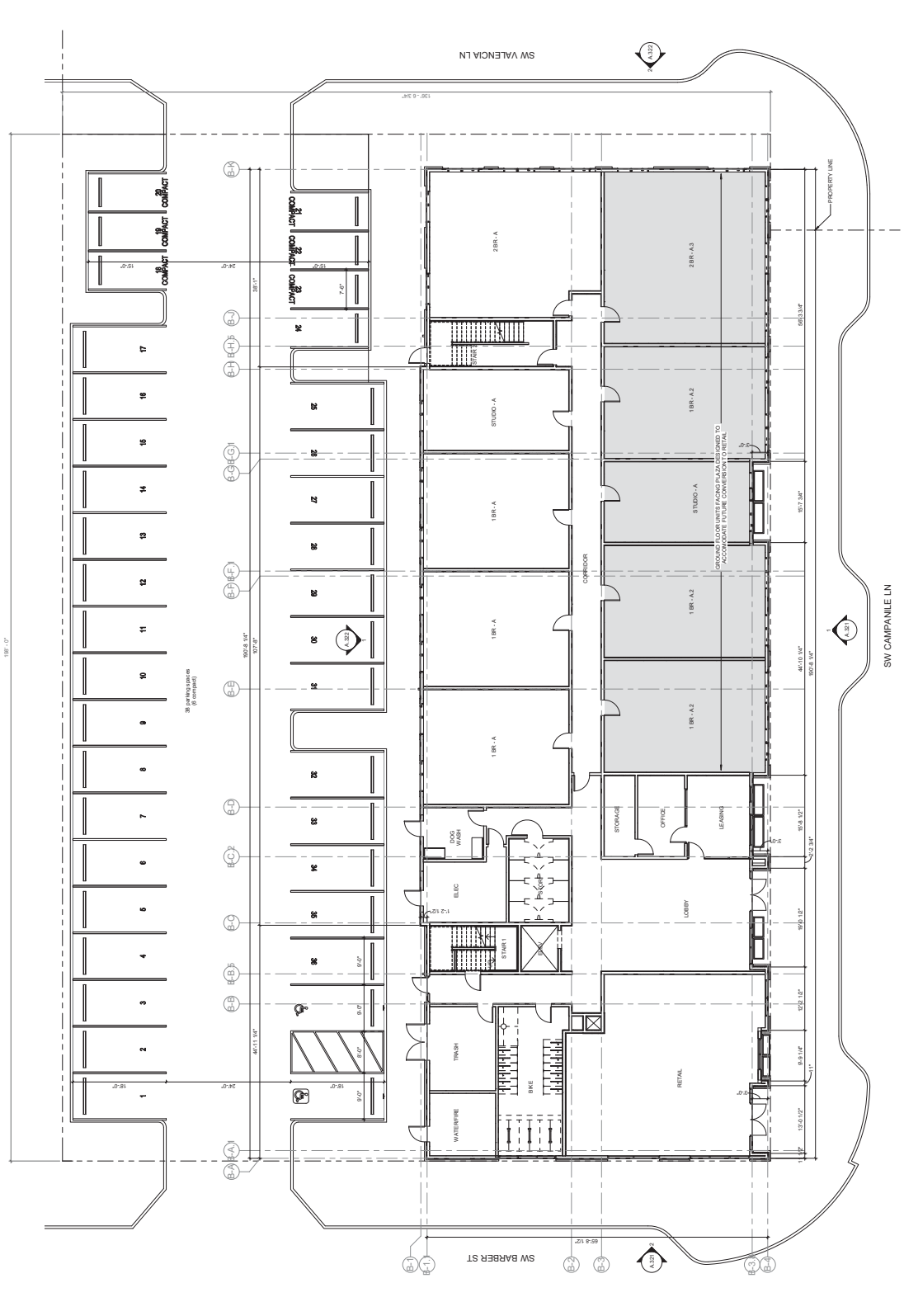
THIS PLAN IS TO BE REVIEWED BY THE CITY OF PORTLAND. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE CITY OF PORTLAND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN. THE CITY OF PORTLAND IS NOT PROVIDING ANY WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, INCLUDING BUT NOT LIMITED TO THE WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS PLAN.

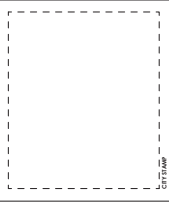
PREPARED BY:
**PREMIA RY
 FOR CONSTRUCTION**

SHEET TITLE:
BUILDING B LEVEL 1 PLAN

SHEET NO.:
A.221

LAND USE REVIEW





**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**CAPSTONE PARTNERS,
 LLC**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN BY: AULTZ
 DATE: 01 FEBRUARY 2021
 REVISION: LAND USE REVIEW
 DESCRIPTION:

THIS PLAN IS TO BE USED IN CONNECTION WITH THE PERMITS AND CONSTRUCTION OF THE PROJECT. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY THAT ALL APPLICABLE REGULATIONS AND ORDINANCES ARE FULLY COMPLIED WITH. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THAT ALL APPLICABLE REGULATIONS AND ORDINANCES ARE FULLY COMPLIED WITH. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.

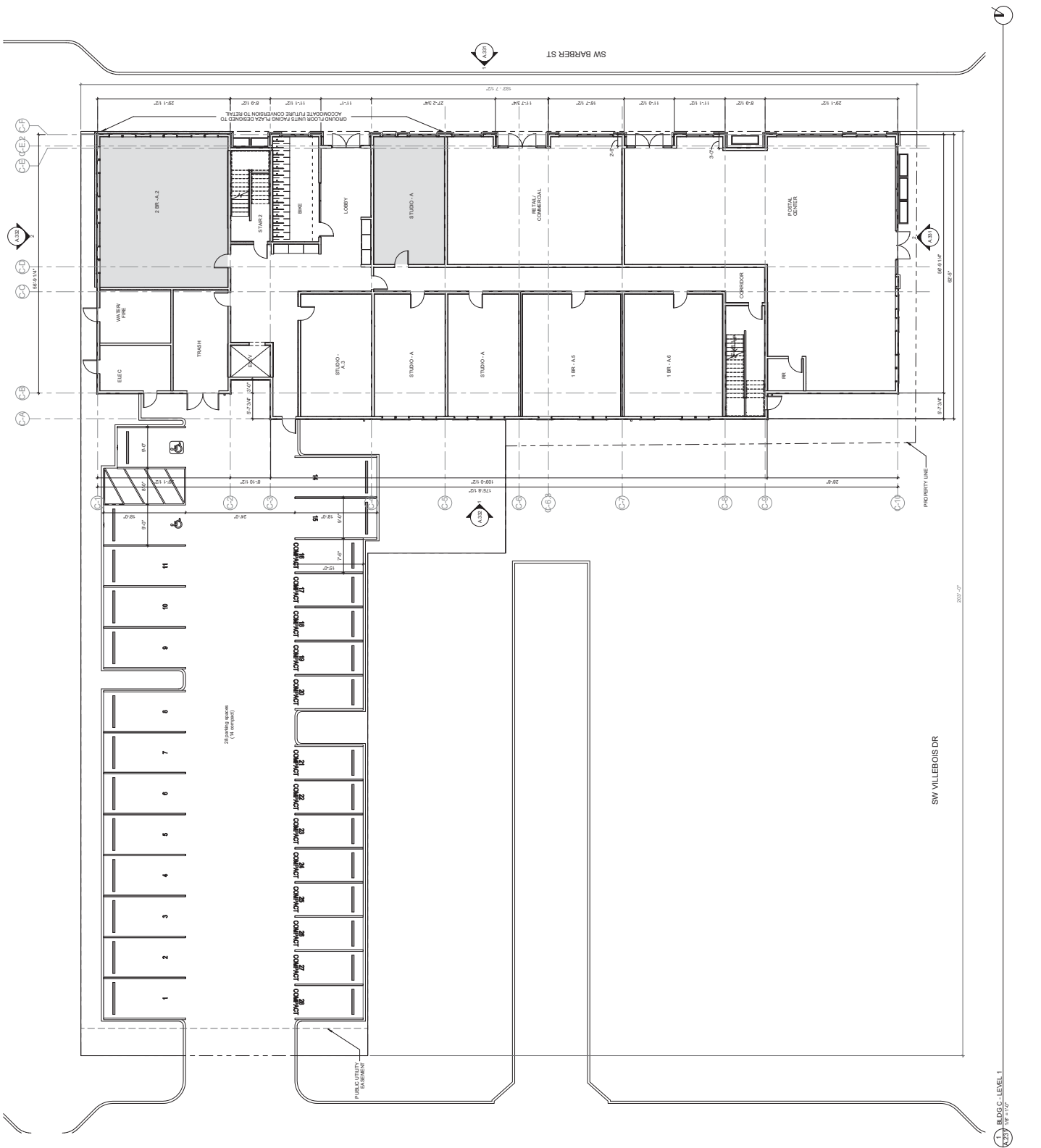
**PRELIMINARY
 FOR CONSTRUCTION**

SHEET TITLE:
BUILDING C LEVEL 1 PLAN

SHEET NO.:

A.231

LAND USE REVIEW



2/1/2021 4:46:13 PM
 C:\RH\1\10818115_Villebois_Schedule.rvt



MEMORANDUM

DATE: June 8, 2021

TO: Khoi Le, P.E. | City of Wilsonville

FROM: Scott Mansur, P.E., PTOE | DKS Associates
 Jenna Bogert, P.E. | DKS Associates



SUBJECT: Villebois SAP Central PDP1C Lot 12 – Transportation Evaluation P18197-012

This memorandum documents trip generation estimates and a site plan review for the proposed development on Villebois SAP Central PDP1C Lot 12. In 2018, this site was approved for 3 rowhomes with one rowhome containing 711 square-feet of commercial/office space on the ground floor. However, the developer recently proposed that the site instead be developed into a 24-stall parking lot. This memorandum contains the estimated trip generation at the 24-stall parking lot during the p.m. peak hour and an evaluation of the site plan.

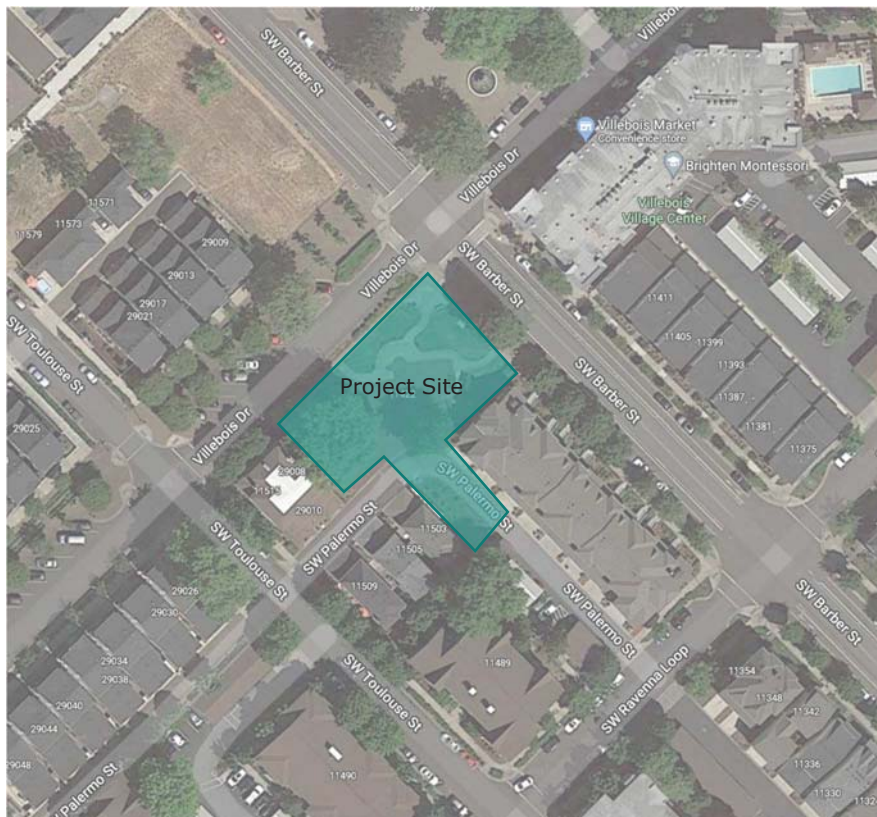


FIGURE 1: STUDY AREA

TRIP GENERATION

The estimated trips in and out of the proposed 24-stall parking lot is shown in Table 1. Typically, trip generation estimates are based on trip generation rates from the most current version of the Institute of Transportation Engineers (ITE) Trip Generation Manual. However, the ITE Trip Generation Manual, 10th Edition does not contain land uses that match the proposed parking lot. This is because constructing parking stalls alone will not necessarily generate trips, however, it will allow for more convenient parking to adjacent land uses and could encourage some increased trip activity for the retail, residential, plaza and park uses. The estimated trip generation shown below quantifies the vehicles in and out of the new parking stalls, but all trips are assumed to be existing trips.

For this analysis, we have assumed a rate of 0.7 vehicle trips per parking stall during the p.m. peak hour and a directional vehicle distribution of 60% in and 40% out. The proposed trip rate assumes that 70% of the parking stalls will turnover during the peak hour, which is based on engineering judgement. It is assumed that this parking lot will serve as overflow parking for the adjacent townhomes and retail land uses in the vicinity of the site.

TABLE 1: VEHICLE TRIPS FOR PARKING STALLS

LAND USE	TRIP RATE	SIZE ^a	PM PEAK HOUR TRIPS		
			IN	OUT	TOTAL
PARKING LOT	0.7 trips/stall	24 stalls	10	7	17

As shown in the table above, the number of estimated trips generated by this parking lot is 17 (10 in, 7 out) p.m. peak hour trips.

Because all of the trips are assumed to be existing trips, there are no new p.m. peak hour trips that are expected to travel through the two I-5 interchanges in Wilsonville.

SITE PLAN REVIEW

The applicant's preliminary site plan was provided by the project sponsor and is attached to this memo. It was reviewed to evaluate site access and safety for vehicles and pedestrians.

Access to the parking lot is provided from an alley called SW Palermo Street. The parking lot access is approximately 24 feet wide and located just southwest of the curve on SW Palermo Street. Based on a field visit and the observed vehicle speeds in the alley, preliminary sight distance was found to be sufficient for the proposed access and is not anticipated to be a safety issue for vehicles entering and exiting the parking lot.

Within the parking lot, the aisle width is approximately 24 feet wide and is a sufficient width to allow two-way travel and backing/turning maneuvers in and out of parking stalls.

The site plan shows sidewalks on the north side of the parking lot adjacent to Villebois Drive, which connect pedestrians to existing sidewalk on SW Barber Street and SW Villebois Drive. It is recommended to build a pedestrian connection south of the parking lot to connect SW Palermo Street to SW Barber Street. This pedestrian connection is important since it connects to key pedestrian generators such as The Piazza at Villebois to the north of the site.

SUMMARY

Key findings for the proposed Villebois Village SAP Central PDP1C Lot 12 development of a 24-stall parking lot in Wilsonville, Oregon are as follows:

- The proposed 24-stall parking lot is estimated to experience 17 (10 in, 47out) p.m. peak hour trips in and out of the project site. All of the trips in and out of the parking lot are considered existing trips because constructing parking stalls will not generate new trips, however, it will allow for more convenient parking to adjacent land uses and could encourage some increased activity for the retail uses
- There are no safety issues identified for vehicles entering or exiting the parking lot. The drive aisle width is sufficient for two-way travel and turning/backing maneuvers in and out of parking stalls.
- It is recommended to include a pedestrian connection south of the parking lot to connect SW Palermo Street to SW Barber Street. This pedestrian connection is especially significant since it connects to key pedestrian generators such as The Piazza at Villebois to the north of the site.

Please let us know if you have any questions.

Attachments:

- Preliminary Site Plan



C2K ARCHITECTURE



PLANNING & DESIGN ASSOCIATES
1284 SW Main Street, Portland, OR
97223
111-505-9414

REVISIONS
DATE DESCRIPTION

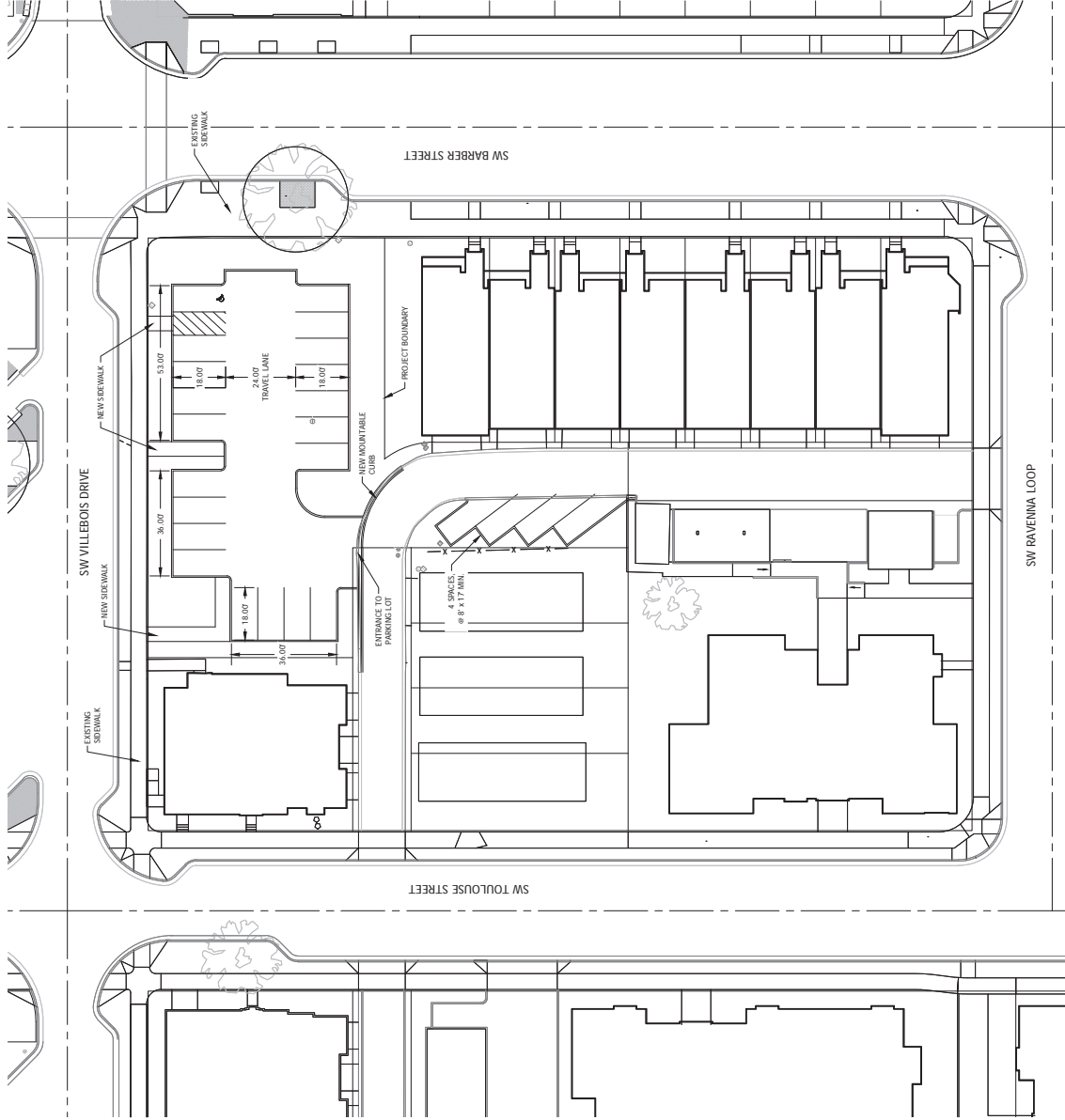
PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
CIRCULATION
PLAN

PL Submission Date: 02/19/2017

6



SCALE
0' 10' 20'
1 INCH = 20 FEET

ELEVATION DATUM: NAVD 88



C2K
ARCHITECTURE



PLANNING & COMMUNITY DESIGN
1284 SW Main Street, Portland, OR
97223
(503) 241-1484

REVISIONS:
DATE DESCRIPTION

PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

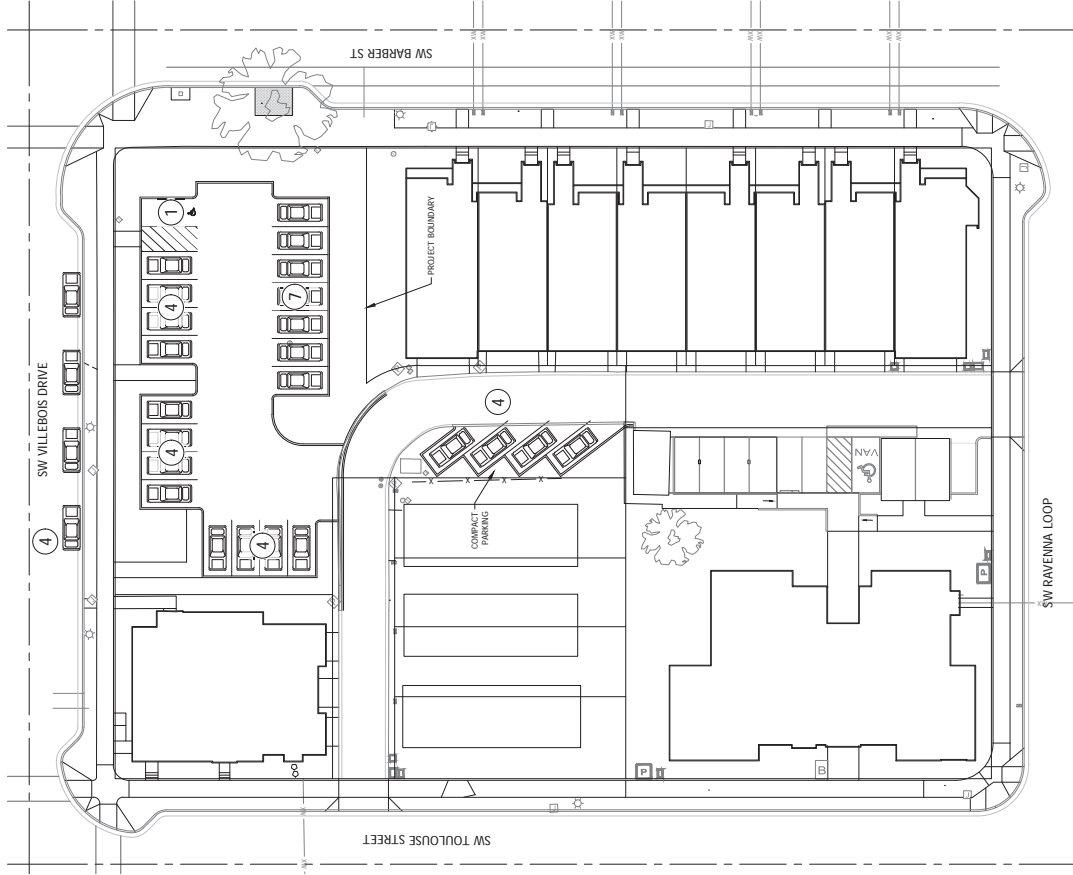
PRELIMINARY
PARKING
PLAN

PL Submission Date: 02/19/2021

7

LEGEND

- PROPOSED RIGHT-OF-WAY
- - - EXISTING RIGHT-OF-WAY
- ==== PROPOSED CURB AND GUTTER
- ==== PROPOSED PROPERTY LINE
- ==== EXISTING PROPERTY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PARKING SPACE



ELEVATION DATUM: NAVD 88



MEMORANDUM

DATE: May 16, 2021

TO: Cindy Luxhoj, AICP
Khoi Le, PE
City of Wilsonville

FROM: Stacy Connery, AICP
Maureen Jackson, AICP

Project Name: Villebois Village Center Mixed Use

Re: Traffic Impact Analysis
(DB21-0008, DB21-0010 thru DB21-0013; DB21-0014 thru DB21-0016;
DB21-0022 thru DB21-0024)

Included in submittal is a copy of the Transportation Study prepare by DKS dated May 3, 2019.

The applicant has authorized the Scope of Work for DKS to prepare a Traffic Impact Study for the revised Villebois Village Center mixed-use development proposal that includes a parking lot on Lot 12 in PDP 1C and modified building designs that provide potential conversion of Level 1 residential units that face onto The Piazza into commercial/ retail space. The Introductory Narrative provided in Section IA of this submittal has been revised to include vehicle parking calculations for the entire mixed-use development and future retail conversion.

Thank you.



117 Commercial Street NE
Suite 310
Salem, OR 97301
503.391.8773
www.dksassociates.com

MEMORANDUM

DATE: May 3, 2019
TO: Steve Adams, P.E., City of Wilsonville
FROM: Scott Mansur, P.E., PTOE
Jenna Hills, EI



SUBJECT: Villebois SAP Central (Village Center) Transportation Study

P18005-008

This memorandum evaluates trip generation for the updated Villebois Specific Area Plan (SAP) Central with emphasis on the Village Center (PDP1 and PDP2). The review is based on a site plan provided by the project sponsor.¹

The project sponsor has indicated that a portion of the proposed Village Center development will consist of three apartment buildings. These three buildings will consist of 145 apartment units, common areas (27,344 square feet), retail space (3,668 square feet), and rental storage space (596 square feet). The purpose of this memorandum is to compare the proposed land use development of Villebois Village Center to previously analyzed SAP Central land use numbers and evaluate the site plan impacts.

SAP Central Residential Land Use/Trip Generation

The most recent (August 2016) trip generation performed for Villebois SAP Central assumed that SAP Central would include 75 single family units, 500 condo/townhome units, and 365 apartment units for a total of 940 residential units². The current SAP Central proposal includes 8 single-family units, 618 condo/townhome units, and 365 apartment units for a total of 991 residential units³. Table 1 shows the updated p.m. peak hour trip generation estimates for the land use along with the net change. As shown, the currently planned land uses are estimated to generate four trips less than the estimate from the August 2016 SAP Central approval in the p.m. peak hour.

The Institute of Transportation Engineers (ITE) codes and trip rates used in the table below are based on the 6th Edition of the *ITE Trip Generation Manual*, which was the most recent edition available when the Villebois Village Master Plan was created. These rates were established for Villebois trip generation purposes in the

¹ *Villebois Village Center*, C2K Architecture, January 3, 2019.

² *Villebois – SAP Central PDP 11C Lot 81 Transportation Study Update*, DKS Associates, August 11, 2016.

³ Single family unit count provided by Brad Dillingham, Pacific Design Community, April 4, 2019.



Villebois Urban Village Trip Generation Memorandum. For consistency, these rates will be used despite the release of the 10th Edition of the *ITE Trip Generation Manual*.

Table 1: SAP Central Trip Generation Comparison

Land Use (ITE Code)	Size	Average Trip Generation Rate	Number of New Trips (p.m. peak)		
			In	Out	Total
<i>Basis of Traffic Impact Analysis (August 2016)</i>					
Single Family Units (210)	75 units	1.01 trips/unit (64% in / 36% out)	48	28	76
Condo/Townhome (230)	500 units	0.54 trips/unit (67% in / 33% out)	181	89	270
Apartments (220)	365 units	0.62 trips/unit (67% in / 33% out)	151	75	226
Total Trips			380	192	572
<i>Current Plans (April 2019)</i>					
Single Family Units (210)	8 units	1.01 trips/unit (64% in / 36% out)	5	3	8
Condo/Townhome (230)	618 units	0.54 trips/unit (67% in / 33% out)	224	110	334
Apartments (220)	365 units	0.62 trips/unit (67% in / 33% out)	151	75	226
Total Trips			380	188	568
Net New Trips			0	-4	-4

SAP Central Village Center Trip Generation

SAP Central is broken into multiple Planned Development Phases (PDPs) with the current phase being called the Village Center, which includes PDP 1 and PDP 2. Table 2 shows the estimated trip generation for Village Center based on the currently proposed 145 apartment units. The trip generation rates in Table 1 for Apartments (220) were used. As shown, the 145 apartment units would generate approximately 90 (60 in, 30 out) p.m. peak hour trips.

Table 2: SAP Central Village Center Trip Generation

Land Use (ITE Code)	Size	Average Trip Generation Rate	Number of New Trips (p.m. peak)		
			In	Out	Total
Apartments (220)	145 units	0.62 trips/unit (67% in / 33% out)	60	30	90
Total			60	30	90



Site Plan Review

The applicant's preliminary site plan was provided by the project sponsor and is attached to the appendix.⁴ It was reviewed to evaluate site access and safety for vehicles and pedestrians as well as evaluate parking.

One vehicle access is provided to each building site. Access to the Building A is provided via Campanile Lane, access to Building B is provided via Barber Street, and access to Building C is provided via Toulouse Street. The site plan shows sidewalks fronting all three proposed buildings and on all residential streets, providing safe crossings and connections for pedestrians in the area.

Because this development is located in the Villebois Zone, specific development code requirements are applicable to the site, including required parking minimums⁵. For multifamily dwellings, the following parking minimums apply:

- 1 parking stall per dwelling unit (studio)
- 1 parking stall per dwelling unit (one-bedroom)
- 1.5 parking stalls per dwelling unit (two-bedroom)
- 1.75 parking stalls per dwelling unit (three-bedroom)

The parking requirements per City Code are shown in the table below as well as the proposed parking stalls per the site plan provided. As shown, the minimum required number of parking stalls is 166 stalls. The proposed number of off-street parking stalls provided is 112 total stalls, which is less than the 166-stall minimum requirement. However, according to the Villebois code⁶, the minimum parking requirements may be met by counting on-street parking stalls directly adjoining and on the same side of the street as the subject property. The last column on the table shows the proposed number of on-street parking stalls that meet this criterion, which is a total of 37 stalls. Combined with the off-street parking stalls, the total is at 149 parking stalls for the development, still less than the 166-stall minimum. The Villebois code also allows for up to 25% percent of the required parking to be substituted with bicycle parking. The project sponsor intends to substitute the remaining 17 vehicle parking stalls with bicycle parking stalls in order to meet the vehicle parking stall minimum. It should be noted that the bicycle stalls intended to substitute the vehicle parking stalls must be in addition to the required short-term and long-term bicycle parking requirements.

⁴ Site plan provided in email from Steve Adams, City of Wilsonville, April 2, 2019.

⁵ Table V-2, Section 4.125, City Development Code, City of Wilsonville, 2015.

⁶ Section 4.125.07.B.4.b, City Development Code, City of Wilsonville, 2015.



Table 3: Vehicle Parking

Building	Units	Type	Rate (Stall/Unit)	Vehicle Parking Stall Minimum	Proposed Off-Street Vehicle Parking Stalls	Proposed On-Street Vehicle Parking Stalls
A	15	Studio	1.0	15	47 <i>(includes two ADA stalls)</i>	11
	13	1BD	1.0	13		
	3	2BD	1.5	5		
	9	3BD	1.75	16		
Subtotal (Building A)				49		
B	11	Studio	1.0	11	37 <i>(includes two ADA stalls)</i>	12
	30	1BD	1.0	30		
	11	2BD	1.5	17		
	2	3BD	1.75	4		
Subtotal (Building B)				62		
C	15	Studio	1.0	15	28 <i>(includes two ADA stalls)</i>	14
	29	1BD	1.0	29		
	7	2BD	1.5	11		
Subtotal (Building C)				55		
Total				166	112	37

Summary

Key findings for the proposed Villebois Urban Village SAP Central Village Center development of 145 apartment units in Wilsonville, Oregon are as follows:

- The current development levels estimated for SAP Central will result in a total of four less trips in the p.m. peak hour project trips when compared with the previously approved trip generation estimates from August 2016.
- The proposed development of 145 apartment units are estimated to generate 90 (60 in, 30 out) new p.m. peak hour trips.
- The proposed parking meets the parking minimum requirements as described in the City Code.

Please let us know if you have any questions.

Tree Report for Lot 73



MHA19002 VVC Building C - Tree Data 3-12-19 Rev. 4-3-19
Page 1 of 1

Tree No.	Common Name	Species Name	DBH*	C-Rad [^]	Cond [#]	Condition & Comments	Treatment
460	London planetree	<i>Platanus x acerifolia</i>	18	18	M	Dead and broken branches	Remove
467	Red maple	<i>Acer rubrum</i>	20	16	M	Dead and broken branches, crown decay, surface roots	Remove
474	London planetree	<i>Platanus x acerifolia</i>	26	22	M	In landscape island surrounded by existing pavers to remain	Protect
475	White oak	<i>Quercus alba</i>	25	16	P	Dead and broken branches, crown decay, top dieback	Remove
481	Austrian pine	<i>Pinus nigra</i>	15	15	G	Codominant leaders, sequoia pitch moth	Remove
482	Austrian pine	<i>Pinus nigra</i>	19	20	G	Codominant leaders, sequoia pitch moth	Remove
482.2	spruce	<i>Picea spp.</i>	9	9	G	One-sided crown due to close spacing with #482	Remove
482.3	flowering pear	<i>Pyrus calleryana</i>	4	6	G	Surrounded by existing pavers to remain, minor lean	Protect
482.4	flowering pear	<i>Pyrus calleryana</i>	4	5	G	Surrounded by existing pavers to remain	Protect
482.5	flowering pear	<i>Pyrus calleryana</i>	4	5	G	Surrounded by existing pavers to remain, minor lean	Protect
482.6	flowering pear	<i>Pyrus calleryana</i>	3	5	G	Surrounded by existing pavers to remain	Protect
482.7	flowering pear	<i>Pyrus calleryana</i>	4	6	M	Surrounded by existing pavers to remain, excessive lean	Protect
482.8	flowering pear	<i>Pyrus calleryana</i>	4	6	G	Surrounded by existing pavers to remain	Protect
482.9	flowering pear	<i>Pyrus calleryana</i>	5	7	G	Surrounded by existing pavers to remain	Protect

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

[^]C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

[#]Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

Morgan Holen & Associates, LLC

Consulting Arborists and Urban Forest Management

3 Monroe Parkway, Suite P220, Lake Oswego, Oregon 97035

morgan.holen@comcast.net | 971-409-9354



Tree Report for Lot 76

MHA19002 VVC Buildings A and B - Tree Data 3-12-19 Rev. 4-3-19
Page 1 of 2

Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
302	Pin oak	<i>Quercus palustris</i>	25	25	I	Codominant leaders, needs crown pruning	Protect
303	Pin oak	<i>Quercus palustris</i>	22	20	G		Remove
308	Red oak	<i>Quercus rubra</i>	24	26	G	Few dead branches, mistletoe, needs crown pruning	Protect
450	Pin oak	<i>Quercus palustris</i>	28	30	I	Blackberries surrounding trunk limited assessment	Remove
581	Scarlet oak	<i>Quercus coccinea</i>	21	34	P	Very poor structure, crown partially crushed by failed codominant leader of #582	Remove
582	Scarlet oak	<i>Quercus coccinea</i>	34	40	P	Failed codominant leaders, large wound with crack in juncture of remaining leaders, hazardous - high risk	Remove
308.1	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.2	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.3	flowering pear	<i>Pyrus calleryana</i>	5	8	M	Surrounded by existing pavers to remain, one-sided crown to east with lean in direction of crown weight	Protect
308.4	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.5	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.6	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
450.1	zelkova	<i>Zelkova serrata</i>	5	4	G	Surrounded by existing pavers to remain	Protect
450.2	zelkova	<i>Zelkova serrata</i>	5	5	G	Surrounded by existing pavers to remain	Protect
450.3	zelkova	<i>Zelkova serrata</i>	2	2	G	Surrounded by existing pavers to remain	Protect
450.4	zelkova	<i>Zelkova serrata</i>	5	4	G	Surrounded by existing pavers to remain	Protect
450.5	zelkova	<i>Zelkova serrata</i>	5	4	G	Surrounded by existing pavers to remain	Protect
450.6	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.7	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect

Morgan Holen & Associates, LLC

Consulting Arborists and Urban Forest Management
3 Monroe Parkway, Suite P220, Lake Oswego, Oregon 97035
morgan.holen@comcast.net | 971-409-9354



Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
450.8	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.9	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.10	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.11	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

^C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

#Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

**Villebois Village Center PDP 1C (Lot 12) Parking Lot – Wilsonville, Oregon
Tree Maintenance and Protection Plan
February 23, 2021**

MHA21006

Purpose

This Tree Maintenance and Protection Plan for the Villebois Village Center PDP 1C (Lot 12) Parking Lot project located in Wilsonville, Oregon, is provided pursuant to City of Wilsonville Development Code, Section 4.610.40. This arborist report describes the existing trees located on the project site, as well as recommendations for tree removal, retention, mitigation, and protection. This report is based on observations made by International Society of Arboriculture Board Certified Master Arborist (PN-6145B) and Qualified Tree Risk Assessor Morgan Holen during a site visit conducted on February 23, 2021 and subsequent coordination with Pacific Community Design.

Scope of Work and Limitations

Morgan Holen & Associates, LLC, was contracted by Costa Pacific Communities to visually assess existing trees located on and directly adjacent to the project site measuring six-inches in diameter and larger in terms of general condition and suitability for preservation with development, and prepare a tree maintenance and protection plan for the project. A site plan was provided by Pacific Community Design illustrating the location of trees and tree survey point numbers, and potential construction impacts.

Visual Tree Assessment (VTA¹) was performed on individual trees located across the site. Trees were evaluated in terms species, size, general condition, and potential construction impacts, and treatment recommendations include retain or remove. Following the inventory fieldwork, we coordinated with Pacific Community Design to discuss and finalize treatment recommendations based on the proposed site plan and grading.

The client may choose to accept or disregard the recommendations contained herein or seek additional advice. Neither this author nor Morgan Holen & Associates, LLC, have assumed any responsibility for liability associated with the trees on or adjacent to this site.

Tree Plan

The project proposes a new parking lot on an undeveloped lot southwest of the intersection between SW Barber Street and SW Villebois Drive. A new six-foot tall vine support fence is planned around the perimeter of the site. There are four existing trees measuring at least six-inches in diameter located on and directly adjacent to the proposed development. A complete description of the individual trees is provided in Table 1 below. Two deodar cedar (*Cedrus deodara*) trees smaller than six-inches diameter are also located on the site, but are not included in the inventory.

Tree 323 is located in the right-of-way adjacent to the project and was well protected during street construction which we monitored years ago. It is within a tree well and an existing sidewalk separates this tree from the proposed development. This tree is planned for protection and a lineal section of tree protection fencing is recommended between the existing sidewalk and the existing underground PGE vault at the limits of proposed work to provide a physical barrier to the trunk during construction.

¹ Visual Tree Assessment (VTA): The standard process of visual tree inspection whereby the inspector visually assesses the tree from a distance and up close, looking for defect symptoms and evaluating overall condition and vitality.

Tree 326 was previously protected during adjacent sidewalk construction and during the time the sales office was located on the lot. This tree is now planned for removal with the proposed parking lot construction. The existing sidewalk will be demolished adjacent to the tree and a bioretention swale is proposed in the general vicinity of the tree; grading in the critical root zone necessitates its removal.

Tree 333 was also well protected during previous site development on the adjacent lot. This tree suffered severe storm damage during the 2021 President’s Day weekend ice storm including the loss of two very large scaffold branches and numerous broken leaders and other smaller branches. It was classified as Important in the original Villebois tree inventory, but is now Moderate at best and with poor structure. Tree 333 is now planned for removal because it is located in the proposed parking lot and will be directly impacted by construction.

Tree 901 was not included in previous inventories for this site, but it has grown to six-inches in diameter and was assessed. It is a small street tree in a tree well located near the intersection. It is essentially unaffected by the proposed site development, but the protection fencing for tree 323 will extend to the intersection to create a physical barrier for tree 901 as well.

Table 1. Tree Inventory 02/23/2021 – Villebois Village Center PDP 1C (Lot 12) Parking Lot.

Tree No.	Common Name	Species Name	DBH ¹	C-Rad ²	Cond ³	Str ⁴	Condition & Comments	Treatment
323	pin oak	<i>Quercus palustris</i>	23	22	G	G	Minor storm damage; broken branches should be pruned	Retain
326	red maple	<i>Acer rubrum</i>	19.5	20	G	M	Codominant leaders, broken branches from storm damage, hollow with trunk decay at old branch wound on east face at ~6’ with poor woundwood development, expansive surface roots	Remove
333	scarlet oak	<i>Quercus coccinea</i>	30	26	M	P	Multiple leaders, extensive storm damage including the loss of two very large scaffold branches and numerous broken leaders and smaller branches	Remove
901	zelkova	<i>Zelkova serrata</i>	6	9	P	P	Decay column in trunk, broken branches from storm damage	Retain

¹DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

²C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

³Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

⁴Structure Rating: G-Good; M-Moderate; P-Poor.

Mitigation Requirements

All 4 inventoried trees are 6-inches or larger in diameter, including two trees planned for retention with protection during construction and two trees planned for removal. Tree removal requires mitigation per Section 4.620.00; removed trees shall be replaced on a basis of one tree planted for each tree removed. Therefore, two trees measuring at least 2-inch in diameter shall be planted as mitigation for tree removal.

Tree Protection Standards

The following tree protection specifications should be copied onto the tree preservation plan drawing prepared by Pacific Community Design. Tree protection measures include:

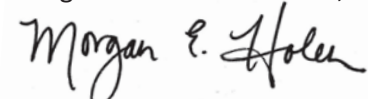
1. **Protection Fencing.** Trees to remain shall be protected by installation of tree protection fencing to prevent injury to tree trunks or roots. Fencing shall be 6-foot-high steel on concrete blocks and installed as illustrated on the tree plan drawing prior to any construction activity.
2. **Tree Protection Zone.** Without authorization from the Project Arborist, none of the following shall occur within the tree protection zone:
 - a. Grade change or cut and fill;
 - b. New impervious surfaces;
 - c. Utility or drainage field placement;
 - d. Staging or storage of materials and equipment; or
 - e. Vehicle maneuvering.

Tree protection zones may be entered for tasks like surveying, measuring, and sampling. Fences must be closed upon completion of these tasks.

3. **Pruning.** Pruning may be needed to remove storm damaged branches for worker safety prior to construction. However, it is likely that this work may be performed by the Homeowners Association prior to construction. Tree removal and pruning shall be performed by a Qualified Tree Service.
4. **Excavation.** Roots are not likely to be encountered where minimal excavation is required for the parking lot on the east side of the lot. If tree roots are encountered, roots smaller than 2-inches in diameter shall be pruned clean to sound wood using a sharp saw at the limits of excavation as digging progresses to avoid pulling and tearing roots. Excavation immediately adjacent to roots 2-inches in diameter and larger shall be by hand or other non-invasive techniques to ensure that roots are not damaged. Where feasible, major roots shall be protected by tunneling or other means to avoid destruction or damage. Coordinate with the project arborist prior to pruning roots 2-inches in diameter and larger to assess and document potential root impacts and provide on-the-ground tree protection recommendations to the contractor.
5. **Permanent Fence Construction.** Tree protection fencing may be removed as the new permanent vine support fence is installed. Post holes shall be dug by hand and with hand tools beneath the dripline of protected tree 323. Adjust post holes to avoid impacts if tree roots 2-inches in diameter and larger are encountered. Do not stockpile fencing materials or equipment in the tree well or against the tree trunk.

Thank you for choosing Morgan Holen & Associates, LLC, to provide consulting arborist services for the Yorkshire project. Please contact us if you have questions or need any additional information.

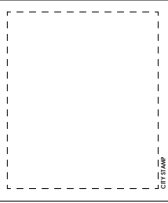
Thank you,
Morgan Holen & Associates, LLC



Morgan E. Holen, Member
ISA Board Certified Master Arborist, PN-6145B
ISA Tree Risk Assessment Qualified
Forest Biologist

VILLEBOIS VILLAGE CENTER APARTMENTS - LOT 76, BUILDINGS A & B

WILSONVILLE, OR
RESIDENTIAL MIXED-USE DEVELOPMENT



VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST
WILSONVILLE, OR

INSTRUCTIONS: 10/15/21
DRAWN BY: AUSTIN
DATE: 14 MAY 2021
LAND USE REVIEW

REVISION: DISCRIPTION

THIS DRAWING IS THE PROPERTY OF C2K ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF C2K ARCHITECTURE IS STRICTLY PROHIBITED. THE CLIENT ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR THE RESULTS OF ANY ANALYSIS OR DESIGN BASED ON THIS INFORMATION. C2K ARCHITECTURE DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT OR THE RESULTS OF ANY ANALYSIS OR DESIGN BASED ON THIS INFORMATION.

PREPARED BY: C2K ARCHITECTURE
FOR CONTRACT NO. 19-0000000000

SHEET TITLE:
COVER SHEET - BLDG A & B

SHEET NO.:
A.001

LAND USE REVIEW



BUILDING A



BUILDING B

PROJECT DIRECTORY

OWNER:
COSTA PACIFIC COMMUNITIES
1445 NW HOYT
PORTLAND, OR 97209
CONTACT: JEFF ANDERSON

ARCHITECT

C2K ARCHITECTURE, INC.
1445 NW HOYT
PORTLAND, OR 97209
P: 503.441.2300
CONTACT: JOHN WRIGHT

CIVIL LANDSCAPE

PACIFIC COMMUNITY DESIGN
12504 S WAPATANI STREET
TIGARD, OR 97146
CONTACT: BRAD CONNERY

BUILDING A AND B OVERVIEW

THIS DRAWING PROVIDES AN OVERVIEW OF THE PROJECT AND THE COMMUNITY VACANT LOT 76, WHICH IS SITUATED ON THE CORNER OF SW BARBER ST AND SW WILSONVILLE AVENUE. THE PROJECT IS A MIXED-USE DEVELOPMENT THAT INCLUDES RESIDENTIAL APARTMENTS, COMMERCIAL SPACE, AND A PARKING GARAGE. THE TOTAL BUILDING AREA IS APPROXIMATELY 1,000,000 SF.

BUILDING A IS LOCATED ON THE NORTHEAST CORNER OF LOT 76. IT IS A 10-STORY BUILDING WITH A TOTAL FLOOR AREA OF APPROXIMATELY 500,000 SF. BUILDING B IS LOCATED ON THE SOUTHWEST CORNER OF LOT 76. IT IS A 10-STORY BUILDING WITH A TOTAL FLOOR AREA OF APPROXIMATELY 500,000 SF.

BUILDING A AND B SUMMARY

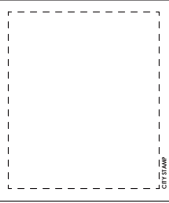
Item	Quantity	Unit	Notes
Concrete	100,000	cu yd	
Rebar	10,000	lbs	
Formwork	10,000	sq ft	
Steel Decking	10,000	sq ft	
Insulation	10,000	sq ft	
Windows	10,000	sq ft	
Doors	10,000	sq ft	
Roofing	10,000	sq ft	
Interior Finishes	10,000	sq ft	
MEP Equipment	10,000	sq ft	
Site Work	10,000	sq ft	
Landscaping	10,000	sq ft	
Construction Labor	10,000	hrs	
Permit Fees	10,000	sq ft	
Professional Fees	10,000	sq ft	
Contingency	10,000	sq ft	
Total	100,000	sq ft	

DRAWING INDEX - BLDG A & B

Sheet No.	Sheet Title
A.001	COVER SHEET - BLDG A & B
A.002	GENERAL NOTES - BLDG A & B
A.003	FOUNDATION PLAN - BLDG A & B
A.004	FLOOR PLAN - BLDG A & B
A.005	SECTION - BLDG A & B
A.006	MEP PLAN - BLDG A & B
A.007	LANDSCAPE PLAN - BLDG A & B
A.008	CONTRACT DOCUMENTS - BLDG A & B
A.009	PERMIT APPLICATION - BLDG A & B
A.010	CONSTRUCTION PHASE - BLDG A & B

VICINITY MAP





**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN BY: A/PT/ST
 DATE: 14 MAY 2023
 REVISION: LAND USE REVIEW
 REVISION: DISCUSSION

THIS DOCUMENT IS THE PROPERTY OF C2K ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF C2K ARCHITECTURE IS STRICTLY PROHIBITED. THE CLIENT ASSUMES ALL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CLIENT ALSO ASSUMES ALL LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT. THE CLIENT'S USE OF THIS DOCUMENT IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF C2K ARCHITECTURE IS STRICTLY PROHIBITED.

FOR CONSTRUCTION
 PERMITTING ONLY

SHEET FILE:
MATERIALS BOARD - BDG A & B

SHEET NO.:
A.121

LAND USE REVIEW

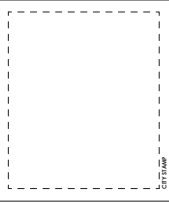


BUILDING B



BUILDING A

<p>BRICK VENEER: COAL CREEK (MUTUAL MATERIALS)</p>		<p>FIBER CEMENT REVEAL PANEL: CAVIAR (SW 8898)</p>		<p>FIBER CEMENT REVEAL PANEL: IRON ORE (SW 7069)</p>	
<p>BRICK VENEER: ASPEN (MUTUAL MATERIALS)</p>		<p>FIBER CEMENT LAP SIDING AND REVEAL PANEL: SUNFLOWER ORANGE (SW 6878)</p>		<p>FIBER CEMENT REVEAL PANEL: WHITE (SW 7006)</p>	
<p>FIBER CEMENT LAP SIDING: DRIFT OF MIST (SW 8166)</p>		<p>FIBER CEMENT REVEAL PANEL: GAUNTLET GRAY (SW 7019)</p>		<p>FIBER CEMENT LAP SIDING: PEPPERCORN (SW 7674)</p>	



**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN BY: AUP/ST
 DATE: 14 MAY 2021
 LAYOUTS REVIEWED:
 REVISION: DISCUSSION

THIS DOCUMENT IS THE PROPERTY OF C2K ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED IN THE TITLE. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF C2K ARCHITECTURE IS STRICTLY PROHIBITED. THE USER OF THIS DOCUMENT AGREES TO HOLD C2K ARCHITECTURE HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST C2K ARCHITECTURE AS A RESULT OF THE USER'S USE OF THIS DOCUMENT. THE USER OF THIS DOCUMENT AGREES TO HOLD C2K ARCHITECTURE HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST C2K ARCHITECTURE AS A RESULT OF THE USER'S USE OF THIS DOCUMENT.

FOR CONTRACTOR
 PERMITS ONLY

SHEET TITLE:
MATERIALS BOARD - BLDG C

SHEET NO.:
A.122

LAND USE REVIEW

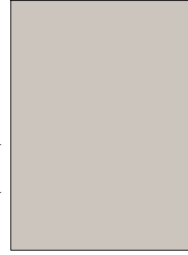


BUILDING C

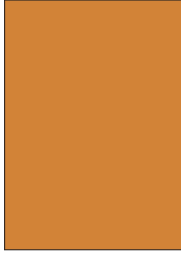
BRICK VENEER:
 MUJANA LOA (MUTUAL MATERIALS)



FIBER CEMENT BOARD AND BATTEN PANEL:
 ALPACA (SW 7022)



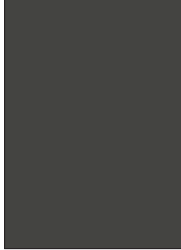
FIBER CEMENT RESINAL PANEL:
 MARIQUOLD ORANGE (SW 6864)



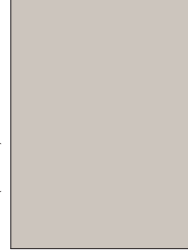
FIBER CEMENT LAP SIDING:
 ROCK BOTTOM (SW 7082)



FLASHING / BAND / TRIM:
 IRON ORE (SW 7089)



FIBER CEMENT LAP SIDING:
 ALPACA (SW 7022)



SUPPORTING COMPLIANCE REPORT
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
VILLEBOIS VILLAGE CENTER APARTMENTS
BUILDING 'C' ON LOT 73
FINAL DEVELOPMENT PLAN 2 - CENTRAL

SECTION VA

Table of Contents

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.125. VILLAGE (V) ZONE	2
	GENERAL DEVELOPMENT REGULATIONS	9
	SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION	9
	SECTION 4.156. SIGN REGULATIONS	11
	SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING	11
	SECTION 4.177. STREET IMPROVEMENT STANDARDS	19
	SECTION 4.179. MIXED SOLID WASTE AND RECYCLING	20
	SECTION 4.199.40 OUTDOOR LIGHTING. LIGHTING SYSTEMS STANDARDS FOR APPROVAL	21
	SECTION 4.320. UNDERGROUND UTILITIES. REQUIREMENTS	22
	SECTION 4.400. SITE DESIGN REVIEW	23
	SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.	26
	SECTION 4.430. LOCATION, DESIGN AND ACCESS STANDARDS FOR MIXED SOLID WASTE AND RECYCLING AREAS	28
	SECTION 4.440. PROCEDURE.	31
	SECTION 4.450. INSTALLATION OF LANDSCAPING.	32
II.	COMMUNITY ELEMENTS BOOK	34
III.	VILLAGE CENTER ARCHITECTURAL STANDARDS	35
IV.	CONCLUSION	47

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125. VILLAGE (V) ZONE

(.02) Permitted Uses

Examples of principle uses that typically permitted:

- E. Multi-Family Dwellings
- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owner’s association.
- I. Commercial uses within the Village Center, subject to the standards of (.06) Standards Applying to Commercial Uses and similar to the following:

Table V-1 Development Standards

Building Type	Min. Size (sq.ft.)	Lot Min. Width (ft.)	Lot Min. Depth (ft.)	Lot Max. Coverage (note)	Lot Min. Width (%age) ^{10,11}	Frontage Max. Height ² (ft.)	Setbacks ^{10, 13, 20}				Alley-Loaded Garage (note)	Street-Loaded Garage (note)
							Front (ft.)	Min. Front (ft.)	Max. Rear (ft.)	Side Min. (ft.)		
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	¹	90	60	NR ³	5	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	²	80	60	NR ³	15	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	¹	90	60	NR ³	8	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	¹	80	45	5 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	¹	80	45	5 ⁴	10	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	¹	60	45	NR	15	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	¹	60	45	NR	15	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	¹	60	45	8 ⁴	15	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	¹	80	45	8 ⁵	15	NR	NR	NR	NA
Duplexes	4,000	45	70	²	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17,18
Single-Family Dwellings	2,250	35	50	⁴	60 ¹⁹	35	12 ^{5,b}	20 ^b	5	5 ¹⁵	7	8,17

Notes: NR No Requirement
 NA Not Allowed

- 1 Lot < 8000sf: NR; Lot >8000sf: 80% (Max. Lot Coverage)
- 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
- 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
- 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
- 5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
- 6 For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
- 7 The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
- 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main façade of the associated dwelling unit.
- 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
- 10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
- 11 Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
- 12 See Definitions, 4.125.01, for measurement of Minimum Frontage Width.
- 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
- 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.
- 15 On Estate Lots and Large Lots with frontage 70 ft. or wider, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.
- 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
- 17 Dwellings on lots without alley access shall be at least 36 feet wide.
- 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
- 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.

Response: The subject site meets applicable requirements, as addressed below. The subject site is proposed to be developed as a mixed-use site with retail/commercial space and a community mail center on the ground floor. The proposed building is considered a Mixed-Use Building in the Development Standards. Mixed Use is required by the Villebois Village Master Plan as a centerpiece for the community.

The design incorporates unique, attractive architecture and uses that will activate the Village Center, bringing variety to Central Villebois and optimizing the pedestrian opportunities. Table V-1 does not indicate a minimum lot size, width or depth for Mixed Use Buildings in the Village Center. The proposed building complies with the minimum frontage width standard and the applicable setback and height requirements.

(.07) General Regulations - Off-Street Parking, Loading & Bicycle Parking

Response: In its entirety, the proposed Villebois Village mixed-use development provides 183 vehicle parking spaces, exceeding the 167-space parking requirement before the allowed reductions for excess bicycle and motorcycle parking. With the allowed reductions the development is required to provide 149 spaces. The 183 parking spaces provided, 138 off-street and 45 on-street, more than adequately serves residents, employees, and visitors of the development. Parking calculations and details for the entire development are provided in the Introductory Narrative located in Section IA.

This PDP addresses requirements for Building ‘C’ individually, however Building ‘C’ is part of a larger development that includes Buildings ‘A’ and ‘B’ located on Lot 76 and a parking lot on Lot 12. Building ‘C’ provides 43 of the 49-parking space requirement when viewed individually; however, the parking lot proposed on Lot 12, across Villebois Drive from Building ‘C’, provides an additional 24 off-street parking spaces and is easily accessible from Building ‘C’. Therefore, parking available to Building ‘C’ exceeds the required amounts. Parking requirements and parking provided for Building ‘C’ are detailed below:

The proposed mixed-use building will have a rear-located parking lot. The four-story building is proposed to have 49 multi-family residential units (16 studio residential units, 26 one-bedroom units, 7 two-bedroom units), and 1,129 square feet of retail. According to Section 4.125 Table V-2 the proposed building is required to provide 55 off-street vehicle parking spaces as calculated below:

Off-Street Parking according to Section 4.125 Table V-2:

Multi-family Dwellings		
16 Studio Units at 1.0 space/ unit	=	16 spaces
26 1-Bed Units at 1.0 space/ unit	=	26 spaces
7 2-Bed Units at 1.5 spaces/ unit	=	11 spaces
Retail/ Commercial		
1,129 sf. at 2.0 Spaces/ 1,000 sf	=	2 spaces
Vehicle Parking Requirements	=	55 spaces
Total Vehicle Parking Requirement	=	55 spaces

Forty percent, or 22 spaces, of the required off-street parking spaces are permitted to be compact spaces according to Section 4.155.(2.)N. Section 4.125(.07)B.4.b states “Bicycle parking may substitute for up to 25% of required Mixed-Use or Multi-Family

Residential parking. For every five non-required bicycle parking spaces that meet the short or long-term bicycle parking standards, the motor vehicle parking requirement for compact spaces may be reduced by one space.” The applicant is providing 50 bicycle parking spaces in excess of the requirement within Building ‘C’ (see calculation in following section) to offset the number of compact vehicle parking spaces permitted up to 25%, or 6 spaces.

With the reduction of 6-spaces allowed for excess bicycle parking the proposed mixed-use building on Lot 73 is required to provide 49 off-street vehicle parking spaces:

Vehicle Parking Requirements per Section 4.125 Table V-2		55 spaces
Vehicle Parking Off-set Allowed		-6 spaces
Total Vehicle Parking Spaces Required	=	49 spaces

The parking area located behind Building ‘C’ provides 28 off-street parking spaces as detailed in the following table:

Off-Street Vehicle Parking Provided:

Parking Provided with Building ‘C’ on Lot 73		
Standard Spaces	=	13 spaces
Compact Spaces	=	13 spaces
ADA Spaces	=	2 spaces
Off-Street Vehicle Parking Provided	=	28 spaces

In addition to the 28 off-street parking spaces, the development provides 15 on-street parking spaces located directly adjacent to the development to be counted toward meeting the minimum off-street parking as allowable per Section 4.125(.07)B.3. as detailed below:

On-Street Vehicle Parking Provided:

Parking Provided with Building ‘C’ on Lot 73		
SW Barber Street	=	5 spaces
SW Barber Street (15-min. parking for Mail Room)	=	3 spaces
SW Villebois Drive North	=	6 spaces
SW Toulouse Street	=	1 spaces
On-Street Vehicle Parking Provided	=	15 spaces

With 28 off-street parking spaces and 15 on-street parking spaces, *the mixed-use development provides a total of 43 parking spaces to serve residents, employees, and visitors of the Village Center Apartment Building ‘C’.*

Vehicle Parking for Future Conversion to Retail

As noted on the elevation and floor plans submitted in Section V of this application, 2 ground floor residential units facing the Piazza in Villebois Village Center Apartments Building C is designed to convert to 1,528 square feet of retail space to meet future market conditions. The 2 ground floor units require 3 parking spaces as detailed below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Building 'C' Ground Floor Residential

1 Studio Units at 1.0 space/ unit	=	1 spaces
1 2-Bed Unit at 1.5 space/ unit	=	2 space

Vehicle Parking Requirements	=	3 spaces
-------------------------------------	---	-----------------

Alternatively, 1,528 square feet of retail space which requires 2.0 spaces per 1,000 square feet also results in a requirement of 3 vehicle parking spaces; therefore, the conversion or residential to retail does not impact the parking requirements in Building 'C'.

Building 'C' of the Villebois Village mixed-use development, located on Lot 73 of PDP 2C is required to provide 18 short and long-term bicycle parking spaces and 68 spaces are provided, resulting in an excess of 50 bicycle parking spaces as detailed below:

Bicycle Parking Requirements according to Section 4.125 Table V-2:

Multi-family Dwellings

Short Term 49 units at 1.0 space/ 20 units	=	2 spaces
Long Term 49 units at 1.0 space/ 4 units	=	12 spaces

Retail/ Commercial

Short Term:		
1,129 sf. at 1.0 space/ 10,000 sf (Min. 2 spaces)	=	2 spaces
Long Term:		
1,129 sf. at 1.0 Spaces/ 40,000 sf (Min. 2 spaces)	=	2 spaces

Total Short Term Bicycle Parking Spaces Required	=	4 spaces
Total Long Term Bicycle Parking Spaced Required	=	14 spaces

Total Bicycle Parking Spaces Required	=	18 spaces
--	---	------------------

Bicycle Parking Provided:

Short Term

Exterior Bike Racks	=	4 spaces
---------------------	---	----------

Long Term

Building 'A' Bike Storage Room on 1 st Floor	=	15 spaces
1.0 Storage Space per Unit	=	49 spaces

Total Bicycle Parking Provided	=	68 spaces
---------------------------------------	---	------------------

Bicycle parking requirements and vehicle parking provided for the entire Villebois Village Center Mixed-Use Development is detailed in the Introductory Narrative provided in Section IA of this application.

(.08) Open Space.

Response: The Parks *Master Plan* for Villebois states that there are 58.42 acres of parks and 101.31 acres of open space for a total of 159.73 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent and in excess of the *Master Plan*. The Parks *Master Plan* for Villebois does not show required open space within the subject site and the applicant is not proposing any changes to

this designation. Therefore, this standard is not applicable, as it has already been met and exceeded within SAP Central.

(.09) Street and Access Improvement Standards.

Response: The Supporting Compliance Report for the PDP Modification, submitted concurrently with this application, demonstrates that streets and access improvement standards are met (see Section IV). Proposed landscaping is sited to meet vision clearance standards (see Sheet L1 in Exhibit IVB).

(.10) Sidewalk and Pathway Improvement Standards.

Response: All sidewalks and pathways within SAP Central will be constructed in accordance with the standards of Section 4.154 and the *Villebois Village Master Plan*. Sidewalks and pathways are shown in the street cross-sections on the *Circulation Plan* (see Sheet 6 in Section IVB).

(.11) Landscaping, Screening and Buffering

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:
 - 1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The applicable provisions of Section 4.176 are addressed in the subsequent sections of this report. The PDP modification, submitted concurrently with this application, provides information regarding street trees for the proposed streets (see Sheet L1 in Section IVB). This FDP application reflects the provision of street trees consistent with that shown in the PDP Modification application.

(.12) Master Signage and Wayfinding

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property.

(.14) Design Standards Applying to the Village Zone

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:
 - 2. Building and site design shall include:
 - b. Materials, colors and architectural details executed in a manner consistent with the methods included in an

approved Architectural Pattern Book, Community Elements Book or approved Village Center Design.

Response: The materials proposed for the buildings, architecture, and streetscapes of the development are consistent with the approved *Community Elements Book* as shown in the FDP Approval Criteria section of this report.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: There are six (6) trees that exist on the development site and eight (8) trees are located within the linear green adjacent to the site as illustrated on the *Tree Preservation Plan* (see Section VIC). None of the trees that exist on the development site have been identified as significant.

- g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

Response: A detailed landscape plan is provided with this FDP application in accordance with the requirements of Section 4.125(.07) and (.11), 4.176(.09), and 4.440(.01)(B.) (see Sheets L1 thru L3 in Exhibit IVB).

3. Lighting and site furnishings shall be in compliance with the approved Community Elements Book.

Response: Lighting as identified in the approved *Community Elements Book* for SAP - Central is addressed in the FDP Approval Criteria section of this report.

(.18) Village Zone Development Permit Process

- L. Final Development Plan Approval Procedures (Equivalent to Site Design Review):

1. Unless an extension has been granted by the Development Review Board as enabled by Section 4.023, within two (2) years after the approval of a PDP, an application for approval of a FDP shall:
 - a. Be filed with the City Planning Division for the entire FDP, or when submission of the PDP in phases has been authorized by the development Review Board, for a phase in the approved sequence.
 - b. Be made by the owner of all affected property or the owner's authorized agent.
 - c. Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution.
 - d. Set forth the professional coordinator and professional design team for the project.

Response: This application has been made by the owner and applicant of the affected property and has been filed on the prescribed form and accompanied by the prescribed fee. The professional coordinator and professional design team for the project are listed in the Introductory Narrative (see Section IA of this Application).

M. FDP Application Submittal Requirements:

1. An application for approval of a FDP shall be subject to the provisions of Section 4.034.

Response: Section 4.034(.08), states that “Applications for development approvals within the Village zone shall be reviewed in accordance with the standards and procedures set forth in Section 4.125.” The proposed FDP is reviewed in accordance with the standards and procedures set forth in Section 4.125, as demonstrated by this report.

N. FDP Approval Procedures

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

O. FDP Refinements to an Approved Preliminary Development Plan

Response: This FDP is submitted for review and approval concurrent with the Preliminary Development Plan (PDP) Modification; thus, this application is consistent with the PDP Modification and does not propose any refinements or amendments to the PDP Modification.

P. FDP Approval Criteria

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

2. An application for an FDP shall demonstrate that the proposal conforms to the applicable Architectural Pattern Book, Community Elements Book, Village Center Design and any other conditions of a previously approved PDP.

Response: This FDP addresses proposed architecture within PDP 2C Modification of Lot 73. The attached *Elevations & Floor Plans* (see Exhibit VC) demonstrate compliance with the *Village Center Architectural Standards (VCAS)* and the Village Center Design as described in Section II of this report. The FDP is within the Village Center. The FDP is submitted for review and approval concurrent with the PDP Modification; therefore, there are no conditions of a previously approved PDP

Modification that apply to this request. Conformance of the proposed FDP with the *Community Elements Book* for SAP - Central is demonstrated as follows.

GENERAL DEVELOPMENT REGULATIONS

SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION

(.01) On-site Pedestrian Access and Circulation

- A. The purpose of this section is to implement the pedestrian access and connectivity policies of the Transportation System Plan. It is intended to provide for safe, reasonably direct, and convenient pedestrian access and circulation.

Response: FDP 2C Modification will be in compliance with Section 4.154 and provide for safe, reasonably direct, and convenient pedestrian access and circulation, as described below.

- B. Standards. Development shall conform to all the following standards:
1. Continuous Pathway System. A pedestrian pathway system shall extend throughout the development site and connect to adjacent sidewalks, and to all future phases of the development, as applicable.

Response: The pedestrian pathway systems in FDP 2C modification of Lot 73 extend throughout the development site and connect to adjacent public sidewalks, the linear green, and pedestrian access path.

2. Safe, Direct, and Convenient. Pathways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, recreational areas/playgrounds, and public rights-of-way and crosswalks based on all of the following criteria:

Response: The front/main entrance of the mixed-use building connect directly to the public sidewalk adjacent to SW Barber Street. The rear entrance from the building will connect to the public sidewalk along SW Toulouse Street through a private path. Side entrances from the building connect to the public pedestrian accessway and linear green adjacent to the site. The entryways of proposed building is adjacent to and easily accessible by the public sidewalk.

- a. Pedestrian pathways area designed primarily for pedestrian safety and convenience, meaning they are free from hazards and provide a reasonably smooth and consistent surface.

Response: Pedestrian pathways will be free from hazards and will provide a reasonably smooth and consistent surface.

- b. The pathway is reasonably direct. A pathway is reasonably direct when it follows a route between

destinations that does not involve a significant amount of unnecessary out-of-direction travel.

Response: The pathways will be reasonably direct and will not involve a significant amount of unnecessary out-of-direction travel.

- c. The pathway connects to all primary building entrances and is consistent with the Americans with Disabilities Act (ADA) requirements.

Response: Pathways connect to the primary building entrances in compliance with the Americans with Disabilities Act (ADA) requirements.

- d. All parking lots larger than three acres in size shall provide an internal bicycle and pedestrian pathway pursuant to Section 4.155(.03)(B.)(3.)(d.).

Response: The parking area proposed is less than 3-acres; therefore, this criterion is not applicable.

- 3. **Vehicle/Pathway Separation.** Except as required for crosswalks, per subsection 4, below, where a pathway abuts a driveway or street it shall be vertically or horizontally separated from the vehicular lane. For example, a pathway may be vertically raised six inches above the abutting travel lane, or horizontally separated by a row of bollards.

Response: Sidewalks adjacent to streets are extra wide to provide for pedestrian safety and comfort. Sidewalks adjacent to streets are separated from vehicle travel areas by bollards. Pedestrian crossings of streets or access aisles are facilitated with either curb extensions or painted crosswalks.

- 4. **Crosswalks.** Where a pathway crosses a parking area or driveway, it shall be clearly marking with a contrasting paint or paving materials (e.g., pavers, light-color concrete inlay between asphalt, or similar contrast).

Response: Where pathways cross parking or driving areas, they will be clearly marked with contrasting paint.

- 5. **Pathway Width and Surface.** Primary pathways shall be constructed concrete, asphalt, brick/masonry pavers, or other durable surface, and not less than five (5) feet wide. Secondary pathways and pedestrian trails may have an alternative surface except as otherwise required by the ADA.

Response: Primary pathways will be constructed of concrete, not less than five (5) feet in width.

6. All pathways shall be clearly marked with appropriate standard signs.

Response: Pathways will be clearly marked with appropriate standard signs.

SECTION 4.156. SIGN REGULATIONS

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property.

SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING

(.02) Landscaping and Screening Standards.

Response: Landscaping will be provided in accordance with the standards in Section 4.176. The Street Tree/Lighting Plan depicts street trees along rights-of-way within the subject Final Development Plan modification area. The plan has been developed in conformance with the Community Elements Book and the applicable standards of Section 4.176. Landscaping details will be reviewed with the concurrent PDP application in Section II of this Notebook.

(.03) Landscape Area.

Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.

Response: The attached plans show that 11.8% of the site will be landscaped (see Sheet 2 of Exhibit VB). Table V-1 of the Wilsonville Development Code allows for a Maximum Lot Coverage of 80% for multifamily dwellings in the Village Zone. The intent of the Villebois Village Master Plan to provide for a more urban, dense atmosphere in the Village Center makes it difficult to meet the 15% landscape area standard. The intention of this requirement appears to be to ensure recreational opportunities for residents and to reduce the size of the built environment while preserving the natural environment. The proposed site is across from The Piazza, the heart of the Villebois neighborhood, adjacent to the linear green, and within walking distance of multiple Regional Parks. Additionally, the design and mass of the building is important to the character of the neighborhood and urban center. Therefore, 11.8% of the site is being proposed as landscaping.

(.04) Buffering and Screening.

Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

- A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.

Response: The Villebois Village Master Plan identifies the land use for the subject property as Village - Mixed Use Condos. The subject site is proposed to be developed as a mixed-use site with commercial space and a community mail center on the ground floor, and parking area in the rear of the building. Adjacent to the site on the southeast is property identified as Village - Condos and developed as rowhouses. While both properties are identified as residential uses, landscape screening and buffering is provided to separate the mixed-use building and adjacent rowhouses.

- B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.

Response: The Villebois Village Master Plan identifies the land use for the subject property as Village - Mixed Use Condos. The subject site is proposed to be developed as a mixed-use site with retail/ commercial space and a community mail center on the ground floor, and parking area in the rear of the building. Adjacent to the site on the southeast is property identified as Village - Condos and developed as rowhouses. While both properties are identified as residential uses, landscape screening and buffering is provided to separate the mixed-use building and adjacent rowhouses.

- C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.

Response: All exterior, roof and ground-mounted mechanical and utility equipment will be screened from ground level off-site view from adjacent streets and properties. The building is proposed to have a parapet, which will hide all roof-mounted objects.

- D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.
- E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.
- F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.

Response: No outdoor storage areas, loading areas or docks, truck parking, or fences exist or are proposed within the development area.

(.05) Sight-Obscuring Fence or Planting.

The use for which a sight-obscuring fence or planting is required shall not begin operation until the fence or planting is erected or in place and approved by the City. A temporary occupancy permit may be issued upon a posting of a bond or other security equal to one hundred ten percent (110%) of the cost of such fence or planting and its installation. (See Sections 4.400 to 4.470 for additional requirements.)

Response: The Villebois Village Master Plan identifies the land use for the subject property as Village - Mixed Use Condos. The subject site is proposed to be developed as a mixed-use site with commercial space and a community mail center on the ground floor, and parking area in the rear of the building. Adjacent to the site on the southeast is property identified as Village - Condos and developed as rowhouses. While both properties are identified as residential uses, landscape screening and buffering is provided to separate the mixed-use building and adjacent rowhouses. The applicant does not anticipate deferring the installation of landscaping. Should it be necessary to defer installation of landscaping, the applicant will apply for a temporary permit.

(.06) Plant Materials.

- A. Shrubs and Ground Cover. All required ground cover plants and shrubs must be of sufficient size and number to meet these standards within three (3) years of planting. Non-horticultural plastic sheeting or other impermeable surface shall not be placed under mulch. Surface mulch or bark dust are to be fully raked into soil of appropriate depth, sufficient to control erosion, and are confined to areas around plantings. Areas exhibiting only surface mulch, compost or barkdust are not to be used as substitutes for plants areas.
1. Shrubs. All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10" to 12" spread.

Response: As shown on the attached plans (see Sheets L1 thru L3 in Exhibit VB) all shrubs will be equal to or better than 2-gallon size with a 10 to 12 inch spread. All shrubs will be well branched and typical of their type as described in current AAN standards.

2. Ground cover. Shall be equal to or better than the following depending on the type of plant materials used: Gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 inch on center minimum. No bare root planting shall be permitted. Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting. Where wildflower seeds are designated

for use as a ground cover, the City may require annual re-seeding as necessary.

Response: As shown on the attached plans (see Sheets L1 thru L3 in Exhibit VB) all ground covers will be at least 4" pots and spaced appropriately. These plants will be installed as required.

3. Turf or lawn in non-residential developments. Shall not be used to cover more than ten percent (10%) of the landscaped area, unless specifically approved based on a finding that, due to site conditions and availability of water, a larger percentage of turf or lawn area is appropriate. Use of lawn fertilizer shall be discouraged. Irrigation drainage runoff from lawns shall be retained within lawn areas.

Response: The subject FDP area is within a residential development; therefore, this criterion does not apply.

4. Plant materials under trees or large shrubs. Appropriate plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.

Response: As shown on the attached plans (see Sheets L1 thru L3 in Exhibit VB) appropriate plant materials will be installed beneath the canopies of trees and large shrubs. Areas that are not appropriate to plant beneath the canopies of existing trees will be mulched with bark.

- B. Trees. All trees shall be well-branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards and shall be balled and burlapped. The trees shall be grouped as follows:
 1. Primary trees which define, outline or enclose major spaces, such as Oak, Maple, Linden, and Seedless Ash, shall be a minimum of 2" caliper.
 2. Secondary trees which define, outline or enclose interior areas, such as Columnar Red Maple, Flowering Pear, Flame Ash, and Honeylocust, shall be a minimum of 1-3/4" to 2" caliper.
 3. Accent trees which, are used to add color, variation and accent to architectural features, such as Flowering Pear and Kousa Dogwood, shall be 1-3/4" minimum caliper.
 4. Large conifer trees such as Douglas Fir or Deodar Cedar shall be installed at a minimum height of eight (8) feet.
 5. Medium-sized conifers such as Shore Pine, Western Red Cedar or Mountain Hemlock shall be installed at a minimum height of five to six (5 to 6) feet.

Response: As shown on the attached plans (see Sheets L1 thru L3 in Exhibit VB), proposed tree species have been selected from the Villebois Plant List in the *Community Elements Book*. All proposed trees meet the minimum 2” caliper code requirement or the minimum height requirement for conifers as appropriate. All proposed trees will be well-branched, typical of their type as described in current AAN, and balled and burlapped.

- C. Where a proposed development includes buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area, the Development Review Board may require larger or more mature plant materials:

Response: The proposed buildings are larger than 24 feet in height. Therefore, the subject FDP is subject to larger/more mature plant materials as required by the Development Review Board.

- D. Street Trees.

Response: Review of streets and rights-of-way, including street trees, occurs with the PDP Modification (see Section IV of this application). Street trees will be installed with this proposal.

- E. Types of Plant Species.

1. Existing landscaping or native vegetation may be used to meet these standards, if protected and maintained during the construction phase of the development and if the plant species do not include any that have been listed by the City as prohibited. The existing native and non-native vegetation to be incorporated into the landscaping shall be identified.

Response: There are six (6) trees that exist on the development site and eight (8) trees are located within the linear green adjacent to the site as illustrated on the *Tree Preservation Plan* in Section VI. The six (6) trees located within the development site are proposed to be removed to accommodate the mixed-use development and associated parking area. The eight (8) trees located within the adjacent linear green are proposed to be preserved.

2. Selection of plant materials. Landscape materials shall be selected and sited to produce hardy and drought-tolerant landscaping. Selection shall be based on soil characteristics, maintenance requirements, exposure to sun and wind, slope and contours of the site, and compatibility with other vegetation that will remain on the site. Suggested species lists for street trees, shrubs and groundcovers shall be provided by the City of Wilsonville.

Response: All proposed landscaping materials are selected from the Villebois Plant List in the *Community Elements Book*. Specific materials were selected to best meet the site characteristics of the subject property.

3. Prohibited plant materials. The City may establish a list of plants that are prohibited in landscaped areas. Plants may be prohibited because they are potentially damaging to sidewalks, roads, underground utilities, drainage improvements, or foundations, or because they are known to be invasive to native vegetation.

Response: No plant materials listed as “Prohibited Plant Species” on the Villebois Plant List are included in the proposed landscaping.

- F. Tree Credit.

Response: Tree credits are not applicable to this FDP application.

- G. Exceeding Standards. Landscape materials that exceed the minimum standards of this Section are encouraged, provided that height and vision clearance requirements are met.
- H. Compliance with Standards. The burden of proof is on the applicant to show that proposed landscaping materials will comply with the purposes and standards of this Section.

Response: The attached plans (see Exhibit VB) and this report demonstrate that the proposed landscaping complies with the standards of the Wilsonville Development Code and the *Community Elements Book*.

(.07) Installation and Maintenance.

- A. Installation. Plant materials shall be installed to current industry standards and shall be properly staked to assure survival. Support devices (guy wires, etc.) shall not be allowed to interfere with normal pedestrian or vehicular movement.
- B. Maintenance. Maintenance of landscaped areas is the on-going responsibility of the property owner. Any landscaping installed to meet the requirements of this Code, or any condition of approval established by a City decision-making body acting on an application, shall be continuously maintained in a healthy, vital and acceptable manner. Plants that die are to be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City. Failure to maintain landscaping as required in this Section shall constitute a violation of this Code for which appropriate legal remedies, including the revocation of any applicable land development permits, may result.
- C. Irrigation. The intent of this standard is to assure that plants will survive the critical establishment period when they are most vulnerable due to a lack of watering and also to assure that water is not wasted through unnecessary or inefficient irrigation. Approved irrigation system plans shall specify one of the following:

1. A permanent, built-in, irrigation system with an automatic controller. Either a spray or drip irrigation system, or a combination of the two, may be specified.
2. A permanent or temporary system designed by a landscape architect licensed to practice in the State of Oregon, sufficient to assure that the plants will become established and drought-tolerant.
3. Other irrigation system specified by a licensed professional in the field of landscape architecture or irrigation system design.
4. A temporary permit issued for a period of one year, after which an inspection shall be conducted to assure that the plants have become established. Any plants that have died, or that appear to the Planning Director to not be thriving, shall be appropriately replaced within one growing season. An inspection fee and a maintenance bond or other security sufficient to cover all costs of replacing the plant materials shall be provided, to the satisfaction of the Community Development Director. Additionally, the applicant shall provide the City with a written license or easement to enter the property and cause any failing plant materials to be replaced.

Response: Plants will be installed and maintained properly. A permanent-built-in irrigation system with an automatic controller will be installed underground to irrigate the proposed landscaping and to assure that plants survive the establishment period. Additional details about the irrigation system will be provided with construction plans.

- D. **Protection.** All required landscape areas, including all trees and shrubs, shall be protected from potential damage by conflicting uses or activities including vehicle parking and the storage of materials.

Response: The attached planting plans demonstrate that all landscape areas will be protected from potential damage by vehicle travel along streets and alleys.

(.08) Landscaping on Corner Lots.

All landscaping on corner lots shall meet the vision clearance standards of Section 4.177. If high screening would ordinarily be required by this Code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

Response: All landscaping at corners will meet the vision clearance standards of Section 4.177.

(.09) Landscape Plans.

Landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type,

installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated. Landscape plans shall divide all landscape areas into the following categories based on projected water consumption for irrigation:

- A. High water usage areas (+/- two (2) inches per week): small convoluted lawns, lawns under existing trees, annual and perennial flower beds, and temperamental shrubs;
- B. Moderate water usage areas (+/- one (1) inch per week): large lawn areas, average water-using shrubs, and trees;
- C. Low water usage areas (Less than one (1) inch per week, or gallons per hour): seeded field grass, swales, native plantings, drought-tolerant shrubs, and ornamental grasses or drip irrigated areas.
- D. Interim or unique water usage areas: areas with temporary seeding, aquatic plants, erosion control areas, areas with temporary irrigation systems, and areas with special water-saving features or water harvesting irrigation capabilities.
These categories shall be noted in general on the plan and on the plant material list.

Response: The attached landscape plans and details (see Sheets L1 thru L3 in Exhibit VB) include the required information listed in Section 4.176(.09).

(.10) Completion of Landscaping.

The installation of plant materials may be deferred for a period of time specified by the Board or Planning Director acting on an application, in order to avoid hot summer or cold winter periods, or in response to water shortages. In these cases, a temporary permit shall be issued, following the same procedures specified in subsection (.07)(C)(3), above, regarding temporary irrigation systems. No final Certificate of Occupancy shall be granted until an adequate bond or other security is posted for the completion of the landscaping, and the City is given written authorization to enter the property and install the required landscaping, in the event that the required landscaping has not been installed. The form of such written authorization shall be submitted to the City Attorney for review.

Response: The applicant does not anticipate deferring the installation of plant materials. Should it be necessary to defer installation of plant materials, the applicant will apply for a temporary permit.

(.11) Street Trees Not Typically Part of Site Landscaping.

Street trees are not subject to the requirements of this Section and are not counted toward the required standards of this Section. Except, however, that the Development Review Board may, by granting a waiver or variance, allow for special landscaping within the right-of-way to compensate for a lack of appropriate on-site locations for landscaping. See subsection (.06), above, regarding street trees.

Response: Street trees are not counted toward the required standards of this Section.

(.12) Mitigation and Restoration Plantings.

Response: A Type “C” Tree Removal Permit Application is submitted separately, but concurrent with this application. There are six (6) trees that exist on the development site and eight (8) trees are located within the linear green adjacent to the site as illustrated on the *Tree Preservation Plan* in Section VI. The six (6) trees located within the development site are proposed to be removed to accommodate the mixed-use development and associated parking area. The eight (8) trees located within the adjacent linear green are proposed to be preserved. As shown in the Tree Report prepared by Morgan Holen, certified arborist (see Section VI), the tree mitigation proposes planting of street trees adjacent to SW Barber Street, in the rear courtyard and within the landscaped space of the parking area exceeding the required amount of mitigation of one (1) tree replanted per each tree removed.

SECTION 4.177. STREET IMPROVEMENT STANDARDS

(.02) Street Design Standards

E. Corner or clear vision area.

1. A clear vision area which meets the Public Works Standards shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. However, the following items shall be exempt:
 - a. Light and utility poles with a diameter less than 12 inches.
 - b. Trees less than 6” d.b.h., approved as a part of the State II Site Design, or administrative review.
 - c. Except as allowed by b., above, an existing tree, trimmed to the trunk, 10 feet above the curb.
 - d. Official warning or street sign.
 - e. Natural contours where the natural elevations are such that there can be no cross-visibility at the intersection and necessary excavation would result in an unreasonable hardship on the property owner or deteriorate the quality of the site.

Response: Landscaping at the street corners will be less than 30-inches in height to assure that visibility is not blocked. Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

(.08) Access Drive and Driveway Approach Development Standards.

Response: Adjacent street rights-of-way have already been dedicated. The plan sheets located in Section VB demonstrate that all proposed driveways within the FDP Modification area will have a minimum improvement width of 16-feet and will provide two-way travel. All access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

SECTION 4.179. MIXED SOLID WASTE AND RECYCLING

(.01) All site plans for multi-unit residential and non-residential buildings submitted to the Wilsonville Development Review Board for approval shall include adequate storage space for mixed solid waste and source separated recyclables. [Amended by Ordinance No. 538, 2/21/02.]

Response: The building proposed provides adequate storage space for mixed solid waste and source separated recyclables as noted on the compliance letters provided by Republic Services in Section IE of this application.

(.02) The floor area of an interior or exterior storage area shall be excluded from the calculation of building floor area for purposes of determining minimum storage requirements.

Response: The storage requirement for the mixed-use development is based on the number of residential uses and retail square footage. No interior or exterior storage areas are included in the calculation.

(.03) The storage area requirement shall be based on the predominant use(s) of the building. If a building has more than one of the uses listed herein and that use occupies 20 percent or less of the floor area of the building, the floor area occupied by that use shall be counted toward the floor area of the predominant use(s). If a building has more than one of the uses listed herein and that use occupies more than 20 percent of the floor area of the building, then the storage area requirement for the whole building shall be the sum of the requirement for the area of each use.

Response: The buildings proposed provide adequate storage space for mixed solid waste and source separated recyclables as noted on the compliance letters provided by Republic Services in Section IE of this application.

(.04) Storage areas for multiple uses on a single site may be combined and shared.

Response: The trash storage room in Building C will serve both the residential and retail uses on the site.

(.05) The specific requirements are based on an assumed storage height of four feet for solid waste/recyclables. Vertical storage higher than four feet but no higher than seven feet may be used to accommodate the same volume of storage in a reduced floor space. Where vertical or stacked storage is proposed, the site plan shall

include drawings to illustrate the layout of the storage area and dimensions for the containers.

Response: The required storage space has been calculated assuming storage height of four feet for solid waste/ recyclables. No vertical or stacked storage is proposed.

- (.06) The specific requirements for storage area are as follows:
- A. Multi-unit residential buildings containing five-ten units shall provide a minimum storage area of 50 square feet. Buildings containing more than ten residential units shall provide an additional five square feet per unit for each unit above ten.
 - B. Non-residential buildings shall provide a minimum storage area of ten square feet, plus:
 - 1. Office: Four square feet per 1,000 square feet gross floor area (GFA);
 - 2. Retail: Ten square feet per 1,000 square feet GFA;
 - 3. Wholesale / Warehouse / Manufacturing: Six square feet per 1,000 square feet GFA; and
 - 4. Other: Four square feet per 1,000 square feet GFA.

Response: Compliance letters from Republic Services for the proposed development, provided in Section IE of this application, state the storage area provided will accommodate the mixed-use Building 'C'.

- (.07) **The applicant shall work with the City's franchised garbage hauler to ensure that site plans provide adequate access for the hauler's equipment and that storage area is adequate for the anticipated volumes, level of service and any other special circumstances which may result in the storage area exceeding its capacity. The hauler shall notify the City by letter of their review of site plans and make recommendations for changes in those plans pursuant to the other provisions of this section.**

Response: Compliance letters from Republic Services for the proposed development is provided in Section IE of this application.

- (.08) Existing multi-unit residential and non-residential developments wishing to retrofit their structures to include storage areas for mixed solid waste and recycling may have their site plans reviewed and approved through the Class I Administrative Review process, according to the provisions of Section 4.035. Site plans for retrofitting existing developments must conform to all requirements of this Section, "Mixed Solid Waste and Recyclables Storage In New Multi-Unit Residential and Non-Residential Buildings," and 4.430, "Location, Design and Access Standards for Mixed Solid Waste and Recycling Areas," of the Wilsonville City Code. [Added by Ordinance #426 - April 4, 1994]

Response: The applicant is proposing a new mixed-use building; therefore, this standard is not applicable.

SECTION 4.199.40 OUTDOOR LIGHTING. LIGHTING SYSTEMS STANDARDS FOR APPROVAL

- (.01) Non-Residential Uses and Common Residential Areas.
- A. All outdoor lighting shall comply with either the Prescriptive Option or the Performance Option below.

Response: The subject property is located within Lighting Zone 2 (LZ 2). The outdoor lighting will comply with the LZ 2 requirements of the Light Zone Map, as well as comply with all applicable building codes. See Landscape drawings for site lighting information. See the following description regarding the exterior architectural lighting at the proposed building.

Building C: See drawing sheet A.502 of this application for proposed architectural lighting at exterior perimeter of Building C, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances, and balconies at upper floor levels.

Light Fixtures: Lighting cutsheets for proposed architectural exterior lighting, include recessed LED downlight and LED wall sconces to conserve energy. All exterior LED fixtures have dimming abilities, to control brightness. Cutsheets are provided in Section VI of this application.

- The D-1 LED recessed downlight distributes lighting downward to prevent unnatural brightening of the night sky.
- The D-2 LED ribbon lighting will be used with acrylic panels at the Building B amenity terrace at Level 5. Geometric shapes within the terrace soffit will provide a visual focal point, while illuminating the exterior space.
- The S-1 LED wall sconce provides both uplighting and downlighting; the S-1 light fixture is proposed at two locations at Building B, to accentuate the stepped back massing of the primary façade facing the central plaza.
- The S-2 LED wall sconce and S-3 LED wall sconce both distribute the lighting downward to prevent unnatural brightening of the night sky.

SECTION 4.320. UNDERGROUND UTILITIES. REQUIREMENTS

(.01) The developer or subdivider shall be responsible for and make all necessary arrangements with the serving utility to provide the underground services (including cost of rearranging any existing overhead facilities). All such underground facilities as described shall be constructed in compliance with the rules and regulations of the Public Utility Commission of the State of Oregon relating to the installation and safety of underground lines, plant, system, equipment and apparatus.

Response: All existing utilities serving the site are underground. Extension of existing utilities to service Building C will be constructed in compliance with the rules and regulations of the Public Utility Commission of the State of Oregon.

(.02) The location of the buried facilities shall conform to standards supplied to the subdivider by the City. The City also reserves the right to approve location of all surface-mounted transformers.

Response: All existing utilities serving the site are underground. Extension of existing utilities to service Building C will be constructed in compliance with City standards.

(.03) Interior easements (back lot lines) will only be used for storm or sanitary sewers, and front easements will be used for other utilities unless different locations are

approved by the City Engineer. Easements satisfactory to the serving utilities shall be provided by the developer and shall be set forth on the plat.

Response: The Preliminary Composite Utility Plan, Sheet 5 in Section IVB of this application, denote the locations of existing and proposed utilities to serve Building C located in easements that comply with City standards.

SECTION 4.400. SITE DESIGN REVIEW

(.01) Excessive uniformity, inappropriateness or poor design of the exterior appearance of structures and signs and the lack of proper attention to site development and landscaping in the business, commercial, industrial and certain residential areas of the City hinders the harmonious development of the City, impairs the desirability of residence, investment or occupation in the City, limits the opportunity to attain the optimum use in value and improvements, adversely affects the stability and value of property, produces degeneration of property in such areas and with attendant deterioration of conditions affecting the peace, health and welfare, and destroys a proper relationship between the taxable value of property and the cost of municipal services therefore.

Response: No signage is proposed as the SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The attached PDP Modification plans (see Section IVB) and FDP plans (see Section VB) are consistent with the SAP Central Signage & Wayfinding Plan.

This proposal is designed in compliance with the standards for the rest of Villebois, so the entire development will have a cohesive, harmonious appearance, creating a desirable place of residence and adding to the overall quality of life in the City.

(.02) The City Council declares that the purposes and objectives of site development requirements and the site design review procedure are to:

A. Assure that Site Development Plans are designed in a manner that insures proper functioning of the site and maintains a high-quality visual environment.

Response: The buildings in the FDP area have been designed to assure proper functioning of the site and to maintain an aesthetically pleasing environment.

B. Encourage originality, flexibility and innovation in site planning and development, including the architecture, landscaping and graphic design of said development;

Response: The FDP includes landscaping and architecture as shown on the attached plans (see Sections VB and VC), which will enhance the visual environment of the site. Pedestrian connections to public sidewalks and the adjacent linear green and pedestrian accessway will be provided to enhance the site's connectivity to surrounding uses.

- C. Discourage monotonous, drab, unsightly, dreary and inharmonious developments;

Response: The FDP area will include architecture as shown on the attached plans (see Sections VB and VC). Landscaping will consist of an appropriate mixture of ground cover, shrubs, and trees selected from the Villebois Plant List to create a harmonious appearance throughout the larger Villebois development. The proposed building and site will contribute to an interesting and aesthetically appealing development.

- D. Conserve the City's natural beauty and visual character and charm by assuring that structures, signs and other improvements are properly related to their sites, and to surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping, and that proper attention is given to exterior appearances of structures, signs and other improvements;

Response: The site will incorporate landscaping that makes sense for a Pacific Northwest community, while matching the City's natural beauty and visual character.

- E. Protect and enhance the City's appeal and thus support and stimulate business and industry and promote the desirability of investment and occupancy in business, commercial and industrial purposes;

Response: The design of the proposed building along with the pedestrian connections to adjacent public streets and sidewalks, commercial, retail, public park and residential spaces will help maintain the appeal of Villebois as a unique and attractive community in which to live, work, and recreate. Residents of Villebois will stimulate the local economy by opening new businesses and thus creating jobs and by spending money in existing businesses.

- F. Stabilize and improve property values and prevent blighted areas and, thus, increase tax revenues;

Response: The proposed development will have its own property management company which will assure long-term maintenance of common and public areas.

- G. Insure that adequate public facilities are available to serve development as it occurs, and that proper attention is given to site planning and development so as to not adversely impact the orderly, efficient and economic provision of public facilities and services.

Response: The process used to plan for Villebois incorporates a tiered system that originates at the *Villebois Village Master Plan*. The *Master Plan* shows how facilities, including parks and open space, are distributed and available to residents throughout Villebois.

Figure 5 - Parks & Open Space Plan of the Master Plan shows that approximately 33% of Villebois will be in parks and open space. This FDP is consistent with the PDP

Modification, SAP - Central, and the *Villebois Village Master Plan*, and therefore, complies with this criterion.

- H. **Achieve the beneficial influence of pleasant environments for living and working on behavioral patterns and, thus, decrease the cost of governmental services and reduce opportunities for crime through careful consideration of physical design and site layout under defensible space guidelines that clearly define all areas as either public, semi-private, or private, provide clear identity of structures and opportunities for easy surveillance of the site that maximize resident control of behavior -- particularly crime;**

Response: The *Villebois Village Master Plan* shows that the community will include a variety of housing options (living) and the Village Center will contain places for employment (working). This FDP shows a living environment in the Village Center that is enhanced by proximity to park and open space areas. Residents who will surround the parks and open spaces will provide on-going surveillance and control.

- I. **Foster civic pride and community spirit so as to improve the quality and quantity of citizen participation in local government and in community growth, change and improvements;**

Response: The design of the Villebois Village has been created to develop a community that is truly unique. The City and Villebois Master Planner, as well as the Applicant, are working in partnership with nearby residents, property owners, and local and regional governments to create a complete, livable, pedestrian-oriented community that will be an asset to the City of Wilsonville and Portland region. This partnership has generated citizen participation in the project and the unique design shall foster civic pride and community spirit amongst the residents of Villebois.

- J. **Sustain the comfort, health, tranquility and contentment of residents and attract new residents by reason of the City's favorable environment and, thus, to promote and protect the peace, health and welfare of the City.**

Response: The design of the Villebois Village revolves around three guiding principles: connectivity, diversity, and sustainability. These principles are intended to sustain the comfort, health, tranquility, and contentment of Villebois residents, while also promoting and protecting the peace, health and welfare of the City. *Connectivity* refers to creating connections between Villebois neighborhoods and between Villebois and other parts of the City and region for multiple modes of transportation. *Diversity* includes multiple choices of housing styles, housing affordability, recreation, employment, goods and services, and infrastructure for transportation. *Sustainability* involves the protection of natural resources and open space, energy conservation, and storm and rainwater management.

SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.

(.01) The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural styles is not included in these standards. (Even in the Boones Ferry Overlay Zone, a range of architectural styles will be encouraged.)

- A. Preservation of Landscape. The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soils removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

Response: As shown in the attached plans (see Sheets L1 thru L3 in Exhibit VB), proposed plant materials are drawn from the Villebois Plant List, which includes native species, to ensure consistency of general appearance within the Villebois community.

- B. Relation of Proposed Buildings to Environment. Proposed structures shall be located and designed to assure harmony with the natural environment, including protection of steep slopes, vegetation and other naturally sensitive areas for wildlife habitat and shall provide proper buffering from less intensive uses in accordance with Sections 4.171 and 4.139 and 4.139.5. The achievement of such relationship may include the enclosure of space in conjunction with other existing buildings or other proposed buildings and the creation of focal points with respect to avenues of approach, street access or relationships to natural features such as vegetation or topography.

Response: Chapter 3 of the *Villebois Village Master Plan* takes into account scenic views, topography, existing vegetation, and other natural features in the design and location of parks and open spaces in the Villebois development. The FDP area does not include any steep slopes, sensitive wildlife habitat areas, wetlands, SROZ areas, or flood plains. This modification application is one part of a larger proposed development that includes Lot 76 of Phase 2 of SAP Central, or PDP 12C. The complete development is comprised of three mixed-use buildings. Building B of PDP12C is situated so that its sightlines provide a view of Mt. Hood from its tower/top-floor amenity room, providing a scenic view for residents and visitors of Villebois Village Center Apartments. Furthermore, the building is directly across from The Piazza and adjacent to the linear green and a pedestrian accessway integrating natural areas and less intensive uses into the Village Center.

- C. Drives, Parking and Circulation. With respect to vehicular and pedestrian circulation, including walkways, interior drives and parking, special attention shall be given to location and number of access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement of parking areas that are safe

and convenient and, insofar as practicable, do not detract from the design of proposed buildings and structures and the neighboring properties.

Response: The development's associated parking area is located behind the mixed-use building providing residents and visitors convenient vehicle access to the building while not distracting from the aesthetics of the site. The development is orientated to support multimodal transportation system opportunities and encourage pedestrian oriented street frontages. The driveway for the parking lot is well-lit and designed to be safe for vehicles and pedestrians alike. Pedestrians are separated from vehicular traffic through provided public sidewalks, curb extensions, and/or crosswalks (see Sheet 6 in Exhibit IVB).

- D. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties of the public storm drainage system.

Response: Surface water drainage is addressed in the PDP Modification application (see Section IVC). The FDP is consistent with grading and drainage shown in the PDP Modification. This system has been carefully designed so as not to adversely affect neighboring properties.

- E. **Utility Service.** Any utility installations above ground shall be located so as to have a harmonious relation to neighboring properties and site. The proposed method of sanitary and storm sewage disposal from all buildings shall be indicated.

Response: The PDP Modification application addresses utility installation (see Section IVC). The FDP is consistent with the PDP Modification.

- F. **Advertising Features.** In addition to the requirements of the City's sign regulations, the following criteria should be included: the size, location, design, color, texture, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.

Response: No advertising features are proposed in this FDP.

- G. **Special Features.** Exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall be required to prevent their being incongruous with the existing or contemplated environment and its surrounding properties. Standards for screening and buffering are contained in Section 4.176.

Response: This FDP does not propose any exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures or other accessory areas and structures. Compliance with Section 4.176 is addressed earlier in this report.

(.02) The standards of review outlined in Sections (a) through (g) above shall also apply to all accessory buildings, structures, exterior signs and other site features, however related to the major buildings or structures.

Response: No accessory buildings or structures are proposed on the subject property.

(.03) The Board shall also be guided by the purpose of Section 4.400, and such objectives shall serve as additional criteria and standards.

Response: Compliance with the purpose of Section 4.400 has been addressed earlier in this report.

SECTION 4.430. LOCATION, DESIGN AND ACCESS STANDARDS FOR MIXED SOLID WASTE AND RECYCLING AREAS

(.01) The following locations, design and access standards for mixed solid waste and recycling storage areas shall be applicable to the requirements of Section 4.179 of the Wilsonville City Code.

Response: The location, design, and access for the waste and recycling storage area complies with the requirements of Section 4.179 as addressed in a preceding section of this report.

(.02) **Location Standards:**

B. To encourage its use, the storage area for source separated recyclables shall be colocated with the storage area for residual mixed solid waste.

Response: Storage of recyclables and waste are co-located in a trash room located on the ground floor level of the building.

C. Indoor and outdoor storage areas shall comply with Uniform Building and Fire Code requirements.

Response: The trash room located in Building C complies with Uniform Building and Fire Code requirements.

D. Storage area space requirements can be satisfied with a single location or multiple locations and can combine with both interior and exterior locations.

Response: Storage of recyclables and waste are co-located in a trash room located on the ground floor level of the building.

- E. Exterior storage areas can be located within interior side yard or rear yard areas. Minimum setback shall be three (3) feet. Exterior storage areas shall not be located within a required front yard setback, including double frontage lots.

Response: No exterior storage areas are proposed.

- F. Exterior storage areas shall be located in central and visible locations on a site to enhance security for users.

Response: No exterior storage areas are proposed.

- G. Exterior storage areas can be located in a parking area if the proposed use provides at least the minimum number of parking spaces required for the use after deducting the area used for storage. Storage areas shall be appropriately screened according to the provisions of Section 4.430 (.03), below.

Response: No exterior storage areas are proposed.

- H. The storage area shall be accessible for collection vehicles and located so that the storage area will not obstruct pedestrian or vehicle traffic movement on the site or on public streets adjacent to the site.

Response: The trash room is directly accessible from the surface parking located in the back of the building. Collection vehicles will not obstruct pedestrian or vehicle traffic movement on site or adjacent public streets. Building C is designed to provide driveway entrance clearance, “No Parking” signage, low profile landscape allowing for clear visibility at both sides of entrance, a transition from trash room to the parking lot, a trash room door width of 7-feet and door securement allowing the service collector to safely service the site as noted on the service compliance letter provided in Section IE of this application.

(.03) Design Standards.

- A. The dimensions of the storage area shall accommodate containers consistent with current methods of local collection.

Response: The trash room has been designed to accommodate the required containers and provide access. Republic Services Compliance Letters are provided in Section IE of this application.

- B. Storage containers shall meet Uniform Fire Code standards and be made of or covered with waterproof materials or situated in a covered area.

Response: Storage containers, located in the enclosed trash room, will meet Uniform Fire Code standards as required.

- C. Exterior storage areas shall be enclosed by a sight obscuring fence, wall or hedge at least six (6) feet in height. Gate openings for haulers shall be a minimum of ten (10) feet wide and shall be capable of being

secured in a closed or open position. In no case shall exterior storage areas be located in conflict with the vision clearance requirements of Section 4.177.

Response: No exterior storage areas are proposed.

- D. Storage area(s) and containers shall be clearly labeled to indicate the type of materials accepted.

Response: The storage area and containers will be clearly labeled to indicate the type of materials accepted.

(.04) Access Standards.

- A. Access to storage areas can be limited for security reasons. However, the storage area shall be accessible to users at convenient times of the day and to collect service personnel on the day and approximate time they are scheduled to provide collection service.

Response: The trash room located on the ground floor of the building will be secured to limit access to residence, retail employees, and collection service personnel of each building.

- B. Storage areas shall be designed to be easily accessible to collection trucks and equipment, considering paving, grade and vehicle access. A minimum of ten (10) feet horizontal clearance and eight feet of vertical clearance is required if the storage area is covered.

Response: The trash room is directly accessible from the surface parking area located in the back of the building. The interior trash room is designed with the to provide clearance as required.

- C. Storage areas shall be accessible to collection vehicles without requiring backing out of a driveway onto a public street. If only a single access point is available to the storage area, adequate turning radius shall be provided to allow collection vehicles to safely exit the site in a forward motion. (Added by Ordinance #426, April 4, 1994.)

Response: The trash room is directly accessible from the surface parking located in the back of the building. Collection vehicles will not obstruct pedestrian or vehicle traffic movement on site or adjacent public streets. Building C is designed to provide driveway entrance clearance, “No Parking” signage, low profile landscape allowing for clear visibility at both sides of entrance, a transition from trash room to the parking lot, a trash room door width of 7-feet and door securement allowing the service collector to safely service the site as noted on the service compliance letter provided in Section IE of this application.

SECTION 4.440. PROCEDURE.

(.01) Submission of Documents.

A prospective applicant for a building or other permit who is subject to site design review shall submit to the Planning Department, in addition to the requirements of Section 4.035, the following:

- A. A site plan, drawn to scale, showing the proposed layout of all structures and other improvements including, where appropriate, driveways, pedestrian walks, landscaped areas, fences, walls, off-street parking and loading areas, and railroad tracks. The site plan shall indicate the location of entrances and exits and direction of traffic flow into and out of off-street parking and loading areas, the location of each parking space and each loading berth and areas of turning and maneuvering vehicles. The site plan shall indicate how utility service and drainage are to be provided.
- B. A Landscape Plan, drawn to scale, showing the location and design of landscaped areas, the variety and sizes of trees and plant materials to be planted on the site, the location and design of landscaped areas, the varieties, by scientific and common name, and sizes of trees and plant materials to be retained or planted on the site, other pertinent landscape features, and irrigation systems required to maintain trees and plant materials. An inventory, drawn at the same scale as the Site Plan, of existing trees of 4" caliper or more is required. However, when large areas of trees are proposed to be retained undisturbed, only a survey identifying the location and size of all perimeter trees in the mass is necessary.
- C. Architectural drawings or sketches, drawn to scale, including floor plans, in sufficient detail to permit computation of yard requirements and showing all elevations of the proposed structures and other improvements as they will appear on completion of construction. Floor plans shall also be provided in sufficient detail to permit computation of yard requirements based on the relationship of indoor versus outdoor living area, and to evaluate the floor plan's effect on the exterior design of the building through the placement and configuration of windows and doors.
- D. A Color Board displaying specifications as to type, color, and texture of exterior surfaces of proposed structures. Also, a phased development schedule if the development is constructed in stages.
- E. A sign plan, drawn to scale, showing the location, size, design, material, color and methods of illumination of all exterior signs.
- F. The required application fee.

Response: Section IVB of this submittal includes FDP plans that meet the requirements of Section 4.440 (.01). A copy of the application is included as Exhibit IB and all applicable fees have been paid. Architectural Elevations & Floor Plans are included in Section VC. The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property.

SECTION 4.450. INSTALLATION OF LANDSCAPING.

(.01) All landscaping required by this section and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City shall be returned to the applicant.

Response: The applicant does not anticipate deferring the installation of landscaping. Should it be necessary to defer installation of landscaping, the applicant will apply for a temporary permit and provide a security to guarantee installation of the proposed landscaping.

(.02) Action by the City approving a proposed landscape plan shall be binding upon the applicant. Substitution of plant materials, irrigation systems, or other aspects of an approved landscape plan shall not be made without official action of the Planning Director or Development Review Board, as specified in this Code.

Response: The applicant understands that changes to the landscape plan included in this application cannot be made without official action of the Planning Director or the Development Review Board.

(.03) All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered with Board approval.

Response: The applicant understands that they are responsible for the ongoing maintenance of the proposed landscaping.

(.04) If a property owner wishes to add landscaping for an existing development, in an effort to beautify the property, the Landscape Standards set forth in Section 4.176 shall not apply and no Plan approval or permit shall be required. If the owner wishes to modify or remove landscaping that has been accepted or approved through the City's development review process, that removal or modification must first be approved through the procedures of Section 4.010.

Response: This FDP does not include any existing development and does not propose to modify landscaping of existing development; therefore, this criterion does not apply.

II. COMMUNITY ELEMENTS BOOK

Applicable Requirement	Requirement Met?	Notes
Street Lighting	<input checked="" type="checkbox"/>	Lighting shown on attached plans is consistent with <i>Lighting Master Plan</i> .
Curb Extensions	<input checked="" type="checkbox"/>	Existing curb extensions shown on the Circulation Plan.
Street Trees	<input checked="" type="checkbox"/>	Location and species of existing and proposed street trees shown on the attached plans are consistent with the <i>Master Plan</i> .
Landscape Elements-Site Furnishings	<input checked="" type="checkbox"/>	Bike racks proposed are consistent with the Community Elements Book.
Tree Protection	<input checked="" type="checkbox"/>	No onsite trees are to be preserved with this development. Adjacent street trees and trees within the linear green will be preserved as shown on attached plans.
Plant List	<input checked="" type="checkbox"/>	All plant materials listed on page L1 of Section VB are on the Villebois plant list. No prohibited plants are proposed.
Address Overlay Areas	<input checked="" type="checkbox"/>	Subject FDP is located within the Plaza Address Overlay and meets the standards for site furnishings, plant material, and surfaces. No changes to these standards are proposed with this application.

III. VILLAGE CENTER ARCHITECTURAL STANDARDS

Standards Applying to All Buildings

Standard	Standard Met?	Notes
1.1 Building Types		
1) Buildings outside Address overlays meet development standards of V-Zone per Building Type	<input checked="" type="checkbox"/>	The proposed mixed-use building is consistent with standards specified for Villebois Center.
1.2 Building Height & Roof Form		
Required Standards		
1) Max. Building Height according to Table V-1	<input checked="" type="checkbox"/>	According to Table V-1 the maximum height for mixed-use buildings in Village Center is 60-feet. The proposed mixed-use building is less than 60-feet tall.
2) Addresses have other height limitations	<input checked="" type="checkbox"/>	According to Table V-1 the maximum height for mixed-use buildings in Village Center is 60-feet. The proposed mixed-use buildings are less than 60-feet tall, complying with this standard.
3) Building height measured as defined in 4.001.	<input checked="" type="checkbox"/>	The building heights have been measured as defined in 4.001
4) Rooftop equipment screened from current and future taller buildings	<input checked="" type="checkbox"/>	Rooftop equipment is screened by parapets and the height of the buildings.
5) Roof Gardens	<input type="checkbox"/>	No rooftop gardens are proposed.
Optional Standards:		
6) Buildings encouraged to reach max. allowable height	<input checked="" type="checkbox"/>	The proposed mixed-use building is 4 stories in height.
7) Minimize shading of public and private outdoor areas during mid-day	<input checked="" type="checkbox"/>	The common outdoor area located in the rear is Building C is located south of the building and the site is located west of The Piazza minimizing shading of the public outdoor areas during mid-day.
1.3 Horizontal Façade Articulation		
Required		
1) Horizontal Facades articulated into smaller units using two or more of the following: change of materials, change of color, façade planes that are vertical in proportion, bays and recesses, breaks in roof elevation.	<input checked="" type="checkbox"/>	Building C is designed with change of materials, colors and façade planes with projections and recesses as illustrated on the plans provided in Section VC.
2) Incorporate features such as offsets, projections, reveals, and similar elements to	<input checked="" type="checkbox"/>	Building C is designed with balconies that overlooking the plaza providing projections that add texture to the

preclude large expanses of uninterrupted building surfaces.		building’s façade. The building also includes recessed Hardi panels (“stucco boards”) in accented color help break down the building’s massing and design features including offsets, projections, and other similar features to reduce the apparent mass of the building.
Optional		
3) Articulation should extend to the roof	☒	The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring buildings to the west of the central plaza. Breaks in roof elevation are incorporated into the design of the building. The roof of Building C is articulated as illustrated in the plans provided in Section VC.
2.1 Vertical Façade Articulation for All Mixed-Use Buildings		
Required		
Express a division between base and top	☒	Building C is designed with a change of materials and colors to provide a vertical division between the base of the building and upper residential floors. The building’s brick base along SW Barber St highlights the community postal center and retail/commercial spaces. A large canopy highlights the southern entrance to the postal center. Canopies and/or awnings will be installed at time of retail tenant improvements. At the public and common area spaces, the buildings’ façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. The residential housing is primarily demarcated with lap siding or revealed Hardi panels (“stucco board”), with vinyl windows at the apt units.
Use of Arcade to Accomplish 0.1	☒	At the public and common area spaces, the buildings’ façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The building’s brick base along SW Barber St highlights the community postal center and retail/commercial spaces. A large canopy highlights the southern entrance to the postal center.

Optional		
Division between base and top occurs at floor level of programmatic division.	☒	At the public and common area spaces, the buildings' façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above.
Storefront design different from residential window detailing.	☒	At Level 1 of Buildings A and B and C, the apartment units facing Villebois Village's central plaza are designed to be convertible to future retail, should the property owner decide at a future date to replace the residential housing with additional retail. Entrances for future retail spaces along Level 1, only the Building A Live/Work units currently provide storefront doors to the exterior. At the remaining Level 1 apartment units which currently do not provide exterior doors connecting to the hardscape facing the central plaza, the windows are either storefront or vinyl windows, as annotated in the building elevation drawings. Future storefront doors will be provided as part of a future retail tenant improvements. For the proposed project, the civil grading design alongside these apartment units will attempt to accommodate future retail doors, where the apt unit windows are currently provided. It is possible however that due to grading, some future retail spaces will require external or internal ramps at their entrances, depending on the future retail entrance locations. The buildings' façade finishes for current retail are designed with a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances.
Differentiation of a building's base at corners.	☒	The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring buildings to the west of the central plaza. The building's brick base along SW Barber St highlights the community postal center and retail/commercial spaces. A large canopy highlights the southern entrance

		to the postal center. The light-colored board-and-batten motif at the top floor of the building’s book ends provide another focal point as drivers reach the plaza from either SW Barber St or SW Villebois Drive.
Base design incorporates design features.	☒	The ground level of Building C include apartment amenities and retail opportunities that encourages activity around the plaza. The building’s brick base along SW Barber St highlights the community postal center and retail/ commercial spaces. A large canopy highlights the southern entrance to the postal center
3.1 Exterior Building Materials & Color		
Required		
1) Visually heavier and more massive materials at base when multiple materials used.	☒	The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above.
2) Bright, intense colors reserved for accent trim	☒	A bright accent color utilized at the recessed Hardi panels (“stucco boards”) helps break down the building’s massing.
3) Bright colors not used for commercial purposes	☒	Building A: The bright accent color is not used for commercial purposes.
4) Concrete block shall be split-faced, ground-faced, or scored when facing street or public way. Discouraged around the plaza.	☒	No concrete block is proposed for Building C.
5) Exteriors constructed of durable and maintainable materials with texture, pattern, or lend themselves to quality detailing.	☒	Proposed materials are all durable and easy to maintain and allow for detailing.
Optional		
6) Exterior materials have an integral color, patterning, and/or texture	☒	Building ‘C’ is one part of a larger proposed development that includes two mixed-use buildings proposed on Lot 76 in PDP 12C. The buildings are designed complement one another for a cohesive project wrapping the plaza. Building C, located across the street from the remainder of the buildings facing the central plaza, intentionally plays a subordinate role to its neighbors. The color palette ties into the palettes for Buildings A and B, to connect this building across SW Barber St to the remainder of the buildings which enclose the public

		“room” that is the central plaza. The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring buildings to the west of the central plaza.
7) Sustainable building materials and practices are strongly encouraged	<input checked="" type="checkbox"/>	Not applicable.
3.2 Architectural Character		
Required		
1) A definitive, consistent Architectural Character. All primary facades consistent with Architectural Character	<input checked="" type="checkbox"/>	Building ‘C’ is one part of a larger proposed development that includes two mixed-use buildings proposed on Lot 76 in PDP 12C. The buildings are designed complement one another for a cohesive project wrapping the plaza. Building C, located across the street from the remainder of the buildings facing the central plaza, intentionally plays a subordinate role to its neighbors. The color palette ties into the palettes for Buildings A and B, to connect this building across SW Barber St to the remainder of the buildings which enclose the public “room” that is the central plaza. The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring buildings to the west of the central plaza.
2) No mixing of Architectural Styles	<input checked="" type="checkbox"/>	Building ‘C’ is one part of a larger proposed development that includes two mixed-use buildings proposed on Lot 76 in PDP 12C. The three buildings have a similar design. Above the brick base of each building, the buildings are a combination of fiber cement lap siding and “stucco board” (Hardi panels). Each material provides a different texture to the building façade, along with the light and dark paint colors which further break down the massing above. The result is unique façade designs wrapping the central plaza, with complementary finish materials and complementary color palettes. Building C, located across the street from the remainder of the buildings facing the central plaza, intentionally plays a subordinate role to its neighbors. The color palette ties into the palettes for Buildings A and B, to

		connect this building across SW Barber St to the remainder of the buildings which enclose the public “room” that is the central plaza. The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring buildings to the west of the central plaza.
3) Secondary facades incorporate primary façade features over 25% of wall length	<input checked="" type="checkbox"/>	Secondary facades are designed with a brick base of each building and combination of fiber cement lap siding and “stucco board” (Hardi panels).
4) All visible sides have a similar level of quality and visual interest	<input checked="" type="checkbox"/>	All elevation of Building C are designed with a similar level of quality and visual interest as illustrated on the plans in Exhibit VC.
5) Accessory buildings designed and integrated into primary building	<input checked="" type="checkbox"/>	No accessory buildings are proposed
6) Applicants encouraged to consult an architect or architectural historian regarding appropriate elements of architectural style	<input checked="" type="checkbox"/>	The proposed building has been designed by an Architect with C2K Architects.
7) If not in an address, elevations not repeated on adjacent blocks	<input checked="" type="checkbox"/>	Building ‘C’ is one part of a larger proposed development that includes two mixed-use buildings proposed on Lot 76 in PDP 12C. The buildings surrounding The Piazza are each unique in their style and elevations.
3.3 Ground Level Building Components		
Required		
1) Building setbacks and frontage widths as required by Table V-1	<input checked="" type="checkbox"/>	The proposed building meets the required setbacks and widths for a Mixed-use development as established by Table V-1
2) Retail orientation towards street	<input checked="" type="checkbox"/>	The ground floor retail/common spaces are oriented to The Piazza and adjacent public streets. At Level 1 the apartment units facing Villebois Village’s central plaza are designed to be convertible to future retail, should the property owner decide at a future date to replace the residential housing with additional retail.
3) Differentiating entrances for mixed use buildings	<input checked="" type="checkbox"/>	Storefront doors and storefront windows, with canopies demarcating entrances differentiate entrances for mixed-used buildings. The apartment units facing Villebois Village’s central plaza are designed to be

		convertible to future retail, should the property owner decide at a future date to replace the residential housing with additional retail. The residential units currently do not provide exterior doors connecting to the hardscape facing the central plaza. The windows of the units are either storefront or vinyl windows, as annotated in the building elevation drawings. Future storefront doors will be provided as part of a future retail tenant improvements. For the proposed project, the civil grading design alongside these apartment units will attempt to accommodate future retail doors, where the apt unit windows are currently provided. It is possible however that due to grading, some future retail spaces will require external or internal ramps at their entrances, depending on the future retail entrance locations.
4) Entries have weatherproof roof covering appropriately sized but at least 4 feet deep and 4 feet wide	<input checked="" type="checkbox"/>	Weatherproof covering of entries provided as shown on attached Architectural Plans.
5) Any building lighting is indirect or shielded	<input checked="" type="checkbox"/>	All building lighting will be indirect or shielded. The outdoor lighting will comply with the LZ 2 requirements of the Light Zone Map, as well as comply with all applicable building codes. See drawing sheet A.502 of this application for proposed architectural lighting at exterior perimeter of Building C, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances, and balconies at upper floor levels. Lighting fixture cut-sheets are provided in Section VI of this application.
6) Parking structures screened using at least two of the following: residential or commercial uses, decorative grill work, decorative artwork, vegetation	<input type="checkbox"/>	Not applicable, no parking structure proposed
7) Plaza address mixed-use buildings have canopy or awning	<input checked="" type="checkbox"/>	The brick veneer, storefront windows, and steel canopies all reinforce the ground level streetscape, to make the plaza a vibrant, pedestrian-friendly experience.

8) Reflective, heavily tinted, or other sight obscuring glass discouraged	<input checked="" type="checkbox"/>	Windows are not reflective, heavily tinted, or sight obscuring.
9) Landscaping or other screening provided when parking is between buildings and the street	<input checked="" type="checkbox"/>	Landscaping is provided as shown on the attached L1 sheet in the plan set.
Optional		
10) Create indoor/outdoor relationships	<input checked="" type="checkbox"/>	Large windows, wide sidewalks, proximity to The Piazza, and small front setbacks help to create indoor/outdoor relationships.
11) Canopies and Awnings primary function is weather protection	<input checked="" type="checkbox"/>	Canopies provide weather protection at building entrances.
4.1 Façade Components		
Required		
1) Windows and doors recessed 3 inches for shadowing or incorporate shutters (appear operable and sized for window), railing, and/or visible or substantial trim (contrasting material, color, or creates shadowing.)	<input checked="" type="checkbox"/>	Visible, substantial trim, in contrasting material and color, is provided at doors and windows recessed less than 3-inches
2) Balconies extend no more than 36"	<input checked="" type="checkbox"/>	Balconies do not extend further than 36"
3) Shutters sized to appear operable at window and door openings	<input type="checkbox"/>	No shutters are not prosed for Building C
4) Except in the plaza address, balconies shall be at least 5 feet deep	<input type="checkbox"/>	The proposed development is located within the plaza address.
Optional		
4) (Note: Duplicate numbers in published VCAS) Individual windows square or vertical in proportion. An assembly of windows have horizontal proportion	<input checked="" type="checkbox"/>	Windows are square or vertical in proportion.
5) Materials changes occur at a horizontal line or at inside corner of two vertical planes.	<input checked="" type="checkbox"/>	Building C is designed with materials changes occurring at horizontal lines or inside corners of two vertical plans.
6) Every residential unit have outdoor living space.	<input type="checkbox"/>	Units are attached. A number of residential units have balconies. Outdoor living space is provided by The Piazza located directly across from the development and nearby parks.
7) Expression of rainwater path	<input type="checkbox"/>	Not applicable.

8) Building fronts uneven angles to accommodate shape of street	<input type="checkbox"/>	Building fronts are at even angles.
9) Wide opening windows	<input type="checkbox"/>	The mixed-use buildings are not designed with wide opening windows.
10) Discourage use of high window sills	<input checked="" type="checkbox"/>	Buildings A and B are not designed with high window sills
11) Finishing touches and ornament	<input checked="" type="checkbox"/>	Ornamental finishes for retail is detailed in the plans provided in Section VC.
5.1 Fencing		
Required		
1) See all applicable sections of the Village Zone, including but not limited to Section 4.125(.14) Table V-4 Permitted Materials and Configurations and Section 4.125 (.05) D. Fences	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C.
2) The following fencing requirements apply to all fences and walls located between rights-of-way and building lines.	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C.
3) See Address overlay sections for additional requirements.	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C
4) Except where specifically required by Address overlays, fences are optional. Less fencing than the maximum allowable is allowed.	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C.
5) Fencing shall be consistent with the Architectural Character of adjacent buildings, See Architectural Character, this section.	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C.
6) Fencing controlling access to a courtyard, outdoor lobby, or other public entries shall be greater than 50% transparent.	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C.
7) Fencing located within the first 2'0" setback from rights-of-way shall be greater than 50% transparent.	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C.
8) Fencing located within interior side yards or separating buildings on the same lot shall be offset 4'0" or greater behind the adjacent front building line.	<input type="checkbox"/>	No fencing is proposed with Building 'C' on Lot 73, FDP 2C.

9) Posts, pilasters, columns, or bollards may extend an additional 8” above the maximum height of any allowed fencing.	<input type="checkbox"/>	No fencing is proposed with Building ‘C’ on Lot 73, FDP 2C.
10) Fencing may not change height at corners. They must level top surfaces and transition at posts to maintain height as required by changes in grade elevation.	<input type="checkbox"/>	No fencing is proposed with Building ‘C’ on Lot 73, FDP 2C.
11) Loading facilities, trash enclosures, and ground-level mechanical and utility equipment: These facilities shall be sited at the rear or side of buildings wherever practicable and shall be screened where visible from the street. Screening shall match the adjacent development in terms of quality of materials and design. Such screening shall minimize light glare and noise levels affecting adjacent residential uses.	<input type="checkbox"/>	No fencing is proposed with Building ‘C’ on Lot 73, FDP 2C.
Optional		
12) Fencing is encouraged to be consistent with building railing at balconies, decks, porches, etc.	<input type="checkbox"/>	No fencing is proposed with Building ‘C’ on Lot 73, FDP 2C.

Intent Applying to Buildings in the Plaza Address Overlay

Standard	Standard Met?	Notes
1.1 Narrative		
1) The Plaza is the physical and symbolic heart of Villebois envisioned as a Public Room with building facades as its walls, streets as its doors, and paving and landscape as its floor. This address places special emphasis on roof heights and forms, corner and storefront treatments, expression of the rainwater path, and balconies and decks.	<input checked="" type="checkbox"/>	The Villebois Village’s central plaza is the physical and symbolic heart of Villebois. Building ‘C’ is one part of a larger proposed development that includes two mixed-use buildings proposed on Lot 76 in PDP 12C. The three proposed 4-story buildings wrap the plaza to create a sense of enclosure, acting as the “walls” around this public “room”. At the primary streets surrounding the plaza, the buildings’ accentuated corners identify one’s arrival into the plaza. Located across the street from the remainder of

		<p>the buildings facing the central plaza, Building C intentionally plays a subordinate role to its neighbors. The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring buildings to the west of the central plaza. The building’s brick base along SW Barber St highlights the community postal center and retail/commercial spaces. A large canopy highlights the southern entrance to the postal center. The light-colored board-and-batten motif at the top floor of the building’s book ends provide another focal point as drivers reach the plaza from either SW Barber St or SW Villebois Drive. The color palette ties into the palettes for Buildings A and B, to connect this building across SW Barber St to the remainder of the buildings which enclose the public “room” that is the central plaza.</p>
<p>2.1 Building Types</p>		
<p>1) Building Type shall be Mixed-Use Buildings - Village Center, Mult-Family Dwellings - Village Center, or Row Houses - Village Center. Row Houses - Village Center shall meet the standards of the adjacent Address instead of the Plaza Address</p>	<p style="text-align: center;">☒</p>	<p>Building C is Mixed-use.</p>
<p>2.2 Building Height & Roof Form</p>		
<p>1) Strengthen the perception of the Plaza as a public room by establishing a consistency of façade heights and roof forms.</p>	<p style="text-align: center;">☒</p>	<p>Building ‘C’ is one part of a larger proposed development that includes two mixed-use buildings proposed on Lot 76 in PDP 12C. The three proposed 4-story buildings wrap the plaza to create a sense of enclosure, acting as the “walls” around this public “room”. At the primary streets surrounding the plaza, the buildings’ accentuated corners identify one’s arrival into the plaza. Located across the street from the remainder of the buildings facing the central plaza, Building C intentionally plays a subordinate role to its neighbors. The book ends of this building have a sloped shed roof with oversized eaves, which takes queues from the neighboring buildings to the west of the central plaza.</p>

		The light-colored board-and-batten motif at the top floor of the building’s book ends provide another focal point as drivers reach the plaza from either SW Barber St or SW Villebois Drive. The color palette ties into the palettes for Buildings A and B, to connect this building across SW Barber St to the remainder of the buildings which enclose the public “room” that is the central plaza.
3.1 Horizontal Façade Articulation		
1) Reduce the apparent bulk of long buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade.	☒	Building C is designed with bays and recesses and breaks in roof elevations to reduce the apparent mass of each building. Future tenant improvements of retail space will provide unique store front designs to further reduce the bulk of the building
4.1 Corner Massing & Articulation		
1) Standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade	☒	Accentuated corners are provided on Building C to identify one’s arrival into the plaza. A large canopy highlights the southern entrance to the postal center. The light-colored board-and-batten motif at the top floor of the building’s book ends provide another focal point as drivers reach the plaza from either SW Barber St or SW Villebois Drive.
4.2 Exterior Building Materials		
1) Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.	☒	Construction materials will ensure a standard of quality that will easily be maintained by the development’s management company overtime. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. Included in this application is a request to amend the Specific Area Plan to refine VCAS 4.2. Exterior Building Materials. The supporting compliance report provided in Section III of this application details how the proposed development will meet the amended standards.
4.3 Ground Level Building Components		
1) Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors	☒	At the public and common area spaces, the buildings’ façade finishes are a combination of brick veneer and storefront doors and storefront windows,

<p>and between residents and pedestrians. Ensure that ground floors reinforce the streetscape character.</p>		<p>with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. Future tenant improvements of retail space will provide unique store front designs including pedestrian scale blade signs. The ground level of the building encourages activity around the plaza. The building's brick base along SW Barber St highlights the community postal center and retail/commercial spaces. A large canopy highlights the southern entrance to the postal center.</p>
<p>4.4 Façade Components</p>		
<p>1) Maintain a lively and active street face. Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade</p>	<p>☒</p>	<p>Building 'C' is one part of a larger proposed development that includes two mixed-use buildings proposed on Lot 76 in PDP 12C. The three buildings wrap the central plaza, with complementary finish materials and complementary color palettes. The color palette of Building C ties into the palettes for Buildings A and B, to connect this building across SW Barber St to the remainder of the buildings which enclose the public "room" that is the central plaza. The brick veneer, storefront windows, and steel canopies all reinforce the ground level streetscape, to make the plaza a vibrant, pedestrian-friendly experience. The ground level of the building includes public and common areas that include the communities postal center and retail space that encourages activity around the plaza. Construction materials will ensure a standard of quality that will easily be maintained by the development's management company overtime. Residential balconies will be recessed.</p>

IV. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Final Development Plan; therefore, the applicant requests approval of this application.

SUPPORTING COMPLIANCE REPORT
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
VILLEBOIS VILLAGE CENTER APARTMENTS
BUILDINGS ‘A’ & ‘B’ ON LOT 76
FINAL DEVELOPMENT PLAN 12 - CENTRAL

SECTION VD

Table of Contents

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.125. VILLAGE (V) ZONE	2
	GENERAL DEVELOPMENT REGULATIONS	8
	SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION	8
	SECTION 4.156. SIGN REGULATIONS	10
	SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING	10
	SECTION 4.177. STREET IMPROVEMENT STANDARDS	17
	SITE DESIGN REVIEW	18
	SECTION 4.400. PURPOSE.	18
	SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.	24
	SECTION 4.440. PROCEDURE.	26
	SECTION 4.450. INSTALLATION OF LANDSCAPING.	30
II.	COMMUNITY ELEMENTS BOOK	31
III.	VILLAGE CENTER ARCHITECTURAL STANDARDS	31
IV.	CONCLUSION	42

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125. VILLAGE (V) ZONE

(.02) Permitted Uses

Examples of principle uses that typically permitted:

- E. Multi-Family Dwellings
- H. Non-commercial parks, plazas, playgrounds, recreational facilities, community buildings and grounds, tennis courts, and other similar recreational and community uses owned and operated either publicly or by an owners association.
- I. Commercial uses within the Village Center, subject to the standards of (.06) Standards Applying to Commercial Uses and similar to the following:

Table V-1 Development Standards

Building Type	Min. Size (sq-ft.)	Lot Min. Width (ft.)	Lot Min. Depth (ft.)	Lot Max. Coverage (note)	Lot Min. Width (%age)	Frontage Width ^{10,11} (ft.)	Max. Height ⁵ (ft.)	Bldg. Setbacks ^{10,13,20}				Alley-Loaded Garage (note)	Street-Loaded Garage (note)
								Front (ft.)	Min. Front (ft.)	Max. Rear (ft.)	Side Min. (ft.)		
Commercial Buildings - Village Center ¹⁴	NR	NR	NR	¹	90	60	NR ³	5	NR	NR	NR	NR	NA
Hotels - Village Center ¹⁴	NR	NR	NR	²	80	60	NR ³	15	NR	NR	NR	NR	NA
Mixed Use Buildings - Village Center ¹⁴	NR	NR	NR	¹	90	60	NR ³	8	NR	NR	NR	NR	NA
Multi-Family Dwellings - Village Center ¹⁴	NR	NR	NR	¹	80	45	5 ⁴	15	NR	NR	NR	NR	NA
Row Houses ¹¹ - Village Center ¹⁴	NR	NR	NR	²	80	45	5 ⁴	10	NR	NR	NR	NR	NA
Commercial Buildings	NR	NR	NR	¹	60	45	NR	15	NR	NR	NR	NR	NA
Mixed Use Buildings	NR	NR	NR	¹	60	45	NR	15	NR	NR	NR	NR	NA
Multi-Family Dwellings	NR	NR	NR	¹	60	45	8 ⁴	15	NR	NR	NR	NR	NA
Row Houses ¹¹	NR	15	50	¹	80	45	8 ⁵	15	NR	NR	NR	NR	NA
Duplexes	4,000	45	70	²	60 ¹⁶	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17,18	
Single-Family Dwellings	2,250	35	50	⁴	60 ¹⁹	35	12 ^{5,6}	20 ⁶	5	5 ¹⁵	7	8,17	

Notes: NR No Requirement
 NA Not Allowed
 1 Lot < 8000sf: NR; Lot >8000sf: 80% (Max. Lot Coverage)
 2 Small lots: 75%, Medium Lots: 65%, Standard and Large Lots: 55%, Estate Lots: 45% Maximum Lot Coverage
 On lots where detached accessory buildings are built, maximum lot coverage may be increased by 10%.
 3 Bay windows, balconies, and other structural building projections above 8 ft. may encroach up to 5 ft. into the Public Way; canopies, awnings, and other non-structural projections may encroach up to 8 ft. into the Public Way.
 4 Porches, stairs, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach up to the Public Way.
 5 Porches, stoops, decks, canopies, balconies, bay windows, chimneys, awnings, and other building projections may encroach to within 8 ft. of the Public Way. Stairs may encroach to the Public Way.
 6 For Standard, or Large Lots on Collector Avenues, front setbacks are 20 ft. min., (13' setback to porch), side street setbacks are 15' (8' setback to porch). Pie-shaped lots or lots with significant trees or grade banks at frontage have no maximum front setback.
 7 The garage setback from alley shall be between 3 and 5 foot or, when as optional parking space is located between the garage and the alley, shall be 16 ft. minimum. Lots with important trees, as identified in the Master Plan, or grade differences at the alley, affecting garage location shall be exempt from this requirement.
 8 Street-loaded garages shall be a minimum 20 ft. front setback to face of garage, and located a minimum of 5 ft. behind main façade of the associated dwelling unit.
 9 Vertical encroachments are allowed up to ten additional feet, for up to 10% of the building footprint; vertical encroachments shall not be habitable space.
 10 For Village Center buildings with lots fronting two or more streets, at least two facades shall be subject to the minimum frontage width and front setback requirements.
 11 Row Houses are typically attached, but may be detached within the Village Center Boundary. When attached, no more than ten units shall be contiguous along a street edge. When row houses are detached, the Minimum Frontage Width is 65%. The Minimum Frontage Width for detached row houses may be less than 65% on corner lots or to accommodate the curve radius of street frontage, public utility easements, important trees, grade differences, public open space requirements, or as otherwise approved by the DRB.
 12 See Definitions, 4.125.01, for measurement of Minimum Frontage Width.
 13 Front Setback is measured as the offset of the front lot line or a vehicular or pedestrian access easement line. On lots with alleys, Rear Setback shall be measured from the rear lot line abutting the alley.
 14 See Figure 2A - Village Center Boundary & Land Use Plan in the Villebois Village Master Plan for areas included within the Village Center.
 15 On Estate Lots and Large Lots with frontage 70 ft. or wider, the minimum combined side yard setbacks shall total 15 ft. with a minimum of 5 ft. On Small and Medium Lots, minimum side setback shall be 0 ft. or as required by Building Code.
 16 For cluster housing with lots arranged on a courtyard, frontage shall be measured at the front door face of the building adjacent to a public right of way or a public pedestrian access easement linking the courtyard with the Public Way.
 17 Dwellings on lots without alley access shall be at least 36 feet wide.
 18 Duplexes with front-loaded garages are limited to one shared standard-sized driveway/apron.
 19 Maximum setbacks may be increased as necessary to accommodate deeper porches, building code, public utility easements or public open space requirements.
 20 Lots are categorized as small, medium, standard, large or estate as shown in the Pattern Book.

[Table V-1 amended by Ord. 667 on 8/17/09; Ord. 682, 9/9/10]

Response: Both lots meet applicable requirements, as addressed below. Site A and Site B are proposed to be developed as mixed-use sites with commercial space, community amenities, and live-work units on the ground floor. Both proposed buildings are considered Mixed Use Building in the Development Standards. Mixed Use is

required by the Villebois Village Master Plan as a centerpiece for the community. The design incorporates unique, attractive architecture and uses that will activate the Village Center, bringing variety to Central Villebois and optimizing pedestrian opportunities. Table V-1 does not indicate a minimum lot size, width or depth for Mixed Use Buildings in the Village Center. The proposed buildings comply with the minimum frontage width standard and the applicable setback and height requirements.

(.07) General Regulations - Off-Street Parking, Loading & Bicycle Parking

Response: Buildings ‘A’ and ‘B’ exceed the 100-parking space requirement by providing 112 vehicle parking spaces, 86 off-street parking spaces and 26 on-street parking spaces, providing more than adequate vehicle parking to serve the residents, employees, and visitors of Buildings ‘A’ and ‘B’ of the Villebois Village Center mixed-use development. Parking requirements and parking provided for the buildings are detailed below:

Buildings ‘A’ and ‘B’ of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C, will provide 94 multi-family residential units (69 one-bedroom units, 14 two-bedroom units, and 11 3-bedroom units) and 1,331 square feet of retail. According to Section 4.125 Table V-2 the proposed mixed-use buildings on Lot 76 are required to provide 112 off-street vehicle parking spaces as detailed below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Multi-family Dwellings		
69 1-Bed Units at 1.0 space/ unit	=	69 spaces
14 2-Bed Units at 1.5 spaces/ unit	=	21 spaces
11 3-Bed Units at 1.75 spaces/ unit	=	19 spaces
Retail/ Commercial		
1,331 sf. at 2.0 Spaces/ 1,000 sf	=	3 spaces
<hr/>		
Vehicle Parking Requirements per Section 4.125 Table V-2	=	112 spaces

Forty percent, or 45 spaces, of the required off-street parking spaces are permitted to be compact spaces according to Section 4.155.(2.)N. Section 4.125(.07)B.4.b states “Bicycle parking may substitute for up to 25% of required Mixed-Use or Multi-Family Residential parking. For every five non-required bicycle parking spaces that meet the short or long-term bicycle parking standards, the motor vehicle parking requirement for compact spaces may be reduced by one space.” The applicant is providing 133 bicycle parking spaces in excess of the requirement within Buildings ‘A’ and ‘B’ on Lots 76 (see calculation in following section) to offset the number of compact vehicle parking spaces permitted up to 25%, or 11 spaces.

Section 4.155.(I.)1. States “Motorcycle parking may substitute for up to 5 spaces or 5 percent of required automobile parking, whichever is less. For every 4 motorcycle parking spaces provided, the automobile parking requirement is reduced by one space.” The applicant is providing 4 motorcycle parking spaces on the surface parking lot behind Building ‘A’ to reduce the vehicle parking requirement by 1 space.

Including the reduction of 11-spaces allowed for excess bicycle parking and 1-space reduction allowed for motorcycle parking, the proposed mixed-use buildings on Lot 76 is required to provide 100 off-street vehicle parking spaces:

Vehicle Parking Requirements per Section 4.125 Table V-2		112 spaces
Vehicle Parking Off-set Allowed		-12 spaces
Total Vehicle Parking Spaces Required	=	100 spaces

The parking areas located behind Buildings ‘A’, ‘B’ provide 86 off-street parking spaces as detailed in the following table:

Off-Street Vehicle Parking Provided:

Parking Provided with Buildings ‘A’ and ‘B’ on Lot 76		
Standard Spaces	=	52 spaces
Compact Spaces	=	30 spaces
ADA Spaces	=	4 spaces
Off-Street Vehicle Parking Provided	=	86 spaces

In addition to the 86 off-street parking, the development provides 26 on-street parking spaces located directly adjacent to the development to be counted toward meeting the minimum off-street parking as allowable per Section 4.125(.07)B.3. as detailed below:

On-Street Vehicle Parking Provided:

Parking Provided with Buildings ‘A’ and ‘B’ on Lot 76		
SW Barber Street	=	4 spaces
SW Campanile Ln.	=	8 spaces
SW Valencia Lane	=	4 spaces
Royal Scott Lane	=	5 spaces
SW Villebois Drive North	=	5 spaces
On-Street Vehicle Parking Provided	=	26 spaces

With 86 off-street parking spaces and 26 on-street parking spaces, *the mixed-use development provides a total of 112 parking spaces to serve residents, employees, and visitors of the Village Center Apartment Buildings ‘A’ and ‘B’.*

Vehicle Parking for Future Conversion to Retail

As noted on the elevation and floor plans submitted in Section V of this application, 9 ground floor residential units facing the Piazza in Villebois Village Center Apartments Buildings A and B are designed to convert to 5,999 square feet of retail space to meet future market conditions. The 9 ground floor units require 10 parking spaces as detailed below:

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Building ‘A’ Ground Floor Residential		
3 Studio Units at 1.0 space/ unit	=	3 spaces
1 1-Bed Unit at 1.0 space/ unit	=	1 space
Building ‘B’ Ground Floor Residential		

1 Studio Unit at 1.0 space/ unit	=	1 space
3 1-Bed Units at 1.0 space/ unit	=	3 spaces
1 2-Bed Unit at 1.5 spaces/ unit	=	2 spaces
Vehicle Parking Requirements	=	10 spaces

Alternatively, 5,999 square feet of retail space which requires 2.0 spaces per 1,000 square feet results in a total of 12 vehicle parking spaces, an additional 2 parking spaces. The 26 on-street parking spaces adjacent to the development will adequately serve a future conversion of residential units to commercial space.

Vehicle parking requirements and vehicle parking provided for the entire Villebois Village Center Mixed-Use Development is detailed in the Introductory Narrative provided in Section IA of this application.

Buildings ‘A’ and ‘B’ of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C are required to provide 33 short and long-term bicycle parking spaces and 166 spaces are provided, resulting in an excess of 133 bicycle parking spaces as detailed below:

Bicycle Parking Requirements according to Section 4.125 Table V-2:

Multi-family Dwellings		
Short Term 94 units at 1.0 space/ 20 units	=	5 spaces
Long Term 94 units at 1.0 space per 4 units	=	24 spaces
Retail/ Commercial		
Short Term:		
1,331 sf. at 1.0 space/ 10,000 sf (Min. 2 spaces)	=	2 spaces
Long Term:		
1,331 sf. at 1.0 Spaces/ 40,000 sf (Min. 2 spaces)	=	2 spaces
Total Short Term Bicycle Parking Spaces Required	=	7 spaces
Total Long Term Bicycle Parking Spaced Required	=	26 spaces
Total Bicycle Parking Spaces Required	=	33 spaces

Bicycle Parking Provided:

Short Term		
Exterior Bike Racks	=	4 spaces
Bike Storage Room	=	3 space
Long Term		
Building ‘A’ Bike Storage Room on 1 st Floor	=	46 spaces
Building ‘B’ Bike Storage Room on 1 st Floor	=	19 spaces
1.0 Storage Space per Unit	=	94 spaces
Total Bicycle Parking Provided	=	166 spaces

Bicycle parking requirements and vehicle parking provided for the entire Villebois Village Center Mixed-Use Development is detailed in the Introductory Narrative provided in Section IA of this application.

(.08) Open Space.

Response: The Parks *Master Plan* for Villebois states that there are 58.42 acres of parks and 101.31 acres of open space for a total of 159.73 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent with *Master Plan*. No on-site greenspace is shown in the Villebois Village Master Plan and this is reflected by the applicant's proposal. However, the subject site borders The Piazza and is within walking distance of neighborhood parks and open space.

(.09) Street and Access Improvement Standards.

Response: The Supporting Compliance Report for the PDP demonstrates that streets and access improvement standards are met (See Section IVD). Proposed landscaping is sited to meet vision clearance standards (see Exhibit VE).

(.10) Sidewalk and Pathway Improvement Standards.

Response: All sidewalks and pathways within SAP Central will be constructed in accordance with the standards of Section 4.154 and the *Villebois Village Master Plan*. Sidewalks and pathways are shown in the street cross-sections on the *Circulation Plan* (see Section VE of this application).

(.11) Landscaping, Screening and Buffering

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:
 - 1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The applicable provisions of Section 4.176 are addressed in the subsequent sections of this report. The PDP modification provides information regarding street trees for the proposed streets (See Section IVD). This FDP application reflects the provision of street trees consistent with that shown in the PDP application.

(.12) Master Signage and Wayfinding

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property.

(.14) Design Standards Applying to the Village Zone

- A. The following design standards implement the Design Principles found in (.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:
 - 2. Building and site design shall include:
 - b. Materials, colors and architectural details executed in a manner consistent with the methods included in an

approved Architectural Pattern Book, Community Elements Book or approved Village Center Design.

Response: The materials proposed for the buildings, architecture, and streetscapes of the subject PDP are consistent with the approved *Community Elements Book* as shown in the FDP Approval Criteria section of this report.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: There are no existing significant trees onsite. No trees are being preserved with the proposed development as shown on the attached Tree Preservation Plan (See Section VIF).

- g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

Response: A detailed landscape plan is provided with this FDP application in accordance with the requirements of Section 4.125 (.07) and (.11), 4.176(.09), and 4.440(.01)B (see attached plans in Exhibit VE).

3. Lighting and site furnishings shall be in compliance with the approved Community Elements Book.

Response: Lighting as identified in the approved *Community Elements Book* for SAP - Central is addressed in the FDP Approval Criteria section of this report.

(.18) Village Zone Development Permit Process

- L. Final Development Plan Approval Procedures (Equivalent to Site Design Review):

1. Unless an extension has been granted by the Development Review Board as enabled by Section 4.023, within two (2) years after the approval of a PDP, an application for approval of a FDP shall:
 - a. Be filed with the City Planning Division for the entire FDP, or when submission of the PDP in phases has been authorized by the development Review Board, for a phase in the approved sequence.
 - b. Be made by the owner of all affected property or the owner's authorized agent.
 - c. Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution.
 - d. Set forth the professional coordinator and professional design team for the project.

Response: This application has been made by the owner and applicant of the affected property and has been filed on the prescribed form and accompanied by the

prescribed fee. The professional coordinator and professional design team for the project are listed in the Introductory Narrative (see Section IA of this Application).

M. FDP Application Submittal Requirements:

1. An application for approval of a FDP shall be subject to the provisions of Section 4.034.

Response: Section 4.034(.08), states that “Applications for development approvals within the Village zone shall be reviewed in accordance with the standards and procedures set forth in Section 4.125.” The proposed FDP is reviewed in accordance with the standards and procedures set forth in Section 4.125, as demonstrated by this report.

N. FDP Approval Procedures

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

O. FDP Refinements to an Approved Preliminary Development Plan

Response: This FDP is submitted for review and approval concurrent with the Preliminary Development Plan(PDP). Thus, the FDP is consistent with the PDP and does not propose any refinements or amendments to the PDP.

P. FDP Approval Criteria

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

2. An application for an FDP shall demonstrate that the proposal conforms to the applicable Architectural Pattern Book, Community Elements Book, Village Center Design and any other conditions of a previously approved PDP.

Response: This FDP addresses proposed architecture within PDP 12C. The attached Elevations & Floor Plans (see Exhibits VF) demonstrate compliance with the *Village Center Architectural Standards* and the Village Center Design as described in Section II of this report. The FDP is within the Village Center. The FDP is submitted for review and approval concurrent with the PDP; therefore, there are no conditions of a previously approved PDP that apply to this request. Conformance of the proposed FDP with the *Community Elements Book* for SAP - Central is demonstrated as follows.

GENERAL DEVELOPMENT REGULATIONS

SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION

(.02) On-site Pedestrian Access and Circulation

- A. The purpose of this section is to implement the pedestrian access and connectivity policies of the Transportation System Plan. It is intended to provide for safe, reasonably direct, and convenient pedestrian access and circulation.

Response: PDP 12C will be in compliance with Section 4.154 and provide for safe, reasonably direct, and convenient pedestrian access and circulation, as described below.

- B. Standards. Development shall conform to all the following standards:
1. Continuous Pathway System. A pedestrian pathway system shall extend throughout the development site and connect to adjacent sidewalks, and to all future phases of the development, as applicable.

Response: Pedestrian pathway systems (sidewalks) in PDP 12C extend throughout the development site and connect to adjacent sidewalks.

2. Safe, Direct, and Convenient. Pathways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, recreational areas/playgrounds, and public rights-of-way and crosswalks based on all of the following criteria:

Response: The entryways of both buildings are adjacent to and easily accessible by the public sidewalk.

- a. Pedestrian pathways area designed primarily for pedestrian safety and convenience, meaning they are free from hazards and provide a reasonably smooth and consistent surface.

Response: Pedestrian pathways will be free from hazards and will provide a reasonably smooth and consistent surface.

- b. The pathway is reasonably direct. A pathway is reasonably direct when it follows a route between destinations that does not involve a significant amount of unnecessary out-of-direction travel.

Response: The pathways will be reasonably direct and will not involve a significant amount of unnecessary out-of-direction travel.

- c. The pathway connects to all primary building entrances and is consistent with the Americans with Disabilities Act (ADA) requirements.

Response: Pathways connect to the primary building entrances in compliance with the Americans with Disabilities Act (ADA) requirements.

- d. All parking lots larger than three acres in size shall provide an internal bicycle and pedestrian pathway pursuant to Section 4.155(.03)(B.)(3.)(d.).

Response: There are no proposed parking lots large than three acres; therefore, this criteria is not applicable.

- 3. **Vehicle/Pathway Separation.** Except as required for crosswalks, per subsection 4, below, where a pathway abuts a driveway or street it shall be vertically or horizontally separated from the vehicular lane. For example, a pathway may be vertically raised six inches above the abutting travel lane, or horizontally separated by a row of bollards.

Response: Sidewalks adjacent to streets are extra wide to provide for pedestrian safety and comfort. These sidewalks are separated from vehicle travel areas by curbs

- 4. **Crosswalks.** Where a pathway crosses a parking area or driveway, it shall be clearly marking with a contrasting paint or paving materials (e.g., pavers, light-color concrete inlay between asphalt, or similar contrast).

Response: No crosswalks are being proposed onsite. All driveway crossings will be clearly marked as shown on the attached plans.

- 5. **Pathway Width and Surface.** Primary pathways shall be constructed concrete, asphalt, brick/masonry pavers, or other durable surface, and not less than five (5) feet wide. Secondary pathways and pedestrian trails may have an alternative surface except as otherwise required by the ADA.

Response: No pathways or pedestrian trails are being proposed with this project.

- 6. All pathways shall be clearly marked with appropriate standard signs.

Response: Pathways will be clearly marked with appropriate standard signs.

SECTION 4.156. SIGN REGULATIONS

Response: The SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property.

SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING

(.02) Landscaping and Screening Standards.

Response: Streets and public right-of-way improvements, including street trees, are reviewed with the PDP modification (see Section IV of this Application). This FDP consistently reflects street trees shown in the PDP.

(.03) Landscape Area.

Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area

landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.

Response: The attached plans in Section VE show that 6.7% of the site is landscaped. Table V-1 of the Wilsonville Development Code allows for a Maximum Lot Coverage of 80% for multifamily dwellings in the Village Zone. The intent of the Villebois Village Master Plan to provide for a more urban, dense atmosphere in the Village Center makes it difficult to meet this standard. The intention of this requirement appears to be to ensure recreational opportunities for residents and to reduce the size of the built environment while preserving the natural environment. The proposed sites are adjacent to The Piazza, the heart of the Villebois neighborhood, and are within walking distance of multiple Regional Parks. Additionally, the size of the buildings and their design are important to the character of the neighborhood; therefore, 6.7% of the site is being proposed as landscaping.

(.04) Buffering and Screening.

Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

- A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.

Response: Screening and buffering is shown on the landscape plans provided in Section VE.

- B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.

Response: Screening and buffering is shown on the landscape plans in Section VE.

- C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.

Response: All exterior, roof and grounded mounted, mechanical and utility equipment will be screened from ground level off-site view from adjacent streets and properties. Both buildings are proposed to have a parapet, which will hide all roof-mounted objects.

- D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.

- E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.
- F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fence line shall require Development Review Board approval.

Response: No outdoor storage areas, industrial uses, or fences are proposed within the site/proposed development; therefore, no buffering or screening is required for these elements.

(.05) Sight-Obscuring Fence or Planting.

The use for which a sight-obscuring fence or planting is required shall not begin operation until the fence or planting is erected or in place and approved by the City. A temporary occupancy permit may be issued upon a posting of a bond or other security equal to one hundred ten percent (110%) of the cost of such fence or planting and its installation. (See Sections 4.400 to 4.470 for additional requirements.)

Response: No sight-obscuring fence or planting is required in this FDP area.

(.06) Plant Materials.

- A. **Shrubs and Ground Cover.** All required ground cover plants and shrubs must be of sufficient size and number to meet these standards within three (3) years of planting. Non-horticultural plastic sheeting or other impermeable surface shall not be placed under mulch. Surface mulch or bark dust are to be fully raked into soil of appropriate depth, sufficient to control erosion, and are confined to areas around plantings. Areas exhibiting only surface mulch, compost or barkdust are not to be used as substitutes for plants areas.
 - 1. **Shrubs.** All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10” to 12” spread.

Response: As shown on the attached plans in Section VE all shrubs will be equal to or better than 2-gallon size with a 10 to 12 inch spread. All shrubs will be well branched and typical of their type as described in current AAN standards.

- 2. **Ground cover.** Shall be equal to or better than the following depending on the type of plant materials used: Gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 inch on center minimum. No bare root planting shall be permitted. Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting. Where wildflower seeds are designated for use as a ground cover, the City may require annual re-seeding as necessary.

Response: As shown on the attached plans in Section VE all ground covers will be at least 4" pots and spaced appropriately. These plants will be installed as required.

3. Turf or lawn in non-residential developments. Shall not be used to cover more than ten percent (10%) of the landscaped area, unless specifically approved based on a finding that, due to site conditions and availability of water, a larger percentage of turf or lawn area is appropriate. Use of lawn fertilizer shall be discouraged. Irrigation drainage runoff from lawns shall be retained within lawn areas.

Response: The subject FDP area is within a residential development; therefore, this criterion does not apply.

4. Plant materials under trees or large shrubs. Appropriate plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.

Response: As shown on the attached plans in Section VE appropriate plant materials will be installed beneath the canopies of trees and large shrubs. Areas that are not appropriate to plant beneath the canopies of existing trees will be mulched with bark.

- B. Trees. All trees shall be well-branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards and shall be balled and burlapped. The trees shall be grouped as follows:

1. Primary trees which define, outline or enclose major spaces, such as Oak, Maple, Linden, and Seedless Ash, shall be a minimum of 2" caliper.
2. Secondary trees which define, outline or enclose interior areas, such as Columnar Red Maple, Flowering Pear, Flame Ash, and Honeylocust, shall be a minimum of 1-3/4" to 2" caliper.
3. Accent trees which, are used to add color, variation and accent to architectural features, such as Flowering Pear and Kousa Dogwood, shall be 1-3/4" minimum caliper.
4. Large conifer trees such as Douglas Fir or Deodar Cedar shall be installed at a minimum height of eight (8) feet.
5. Medium-sized conifers such as Shore Pine, Western Red Cedar or Mountain Hemlock shall be installed at a minimum height of five to six (5 to 6) feet.

Response: As shown on the attached plans in Section VE, proposed tree species have been selected from the Villebois Plant List in the *Community Elements Book*. All proposed trees meet the minimum 2" caliper code requirement or the minimum height requirement for conifers as appropriate. All proposed trees will be well-branched, typical of their type as described in current AAN, and balled and burlapped.

- C. Where a proposed development includes buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area, the Development Review Board may require larger or more mature plant materials:

Response: The proposed buildings are larger than 24 feet in height. Therefore, the subject FDP is subject to larger/more mature plant materials as required by the Development Review Board.

D. Street Trees.

Response: Review of streets and rights-of-way, including street trees, occurs with the PDP (see Section IV of this application). Street trees will be installed with this proposal.

E. Types of Plant Species.

1. Existing landscaping or native vegetation may be used to meet these standards, if protected and maintained during the construction phase of the development and if the plant species do not include any that have been listed by the City as prohibited. The existing native and non-native vegetation to be incorporated into the landscaping shall be identified.

Response: The *Tree Preservation Plan* in Section VIF shows no existing trees proposed for preservation.

2. Selection of plant materials. Landscape materials shall be selected and sited to produce hardy and drought-tolerant landscaping. Selection shall be based on soil characteristics, maintenance requirements, exposure to sun and wind, slope and contours of the site, and compatibility with other vegetation that will remain on the site. Suggested species lists for street trees, shrubs and groundcovers shall be provided by the City of Wilsonville.

Response: All proposed landscaping materials are selected from the Villebois Plant List in the *Community Elements Book*. Specific materials were selected to best meet the site characteristics of the subject property.

3. Prohibited plant materials. The City may establish a list of plants that are prohibited in landscaped areas. Plants may be prohibited because they are potentially damaging to sidewalks, roads, underground utilities, drainage improvements, or foundations, or because they are known to be invasive to native vegetation.

Response: No plant materials listed as “Prohibited Plant Species” on the Villebois Plant List are included in the proposed landscaping.

F. Tree Credit.

Response: Tree credits are not applicable to this FDP application.

- G. **Exceeding Standards.** Landscape materials that exceed the minimum standards of this Section are encouraged, provided that height and vision clearance requirements are met.
- H. **Compliance with Standards.** The burden of proof is on the applicant to show that proposed landscaping materials will comply with the purposes and standards of this Section.

Response: The plans in Section VE and this report demonstrate that the proposed landscaping complies with the standards of the Wilsonville Development Code and the *Community Elements Book*.

(.07) Installation and Maintenance.

- A. **Installation.** Plant materials shall be installed to current industry standards and shall be properly staked to assure survival. Support devices (guy wires, etc.) shall not be allowed to interfere with normal pedestrian or vehicular movement.
- B. **Maintenance.** Maintenance of landscaped areas is the on-going responsibility of the property owner. Any landscaping installed to meet the requirements of this Code, or any condition of approval established by a City decision-making body acting on an application, shall be continuously maintained in a healthy, vital and acceptable manner. Plants that die are to be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City. Failure to maintain landscaping as required in this Section shall constitute a violation of this Code for which appropriate legal remedies, including the revocation of any applicable land development permits, may result.
- C. **Irrigation.** The intent of this standard is to assure that plants will survive the critical establishment period when they are most vulnerable due to a lack of watering and also to assure that water is not wasted through unnecessary or inefficient irrigation. Approved irrigation system plans shall specify one of the following:
 - 1. A permanent, built-in, irrigation system with an automatic controller. Either a spray or drip irrigation system, or a combination of the two, may be specified.
 - 2. A permanent or temporary system designed by a landscape architect licensed to practice in the State of Oregon, sufficient to assure that the plants will become established and drought-tolerant.
 - 3. Other irrigation system specified by a licensed professional in the field of landscape architecture or irrigation system design.
 - 4. A temporary permit issued for a period of one year, after which an inspection shall be conducted to assure that the plants have become established. Any plants that have died, or that appear to the Planning Director to not be thriving,

shall be appropriately replaced within one growing season. An inspection fee and a maintenance bond or other security sufficient to cover all costs of replacing the plant materials shall be provided, to the satisfaction of the Community Development Director. Additionally, the applicant shall provide the City with a written license or easement to enter the property and cause any failing plant materials to be replaced.

Response: Plants will be installed and maintained properly. A permanent-built-in irrigation system with an automatic controller will be installed underground to irrigate the proposed landscaping and to assure that plants survive the establishment period. Additional details about the irrigation system will be provided with construction plans.

- D. Protection. All required landscape areas, including all trees and shrubs, shall be protected from potential damage by conflicting uses or activities including vehicle parking and the storage of materials.

Response: The attached planting plans demonstrate that all landscape areas will be protected from potential damage by vehicle travel along streets and alleys.

(.08) Landscaping on Corner Lots.

All landscaping on corner lots shall meet the vision clearance standards of Section 4.177. If high screening would ordinarily be required by this Code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

Response: All landscaping at corners will meet the vision clearance standards of Section 4.177.

(.09) Landscape Plans.

Landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type, installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated. Landscape plans shall divide all landscape areas into the following categories based on projected water consumption for irrigation:

- A. High water usage areas (+/- two (2) inches per week): small convoluted lawns, lawns under existing trees, annual and perennial flower beds, and temperamental shrubs;
- B. Moderate water usage areas (+/- one (1) inch per week): large lawn areas, average water-using shrubs, and trees;
- C. Low water usage areas (Less than one (1) inch per week, or gallons per hour): seeded field grass, swales, native plantings, drought-tolerant shrubs, and ornamental grasses or drip irrigated areas.

- D. Interim or unique water usage areas: areas with temporary seeding, aquatic plants, erosion control areas, areas with temporary irrigation systems, and areas with special water-saving features or water harvesting irrigation capabilities.
These categories shall be noted in general on the plan and on the plant material list.

Response: The plans in Section VE include the required information listed in Section 4.176(.09).

(.10) Completion of Landscaping.

The installation of plant materials may be deferred for a period of time specified by the Board or Planning Director acting on an application, in order to avoid hot summer or cold winter periods, or in response to water shortages. In these cases, a temporary permit shall be issued, following the same procedures specified in subsection (.07)(C)(3), above, regarding temporary irrigation systems. No final Certificate of Occupancy shall be granted until an adequate bond or other security is posted for the completion of the landscaping, and the City is given written authorization to enter the property and install the required landscaping, in the event that the required landscaping has not been installed. The form of such written authorization shall be submitted to the City Attorney for review.

Response: The applicant does not anticipate deferring the installation of plant materials. Should it be necessary to defer installation of plant materials, the applicant will apply for a temporary permit.

(.11) Street Trees Not Typically Part of Site Landscaping.

Street trees are not subject to the requirements of this Section and are not counted toward the required standards of this Section. Except, however, that the Development Review Board may, by granting a waiver or variance, allow for special landscaping within the right-of-way to compensate for a lack of appropriate on-site locations for landscaping. See subsection (.06), above, regarding street trees.

Response: Street trees are not counted toward the required standards of this Section.

(.12) Mitigation and Restoration Plantings.

Response: A Type C Tree Removal Permit Application is submitted separately, but concurrent with these applications. There are no trees to be retained with this application as shown on the Tree Preservation Plan in Section VIF. Additionally, street trees planted throughout SAP Central have exceeded tree removal numbers.

SECTION 4.177. STREET IMPROVEMENT STANDARDS

(.02) Street Design Standards

- E. Corner or clear vision area.
1. A clear vision area shall be maintained on each corner of property at the intersection of any two streets, a street and

a railroad or a street and a driveway. No structures, plantings, or other obstructions that would impede visibility between the height of 3- inches and 10 feet shall be allowed within said area. Measurements shall be made from the top of the curb, or, when there is no curb, from the established street center line grade. However, the following items shall be exempt:

- a. Light and utility poles with a diameter less than 12 inches.
- b. An existing tree, trimmed to the trunk, 10 feet above the curb.
- c. Official warning or street sign.
- d. Natural contours where the natural elevations are such that there can be no cross-visibility at the intersection and necessary excavation would result in an unreasonable hardship on the property owner or deteriorate the quality of the site.

Response: Landscaping at the street corners will be less than 30 inches in height to assure that visibility is not blocked. Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

(.08) Access Drive and Driveway Approach Development Standards.

Response: Adjacent street rights-of-way have already been dedicated. The plan sheets located in Section IIIB demonstrate that all proposed driveways within the PDP area will have a minimum improvement width of 16 feet and will provide two-way travel. All access drives will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J).

SECTION 4.179. MIXED SOLID WASTE AND RECYCLING

(.01) All site plans for multi-unit residential and non-residential buildings submitted to the Wilsonville Development Review Board for approval shall include adequate storage space for mixed solid waste and source separated recyclables. [Amended by Ordinance No. 538, 2/21/02.]

Response: The buildings proposed provide adequate storage space for mixed solid waste and source separated recyclables as noted on the compliance letters provided by Republic Services in Section IE of this application.

(.02) The floor area of an interior or exterior storage area shall be excluded from the calculation of building floor area for purposes of determining minimum storage requirements.

Response: The storage requirement for the mixed-use development is based on the number of residential uses and retail square footage. No interior or exterior storage areas are included in the calculation.

(.03) The storage area requirement shall be based on the predominant use(s) of the building. If a building has more than one of the uses listed herein and that use occupies 20 percent or less of the floor area of the building, the floor area occupied by that use shall be counted toward the floor area of the predominant use(s). If a building has more than one of the uses listed herein and that use occupies more than 20 percent of the floor area of the building, then the storage area requirement for the whole building shall be the sum of the requirement for the area of each use.

Response: The buildings proposed provide adequate storage space for mixed solid waste and source separated recyclables as noted on the compliance letters provided by Republic Services in Section IE of this application.

(.04) Storage areas for multiple uses on a single site may be combined and shared.

Response: The trash storage rooms in Buildings A and B will serve both the residential and retail uses on the site.

(.05) The specific requirements are based on an assumed storage height of four feet for solid waste/recyclables. Vertical storage higher than four feet but no higher than seven feet may be used to accommodate the same volume of storage in a reduced floor space. Where vertical or stacked storage is proposed, the site plan shall include drawings to illustrate the layout of the storage area and dimensions for the containers.

Response: The required storage space has been calculated assuming storage height of four feet for solid waste/ recyclables. No vertical or stacked storage is proposed.

- (.06) The specific requirements for storage area are as follows:
- A. Multi-unit residential buildings containing five-ten units shall provide a minimum storage area of 50 square feet. Buildings containing more than ten residential units shall provide an additional five square feet per unit for each unit above ten.
 - B. Non-residential buildings shall provide a minimum storage area of ten square feet, plus:
 - 1. Office: Four square feet per 1,000 square feet gross floor area (GFA);
 - 2. Retail: Ten square feet per 1,000 square feet GFA;
 - 3. Wholesale / Warehouse / Manufacturing: Six square feet per 1,000 square feet GFA; and
 - 4. Other: Four square feet per 1,000 square feet GFA.

Response: Compliance letters from Republic Services for the proposed development, provided in Section IE of this application, state the storage area provided will accommodate the mixed-use Buildings 'A' and 'B'.

(.07) The applicant shall work with the City's franchised garbage hauler to ensure that site plans provide adequate access for the hauler's equipment and that storage area is adequate for the anticipated volumes, level of service and any other special

circumstances which may result in the storage area exceeding its capacity. The hauler shall notify the City by letter of their review of site plans and make recommendations for changes in those plans pursuant to the other provisions of this section.

Response: Compliance letters from Republic Services for the proposed development is provided in Section IE of this application.

(.08) Existing multi-unit residential and non-residential developments wishing to retrofit their structures to include storage areas for mixed solid waste and recycling may have their site plans reviewed and approved through the Class I Administrative Review process, according to the provisions of Section 4.035. Site plans for retrofitting existing developments must conform to all requirements of this Section, “Mixed Solid Waste and Recyclables Storage In New Multi-Unit Residential and Non-Residential Buildings,” and 4.430, “Location, Design and Access Standards for Mixed Solid Waste and Recycling Areas,” of the Wilsonville City Code. [Added by Ordinance #426 - April 4, 1994]

Response: The applicant is proposing new mixed-use buildings; therefore, this standard is not applicable.

SECTION 4.199.40 OUTDOOR LIGHTING. LIGHTING SYSTEMS STANDARDS FOR APPROVAL

(.01) Non-Residential Uses and Common Residential Areas.

A. All outdoor lighting shall comply with either the Prescriptive Option or the Performance Option below.

Response: The subject property is located within Lighting Zone 2 (LZ 2). The outdoor lighting will comply with the LZ 2 requirements of the Light Zone Map, as well as comply with all applicable building codes. See Landscape drawings for site lighting information. See the following description regarding the exterior architectural lighting at the proposed buildings.

Building A: See drawing sheet A.501 in Section V for proposed architectural lighting at exterior perimeter of Building A, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances, and balconies at upper floor levels.

Building B: See drawing sheet A.501 in Section V for proposed architectural lighting at exterior perimeter of Building B, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances. The amenity terrace at Level 5 will also have soffit lighting.

Light Fixtures: Lighting cutsheets for proposed architectural exterior lighting, include recessed LED downlight and LED wall sconces to conserve energy. All exterior LED fixtures have dimming abilities, to control brightness. Cutsheets are provided in Section VI of this application.

- The D-1 LED recessed downlight distributes lighting downward to prevent unnatural brightening of the night sky.

- The D-2 LED ribbon lighting will be used with acrylic panels at the Building B amenity terrace at Level 5. Geometric shapes within the terrace soffit will provide a visual focal point, while illuminating the exterior space.
- The S-1 LED wall sconce provides both uplighting and downlighting; the S-1 light fixture is proposed at two locations at Building B, to accentuate the stepped back massing of the primary façade facing the central plaza.
- The S-2 LED wall sconce and S-3 LED wall sconce both distribute the lighting downward to prevent unnatural brightening of the night sky.

SECTION 4.320. UNDERGROUND UTILITIES. REQUIREMENTS

(.01) The developer or subdivider shall be responsible for and make all necessary arrangements with the serving utility to provide the underground services (including cost of rearranging any existing overhead facilities). All such underground facilities as described shall be constructed in compliance with the rules and regulations of the Public Utility Commission of the State of Oregon relating to the installation and safety of underground lines, plant, system, equipment and apparatus.

Response: All existing utilities serving the site are undergrounded. Extension of existing utilities to service Buildings A and B will be constructed in compliance with the rules and regulations of the Public Utility Commission of the State of Oregon.

(.02) The location of the buried facilities shall conform to standards supplied to the subdivider by the City. The City also reserves the right to approve location of all surface-mounted transformers.

Response: All existing utilities serving the site are undergrounded. Extension of existing utilities to service Buildings A and B will be constructed in compliance with City standards.

(.03) Interior easements (back lot lines) will only be used for storm or sanitary sewers, and front easements will be used for other utilities unless different locations are approved by the City Engineer. Easements satisfactory to the serving utilities shall be provided by the developer and shall be set forth on the plat

Response: The Preliminary Composite Utility Plan, Sheet 5 in Section IVE of this application, denote the locations of existing and proposed utilities to serve Buildings A and B located in easements that comply with City standards.

SECTION 4.400. SITE DESIGN REVIEW

(.01) Excessive uniformity, inappropriateness or poor design of the exterior appearance of structures and signs and the lack of proper attention to site development and landscaping in the business, commercial, industrial and certain residential areas of the City hinders the harmonious development of the City, impairs the desirability of residence, investment or occupation in the City, limits the opportunity to attain the optimum use in value and improvements, adversely affects the stability and value of property, produces degeneration of property in such areas and with attendant deterioration of conditions affecting the peace, health and welfare, and

destroys a proper relationship between the taxable value of property and the cost of municipal services therefore.

Response: No signage is proposed as the SAP Central Signage & Wayfinding Plan does not indicate an identifier within the subject property. The PDP plans provided in Section IV of this application and FDP plans in Section VE are consistent with the SAP Central Signage & Wayfinding Plan.

The proposed buildings are designed in compliance with the standards for the rest of Villebois, so the entire development will have a cohesive, harmonious appearance, creating a desirable place of residence and adding to the overall quality of life in the City.

(.02) The City Council declares that the purposes and objectives of site development requirements and the site design review procedure are to:

A. Assure that Site Development Plans are designed in a manner that insures proper functioning of the site and maintains a high quality visual environment.

Response: The buildings in the FDP area have been designed to assure proper functioning of the site and to maintain an aesthetically pleasing environment.

B. Encourage originality, flexibility and innovation in site planning and development, including the architecture, landscaping and graphic design of said development;

Response: The FDP includes landscaping and architecture as shown on the attached plans (Sections VE and VF), which will enhance the visual environment of the site. Pedestrian connections to sidewalks and adjacent residences will be provided to enhance the site's connectivity to surrounding uses.

C. Discourage monotonous, drab, unsightly, dreary and inharmonious developments;

Response: The FDP area will include architecture as shown on the attached plans (see Section VF). Landscaping will consist of an appropriate mixture of ground cover, shrubs, and trees selected from the Villebois Plant List to create a harmonious appearance throughout the larger Villebois development. The proposed buildings will contribute to an interesting and aesthetically appealing development.

D. Conserve the City's natural beauty and visual character and charm by assuring that structures, signs and other improvements are properly related to their sites, and to surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping, and that proper attention is given to exterior appearances of structures, signs and other improvements;

Response: The site will incorporate landscaping that makes sense for a Pacific Northwest community, while matching the City's natural beauty and visual character.

E. Protect and enhance the City's appeal and thus support and stimulate business and industry and promote the desirability of

investment and occupancy in business, commercial and industrial purposes;

Response: The design of the proposed buildings along with the pedestrian connections to adjacent stores, residences, and streets, will help to maintain the appeal of Villebois as a unique and attractive community in which to live, work, and recreate. Residents of Villebois will stimulate the local economy by opening new businesses and thus creating jobs and by spending money in existing businesses.

F. Stabilize and improve property values and prevent blighted areas and, thus, increase tax revenues;

Response: The proposed buildings will be part of the Village Center Home Owners Association and will have its own property management company for the subject property, which will assure long-term maintenance of common and public areas.

G. Insure that adequate public facilities are available to serve development as it occurs and that proper attention is given to site planning and development so as to not adversely impact the orderly, efficient and economic provision of public facilities and services.

Response: The process used to plan for Villebois incorporates a tiered system that originates at the *Villebois Village Master Plan*. The *Master Plan* shows how facilities, including parks and open space, are distributed and available to residents throughout Villebois.

Figure 5 - Parks & Open Space Plan of the Master Plan shows that approximately 33% of Villebois will be in parks and open space. This FDP is consistent with the PDP, SAP - Central, and the *Villebois Village Master Plan*, and therefore, complies with this criterion.

H. Achieve the beneficial influence of pleasant environments for living and working on behavioral patterns and, thus, decrease the cost of governmental services and reduce opportunities for crime through careful consideration of physical design and site layout under defensible space guidelines that clearly define all areas as either public, semi-private, or private, provide clear identity of structures and opportunities for easy surveillance of the site that maximize resident control of behavior -- particularly crime;

Response: The *Villebois Village Master Plan* shows that the community will include a variety of housing options (living) and the Village Center will contain places for employment (working). This FDP shows a living environment in the Village Center that is enhanced by proximity to park and open space areas. Residents who will surround the parks and open spaces will provide on-going surveillance and control.

I. Foster civic pride and community spirit so as to improve the quality and quantity of citizen participation in local government and in community growth, change and improvements;

Response: The design of the Villebois Village has been created to develop a community that is truly unique. The City and Villebois Master Planner, as well as the Applicant, are working in partnership with nearby residents, property owners, and

local and regional governments to create a complete, livable, pedestrian-oriented community that will be an asset to the City of Wilsonville and Portland region. This partnership has generated citizen participation in the project and the unique design shall foster civic pride and community spirit amongst the residents of Villebois.

- J. Sustain the comfort, health, tranquility and contentment of residents and attract new residents by reason of the City's favorable environment and, thus, to promote and protect the peace, health and welfare of the City.

Response: The design of the Villebois Village revolves around three guiding principles: connectivity, diversity, and sustainability. These principles are intended to sustain the comfort, health, tranquility, and contentment of Villebois residents, while also promoting and protecting the peace, health and welfare of the City. *Connectivity* refers to creating connections between Villebois neighborhoods and between Villebois and other parts of the City and region for multiple modes of transportation. *Diversity* includes multiple choices of housing styles, housing affordability, recreation, employment, goods and services, and infrastructure for transportation. *Sustainability* involves the protection of natural resources and open space, energy conservation, and storm and rainwater management.

SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.

(.01) The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural styles is not included in these standards. (Even in the Boones Ferry Overlay Zone, a range of architectural styles will be encouraged.)

- A. Preservation of Landscape. The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soils removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

Response: As shown in the attached plans (see Exhibit VE), proposed plant materials are drawn from the Villebois Plant List, which includes native species, to ensure consistency of general appearance within the Villebois community.

- B. Relation of Proposed Buildings to Environment. Proposed structures shall be located and designed to assure harmony with the natural environment, including protection of steep slopes, vegetation and other naturally sensitive areas for wildlife habitat and shall provide proper buffering from less intensive uses in accordance with Sections 4.171 and 4.139 and 4.139.5. The achievement of such relationship may include the enclosure of space in conjunction with other existing buildings or other proposed buildings and the creation of focal points with respect to avenues of approach, street access or relationships to natural features such as vegetation or topography.

Response: Chapter 3 of the *Villebois Village Master Plan* takes into account scenic views, topography, existing vegetation, and other natural features in the design and location of parks and open spaces in the Villebois development. The FDP area does not include any steep slopes, sensitive wildlife habitat areas, wetlands, SROZ areas, or flood plains. Building B is situated so that its sightlines provide a view of Mt. Hood from its tower/top-floor amenity room, providing a scenic view for residents of Villebois.

- C. **Drives, Parking and Circulation.** With respect to vehicular and pedestrian circulation, including walkways, interior drives and parking, special attention shall be given to location and number of access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement of parking areas that are safe and convenient and, insofar as practicable, do not detract from the design of proposed buildings and structures and the neighboring properties.

Response: Parking lots are situated behind Buildings A and B, away from public view. Therefore, these parking lots do not take away from the overall aesthetic of the site. Driveways for the parking lots are well-lit and designed to be safe for vehicles and pedestrians alike. Pedestrians are separated from vehicular traffic through provided sidewalks, curb extensions, and/or crosswalks as illustrated on the *Preliminary Circulation Plan* provided in Section IVE.

- D. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties of the public storm drainage system.

Response: Surface water drainage is addressed in the PDP application (see Section IV of Application). The FDP is consistent with grading and drainage shown in the PDP. This system has been carefully designed so as not to adversely affect neighboring properties.

- E. **Utility Service.** Any utility installations above ground shall be located so as to have a harmonious relation to neighboring properties and site. The proposed method of sanitary and storm sewage disposal from all buildings shall be indicated.

Response: The PDP application addresses utility installation (see Section IV of Application). The FDP is consistent with the PDP.

- F. **Advertising Features.** In addition to the requirements of the City's sign regulations, the following criteria should be included: the size, location, design, color, texture, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.

Response: No advertising features are proposed in this FDP.

- G. **Special Features.** Exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and

structures and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall be required to prevent their being incongruous with the existing or contemplated environment and its surrounding properties. Standards for screening and buffering are contained in Section 4.176.

Response: This FDP does not propose any exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures or other accessory areas and structures. Compliance with Section 4.176 is addressed earlier in this report.

(.02) The standards of review outlined in Sections (a) through (g) above shall also apply to all accessory buildings, structures, exterior signs and other site features, however related to the major buildings or structures.

Response: No accessory buildings or structures are proposed.

(.03) The Board shall also be guided by the purpose of Section 4.400, and such objectives shall serve as additional criteria and standards.

Response: Compliance with the purpose of Section 4.400 has been addressed earlier in this report.

SECTION 4.430. LOCATION, DESIGN AND ACCESS STANDARDS FOR MIXED SOLID WASTE AND RECYCLING AREAS

(.01) The following locations, design and access standards for mixed solid waste and recycling storage areas shall be applicable to the requirements of Section 4.179 of the Wilsonville City Code.

Response: The location, design, and access for the waste and recycling storage areas comply with the requirements of Section 4.179 as addressed in a preceding section of this report.

(.02) **Location Standards:**

B. To encourage its use, the storage area for source separated recyclables shall be colocated with the storage area for residual mixed solid waste.

Response: Storage of recyclables and waste are co-located in trash rooms located on the ground floor level of each building.

C. Indoor and outdoor storage areas shall comply with Uniform Building and Fire Code requirements.

Response: Trash rooms located in Buildings A and B comply with Uniform Building and Fire Code requirements.

- D. Storage area space requirements can be satisfied with a single location or multiple locations and can combine with both interior and exterior locations.

Response: Storage of recyclables and waste are co-located in trash rooms located on the ground floor level of each building.

- E. Exterior storage areas can be located within interior side yard or rear yard areas. Minimum setback shall be three (3) feet. Exterior storage areas shall not be located within a required front yard setback, including double frontage lots.

Response: No exterior storage areas are proposed.

- F. Exterior storage areas shall be located in central and visible locations on a site to enhance security for users.

Response: No exterior storage areas are proposed.

- G. Exterior storage areas can be located in a parking area if the proposed use provides at least the minimum number of parking spaces required for the use after deducting the area used for storage. Storage areas shall be appropriately screened according to the provisions of Section 4.430 (.03), below.

Response: No exterior storage areas are proposed.

- H. The storage area shall be accessible for collection vehicles and located so that the storage area will not obstruct pedestrian or vehicle traffic movement on the site or on public streets adjacent to the site.

Response: Trash rooms are directly accessible from the surface parking area located in the back of each building. Collection vehicles will not obstruct pedestrian or vehicle traffic movement on site or adjacent public streets. Building A's parking lot is designed in a circular fashion to allow collection vehicles to easily maneuver and allows continual forward movement from and back on-to SW Campanile Lane. Building B's parking lot design has been modified to provide collection vehicle access from both SW Valencia Lane and SW Barber Street.

(.03) Design Standards.

- A. The dimensions of the storage area shall accommodate containers consistent with current methods of local collection.

Response: The trash rooms have been designed to accommodate the required containers and provide access. Republic Services Compliance Letters are provided in Section IE of this application.

- B. Storage containers shall meet Uniform Fire Code standards and be made of or covered with waterproof materials or situated in a covered area.

Response: Storage containers, located in enclosed trash rooms, will meet Uniform Fire Code standards as required.

- C. Exterior storage areas shall be enclosed by a sight obscuring fence, wall or hedge at least six (6) feet in height. Gate openings for haulers shall be a minimum of ten (10) feet wide and shall be capable of being secured in a closed or open position. In no case shall exterior storage areas be located in conflict with the vision clearance requirements of Section 4.177.

Response: No exterior storage areas are proposed.

- D. Storage area(s) and containers shall be clearly labeled to indicate the type of materials accepted.

Response: Storage areas and containers will be clearly labeled to indicate the type of materials accepted.

(.04) Access Standards.

- A. Access to storage areas can be limited for security reasons. However, the storage area shall be accessible to users at convenient times of the day and to collect service personnel on the day and approximate time they are scheduled to provide collection service.

Response: Trash rooms located on the ground floor of each building will be secured to limit access to residence, retail employees, and collection service personnel of each building.

- B. Storage areas shall be designed to be easily accessible to collection trucks and equipment, considering paving, grade and vehicle access. A minimum of ten (10) feet horizontal clearance and eight feet of vertical clearance is required if the storage area is covered.

Response: Trash rooms are directly accessible from the surface parking area located in the back of each building. Interior trash rooms are designed with the to provide clearance as required.

- C. Storage areas shall be accessible to collection vehicles without requiring backing out of a driveway onto a public street. If only a single access point is available to the storage area, adequate turning radius shall be provided to allow collection vehicles to safely exit the site in a forward motion. (Added by Ordinance #426, April 4, 1994.)

Response: Trash rooms are directly accessible from the surface parking area located in the back of each building. Collection vehicles will not obstruct pedestrian or vehicle traffic movement on site or adjacent public streets. Building A's parking lot is designed in a circular fashion to allow collection vehicles to easily maneuver and

allows continual forward movement from and back on-to SW Campanile Lane. Building B's parking lot design has been modified to provide collection vehicle access from both SW Valencia Lane and SW Barber Street.

SECTION 4.440. PROCEDURE.

(.01) Submission of Documents.

A prospective applicant for a building or other permit who is subject to site design review shall submit to the Planning Department, in addition to the requirements of Section 4.035, the following:

- A. A site plan, drawn to scale, showing the proposed layout of all structures and other improvements including, where appropriate, driveways, pedestrian walks, landscaped areas, fences, walls, off-street parking and loading areas, and railroad tracks. The site plan shall indicate the location of entrances and exits and direction of traffic flow into and out of off-street parking and loading areas, the location of each parking space and each loading berth and areas of turning and maneuvering vehicles. The site plan shall indicate how utility service and drainage are to be provided.
- B. A Landscape Plan, drawn to scale, showing the location and design of landscaped areas, the variety and sizes of trees and plant materials to be planted on the site, the location and design of landscaped areas, the varieties, by scientific and common name, and sizes of trees and plant materials to be retained or planted on the site, other pertinent landscape features, and irrigation systems required to maintain trees and plant materials. An inventory, drawn at the same scale as the Site Plan, of existing trees of 4" caliper or more is required. However, when large areas of trees are proposed to be retained undisturbed, only a survey identifying the location and size of all perimeter trees in the mass is necessary.
- C. Architectural drawings or sketches, drawn to scale, including floor plans, in sufficient detail to permit computation of yard requirements and showing all elevations of the proposed structures and other improvements as they will appear on completion of construction. Floor plans shall also be provided in sufficient detail to permit computation of yard requirements based on the relationship of indoor versus outdoor living area, and to evaluate the floor plan's effect on the exterior design of the building through the placement and configuration of windows and doors.
- D. A Color Board displaying specifications as to type, color, and texture of exterior surfaces of proposed structures. Also, a phased development schedule if the development is constructed in stages.
- E. A sign plan, drawn to scale, showing the location, size, design, material, color and methods of illumination of all exterior signs.
- F. The required application fee.

Response: Section VE of this application includes FDP plans that meet the requirements of Section 4.440 (.01). A copy of the application is included in Exhibit

IB of this application. Architectural Elevations & Floor Plans are included in Section VF of this application.

The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property.

SECTION 4.450. INSTALLATION OF LANDSCAPING.

(.01) All landscaping required by this section and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City shall be returned to the applicant.

Response: The applicant understands that they must provide a security to guarantee installation of the proposed landscaping.

(.02) Action by the City approving a proposed landscape plan shall be binding upon the applicant. Substitution of plant materials, irrigation systems, or other aspects of an approved landscape plan shall not be made without official action of the Planning Director or Development Review Board, as specified in this Code.

Response: The applicant understands that changes to the landscape plan included in this application cannot be made without official action of the Planning Director or the Development Review Board.

(.03) All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered with Board approval.

Response: The applicant understands that they are responsible for the ongoing maintenance of the proposed landscaping.

(.04) If a property owner wishes to add landscaping for an existing development, in an effort to beautify the property, the Landscape Standards set forth in Section 4.176 shall not apply and no Plan approval or permit shall be required. If the owner wishes to modify or remove landscaping that has been accepted or approved through the City's development review process, that removal or modification must first be approved through the procedures of Section 4.010.

Response: This FDP does not include any existing development; therefore, this criterion does not apply.

II. COMMUNITY ELEMENTS BOOK

Applicable Requirement	Requirement Met?	Notes
Street Lighting	<input checked="" type="checkbox"/>	Lighting shown on attached plans is consistent with Lighting Master Plan.
Curb Extensions	<input checked="" type="checkbox"/>	Existing curb extensions shown on the Circulation Plan.
Street Trees	<input checked="" type="checkbox"/>	Location and species of street trees shown on the attached plans are consistent with the Master Plan.
Landscape Elements-Site Furnishings	<input checked="" type="checkbox"/>	Benches and bike racks proposed are consistent with the Community Elements Book.
Tree Protection	<input checked="" type="checkbox"/>	No onsite trees are to be preserved with this development. Adjacent street trees will be preserved as shown on the tree plan provided in Section VI
Plant List	<input checked="" type="checkbox"/>	All plant materials listed on page L1 of Section VE are on the Villebois plant list. No prohibited plants are proposed.
Address Overlay Areas	<input checked="" type="checkbox"/>	Subject FDP is located within the Plaza Address Overlay and meets the standards for site furnishings, plant material, and surfaces. There are no changes to these standards with this application.

III. VILLAGE CENTER ARCHITECTURAL STANDARDS

Standards Applying to All Buildings

Standard	Standard Met?	Notes
1.1 Building Types		
1) Buildings outside Address overlays meet development standards of V-Zone per Building Type	<input checked="" type="checkbox"/>	Proposed mixed-use buildings are consistent with standards specified for Villebois Central
1.2 Building Height & Roof Form		
Required Standards		
1) Max. Building Height according to Table V-1	<input checked="" type="checkbox"/>	According to Table V-1 the maximum height for mixed-use buildings in Village Center is 60-feet. The proposed mixed-use buildings are less than 60-feet tall.

2) Addresses have other height limitations	<input checked="" type="checkbox"/>	According to Table V-1 the maximum height for mixed-use buildings in Village Center is 60-feet. The proposed mixed-use buildings are less than 60-feet tall, complying with this standard.
3) Building height measured as defined in 4.001.	<input checked="" type="checkbox"/>	The building heights have been measured as defined in 4.001
4) Rooftop equipment screened from current and future taller buildings	<input checked="" type="checkbox"/>	Rooftop equipment is screened by parapets and the height of the buildings.
5) Roof Gardens	<input type="checkbox"/>	No rooftop gardens proposed.
Optional Standards:		
6) Buildings encouraged to reach max. allowable height	<input checked="" type="checkbox"/>	Both buildings are 4 stories in height
7) Minimize shading of public and private outdoor areas during mid-day	<input checked="" type="checkbox"/>	There are no proposed outdoor areas on-site. The buildings are located north and west of The Piazza minimizing shading of the public outdoor area during mid-day.
1.3 Horizontal Façade Articulation		
Required		
1) Horizontal Facades articulated into smaller units using two or more of the following: change of materials, change of color, façade planes that are vertical in proportion, bays and recesses, breaks in roof elevation.	<input checked="" type="checkbox"/>	Buildings A and B are designed with change of materials, colors and façade planes with projections and recesses as illustrated on the plans provided in Section VF.
2) Incorporate features such as offsets, projections, reveals, and similar elements to preclude large expanses of uninterrupted building surfaces.	<input checked="" type="checkbox"/>	Building A: Balconies overlooking the plaza provide projections that add texture to the building's façade. Building B: Recessed Hardi panels ("stucco boards") in accented color help break down the building's massing. Buildings A and B have design features including offsets, projections, and other similar features to reduce the apparent mass of the buildings.
Optional		
3) Articulation should extend to the roof	<input checked="" type="checkbox"/>	Breaks in roof elevation are incorporated into the design of the buildings. Roofs are articulated as illustrated in the plans provided in Section VF.
2.1 Vertical Façade Articulation for All Mixed Use Buildings		
Required		
Express a division between base and top	<input checked="" type="checkbox"/>	Buildings A and B are designed with a change of materials and colors to provide a vertical division between the base of

		<p>the building and upper residential floors. Canopies and/or awnings will be installed at time of retail tenant improvements. At the public and common area spaces, the buildings' façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. The residential housing is primarily demarcated with lap siding or revealed Hardi panels ("stucco board"), with vinyl windows at the apt units.</p>
Use of Arcade to Accomplish 0.1	☒	<p>At the public and common area spaces, the buildings' façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances.</p>
Optional		
Division between base and top occurs at floor level of programmatic division.	☒	<p>At the public and common area spaces, the buildings' façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above.</p>
Storefront design different from residential window detailing.	☒	<p>At Level 1 of Buildings A and B and C, the apartment units facing Villebois Village's central plaza are designed to be convertible to future retail, should the property owner decide at a future date to replace the residential housing with additional retail. Entrances for future retail spaces along Level 1, only the Building A Live/Work units currently provide storefront doors to the exterior. At the remaining Level 1 apartment units which currently do not provide exterior doors connecting to the hardscape facing the central plaza, the windows are either storefront or vinyl windows, as annotated in the building elevation drawings. Future storefront doors will be provided as part of a future retail tenant improvements. For the proposed project, the civil grading design alongside these apartment units will</p>

		attempt to accommodate future retail doors, where the apt unit windows are currently provided. It is possible however that due to grading, some future retail spaces will require external or internal ramps at their entrances, depending on the future retail entrance locations. The buildings' façade finishes for current retail are designed with a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances.
Differentiation of a building's base at corners.	☒	Building B: A corner Retail space (approx. 1200 SF) activates the streetscape along Barber Street and the plaza, with the Leasing Center next door. Buildings A & B are designed with accentuated corners that identify one's arrival into the plaza.
Base design incorporates design features.	☒	The ground level of Buildings A and B include apartment amenities and retail opportunities that encourages activity around the plaza.
3.1 Exterior Building Materials & Color		
Required		
1) Visually heavier and more massive materials at base when multiple materials used.	☒	The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above.
2) Bright, intense colors reserved for accent trim	☒	Building A: A bright accent color utilized at the recessed Hardi panels ("stucco boards") helps break down the building's massing.
3) Bright colors not used for commercial purposes	☒	Building A: The bright accent color is not used for commercial purposes.
4) Concrete block shall be split-faced, ground-faced, or scored when facing street or public way. Discouraged around the plaza.	☒	No concrete block is proposed for Buildings A and B.
5) Exteriors constructed of durable and maintainable materials with texture, pattern, or lend themselves to quality detailing.	☒	Proposed materials are all durable and easy to maintain and allow for detailing.
Optional		
6) Exterior materials have an integral color, patterning, and/or texture	☒	The buildings are designed complement one another for a cohesive project wrapping the plaza.

7) Sustainable building materials and practices are strongly encouraged	<input type="checkbox"/>	Not applicable.
3.2 Architectural Character		
Required		
1) A definitive, consistent Architectural Character. All primary facades consistent with Architectural Character	<input checked="" type="checkbox"/>	The buildings are designed complement one another for a cohesive project wrapping the plaza.
2) No mixing of Architectural Styles	<input checked="" type="checkbox"/>	Buildings A and B have a similar design. Above the brick base of each building, the buildings are a combination of fiber cement lap siding and “stucco board” (Hardi panels). Each material provides a different texture to the building façade, along with the light and dark paint colors which further break down the massing above. The result is unique façade designs wrapping the central plaza, with complementary finish materials and complementary color palettes.
3) Secondary facades incorporate primary façade features over 25% of wall length	<input checked="" type="checkbox"/>	Secondary facades are designed with a brick base of each building and combination of fiber cement lap siding and “stucco board” (Hardi panels).
4) All visible sides have a similar level of quality and visual interest	<input checked="" type="checkbox"/>	All elevations of Building A and B are designed with a similar level of quality and visual interest as illustrated on the plans in Exhibit VF.
5) Accessory buildings designed and integrated into primary building	<input checked="" type="checkbox"/>	No accessory buildings are proposed
6) Applicants encouraged to consult an architect or architectural historian regarding appropriate elements of architectural style	<input checked="" type="checkbox"/>	Buildings A & B have been designed by an Architect with C2K Architects.
7) If not in an address, elevations not repeated on adjacent blocks	<input checked="" type="checkbox"/>	The buildings surrounding The Piazza are each unique in their style and elevations.
3.3 Ground Level Building Components		
Required		
1) Building setbacks and frontage widths as required by Table V-1	<input checked="" type="checkbox"/>	The proposed buildings meet the required setbacks and widths for a Mixed-use development as established by Table V-1

2) Retail orientation towards street	☒	The ground floor retail/common spaces are oriented to The Piazza and adjacent public streets. At Level 1 of Building A, and Building B the apartment units facing Villebois Village’s central plaza are designed to be convertible to future retail, should the property owner decide at a future date to replace the residential housing with additional retail.
3) Differentiating entrances for mixed use buildings	☒	Storefront doors and storefront windows, with canopies demarcating entrances differentiate entrances for mixed-used buildings. Regarding the entrances for future retail spaces along Level 1, only the Building A Live/Work units currently provide storefront doors to the exterior. At the remaining Level 1 apartment units which currently do not provide exterior doors connecting to the hardscape facing the central plaza, the windows are either storefront or vinyl windows, as annotated in the building elevation drawings. Future storefront doors will be provided as part of a future retail tenant improvements. For the proposed project, the civil grading design alongside these apartment units will attempt to accommodate future retail doors, where the apt unit windows are currently provided. It is possible however that due to grading, some future retail spaces will require external or internal ramps at their entrances, depending on the future retail entrance locations.
4) Entries have weatherproof roof covering appropriately sized but at least 4 feet deep and 4 feet wide	☒	Weatherproof covering of entries provided as shown on attached Architectural Plans.
5) Any building lighting is indirect or shielded	☒	All building lighting will be indirect or shielded. The outdoor lighting will comply with the LZ 2 requirements of the Light Zone Map, as well as comply with all applicable building codes. Building A: See drawing sheet A.501 for proposed architectural lighting at exterior perimeter of Building A, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls

		adjacent to building entrances, and balconies at upper floor levels. Building B: See drawing sheet A.501 for proposed architectural lighting at exterior perimeter of Building B, which provides downlighting at soffits and canopies, as well as wall sconce lighting at walls adjacent to building entrances. The amenity terrace at Level 5 will also have soffit lighting. Lighting fixture cut-sheets are provided in Section VI of this application.
6) Parking structures screened using at least two of the following: residential or commercial uses, decorative grill work, decorative artwork, vegetation	<input type="checkbox"/>	Not applicable, no parking structure proposed
7) Plaza address mixed-use buildings have canopy or awning	<input checked="" type="checkbox"/>	The brick veneer, storefront windows, and steel canopies all reinforce the ground level streetscape, to make the plaza a vibrant, pedestrian-friendly experience.
8) Reflective, heavily tinted, or other sight obscuring glass discouraged	<input checked="" type="checkbox"/>	Windows are not reflective, heavily tinted, or sight obscuring.
9) Landscaping or other screening provided when parking is between buildings and the street	<input checked="" type="checkbox"/>	Landscaping is provided as shown on the attached L1 sheet in the plan set.
Optional		
10) Create indoor/outdoor relationships	<input checked="" type="checkbox"/>	Large windows, wide sidewalks, proximity to The Piazza, and small front setbacks help to create indoor/outdoor relationships
11) Canopies and Awnings primary function is weather protection	<input checked="" type="checkbox"/>	Canopies will function as weather protection as intended.
4.1 Façade Components		
Required		
1) Windows and doors recessed 3 inches for shadowing or incorporate shutters (appear operable and sized for window), railing, and/or visible or substantial trim (contrasting material, color, or creates shadowing.)	<input checked="" type="checkbox"/>	Visible, substantial trim, in contrasting material and color, is provided at doors and windows recessed less than 3-inches.
2) Balconies extend no more than 36"	<input checked="" type="checkbox"/>	Balconies in Building A extend less than 36-inches

3) Shutters sized to appear operable at window and door openings	<input type="checkbox"/>	No shutters are proposed for Buildings A or B
4) Except in the plaza address, balconies shall be at least 5 feet deep	<input type="checkbox"/>	Buildings A and B are located in the plaza address.
Optional		
4) (Note: Duplicate numbers in published VCAS) Individual windows square or vertical in proportion. An assembly of windows have horizontal proportion	<input checked="" type="checkbox"/>	Windows are square or vertical in proportion
5) Materials changes occur at a horizontal line or at inside corner of two vertical planes.	<input checked="" type="checkbox"/>	Buildings A and B are designed with materials changes occurring at horizontal lines or inside corners of two vertical plans.
6) Every residential unit have outdoor living space.	<input type="checkbox"/>	Units are attached. A number of residential units in Building A have balconies. Outdoor living space is provided by The Piazza located directly across from the development and nearby parks.
7) Expression of rainwater path	<input type="checkbox"/>	Not applicable.
8) Building fronts uneven angles to accommodate shape of street	<input type="checkbox"/>	Building fronts are at even angles.
9) Wide opening windows	<input type="checkbox"/>	The mixed-use buildings are not designed with wide opening windows.
10) Discourage use of high window sills	<input checked="" type="checkbox"/>	Buildings A and B are not designed with high window sills
11) Finishing touches and ornament	<input checked="" type="checkbox"/>	Ornamental finishes for retail is detailed in the plans provided in Section VF.
5.1 Fencing		
Required		
1) See all applicable sections of the Village Zone, including but not limited to Section 4.125(.14) Table V-4 Permitted Materials and Configurations and Section 4.125 (.05) D. Fences	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
2) The following fencing requirements apply to all fences and walls located between rights-of-way and building lines.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
3) See Address overlay sections for additional requirements.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.

4) Except where specifically required by Address overlays, fences are optional. Less fencing than the maximum allowable is allowed.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
5) Fencing shall be consistent with the Architectural Character of adjacent buildings, See Architectural Character, this section.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
6) Fencing controlling access to a courtyard, outdoor lobby, or other public entries shall be greater than 50% transparent.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
7) Fencing located within the first 2'0" setback from right-of-ways shall be greater than 50% transparent.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
8) Fencing located within interior side yards or separating buildings on the same lot shall be offset 4'0" or greater behind the adjacent front building line.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
9) Posts, pilasters, columns, or bollards may extend an additional 8" above the maximum height of any allowed fencing.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
10) Fencing may not change height at corners. They must level top surfaces and transition at posts to maintain height as required by changes in grade elevation.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.
11) Loading facilities, trash enclosures, and ground-level mechanical and utility equipment: These facilities shall be sited at the rear or side of buildings wherever practicable, and shall be screened where visible from the street. Screening shall match the adjacent development in terms of quality of materials and design. Such screening shall minimize light glare and noise	<input type="checkbox"/>	No loading facilities, trash enclosures, or ground-level mechanical or utility equipment are located outside the buildings.

levels affecting adjacent residential uses.		
Optional		
12) Fencing is encouraged to be consistent with building railing at balconies, decks, porches, etc.	<input type="checkbox"/>	No fencing is proposed with Buildings 'A' and 'B' on Lot 76, FDP 12C.

Intent Applying to Buildings in the Plaza Address Overlay

Standard	Standard Met?	Notes
1.1 Narrative		
1) The Plaza is the physical and symbolic heart of Villebois envisioned as a Public Room with building facades as its walls, streets as its doors, and paving and landscape as its floor. This address places special emphasis on roof heights and forms, corner and storefront treatments, expression of the rainwater path, and balconies and decks.	<input checked="" type="checkbox"/>	The Villebois Village's central plaza is the physical and symbolic heart of Villebois. The three proposed 4-story buildings wrap the plaza to create a sense of enclosure, acting as the "walls" around this public "room". At the primary streets surrounding the plaza, the buildings' accentuated corners identify one's arrival into the plaza. At Building B, the top-floor Amenity Deck provides a focal point along Barber Street, drawing visitors toward the plaza.
2.1 Building Types		
1) Building Type shall be Mixed-Use Buildings - Village Center, Multi-Family Dwellings - Village Center, or Row Houses - Village Center. Row Houses - Village Center shall meet the standards of the adjacent Address instead of the Plaza Address	<input checked="" type="checkbox"/>	Buildings A and B are Mixed-use.
2.2 Building Height & Roof Form		
1) Strengthen the perception of the Plaza as a public room by establishing a consistency of façade heights and roof forms.	<input checked="" type="checkbox"/>	The proposed 4-story buildings wrap two sides of the plaza to help create a sense of enclosure, acting as the "walls" around this public "room".
3.1 Horizontal Façade Articulation		
1) Reduce the apparent bulk of long buildings by breaking them down into smaller components. Provide articulation, interest in design, and human scale to the façade.	<input checked="" type="checkbox"/>	Buildings A and B are designed with bays and recesses and breaks in roof elevations to reduce the apparent mass of each building. Future tenant improvements of retail space will provide unique store front designs to further reduce the bulk of each building.
4.1 Corner Massing & Articulation		

1) Standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade	☒	Accentuated corners are provided on Buildings A and B to identify one's arrival into the plaza.
4.2 Exterior Building Materials		
1) Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade of a building through a variety of building techniques.	☒	Construction materials will ensure a standard of quality that will easily be maintained by the development's management company overtime. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. Included in this application is a request to amend the Specific Area Plan to refine VCAS 4.2. Exterior Building Materials. The supporting compliance report provided in Section III of this application details how the proposed development will meet the amended standards.
4.3 Ground Level Building Components		
1) Provide an appropriate buffer between private zones and the public right-of-way. Encourage interaction between neighbors and between residents and pedestrians. Ensure that ground floors reinforce the streetscape character.	☒	<p>At the public and common area spaces, the buildings' façade finishes are a combination of brick veneer and storefront doors and storefront windows, with canopies demarcating entrances. The brick veneer accentuates the ground level, delineating to active streetscape from the residential housing above. Future tenant improvements of retail space will provide unique store front designs including pedestrian scale blade signs.</p> <p>The ground level of each building encourages activity around the plaza. Building A has large common area amenities for the three apartment buildings with large storefront windows. Three Live/Work units facing the plaza provide opportunities for small office or retail. At Building B, a corner Retail space (approx. 1200 SF) activates the streetscape along Barber Street and the plaza, with the Leasing Center next door.</p>
4.4 Façade Components		

<p>1) Maintain a lively and active street face. Ensure a standard of quality that will be easily maintained and cared for over time. Provide articulation, interest in design, and human scale to the façade</p>	<input checked="" type="checkbox"/>	<p>Buildings A and B are designed to wrap two sides of the central plaza, with complementary finish materials and complementary color palettes. The brick veneer, storefront windows, and steel canopies all reinforce the ground level streetscape, to make the plaza a vibrant, pedestrian-friendly experience. The ground level of each building include public and common areas with community amenities and retail space that encourages activity around the plaza. Construction materials will ensure a standard of quality that will easily be maintained by the development’s management company overtime. Residential balconies will be recessed.</p>
--	-------------------------------------	--

IV. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Final Development Plan. Therefore, the applicant requests approval of this application.

**SUPPORTING COMPLIANCE REPORT
 FINAL DEVELOPMENT PLAN 1C
 VILLEBOIS VILLAGE CENTER LOT 12
 VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
 SURFACE PARKING AREA SITE 'D'**

SECTION VG

Table of Contents

I.	WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.125. VILLAGE (V) ZONE	2
	GENERAL DEVELOPMENT REGULATIONS	15
	SECTION 4.137.5 SCREENING AND BUFFERING (SB) OVERLAY ZONE	15
	SECTION 4.140. PLANNED DEVELOPMENT REGULATIONS	16
	SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION.....	18
	SECTION 4.155. GENERAL REGULATIONS - PARKING, LOADING AND BICYCLE PARKING. .	20
	SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING	24
	SECTION 4.177. STREET IMPROVEMENT STANDARDS	32
	SECTION 4.179. MIXED SOLID WASTE AND RECYCLABLES STORAGE IN NEW MULTI-UNIT RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS.....	34
	SECTION 4.199.40 OUTDOOR LIGHTING. LIGHTING SYSTEMS STANDARDS FOR APPROVAL	34
	SECTION 4.320. UNDERGROUND UTILITIES. REQUIREMENTS	35
	SECTION 4.400. SITE DESIGN REVIEW	35
	SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.	38
	SECTION 4.430. LOCATION, DESIGN AND ACCESS STANDARDS FOR MIXED SOLID WASTE AND RECYCLING AREAS	41
	SECTION 4.440. PROCEDURE.....	41
	SECTION 4.450. INSTALLATION OF LANDSCAPING.	42
II.	COMMUNITY ELEMENTS BOOK	43
III.	VILLAGE CENTER ARCHITECTURAL STANDARDS	43
IV.	CONCLUSION	45

I. WILSONVILLE PLANNING & LAND DEVELOPMENT ORDINANCE

SECTION 4.125. VILLAGE (V) ZONE

(.03) Permitted Accessory Uses.

C. Structured parking, garages, and parking areas

Response: This Final Development Plan (FDP) application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed use development located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, an accessory use permitted by Section 4.125(.03)C.

(.05) Development Standards Applying to All Developments in the Village Zone. In addition to other applicable provisions of the Wilsonville Planning and Land Development Ordinance, all development in the Village zone shall be subject to Tables V-1 through V-4, and to the following. If there is a conflict between the provisions of the Village zone and other portions of the Code, then the provisions of this section shall apply.

A. Block, Alley, Pedestrian and Bicycle Standards:

Response: The subject property abuts to SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, all existing streets within Villebois Village Center which meet the maximum 1,800-foot block perimeter and maximum 530-foot spacing for local street access.

B. Access: All lots with access to a public street, and an alley, shall take vehicular access from the alley to a garage or parking area, except as determined by the City Engineer.

Response: The proposed parking lot on the subject property has vehicular access available from SW Toulouse Street or SW Ravenna Loop via a private alley. Access easements will be granted as required.

C. Trailers, travel trailers, mobile coaches, or any altered variation thereof shall not be used for the purpose of conducting a trade or calling, or for storage of material, unless provided for such purpose as a temporary use.

Response: No trailers, travel trailers, mobile coaches, or such vehicles will be used for the purpose of conducting a trade or calling, or storage of material unless approved as a temporary use.

D. Fences:

1. General Provisions:

- a. Fencing in the Village Zone shall be in compliance with the Master Fencing Program in the adopted Architectural Pattern Book for the appropriate SAP. [Section 4.125(.09)(D)(1)(a) amended by Ord. No. 596, 10/3/05.]
- b. When two or more properties with different setbacks abut, the property with the largest front yard setback requirement shall be used to determine the length and height of the shared side yard fence, as required by Section 4.125(.05)(D)(1)(a), above.

Example: Building 'A' has 20' front yard setback and Building 'B' has zero front yard setback. Since Building 'A' has the larger front yard setback, it shall be used to determine the height and length of the shared side yard fence. It is 6' tall, but is reduced to 3' in front of Building 'A's building line.

- c. The Development Review Board may, in their discretion, require such fencing as deemed necessary to promote and provide traffic safety, noise mitigation, and nuisance abatement, and the compatibility of different uses permitted on adjacent lots of the same zone and on adjacent lots of different zones.

Response: The SAP Central Plan and Villebois Village Master Plan do not indicate any required community fencing within the subject site. The Village Center Architectural Standards (VCAS) indicate that fencing is optional in the Plaza Address, and where provided should be consistent with the architecture. The applicant is proposing 6-foot-high vine support fence, consisting of welded wire mesh fencing with cedar posts, around the entirety of the site except at breaks for pedestrian and vehicle access points as illustrated on Detail 4 of Sheet L1 in Section VH. Star Jasmine, a blooming broad-leaf evergreen, is proposed to vegetate the fence and providing a visual barrier between the parking lot and surrounding properties. A sample image of the vegetated vine is provided below:

Image 1. Sample of Vegetated Vine



2. Residential:

Response: Residential development is not proposed; therefore, this standard does not apply.

E. Recreational Area in Multi-family Residential and Mixed Use Developments.

Response: No recreational areas are proposed; therefore, this standard does not apply.

F. Fire Protection:

Response: No structures are proposed; therefore, this standard does not apply.

(.06) Standards Applying to Commercial Uses.

Response: This application is for a surface parking area, not a commercial use; therefore, these standards do not apply.

(.07) General Regulations - Off-Street Parking, Loading & Bicycle Parking. Except as required by subsections (a) through (D), below, the requirements of Section 4.155 shall apply within the Village zone.

Response: The general provisions of Section 4.155 General Regulations - Parking, Loading and Bicycle Parking are addressed later in this report.

A. General Provisions:

1. The provision and maintenance of off-street parking spaces is a continuing obligation of the property owner. The standards set forth herein shall be considered by the Development Review Board as minimum criteria.
2. The Board shall have the authority to grant variances or refinements to these standards in keeping with the purposes and objectives set forth in this zone.

Response: Maintenance of the parking lot on Lot 12 and parking areas on Lots 73 and 76 will be managed by the Villebois Village mixed-use development.

B. Minimum and Maximum Off-Street Parking Requirements:

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. Off-street parking requirements for the entire mixed-use development is addressed in the Introductory Narrative provided in Section IA of this submittal.

C. Minimum Off-Street Loading Requirements:

Response: The applicant does not propose any off-street loading space to be located in the parking lot on Lot 12

D. Bicycle Parking Requirements:

Response: No short or long-term bicycle parking is proposed.

(.08) Open Space. Open space shall be provided as follows:

Response: The Parks Master Plan for Villebois states that there are 58.42 acres of parks and 101.31 acres of open space for a total of 159.73 acres within Villebois, approximately 33%. SAP Central includes parks and open space areas consistent and in excess of the Master Plan. The Parks Master Plan for Villebois does not show required open space within the subject site and the applicant is not proposing any changes to this designation. Therefore, this standard is not applicable, as it has already been met and exceeded within SAP Central.

(.09) Street and Access Improvement Standards.

- A. Except as noted below, the provisions of Section 4.177 shall apply within the Village zone:

Response: The general provisions of Section 4.177 Street Improvement Standards are addressed later in this report.

1. General Provisions:

- a. All street alignment and access improvements shall conform to Figures 7, 8, 9A, and 9B of the Villebois Village Master Plan, or as refined in an approved Specific Area Plan, Preliminary Development Plan, or Final Development Plan, and the following standards:

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, existing fully improved streets. The applicant is not proposing to modify or alter the existing street alignment. The existing street alignments and access improvements are consistent with those approved in the *Villebois Village Master Plan* and SAP Central.

- i. All street improvements shall conform to the Public Works Standards and shall provide for the continuation of streets through proposed developments to adjoining properties or subdivisions, according to the Master Plan.

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, existing fully improved streets. The street system within this PDP modification is designed to provide for the continuation of streets within Villebois and to adjoining properties or subdivisions according to the *Master Plan*. The street system is illustrated on the *Site Plan*, Sheet 2 in Section VH.

- ii. All streets shall be developed in according to the Master Plan.

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop. No new streets are proposed. Streets adjacent to the Lot 12 are developed with curbs, landscape strips, sidewalks, and bikeways or pedestrian pathways in accordance with the Master Plan as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH.

2. Intersections of streets:

Response: No new streets or intersections are proposed with this development; therefore, this standard does not apply. The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop. No new streets or curb extensions are proposed with this development. Existing curb extensions are shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH. Curb extensions do not obstruct the bicycle lane

on SW Barber Street, classified as a minor collector. The preliminary plan sheets in Section VH illustrate that all street intersections adjacent to the site have a minimum 20-foot wide clear distance between curb extensions on all local residential street intersections.

3. Street Grades:

Response: No new streets or modification of grades to existing streets are proposed with this development; therefore, this standard is not applicable.

4. Centerline Radius Street curves:

Response: The proposed development does not alter any existing streets; therefore, this standard does not apply.

5. Rights-of-way:

Response: The subject property abuts SW Barber Street on the northeast, and Villebois Drive on the northwest, existing rights-of-way as shown on the plan sheets located in Section VH of this application. The proposed development has vehicular access from SW Toulouse Street or SW Ravenna Loop. Access easements will be granted as required.

6. Access drives:

- a. See Section 4.125(.09)(A), above.
- b. 16 feet for two-way traffic

Response: The access drive within the parking lot will be paved at least 16-feet, as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH. In accordance with Section 4.177, the access drive will be constructed with a hard surface capable of carrying a 23-ton load. Easements for fire access will be dedicated as required by the fire department. All access drives will be designed to provide a clear travel lane free from any obstructions.

7. Clear Vision Areas

- a. See Section 4.125(.09)(A), above.

Response: Clear vision areas will be provided and maintained in compliance with the Section 4.177 Street Improvement Standards as addressed later in this report.

8. Vertical Clearance:

Response: Vertical clearance will be provided and maintained in compliance with the Section 4.177 Street Improvement Standards as addressed later in this report.

9. Interim Improvement Standard:

Response: The subject property abuts SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop, existing public rights-of-way. No interim improvements are proposed.

(.10) Sidewalk and Pathway Improvement Standards.

- A. The provisions of Section 4.154 and 4.177(.03) shall apply within the Village zone.

Response: All sidewalks and pathways within SAP Central will be constructed in accordance with the Villebois Village Master Plan and meet the standards of Section 4.154 On-Site Pedestrian Access and Circulation, Section 4.177 Street Improvement Standards as addressed later in this report. Sidewalks and pathways are shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH.

(.11) **Landscaping, Screening and Buffering.**

- A. Except as noted below, the provisions of Section 4.176 shall apply in the Village zone:

Response: The standards of Section 4.176 Landscaping, Screening & Buffering are addressed later in this report.

- 1. Streets in the Village zone shall be developed with street trees as described in the Community Elements Book.

Response: The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH shows the street trees proposed adjacent to the parking lot. The trees are in conformance with the Community Elements Book.

(.12) **Master Signage and Wayfinding**

- A. All signage and wayfinding elements within the Village Zone shall be in compliance with the adopted Signage and wayfinding Master Plan for the appropriate SAP.

Response: The SAP Central *Signage & Wayfinding Plan* does not indicate an identifier within the subject property and no signs are proposed with this application.

(.13) **Design Principles Applying to the Village Zone**

- A. The following design principles reflect the fundamental concepts, and support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities of the built environment within the Village zone.

- 1. The design of landscape, streets, public places and buildings shall create a place of distinct character.

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residence, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. The mixed-use development the parking lot supports, provides 143 residential market-rate apartments and 2,460 square feet of commercial retail space designed to create a vibrant Village Center with distinct character.

- 2. The landscape, streets, public places and buildings within individual development projects shall be considered related and connected components of the Villebois Village Master Plan.

Response: This application supports the creation of a vibrant Village Center filled with multi-family residential, retail spaces, and community amenities. This application proposes development of a surface parking lot on Lot 12 to serve the residence, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. While the off-street parking area supports motor vehicles, the central location promotes pedestrian transportation throughout the Village Center. The parking lot is designed with walkways that provide pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive. The landscaping plan is designed to visually screen the parking lot from the surrounding properties and public area that include The Piazza located directly north of the site.

3. The design of buildings shall functionally relate to adjacent open space, gateways, street orientation, and other features as shown in the Villebois Village Master Plan.

Response: No buildings are proposed; therefore, this principle does not apply.

4. The design of buildings and landscape shall functionally relate to sunlight, climate, and topography in a way that acknowledges these conditions as particular to the Willamette Valley.

Response: The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, details the type and proposed location of trees, shrubs, and groundcover, drawn from the Villebois Plant List, which includes native species, to ensure consistency of general appearance within the Villebois community and functionally relate to sunlight, climate, and topographic conditions particular to the Willamette Valley.

5. The design of buildings shall incorporate regional architectural character and regional building practices.

Response: No buildings are proposed; therefore, this principle does not apply.

6. The design of buildings shall include architectural diversity and variety in its built form.

Response: No buildings are proposed; therefore, this principle does not apply.

7. The design of buildings shall contribute to the vitality of the street environment through incorporation of storefronts, windows, and entrances facing the sidewalk.

Response: No buildings are proposed; therefore, this principle does not apply.

8. The design of streets and public spaces shall provide for and promote pedestrian safety, connectivity and activity.

Response: Pedestrian pathways provide direct pedestrian access from the parking lot to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary*

Circulation Plan submitted with the concurrent PDP modification application, Sheet 6 in Section IVH. The public sidewalk network connects the parking lot to Lot 76 of PDP 12C and Lot 73 of PDP 2C providing a safe, direct, and convenient pedestrian connection for the residence, employees, and visitors of Villebois Village mixed use development the parking lot serves.

9. The design of buildings and landscape shall minimize the visual impact of, and screen views of off-street parking from streets.

Response: The landscaping plan is designed to visually screen the parking lot from the surrounding properties and public area that include The Piazza located directly north of the site.

10. The design of exterior lighting shall minimize off-site impacts, yet enable functionality.

Response: This FDP for Lot 12 does not propose any alterations to the existing lighting fixtures located adjacent to the site as shown on the *Existing Conditions & Demolition Plan* submitted with the concurrent PDP modification application, Sheet 2 in Section IVH. No new lighting is proposed, minimizing the off-site impacts.

(.14) Design Standards Applying to the Village Zone

A. The following design standards implement the Design Principles found in 4.125(.13), above, and enumerate the architectural details and design requirements applicable to buildings and other features within the Village (V) zone. The Design Standards are based primarily on the features, types, and details of the residential traditions in the Northwest, but are not intended to mandate a particular style or fashion. All development within the Village zone shall incorporate the following:

1. General Provisions:
 - a. Flag lots are not permitted.

Response: No flag lots are proposed with this application.

- b. The minimum lot depth for a single-family dwelling with an accessory dwelling unit shall be 70 feet.

Response: No single-family dwellings are proposed with this application.

- c. Village Center lots may have multiple front lot lines.

Response: Villebois Village Center Lot 12 abuts SW Barber on the northeast, and Villebois Drive on the northwest.

- d. For Village Center lots facing two or more streets, two of the facades shall be subject to the minimum frontage width requirement. Where multiple buildings are located on one lot, the facades of all buildings shall be used to calculate the Minimum Building Frontage Width.

Response: No buildings are proposed; therefore, this standard does not apply.

- e. Neighborhood Centers shall only be located within a Neighborhood Commons.

Response: This application does not propose development of a Neighborhood Center; therefore, this standard does not apply.

- f. Commercial Recreation facilities shall be compatible with surrounding residential uses.

Response: This application does not propose development of commercial recreation facilities; therefore, this standard does not apply.

- g. Convenience Stores within the Village zone shall not exceed 4,999 sq. ft., and shall provide pedestrian access.

Response: This application does not propose development of a convenience store; therefore, this standard does not apply.

- h. Specialty Grocery Stores within the Village zone shall not be more 19,999 square feet in size.

Response: This application does not propose development of a specialty grocery store; therefore, this standard does not apply.

- i. A Grocery Store shall not be more than 40,000 square feet in size.

Response: This application does not propose development of a grocery store; therefore, this standard does not apply.

2. Building and site design shall include:

- a. Proportions and massing of architectural elements consistent with those established in an approved Architectural Pattern Book or Village Center Architectural Standards.
- b. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Architectural Pattern Book, Community Elements Book or approved Village Center Architectural Standards.
- c. Protective overhangs or recesses at windows and doors.
- d. Raised stoops, terraces or porches at single-family dwellings.
- e. Exposed gutters, scuppers, and downspouts, or approved equivalent.

Response: No buildings are proposed; therefore, this standard does not apply.

- f. The protection of existing significant trees as identified in an approved Community Elements Book.

Response: The Preliminary *Tree Preservation Plan* submitted with the concurrent PDP modification application, shows no significant trees are located on the subject site, see Sheet 8 in Section IVH.

- g. A landscape plan in compliance with Sections 4.125(.07) and (.11), above.

Response: The *Street Tree Layout and Planting Plan*, Sheet L1 in Section VH, complies with the requirements of Sections 4.125(.07) and (.11) as previously addressed.

- h. Building elevations of block complexes shall not repeat an elevation found on an adjacent block.
- i. Building elevations of detached buildings shall not repeat an elevation found on buildings on adjacent lots.
- j. A porch shall have no more than three walls.
- k. A garage shall provide enclosure for the storage of no more than three motor vehicles, as described in the definition of Parking Space. Materials, colors and architectural details executed in a manner consistent with the methods included in an approved Architectural Pattern Book, Community Elements Book or approved Village Center Design.

Response: No buildings or garages are proposed; therefore, these standards do not apply.

- 3. Lighting and site furnishings shall be in compliance with the approved Architectural Pattern Book, Community Elements Book, or approved Village Center Architectural Standards.

Response: The Community Elements Book does not identify site furnishings within the project site. The *Existing Conditions and Demolition Plan* submitted with the concurrent PDP modification application, Sheet 2 in Section IVH shows the location of the existing lighting fixtures, the *Street Tree Layout Planting Plan* shows existing street trees and proposed landscaping, Sheets L1 in Section VH. No buildings are proposed, and the preliminary plans provided in Section VH comply with the *Community Elements Book*.

- 4. Building systems, as noted in Tables V-3 and V-4 (Permitted Materials and Configurations), below, shall comply with the materials, applications and configurations required therein. Design creativity is encouraged. The LEED Building Certification Program of the U.S. Green Building Council may be used as a guide in this regard.

Response: No buildings are proposed with this application; therefore, this standard does not apply.

(.15) **Village Center Design Principles.**

- A. In addition to the design principles found in Section 4.125(.13), above, the following principles reflect the fundamental concepts, support the objectives of the Villebois Village Master Plan, and guide the fundamental qualities within the Village Center:
 - 1. The buildings, streets, and open spaces of the Village Center are intended to relate in such a way as to create an identifiable and related series of public and private spaces.

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the development located on Lot

76 of PDP 12C and Lot 73 of PDP 2C, relating directly to the Villebois Village mixed-use development located around in the core of the Village Center.

(.16) Village Center Design Standards.

A. In addition to the design standards found in Section 4.125(.14), above, the following Design Standards are applicable to the Village Center, exclusive of single-family detached dwellings and row houses:

1. Off-street parking areas shall not be located between buildings and the street.

Response: This application proposes a parking lot on Lot 12 in the Villebois Village Center which abuts to SW Barber Street on the northeast, Villebois Drive on the northwest, with vehicle access available from SW Toulouse Street or SW Ravenna Loop. No buildings. The parking lot is not located between a building and a street.

2. The design of off-street parking areas shall include pedestrian connections to the buildings they serve, sidewalks, and adjacent parking areas.

Response: The parking lot is designed with walkways that provide pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive. The public sidewalk network connects the parking lot to Lot 76 of PDP 12C and Lot 73 of PDP 2C providing a pedestrian connection for the residence, employees, and visitors of Villebois Village mixed use development the parking lot serves.

3. The design of buildings and public spaces shall include interior (through-buildings) and exterior public pedestrian accessways, as required, to facilitate pedestrian connections.

Response: No buildings are proposed with this application. The parking lot is designed with walkways that connect the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive which connects the parking lot to Lot 76 of PDP 12C and Lot 73 of PDP 2C, providing a pedestrian connection for the residence, employees, and visitors of Villebois Village mixed use development the parking lot serves.

4. The design of buildings shall include rear and side entrances in addition to primary street front entrances when necessary to facilitate pedestrian connections.

Response: No buildings are proposed; therefore, this standard does not apply.

5. Building facades shall be broken into multiple vertical elements.

Response: No buildings are proposed; therefore, this standard does not apply.

6. Canopies and awnings should be provided as specified in the Village Center Architectural Standards. [Section 4.125(.16)(A)(6) amended by Ord. No. 595, 12/5/05.]

Response: No buildings are proposed; therefore, this standard does not apply.

7. The design of buildings and landscapes shall provide opportunities for public art at a minimum of one location per block.

Response: This application proposes development of a parking lot on Lot 12 in the Villebois Village Center. The subject property is located directly south of The Piazza where opportunities for public art are available.

(.18) Village Zone Development Permit Process. Except as noted below, the provision of Sections 4.140(.02) through (.06) shall apply to development in the Village zone.

Response: Applicable provisions of Section 4.140 are addressed in a subsequent section of this report.

- A. **Purpose and Intent.** It is the purpose of this subsection to describe the process by which development plans are proposed, reviewed and adopted and to provide the procedures and criteria for development permit application, review and approval.

Response: This Preliminary Development Plan (PDP) modification application proposes development of a surface parking lot on Lot 12.

- B. **Unique Features and Processes of the Village (V) Zone:** To be developed, there are three (3) phases of project approval. Some of these phases may be combined, but generally the approvals move from the conceptual stage through to detailed architectural, landscape and site plan review in stages. All development within the Village zone shall be subject to the following processes:

2. Preliminary Development Plan (PDP) approval by the Development Review Board, as set forth in Section 4.125(.18)(G) through (K) (Stage II equivalent), below. Following SAP approval, an applicant may file applications for Preliminary Development Plan approval (Stage II equivalent) for an approved phase in accordance with the approved SAP, and any conditions attached thereto. Land divisions may also be preliminarily approved at this stage. Except for land within the Central SAP or multi-family dwellings outside the Central SAP, application for a zone change and Final Development Plan (FDP) shall be made concurrently with an application for PDP approval. The SAP and PDP/FDP may be reviewed simultaneously when a common ownership exists.

Final Development (FDP) approval by the Development Review Board or the Planning Director, as set forth in Sections 4.125(.18)(L) through (P) (Site Design Review equivalent), below, may occur as a separate phase for lands in the Central SAP or multi-family dwellings outside the Central SAP.

Response: The Applicant is requesting approval of a Final Development Plan (FDP). Compliance with Sections 4.125(.18)(L) through (P) is demonstrated in the following sections of this report. This FDP addresses Lot 12 of Phase 1 on the SAP Central Phasing Plan. A Preliminary Development Plan is also submitted concurrent with this PDP application (see Section IV).

- L. **Final Development Plan Approval Procedures (Equivalent to Site Design Review):**

1. Unless an extension has been granted by the Development Review Board as enabled by Section 4.023, within two (2) years after the approval of a PDP, an application for approval of a FDP shall:
 - a. Be filed with the City Planning Division for the entire FDP, or when submission of the PDP in phases has been authorized by the development Review Board, for a phase in the approved sequence.

Response: This FDP application is for development of Lot 12 of Phase 1 on the SAP Central Phasing Plan.

- b. Be made by the owner of all affected property or the owner's authorized agent.

Response: This application is made by Costa Pacific, with the authorization of the property owner. The application form is provided in Section IB of this application.

- c. Be filed on a form prescribed by the City Planning Division and filed with said division and accompanied by such fee as the City Council may prescribe by resolution.

Response: The appropriate application form is included in Section IB of this application. Section IC includes a fee calculation which the applicant will pay on-line

- d. Set forth the professional coordinator and professional design team for the project.

Response: The professional coordinator and professional design team for the project are listed in the Introductory Narrative (see Section IA).

M. FDP Application Submittal Requirements:

- a. An application for approval of a FDP shall be subject to the provisions of Section 4.034.

Response: Section 4.034(.08), states that "Applications for development approvals within the Village zone shall be reviewed in accordance with the standards and procedures set forth in Section 4.125." The proposed FDP complies with the standards and procedures of Section 4.125, as demonstrated by this report.

N. FDP Approval Procedures

- a. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

O. FDP Refinements to an Approved Preliminary Development Plan

- a. In the process of reviewing a FDP for consistency with the underlying Preliminary Development Plan, the DRB may approve refinements, but not amendments to the PDP. Refinements to the PDP may be approved by the Development Review Board, upon the applicant's detailed graphic demonstration of compliance with the criteria set forth in Section 4.125(.18)(O)(2), below:

Response: This FDP is submitted for review and approval concurrent with the Preliminary Development Plan (PDP) Modification; thus, this application is consistent with the PDP Modification and does not propose any refinements or amendments to the PDP Modification.

P. FDP Approval Criteria

1. An application for approval of a FDP shall be subject to the provisions of Section 4.421.

Response: The provisions of Section 4.421 are addressed in the following sections of this report.

2. An application for an FDP shall demonstrate that the proposal conforms to the applicable Architectural Pattern Book, Community Elements Book, Village Center Design and any other conditions of a previously approved PDP.

Response: The FDP is submitted for review and approval concurrent with the PDP Modification for development of a parking lot in Lot 12 of PDP 1C. No buildings are proposed, and the preliminary plans provided in Section VH comply with the Community Elements Book.

GENERAL DEVELOPMENT REGULATIONS

SECTION 4.137.5 SCREENING AND BUFFERING (SB) OVERLAY ZONE

(.01) **Purpose.** The Screening and Buffering Overlay Zone is intended to be used with any underlying base zone to specify appropriate screening and buffering standards for areas where residential and nonresidential uses abut. The “SB” Overlay Zone is used to assure that there is adequate separation and screening between potentially conflicting land uses. The buffering is achieved by restricting access, increasing setbacks, requiring additional landscaping, restricting signs, and, in some cases, by requiring additional information and proof of mitigation for uses that may otherwise cause off-site impacts or nuisances.

Response: The 0.33-acre site is designed to include 0.12-acres, or 36.4% of landscaped area including trees, shrubs, and six (6) foot tall vine support fence, around the entirety of the site except at breaks for pedestrian and vehicle access points, as illustrated and detailed on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH. The landscape buffer provides a visual and physical buffer between the parking lot and adjacent properties including the condominiums to the west, rowhomes to northeast and The Piazza located directly north of the site.

(.02) **Where the “SB” Overlay Zone is to be Applied.** The screening and Buffering Overlay Zone is to be applied primarily along the edge of nonresidential zones abutting, or located directly across the street from, residential zones. As with any zoning, the “SB” Overlay Zone is only applied where established by action of the City Council.

Response: The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, details the type and proposed location of trees, shrubs, and six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points proposed to provide a visual and physical buffer between the parking lot and

adjacent properties including the condominiums to the west, rowhomes to northeast and The Piazza located directly north of the site.

(.03) Landscaped Areas.

The following landscape requirements apply to the “SB” Overlay Zone. Structures, exterior storage and exterior display of merchandise are prohibited in these landscaped areas.

Response: No structures, exterior storage or exterior displays of merchandise are proposed within the landscaped buffer that separates the parking lot and adjacent condos and rowhomes.

(.04) Ingress and Egress. Motor vehicle access shall be limited through any landscaped area required in the “SB” Overlay Zone. The Development Review Board may impose additional landscape requirements to minimize the visual impacts of any vehicle access points that are approved.

Response: No motor vehicle access is proposed between the landscaped buffer that separates the parking lot and the adjacent condos and rowhomes.

(.05) Exterior Work. No exterior manufacturing, storage, sales, or other similar work shall be performed within the “SB” Overlay Zone.

Response: No exterior manufacturing, storage, sales, or other similar work will be performed within the landscaped buffer that separates the parking lot and adjacent condos and rowhomes.

(.06) Signs. No signs, other than approved monument signs, shall be permitted within the “SB” Overlay Zone.

Response: No signs are proposed with this application.

(.07) Performance Standards and Off-Site Impacts. Many of Wilsonville’s base zones contain performance standards to limit impacts on surrounding properties and the overall community. Developers shall be encouraged to utilize the standards of the “SB” Overlay Zone to help assure compliance with the performance standards.

Response: The *Preliminary Grading & Erosion Control Plan*, submitted with the concurrent PDP modification application, Sheet 4 in Section IVH, shows that the grading proposed serves the proposed parking lot without impacting adjacent properties. The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, details the type and proposed location of trees, shrubs, and six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points proposed to provide a visual and physical buffer between the parking lot and adjacent properties.

SECTION 4.140. PLANNED DEVELOPMENT REGULATIONS

(.02) Lot Qualification.

- A. Planned Development may be established on lots which are suitable for and of a size to be planned and developed in a manner consistent with the purposes and objectives of Section 4.140.
- B. Any site designated for development in the Comprehensive Plan may be developed as a Planned Development, provided that it is zoned “PD” or specifically defined as a PD zone by this code. All sites which are greater than two (2) acres in size, and designated in the Comprehensive Plan for commercial, residential, or industrial use shall be developed as Planned Developments, unless approved for other uses permitted by the Development Code. Smaller sites may also be developed through the City’s PD procedures, provided that the location, size, lot configuration, topography, open space and natural vegetation of the site warrant such development.

Response: This Final Development Plan (FDP) application proposes development of a surface parking lot on Lot 12, a 0.33-acre site is zoned City - Village (V). According to Section 4.125(.18), Village (V) Zone Development Permit Process the provisions of Section 4.140(.02) through (.06) apply to development in the Village zone.

(.03) Ownership.

- A. The tract or tracts of land included in a proposed Planned Development must be in one (1) ownership or control or the subject of a joint application by the owners of all the property included. The holder of a written option to purchase, with written authorization by the owner to make applications, shall be deemed the owner of such land for the purposes of Section 4.140.
- B. Unless otherwise provided as a condition for approval of a Planned Development permit, the permittee may divide and transfer units or parcels of any development. The transferee shall use and maintain each such unit or parcel in strict conformance with the approval permit and development plan.

Response: This application is made by Costa Pacific, with the authorization of the property owner. The application form is provided in Section IB of this application.

(.04) Professional Design.

- A. The applicant for all proposed Planned Developments shall certify that the professional services of the appropriate professionals have been utilized in the planning process for development.
- B. Appropriate professionals shall include, but not be limited to the following to provide the elements of the planning process set out in Section 4.139:
 - 1. An architect licensed by the State of Oregon;
 - 2. A landscape architect registered by the State of Oregon;
 - 3. An urban planner holding full membership in the American Institute of Certified Planners, or a professional planner with prior experience representing clients before the Development Review Board, Planning Commission, or City Council; or
 - 4. A registered engineer or a land surveyor licensed by the State of Oregon.
- C. One of the professional consultants chosen by the applicant from either 1, 2, or 3, above, shall be designated to be responsible for conferring with the planning staff with respect to the concept and details of the plan.

- D. The selection of the professional coordinator of the design team will not limit the owner or the developer in consulting with the planning staff.

Response: The primary contact and professional design team, which includes a certified professional planner, registered engineer, and registered surveyor are identified in the Introductory Narrative, located in Section IA of this application.

(.05) Planned Development Permit Process.

Response: The 0.33-acre site is zoned City - Village (V), no zone changes are proposed. The applicant is submitting this FDP application concurrently with a Preliminary Development Plan (PDP) modification application, provided in Section II.

SECTION 4.154. ON-SITE PEDESTRIAN ACCESS AND CIRCULATION

(.01) On-site Pedestrian Access and Circulation

- A. The purpose of this section is to implement the pedestrian access and connectivity policies of the Transportation System Plan. It is intended to provide for safe, reasonably direct, and convenient pedestrian access and circulation.

Response: FDP 1C Modification will be in compliance with Section 4.154 and provide for safe, reasonably direct, and convenient pedestrian access and circulation, as described below.

- B. Standards. Development shall conform to all the following standards:
 - 1. Continuous Pathway System. A pedestrian pathway system shall extend throughout the development site and connect to adjacent sidewalks, and to all future phases of the development, as applicable.

Response: Pedestrian pathways provide direct pedestrian access from the parking lot to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH.

- 2. Safe, Direct, and Convenient. Pathways within developments shall provide safe, reasonably direct, and convenient connections between primary building entrances and all adjacent parking areas, recreational areas/playgrounds, and public rights-of-way and crosswalks based on all of the following criteria:

Response: Pedestrian pathways provide direct pedestrian access from the parking lot to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH. The public sidewalk network provides a safe, direct, and convenient pedestrian connection from the parking lot to Villebois Village mixed use development on Lot 76 of PDP 12C and Lot 73 of PDP2C.

- a. Pedestrian pathways area designed primarily for pedestrian safety and convenience, meaning they are free from hazards and provide a reasonably smooth and consistent surface.

Response: Pedestrian pathways will be free from hazards and will provide a reasonably smooth and consistent surface.

- b. The pathway is reasonably direct. A pathway is reasonably direct when it follows a route between destinations that does not involve a significant amount of unnecessary out-of-direction travel.

Response: Pedestrian pathways provide direct pedestrian access from the parking lot to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH.

- c. The pathway connects to all primary building entrances and is consistent with the Americans with Disabilities Act (ADA) requirements.

Response: No buildings are proposed with this application. The ADA accessible parking space in the parking lot has direct connection to a pathway that connects to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH, and *Preliminary Parking Plan*, Sheets 3 in Section VH.

- d. All parking lots larger than three acres in size shall provide an internal bicycle and pedestrian pathway pursuant to Section 4.155(.03)(B.)(3.)(d.).

Response: The parking area proposed is less than 3-acres; therefore, this criterion is not applicable.

3. Vehicle/Pathway Separation. Except as required for crosswalks, per subsection 4, below, where a pathway abuts a driveway or street it shall be vertically or horizontally separated from the vehicular lane. For example, a pathway may be vertically raised six inches above the abutting travel lane, or horizontally separated by a row of bollards.

Response: Existing public sidewalks adjacent to SW Barber Street and Villebois Drive streets are separated from vehicle travel areas with street trees and planter strips. Pathways are located to provide separate pedestrian access to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH.

4. Crosswalks. Where a pathway crosses a parking area or driveway, it shall be clearly marking with a contrasting paint or paving materials (e.g., pavers, light-color concrete inlay between asphalt, or similar contrast).

Response: Where pathways cross parking or driving areas, they will be clearly marked with contrasting paint.

5. Pathway Width and Surface. Primary pathways shall be constructed concrete, asphalt, brick/masonry pavers, or other durable surface, and not less than five (5) feet wide. Secondary pathways and pedestrian trails may have an alternative surface except as otherwise required by the ADA.

Response: Primary pathways will be constructed of concrete, not less than five (5) feet in width.

6. All pathways shall be clearly marked with appropriate standard signs.

Response: Pathways will be clearly marked with appropriate standard signs.

SECTION 4.155. GENERAL REGULATIONS - PARKING, LOADING AND BICYCLE PARKING.

(.02) General Provisions:

- A. The provision and maintenance of off-street parking spaces is a continuing obligation of the property owner. The standards set forth herein shall be considered by the Development Review Board as minimum criteria.
 - 1. The Board shall have the authority to grant variances or planned development waivers to these standards in keeping with the purposes and objectives set forth in the Comprehensive Plan and this Code.
 - 2. Waivers to the parking, loading, or bicycle parking standards shall only be issued upon a findings that the resulting development will have no significant adverse impact on the surrounding neighborhood, and the community, and that the development considered as a whole meets the purposes of this section.
- B. No area shall be considered a parking space unless it can be shown that the area is accessible and usable for that purpose, and has maneuvering area for the vehicles, as determined by the Planning Director.

Response: The plan sheets located in Section VH demonstrate that the subject Final Development Plan is designed with maximum regard to natural terrain features and topography. The subject site does not contain hillside areas or flood plains. Submitted with the concurrent PDP modification application, the *Preliminary Grading and Erosion Control Plan* shows proposed grading within the subject area and the *Preliminary Tree Preservation Plan* shows proposed tree preservation (see Sheets 4 and 8 in Section IVH).

All subsequent grading, filling, and excavating will be done in accordance with the Uniform Building Code. Disturbance of soils and removal of trees and other native vegetation will be limited to the extent necessary to construct the proposed development. Construction will occur in a manner that avoids substantial probabilities of accelerated erosion; pollution, contamination or siltation of lakes, rivers, streams and wetlands; damage to vegetation; and injury to wildlife and fish habitats.

- C. In cases of enlargement of a building or a change of use from that existing on the effective date of this Code, the number of parking spaces required shall be based on the additional floor area of the enlarged or additional building, or changed use, as set forth in this Section. Current development standards, including parking area landscaping and screening, shall apply only to the additional approved parking area.

Response: This FDP application proposes development of a surface parking lot on Lot 12. No buildings are proposed to be developed or enlarged. No minimum off-

street or on-street parking is required for the proposal. Landscape and screening complies with development standards.

- D. In the event several uses occupy a single structure or parcel of land, the total requirement for off-street parking shall be the sum of the requirements of the several uses computed separately, except as modified by subsection “E,” below. Within the TC Zone, the cumulative number of parking spaces required by this subsection may be reduced by 25 percent. [Amended by Ord. 835, 6/5/19]

Response: This FDP application is for development of a parking lot, a single use on Lot 12 of Phase 1 on the SAP Central Phasing Plan.

- E. Owners of two (2) or more uses, structures, or parcels of land may utilize jointly the same parking area when the peak hours of operation do not overlap, provided satisfactory legal evidence is presented in the form of deeds, leases, or contracts securing full and permanent access to such parking areas for all the parties jointly using them. [Amended by Ord. # 674 11/16/09]

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, which is designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. As detailed in the tables provided in response to Section 4.125(.07)B, the parking provided in association with Lot 12, Lot 73 and Lot 76 more than adequately serve the Village Center, exceeding the vehicle parking requirement of 133 spaces by providing 182 spaces.

- F. Off-street parking spaces existing prior to the effective date of this Code may be included in the amount necessary to meet the requirements in case of subsequent enlargement of the building or use to which such spaces are necessary.

Response: This FDP application does not propose to enlarge any existing buildings or increase an existing use; therefore, this regulation does not apply.

- G. Off-Site Parking. Except for single-family dwellings, the vehicle parking spaces required by this Chapter may be located on another parcel of land, provided the parcel is within 500 feet of the use it serves and the DRB has approved the off-site parking through the Land Use Review. The distance from the parking area to the use shall be measured from the nearest parking space to the main building entrance, following a sidewalk or other pedestrian route. Within the TC Zone there is no maximum distance to an off-site location provided the off-site parking is located within the TC Zone. The right to use the off-site parking must be evidenced in the form of recorded deeds, easements, leases, or contracts securing full and permanent access to such parking areas for all the parties jointly using them. Within the TC zone, there is no maximum distance to an off-site location provided the off-site parking is located within the TC Zone. [Amended by Ord. 835, 6/5/19]

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, located less than 500-feet from the subject property. As detailed in the tables provided in response to Section 4.125(.07)B, the parking provided in association with Lot 12, Lot 73 and Lot 76 more than adequately serve the Village Center, exceeding the vehicle parking requirement of 133 spaces by providing 182 spaces. The parking lot is designed with walkways that provide pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive, providing safe convenient pedestrian access to the mixed-use development. Documentation providing evidence of right-to-use will be provided as required.

- H. The conducting of any business activity shall not be permitted on the required parking spaces, unless a temporary use permit is approved pursuant to Section 4.163.

Response: No business activity will be conducted within the proposed parking lot unless a temporary use permit is approved according to Section 4.163.

- I. Where the boundary of a parking lot adjoins or is within a residential district, such parking lot shall be screened by a sight-obscuring fence or planting. The screening shall be continuous along that boundary and shall be at least six (6) feet in height.

Response: This Final Development Plan (FDP) application proposes development of a surface parking lot on Lot 12, a 0.33-acre site is zoned City - Village (V). The site is designed to include 0.12-acres, or 36.4% of landscaped area including trees, shrubs, and six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points as illustrated and detailed on the Street Tree Layout Planting Plan, Sheet L1 in Section VH. Landscaping is provided in the landscaped buffer and landscaped islands. The landscape buffer provides a visual and physical buffer between the parking lot and adjacent properties and uses. The 6-foot high vine support fence, consisting of welded wire mesh fencing with cedar, around the entirety of the site except at breaks for pedestrian and vehicle access points is detailed in Detail 4 of Sheet L1 in Section VH.

- J. Parking spaces along the boundaries of a parking lot shall be provided with a sturdy bumper guard or curb at least six (6) inches high and located far enough within the boundary to prevent any portion of a car within the lot from extending over the property line or interfering with required screening or sidewalks.

Response: No parking spaces in the proposed parking lot are proposed to be located adjacent to the property boundary. The landscape buffer prevents cars from extending over the boundary.

- K. All areas used for parking and maneuvering of cars shall be surfaced with asphalt, concrete, or other surface, such as pervious materials (i. e. pavers,

concrete, asphalt) that is found by the City's authorized representative to be suitable for the purpose. In all cases, suitable drainage, meeting standards set by the City's authorized representative, shall be provided. [Amended by Ord. # 674 11/16/09]

Response: The access drive and parking spaces will be constructed with a hard surface and served by the proposed storm drainage facilities shown on the *Preliminary Composite Utility Plan* submitted with the concurrent PDP modification application, Sheet 5 in Section IVH.

- L. Artificial lighting which may be provided shall be so limited or deflected as not to shine into adjoining structures or into the eyes of passers-by.

Response: The *Existing Conditions and Demolition Plan* submitted with the concurrent PDP modification, Sheet 2 in Section IVH, shows the location of the existing lighting fixtures. No additional lighting fixtures are proposed; therefore, this requirement does not apply.

- M. Off-street parking requirements for types of uses and structures not specifically listed in this Code shall be determined by the Development Review Board if an application is pending before the Board. Otherwise, the requirements shall be specified by the Planning Director, based upon consideration of comparable uses.

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. The detailed tables provided in response to Section 4.125(.07)B, which illustrate the parking provided in association with Lot 12, Lot 73 and Lot 76 more than adequately serve the Village Center, were calculated for types of uses listed in Code including 1, 2, and 3-bedroom multi-family residential dwellings and commercial space.

- N. Up to forty percent (40%) of the off-street spaces may be compact car spaces as identified in Section 4.001 - "Definitions," and shall be appropriately identified.

Response: The proposed parking lot includes four (4) compact spaces. These spaces account for 17.4% of the total, 23 standard and compact off-street vehicle parking spaces provided in Lot 12.

- O. Where off-street parking areas are designed for motor vehicles to overhang beyond curbs, planting areas adjacent to said curbs shall be increased to a minimum of seven (7) feet in depth. This standard shall apply to a double row of parking, the net effect of which shall be to create a planted area that is a minimum of seven (7) feet in depth.

Response: Parking spaces within the proposed parking lot are not designed for motor vehicles to overhang beyond curbs.

- P. Parklets are permitted within the TC Zone on up to two parking spaces per block and shall be placed in front of the business. Placement of parklet requires a temporary right-of-way use permit and approval by the City Engineer. [Added by Ord. 835, 6/5/19]

Response: This FDP application does not propose a parklet.

(.03) Minimum and Maximum Off-Street Parking Requirements:

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. As detailed in the tables provided in response to Section 4.125(.07)B, the parking provided in association with Lot 12, Lot 73 and Lot 76 more than adequately serve the Village Center, exceeding the vehicle parking requirement of 133 spaces by providing 182 spaces.

(.04) Bicycle Parking:

Response: No bicycle parking is required or proposed.

(.05) Minimum Off-Street Loading Requirements:

Response: No off-street loading is required or proposed.

(.06) Carpool and Vanpool Parking requirements:

Response: No carpool or vanpool parking is required or proposed.

(.07) Parking Area Redevelopment.

Response: This application does not propose redevelopment of a parking area; therefore, this regulation is not applicable.

SECTION 4.176. LANDSCAPING, SCREENING & BUFFERING

(.02) Landscaping and Screening Standards.

- A. Subsections “C” through “I,” below, state the different landscaping and screening standards to be applied throughout the City. The locations where the landscaping and screening are required and the depth of the landscaping and screening is stated in various places in the Code.
- B. All landscaping and screening required by this Code must comply with all of the provisions of this Section, unless specifically waived or granted a Variance as otherwise provided in the Code. The landscaping standards are minimum requirements; higher standards can be substituted as long as fence and vegetation-height limitations are met. Where the standards set a minimum based on square footage or linear footage, they shall be interpreted as applying to each complete or partial increment of area or length (e.g., a landscaped area of between 800 and 1600 square feet shall have two trees if the standard calls for one tree per 800 square feet.
- C. General Landscaping Standard.

1. Intent. The General Landscaping Standard is a landscape treatment for areas that are generally open. It is intended to be applied in situations where distance is used as the principal means of separating uses or developments and landscaping is required to enhance the intervening space. Landscaping may include a mixture of ground cover, evergreen and deciduous shrubs, and coniferous and deciduous trees.
 2. Required materials. Shrubs and trees, other than street trees, may be grouped. Ground cover plants must fully cover the remainder of the landscaped area (see Figure 21: General Landscaping). The General Landscaping Standard has two different requirements for trees and shrubs:
 - a. Where the landscaped area is less than 30 feet deep, one tree is required for every 30 linear feet.
 - b. Where the landscaped area is 30 feet deep or greater, one tree is required for every 800 square feet and two high shrubs or three low shrubs are required for every 400 square feet.
- D. Low Screen Landscaping Standard.
1. Intent. The Low Screen Landscaping Standard is a landscape treatment that uses a combination of distance and low screening to separate uses or developments. It is intended to be applied in situations where low screening is adequate to soften the impact of one use or development on another, or where visibility between areas is more important than a total visual screen. The Low Screen Landscaping Standard is usually applied along street lot lines or in the area separating parking lots from street rights-of-way.
 2. Required materials. The Low Screen Landscaping Standard requires sufficient low shrubs to form a continuous screen three (3) feet high and 95% opaque, year-round. In addition, one tree is required for every 30 linear feet of landscaped area, or as otherwise required to provide a tree canopy over the landscaped area. Ground cover plants must fully cover the remainder of the landscaped area. A three (3) foot high masonry wall or a berm may be substituted for the shrubs, but the trees and ground cover plants are still required. When applied along street lot lines, the screen or wall is to be placed along the interior side of the landscaped area. (See Figure 22: Low Screen Landscaping).

Response: The proposed parking lot is landscaped to include a landscaped buffer and landscape islands as illustrated and detailed on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH. The landscape buffer is designed to include a mixture of trees, shrubs, groundcover and a six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points to provide a visual and physical buffer between the parking lot and adjacent properties and uses.

- (.03) Landscape Area. Not less than fifteen percent (15%) of the total lot area, shall be landscaped with vegetative plant materials. The ten percent (10%) parking area landscaping required by section 4.155.03(B)(1) is included in the fifteen percent (15%) total lot landscaping requirement. Landscaping shall be located in at least three separate and distinct areas of the lot, one of which must be in the contiguous frontage area. Planting areas shall be encouraged adjacent to structures. Landscaping shall be used to define, soften or screen the appearance of buildings

and off-street parking areas. Materials to be installed shall achieve a balance between various plant forms, textures, and heights. The installation of native plant materials shall be used whenever practicable.

Response: The 0.33-acre site is designed to include 0.12-acres, or 36.4% of landscaped area including trees, shrubs, and six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points as illustrated and detailed on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH. Landscaping is provided in the landscaped buffer and landscaped islands. The landscape buffer provides a visual and physical buffer between the parking lot and adjacent properties and uses. The proposed plant materials are drawn from the Villebois Plant List, which includes native species.

(.04) Buffering and Screening. Additional to the standards of this subsection, the requirements of the Section 4.137.5 (Screening and Buffering Overlay Zone) shall also be applied, where applicable.

Response: The proposed development meets the applicable buffering and screening overlay zone standards of Section 4.137.5 as addressed earlier in this report as well as the standards of Section 4.176(.04).

A. All intensive or higher density developments shall be screened and buffered from less intense or lower density developments.

Response: A landscape buffer provides a visual and physical buffer between the proposed parking lot on Lot 12 and adjacent properties including the condominiums to the west, rowhomes to northeast and The Piazza located directly north of the site as illustrated and detailed on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH.

B. Activity areas on commercial and industrial sites shall be buffered and screened from adjacent residential areas. Multi-family developments shall be screened and buffered from single-family areas.

Response: The proposed parking lot has a landscape buffer and landscaped islands that including trees, shrubs, and six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points as illustrated and detailed on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH. The landscape buffer provides a visual and physical buffer between the parking lot and adjacent properties including the condominiums to the west, rowhomes to northeast and The Piazza located directly north of the site.

C. All exterior, roof and ground mounted, mechanical and utility equipment shall be screened from ground level off-site view from adjacent streets or properties.

Response: No buildings, structures, or ground mounted mechanical or utility equipment is proposed; therefore, this standard does not apply.

D. All outdoor storage areas shall be screened from public view, unless visible storage has been approved for the site by the Development Review Board or Planning Director acting on a development permit.

Response: No outdoor storage area are proposed with this application; therefore, this standard is not applicable.

- E. In all cases other than for industrial uses in industrial zones, landscaping shall be designed to screen loading areas and docks, and truck parking.

Response: No loading areas, docks or truck parking is proposed with this application; therefore, this standard is not applicable.

- F. In any zone any fence over six (6) feet high measured from soil surface at the outside of fenceline shall require Development Review Board approval.

Response: A six (6) foot tall vine support fence is included in the landscape plan for the proposed parking lot on Lot 12 as illustrated and detailed on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH.

- (.05) **Sight-Obscuring Fence or Planting.** The use for which a sight-obscuring fence or planting is required shall not begin operation until the fence or planting is erected or in place and approved by the City. A temporary occupancy permit may be issued upon a posting of a bond or other security equal to one hundred ten percent (110%) of the cost of such fence or planting and its installation. (See Sections 4.400 to 4.470 for additional requirements.)

Response: A landscape buffer that includes a six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points provides a visual and physical buffer between the parking lot and adjacent properties. The applicant does not anticipate deferring the installation of the landscape or fencing. Should it be necessary to defer installation of landscaping, the applicant will apply for a temporary permit. The proposal complies with applicable Sections of 4.400 through 4.470 as addressed in this narrative.

- (.06) **Plant Materials.**

- A. **Shrubs and Ground Cover.** All required ground cover plants and shrubs must be of sufficient size and number to meet these standards within three (3) years of planting. Non-horticultural plastic sheeting or other impermeable surface shall not be placed under mulch. Surface mulch or bark dust are to be fully raked into soil of appropriate depth, sufficient to control erosion, and are confined to areas around plantings. Areas Sectioning only surface mulch, compost or barkdust are not to be used as substitutes for plants areas.

- 1. **Shrubs.** All shrubs shall be well branched and typical of their type as described in current AAN Standards and shall be equal to or better than 2-gallon containers and 10" to 12" spread.

Response: The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, shows the proposed shrubs will be equal to or larger than 2-gallon size with a 10 to 12 inch spread. All shrubs will be well branched and typical of their type as described in current AAN standards.

- 2. **Ground cover.** Shall be equal to or better than the following depending on the type of plant materials used: Gallon containers spaced at 4 feet on center minimum, 4" pot spaced 2 feet on center minimum, 2-1/4" pots spaced at 18 inch on center minimum. No bare root planting shall be

permitted. Ground cover shall be sufficient to cover at least 80% of the bare soil in required landscape areas within three (3) years of planting. Where wildflower seeds are designated for use as a ground cover, the City may require annual re-seeding as necessary.

Response: As shown on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, all ornamental grass and groundcover proposed will be ground covers will be at least gallon containers and spaced at a minimum of 4-feet on center.

3. Turf or lawn in non-residential developments. Shall not be used to cover more than ten percent (10%) of the landscaped area, unless specifically approved based on a finding that, due to site conditions and availability of water, a larger percentage of turf or lawn area is appropriate. Use of lawn fertilizer shall be discouraged. Irrigation drainage runoff from lawns shall be retained within lawn areas.

Response: No turf or lawn cover is proposed.

4. Plant materials under trees or large shrubs. Appropriate plant materials shall be installed beneath the canopies of trees and large shrubs to avoid the appearance of bare ground in those locations.

Response: The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, shows appropriate plant materials will be installed beneath the canopies of trees and large shrubs. Areas that are not appropriate to plant beneath the canopies of existing trees will be mulched with bark.

5. Integrate compost-amended topsoil in all areas to be landscaped, including lawns, to help detain runoff, reduce irrigation and fertilizer needs, and create a sustainable, low-maintenance landscape.

Response: The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, shows appropriate plant materials will be installed beneath the canopies of trees and large shrubs. Areas that are not appropriate to plant beneath the canopies of existing trees will be mulched with bark.

- B. Trees. All trees shall be well-branched and typical of their type as described in current American Association of Nurserymen (AAN) Standards and shall be balled and burlapped. The trees shall be grouped as follows:
 1. Primary trees which define, outline or enclose major spaces, such as Oak, Maple, Linden, and Seedless Ash, shall be a minimum of 2" caliper.
 2. Secondary trees which define, outline or enclose interior areas, such as Columnar Red Maple, Flowering Pear, Flame Ash, and Honeylocust, shall be a minimum of 1-3/4" to 2" caliper.
 3. Accent trees which, are used to add color, variation and accent to architectural features, such as Flowering Pear and Kousa Dogwood, shall be 1-3/4" minimum caliper.
 4. Large conifer trees such as Douglas Fir or Deodar Cedar shall be installed at a minimum height of eight (8) feet.
 5. Medium-sized conifers such as Shore Pine, Western Red Cedar or Mountain Hemlock shall be installed at a minimum height of five to six (5 to 6) feet.

Response: The *Street Tree Layout Planting Plan* shows the location and type of trees proposed in the landscape buffer and landscape islands of the proposed parking lot, Sheet L1 in Section VH. The proposed tree species have been selected from the Villebois Plant List in the *Community Elements Book*. As noted on the plan, the proposed trees meet the minimum 2” caliper code requirement or the minimum height requirement for conifers as appropriate. All proposed trees will be well-branched, typical of their type according to current AAN standards, and balled and burlapped.

- C. Where a proposed development includes buildings larger than twenty-four (24) feet in height or greater than 50,000 square feet in footprint area, the Development Review Board may require larger or more mature plant materials:

Response: This application does not propose development of a building; therefore, this requirement does not apply.

- D. Street Trees.

Response: No street trees are proposed to be installed with this development.

- E. Types of Plant Species.

1. Existing landscaping or native vegetation may be used to meet these standards, if protected and maintained during the construction phase of the development and if the plant species do not include any that have been listed by the City as prohibited. The existing native and non-native vegetation to be incorporated into the landscaping shall be identified.

Response: Two (2) trees located within the development site are proposed to be removed to accommodate development of the parking lot and two (2) street trees adjacent to the site along SW Barber Street are proposed to be protected and preserved as shown on the *Preliminary Tree Preservation Plan* submitted with the concurrent PDP modification application, Sheet 8 in Section IVH.

2. Selection of plant materials. Landscape materials shall be selected and sited to produce hardy and drought-tolerant landscaping. Selection shall be based on soil characteristics, maintenance requirements, exposure to sun and wind, slope and contours of the site, and compatibility with other vegetation that will remain on the site. Suggested species lists for street trees, shrubs and groundcovers shall be provided by the City of Wilsonville.

Response: All proposed landscaping materials are selected from the Villebois Plant List in the *Community Elements Book*. Specific materials were selected to best meet the site characteristics of the subject property.

3. Prohibited plant materials. The City may establish a list of plants that are prohibited in landscaped areas. Plants may be prohibited because they are potentially damaging to sidewalks, roads, underground utilities, drainage improvements, or foundations, or because they are known to be invasive to native vegetation.

Response: No plant materials listed as “Prohibited Plant Species” on the Villebois Plant List are included in the proposed landscaping.

- F. Tree Credit.

Response: Tree credits are not applicable to this FDP application.

- G. Exceeding Standards. Landscape materials that exceed the minimum standards of this Section are encouraged, provided that height and vision clearance requirements are met.

Response: The site plan set and landscaping plans in Section VH and this report demonstrate that the proposed landscaping complies with the standards of the Wilsonville Development Code and the *Community Elements*.

- H. Compliance with Standards. The burden of proof is on the applicant to show that proposed landscaping materials will comply with the purposes and standards of this Section.

Response: The site plan set and landscaping plans in Section VH and this report demonstrate that the proposed landscaping complies with the standards of the Wilsonville Development Code and the *Community Elements Book*.

(.07) Installation and Maintenance.

- A. Installation. Plant materials shall be installed to current industry standards and shall be properly staked to assure survival. Support devices (guy wires, etc.) shall not be allowed to interfere with normal pedestrian or vehicular movement.
- B. Maintenance. Maintenance of landscaped areas is the on-going responsibility of the property owner. Any landscaping installed to meet the requirements of this Code, or any condition of approval established by a City decision-making body acting on an application, shall be continuously maintained in a healthy, vital and acceptable manner. Plants that die are to be replaced in kind, within one growing season, unless appropriate substitute species are approved by the City. Failure to maintain landscaping as required in this Section shall constitute a violation of this Code for which appropriate legal remedies, including the revocation of any applicable land development permits, may result.
- C. Irrigation. The intent of this standard is to assure that plants will survive the critical establishment period when they are most vulnerable due to a lack of watering and also to assure that water is not wasted through unnecessary or inefficient irrigation. Approved irrigation system plans shall specify one of the following:
 - 1. A permanent, built-in, irrigation system with an automatic controller. Either a spray or drip irrigation system, or a combination of the two, may be specified.
 - 2. A permanent or temporary system designed by a landscape architect licensed to practice in the State of Oregon, sufficient to assure that the plants will become established and drought-tolerant.
 - 3. Other irrigation system specified by a licensed professional in the field of landscape architecture or irrigation system design.
 - 4. A temporary permit issued for a period of one year, after which an inspection shall be conducted to assure that the plants have become established. Any plants that have died, or that appear to the Planning Director to not be thriving, shall be appropriately replaced within one growing season. An inspection fee and a maintenance bond or other security sufficient to cover all costs of replacing the plant materials shall be provided, to the satisfaction of the

Community Development Director. Additionally, the applicant shall provide the City with a written license or easement to enter the property and cause any failing plant materials to be replaced.

Response: Plants will be installed and maintained properly. A permanent-built-in irrigation system with an automatic controller will be installed underground to irrigate the proposed landscaping and to assure that plants survive the establishment period. Additional details about the irrigation system will be provided with construction plans.

- D. Protection. All required landscape areas, including all trees and shrubs, shall be protected from potential damage by conflicting uses or activities including vehicle parking and the storage of materials.

Response: The attached planting plans demonstrate that all landscape areas will be protected from potential damage by vehicle travel and parking.

(.08) Landscaping on Corner Lots.

All landscaping on corner lots shall meet the vision clearance standards of Section 4.177. If high screening would ordinarily be required by this Code, low screening shall be substituted within vision clearance areas. Taller screening may be required outside of the vision clearance area to mitigate for the reduced height within it.

Response: All landscaping at corners will meet the vision clearance standards of Section 4.177.

(.09) Landscape Plans.

Landscape plans shall be submitted showing all existing and proposed landscape areas. Plans must be drawn to scale and show the type, installation size, number and placement of materials. Plans shall include a plant material list. Plants are to be identified by both their scientific and common names. The condition of any existing plants and the proposed method of irrigation are also to be indicated. Landscape plans shall divide all landscape areas into the following categories based on projected water consumption for irrigation:

- A. High water usage areas (+/- two (2) inches per week): small convoluted lawns, lawns under existing trees, annual and perennial flower beds, and temperamental shrubs;
- B. Moderate water usage areas (+/- one (1) inch per week): large lawn areas, average water-using shrubs, and trees;
- C. Low water usage areas (Less than one (1) inch per week, or gallons per hour): seeded field grass, swales, native plantings, drought-tolerant shrubs, and ornamental grasses or drip irrigated areas.
- D. Interim or unique water usage areas: areas with temporary seeding, aquatic plants, erosion control areas, areas with temporary irrigation systems, and areas with special water-saving features or water harvesting irrigation capabilities.

These categories shall be noted in general on the plan and on the plant material list.

Response: The landscape plan and details provided on *The Street Tree Layout Planting Plan*, Sheet L1 in Section VH include the required information listed in Section 4.176(.09).

(.10) Completion of Landscaping.

The installation of plant materials may be deferred for a period of time specified by the Board or Planning Director acting on an application, in order to avoid hot summer or cold winter periods, or in response to water shortages. In these cases, a temporary permit shall be issued, following the same procedures specified in subsection (.07)(C)(3), above, regarding temporary irrigation systems. No final Certificate of Occupancy shall be granted until an adequate bond or other security is posted for the completion of the landscaping, and the City is given written authorization to enter the property and install the required landscaping, in the event that the required landscaping has not been installed. The form of such written authorization shall be submitted to the City Attorney for review.

Response: The applicant does not anticipate deferring the installation of plant materials. Should it be necessary to defer installation of plant materials, the applicant will apply for a temporary permit.

(.11) Street Trees Not Typically Part of Site Landscaping.

Street trees are not subject to the requirements of this Section and are not counted toward the required standards of this Section. Except, however, that the Development Review Board may, by granting a waiver or variance, allow for special landscaping within the right-of-way to compensate for a lack of appropriate on-site locations for landscaping. See subsection (.06), above, regarding street trees.

Response: Street trees are not counted toward the required standards of this Section.

(.12) Mitigation and Restoration Plantings.

Response: A Type “C” Tree Removal Permit Application is submitted separately, but concurrent with this application. There are two (2) trees that exist on the development site and two (2) street trees adjacent to the site along SW Barber Street as illustrated on the *Preliminary Tree Preservation Plan*, Sheet 8 in Section IIC. The two (2) trees located within the development site are proposed to be removed to accommodate development of the parking lot. The two (2) street trees are proposed to be preserved. An Arborist Report prepared by Morgan Holen, certified arborist, is provided in Section IIIB. The report requires planting of two trees to off-set the removal of the two (2) trees, based on a one-to-one mitigation requirement. More than two (2) trees are proposed within the landscaped buffer and landscaped islands of the parking lot as shown on Sheet L1 in Section IBV.

SECTION 4.177. STREET IMPROVEMENT STANDARDS

This section contains the City’s requirements and standards for pedestrian, bicycle, and transit facility improvements to public streets, or within public easements. The purpose of this section is to ensure that development, including redevelopment, provides transportation facilities that are safe, convenient, and adequate in rough proportion to their impacts.

(.01) Development and related public facility improvements shall comply with the standards in this section, the Wilsonville Public Works Standards, and the Transportation System Plan, in rough proportion to the potential impacts of the

development. Such improvements shall be constructed at the time of development or as provided by Section 4.140, except as modified or waived by the City Engineer for reasons of safety or traffic operations.

Response: No new streets, bicycle facilities or transit facilities are proposed to be constructed with this application. Pedestrian walkways connecting the proposed parking lot to the public sidewalk adjacent to SW Villebois Drive and vehicle access to the site available from SW Toulouse Street or SW Ravenna Loop complies with the standards in this section, the Wilsonville Public works Standards, and Transportation System Plan.

(.02) Street Design Standards

Response: This application does not propose new or alterations to existing streets, rights-of-way, or intersections; therefore, these standard do not apply.

E. Corner or clear vision area.

1. A clear vision area which meets the Public Works Standards shall be maintained on each corner of property at the intersection of any two streets, a street and a railroad or a street and a driveway. However, the following items shall be exempt:
 - a. Light and utility poles with a diameter less than 12 inches.
 - b. Trees less than 6" d.b.h., approved as a part of the State II Site Design, or administrative review.
 - c. Except as allowed by b., above, an existing tree, trimmed to the trunk, 10 feet above the curb.
 - d. Official warning or street sign.
 - e. Natural contours where the natural elevations are such that there can be no cross-visibility at the intersection and necessary excavation would result in an unreasonable hardship on the property owner or deteriorate the quality of the site.

Response: Landscaping at the street corners will be less than 30-inches in height to assure that visibility is not blocked. Clear vision areas will be maintained in accordance with the standards of Subsection 4.177(.01)(I). Vertical clearance will be maintained over all streets and access drives in accordance with Subsection 4.177(.01)(J). The parking lot on Lot 12 will serve the residence, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C. The property management company of the mixed-use development will assure long-term maintenance of common and public areas of the development, including the parking lot on Lot 12.

(.03) Sidewalks.

Response: This application does not propose new or alterations to existing public sidewalks; therefore, these standards do not apply.

(.04) Bicycle Facilities.

Response: No bicycle facilities are proposed with this application; therefore, this standard does not apply.

(.05) **Multiuse Pathways.**

Response: No multi-use pathways are proposed with this application; therefore, this standard does not apply.

(.06) **Transit Improvements.**

Response: No transit improvements are proposed with this application; therefore, this standard does not apply.

(.07) **Residential Private Access Drives.**

Response: No residential private access drives are proposed with this application; therefore, this standard does not apply.

(.08) **Access Drive and Driveway Approach Development Standards.**

Response: Vehicle access to the proposed parking lot on Lot 12 is provided from SW Toulouse Street or SW Ravenna Loop. The parking lot is designed with a 24-foot wide entrance with a mountable curb, see the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH. The 24-foot wide access and travel lane provide safe maneuverability for two-way vehicle traffic. The access drive will be constructed with a hard surface capable of carrying a 23-ton load and be designed to provide a clear travel lane free from obstructions. Easements for fire access will be dedicated as required by the fire department.

(.09) **Minimum street intersection spacing standards.**

Response: Adjacent street rights-of-way have already been dedicated. No new or alterations to existing streets or street intersections are proposed; therefore, this standard does not apply.

(.10) **Exceptions and Adjustments.**

Response: No exceptions or adjustments are proposed to the street improvement standards.

SECTION 4.179. MIXED SOLID WASTE AND RECYCLABLES STORAGE IN NEW MULTI-UNIT RESIDENTIAL AND NON-RESIDENTIAL BUILDINGS.

Response: No buildings are proposed to be constructed on Lot 12; therefore, the standards of Section 4.179 are not applicable.

SECTION 4.199.40 OUTDOOR LIGHTING. LIGHTING SYSTEMS STANDARDS FOR APPROVAL

(.01) **Non-Residential Uses and Common Residential Areas.**

A. All outdoor lighting shall comply with either the Prescriptive Option or the Performance Option below.

Response: The subject property is located within Lighting Zone 2 (LZ 2). This FDP for Lot 12 does not propose any alterations to the existing lighting fixtures located adjacent to the site as shown on the Existing Conditions & Demolition Plan submitted with the concurrent PDP modification application, Sheet 2 in Section IVH. No new lighting is proposed.

SECTION 4.320. UNDERGROUND UTILITIES. REQUIREMENTS

Response: No refinements to existing utilities or storm water facilities are proposed with this application.

SECTION 4.400. SITE DESIGN REVIEW

(.01) Excessive uniformity, inappropriateness or poor design of the exterior appearance of structures and signs and the lack of proper attention to site development and landscaping in the business, commercial, industrial and certain residential areas of the City hinders the harmonious development of the City, impairs the desirability of residence, investment or occupation in the City, limits the opportunity to attain the optimum use in value and improvements, adversely affects the stability and value of property, produces degeneration of property in such areas and with attendant deterioration of conditions affecting the peace, health and welfare, and destroys a proper relationship between the taxable value of property and the cost of municipal services therefore.

Response: This proposal is designed in compliance with the standards for the rest of Villebois, so the entire development will have a cohesive, harmonious appearance, creating a desirable place of residence and adding to the overall quality of life in the City.

This FDP application supports the creation of a vibrant Village Center filled with multi-family residential, retail spaces, and community amenities. This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The density of the residential units and the amount of new commercial and retail space, easily accessible by vehicle with adequate parking, will support and stimulate business and promote desirability of investment in business and residence.

(.02) The City Council declares that the purposes and objectives of site development requirements and the site design review procedure are to:

A. Assure that Site Development Plans are designed in a manner that insures proper functioning of the site and maintains a high-quality visual environment.

Response: This FDP application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, which is designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, is designed to visually screen the parking lot from the surrounding properties and public areas, including The Piazza located directly north of the site. While the off-

street parking area supports motor vehicles, the central location promotes pedestrian transportation throughout the Village Center, as intended and landscaped to maintain an aesthetically pleasing environment.

- B. Encourage originality, flexibility and innovation in site planning and development, including the architecture, landscaping and graphic design of said development;

Response: This FDP application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lots 73 and 75. The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, is designed to visually screen the parking lot from the surrounding properties and public areas and not detract from architecture of the rowhomes, condominiums, and mixed-use development located in the Village Center or The Piazza located across from the site.

- C. Discourage monotonous, drab, unsightly, dreary and inharmonious developments;

Response: The landscaping within and around the parking lot will consist of an appropriate mixture of ground cover, shrubs, and trees selected from the Villebois Plant List and a six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points to provide a visual barrier between the parking lot and surrounding properties to create a harmonious appearance and aesthetically pleasing environment throughout the Villebois Village Center (see Sheet L1 in Section VH).

- D. Conserve the City's natural beauty and visual character and charm by assuring that structures, signs and other improvements are properly related to their sites, and to surrounding sites and structures, with due regard to the aesthetic qualities of the natural terrain and landscaping, and that proper attention is given to exterior appearances of structures, signs and other improvements;

Response: The site will incorporate landscaping that makes sense for a Pacific Northwest community, while matching the City's natural beauty and visual character, as detailed on Sheet L1 in Section VH.

- E. Protect and enhance the City's appeal and thus support and stimulate business and industry and promote the desirability of investment and occupancy in business, commercial and industrial purposes;

Response: The parking lot on Lot 12 will serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C, designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The density of the residential units and the amount of new commercial and retail space, easily accessible by vehicle with adequate parking, will support and stimulate business and promote desirability of investment in business.

- F. Stabilize and improve property values and prevent blighted areas and, thus, increase tax revenues;

Response: The parking lot on Lot 12 will serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C, designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The density of the residential units and the amount of new commercial and retail space will prevent blight. The property management company of the mixed-use development will assure long-term maintenance of common and public areas of the development, including the parking lot on Lot 12.

- G. Insure that adequate public facilities are available to serve development as it occurs, and that proper attention is given to site planning and development so as to not adversely impact the orderly, efficient and economic provision of public facilities and services.

Response: The parking lot on Lot 12 will serve the residents, employees, and visitors of the Villebois Village mixed-use development on Lot 76 of PDP 12C and Lot 73 of PDP 2C. While the parking lot is not a public facility, it will reduce the parking demand of the on-street public parking within the Villebois Village Center.

- H. Achieve the beneficial influence of pleasant environments for living and working on behavioral patterns and, thus, decrease the cost of governmental services and reduce opportunities for crime through careful consideration of physical design and site layout under defensible space guidelines that clearly define all areas as either public, semi-private, or private, provide clear identity of structures and opportunities for easy surveillance of the site that maximize resident control of behavior -- particularly crime;

Response: The *Villebois Village Master Plan* shows that the community will include a variety of housing options (living) and the Village Center will contain places for employment (working). This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lots 73 and 76. The mixed-use development the parking lot supports, allows for a denser and more compact, environmentally friendly design in the Village Center that is enhanced by proximity to park and open space areas. Pedestrians from the parking lot to the mixed-use buildings will also provide on-going surveillance and control of the Village Center.

- I. Foster civic pride and community spirit so as to improve the quality and quantity of citizen participation in local government and in community growth, change and improvements;

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lots 73 and 76. The design of the Villebois Village has been created to develop a community that is truly unique. The City and Villebois Master Planner, as well as the Applicant, are working in partnership with nearby residents, property owners, and local and regional governments to create a complete, livable, pedestrian-oriented community that will be an asset to the City of Wilsonville and Portland region. This partnership has generated citizen participation in the project

and the unique design shall foster civic pride and community spirit amongst the residents of Villebois.

- J. Sustain the comfort, health, tranquility and contentment of residents and attract new residents by reason of the City's favorable environment and, thus, to promote and protect the peace, health and welfare of the City.

Response: The design of the Villebois Village revolves around three guiding principles: connectivity, diversity, and sustainability. These principles are intended to sustain the comfort, health, tranquility, and contentment of Villebois residents, while also promoting and protecting the peace, health and welfare of the City. *Connectivity* refers to creating connections between Villebois neighborhoods and between Villebois and other parts of the City and region for multiple modes of transportation. *Diversity* includes multiple choices of housing styles, housing affordability, recreation, employment, goods and services, and infrastructure for transportation. *Sustainability* involves the protection of natural resources and open space, energy conservation, and storm and rainwater management.

This FDP application supports the creation of a vibrant Village Center filled with multi-family residential, retail spaces, and community amenities. This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C, which is designed to provide 143 residential market-rate apartments and 2,460 square feet of commercial retail space. The mixed-use development the parking lot supports, allows for a denser and more compact, environmentally friendly neighborhood design. The mixed-use buildings will add to the diversity of the Villebois Village Center which includes rowhomes, condos, apartments, other commercial and retail areas and The Piazza.

While the off-street parking area supports motor vehicles, the central location promotes pedestrian transportation throughout the Village Center. The parking lot is designed with walkways that provide safe pedestrian connections from the vehicle parking area to the public sidewalk adjacent to SW Villebois Drive as shown on the *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH. The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, is designed to visually screen the parking lot from the surrounding properties and public area that include The Piazza located directly north of the site. Proposed stormwater management facilities are shown on the *Preliminary Composite Utility Plan* submitted with the concurrent PDP modification application, Sheet 5 in Section IVH. Utility and drainage reports, consistent with the concurrent PDP Modification are provided in Section IIC. This system has been carefully designed so as not to adversely affect neighboring properties.

SECTION 4.421. CRITERIA AND APPLICATION OF DESIGN STANDARDS.

- (.01) The following standards shall be utilized by the Board in reviewing the plans, drawings, sketches and other documents required for Site Design Review. These

standards are intended to provide a frame of reference for the applicant in the development of site and building plans as well as a method of review for the Board. These standards shall not be regarded as inflexible requirements. They are not intended to discourage creativity, invention and innovation. The specifications of one or more particular architectural styles is not included in these standards. (Even in the Boones Ferry Overlay Zone, a range of architectural styles will be encouraged.)

- A. Preservation of Landscape. The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soils removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.

Response: The *Preliminary Grading & Erosion Control Plan* submitted with the concurrent PDP modification application shows that the grading proposed serves the proposed parking lot without impacting adjacent properties (see Sheet 4 in Section IVH). The *Street Tree Layout Planting Plan*, Sheet L1 in Section VH, details the type and proposed location of trees, shrubs, and groundcover, drawn from the Villebois Plant List, which includes native species, to ensure consistency of general appearance within the Villebois community. Additionally Detail 4 on Sheet L1 shows the six (6) foot tall vine support fence around the entirety of the site except at breaks for pedestrian and vehicle access points proposed to provide a visual and physical buffer between the parking lot and adjacent properties.

- B. Relation of Proposed Buildings to Environment. Proposed structures shall be located and designed to assure harmony with the natural environment, including protection of steep slopes, vegetation and other naturally sensitive areas for wildlife habitat and shall provide proper buffering from less intensive uses in accordance with Sections 4.171 and 4.139 and 4.139.5. The achievement of such relationship may include the enclosure of space in conjunction with other existing buildings or other proposed buildings and the creation of focal points with respect to avenues of approach, street access or relationships to natural features such as vegetation or topography.

Response: No buildings or structures are proposed with this application; therefore, this standard does not apply.

- C. Drives, Parking and Circulation. With respect to vehicular and pedestrian circulation, including walkways, interior drives and parking, special attention shall be given to location and number of access points, general interior circulation, separation of pedestrian and vehicular traffic, and arrangement of parking areas that are safe and convenient and, insofar as practicable, do not detract from the design of proposed buildings and structures and the neighboring properties.

Response: This application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed-use development, located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. The lot consists of 19 standard size parking spaces and 1 ADA accessible space. Vehicle access is provided from SW Toulouse Street or SW Ravenna Loop. The parking lot is designed with a 24-foot wide entrance with a mountable curb. The 24-foot wide access and travel lane provide safe maneuverability for two-way vehicle traffic. The parking lot is designed with walkways outside the vehicle circulation areas that provide safe and convenient

pedestrian connections from the parking lot to the public sidewalk adjacent to SW Villebois Drive. The landscaping plan is designed to visually screen the parking lot from the surrounding properties and public area that include The Piazza located directly north of the site. The *Preliminary Circulation Plan* submitted with the concurrent PDP modification application, Sheet 6 in Section IVH, and the *Preliminary Parking Plan* and *Street Tree Layout Planting Plan*, Sheets 3 and L1 in Section VH, illustrate how the parking lot provides safe and convenient vehicular and pedestrian circulation while not detracting from the design of the Village Center.

- D. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties of the public storm drainage system.

Response: Proposed stormwater management facilities are shown on the *Preliminary Composite Utility Plan* submitted with the concurrent PDP modification application, Sheet 5 in Section IVH. Utility and drainage reports, consistent with the concurrent PDP Modification are provided in Section IIC. This system has been carefully designed so as not to adversely affect neighboring properties.

- E. **Utility Service.** Any utility installations above ground shall be located so as to have a harmonious relation to neighboring properties and site. The proposed method of sanitary and storm sewage disposal from all buildings shall be indicated.

Response: No above ground utility installations are proposed with this application. Existing utilities and proposed stormwater management facilities are shown on the *Preliminary Composite Utility Plan* submitted with the concurrent PDP modification application, Sheet 5 in Section IVH. Utility and drainage reports, consistent with the concurrent PDP Modification are provided in Section IIC.

- F. **Advertising Features.** In addition to the requirements of the City's sign regulations, the following criteria should be included: the size, location, design, color, texture, lighting and materials of all exterior signs and outdoor advertising structures or features shall not detract from the design of proposed buildings and structures and the surrounding properties.

Response: No advertising features are proposed in this FDP.

- G. **Special Features.** Exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings and structures and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall be required to prevent their being incongruous with the existing or contemplated environment and its surrounding properties. Standards for screening and buffering are contained in Section 4.176.

Response: This FDP does not propose any exposed storage areas, exposed machinery installations, surface areas, truck loading areas, utility buildings or other similar accessory areas or structures. Compliance with Section 4.176 is addressed earlier in this report.

- (.02) The standards of review outlined in Sections (a) through (g) above shall also apply to all accessory buildings, structures, exterior signs and other site features, however related to the major buildings or structures.

Response: No accessory buildings or structures are proposed on the subject property.

(.03) The Board shall also be guided by the purpose of Section 4.400, and such objectives shall serve as additional criteria and standards.

Response: Compliance with the purpose of Section 4.400 has been addressed earlier in this report.

SECTION 4.430. LOCATION, DESIGN AND ACCESS STANDARDS FOR MIXED SOLID WASTE AND RECYCLING AREAS

Response: No mixed solid waste or recycling storage areas are proposed to be located on the site; therefore, the location, design, and access standards of Section 4.430 are not applicable.

SECTION 4.440. PROCEDURE.

(.01) **Submission of Documents.** A prospective applicant for a building or other permit who is subject to site design review shall submit to the Planning Department, in addition to the requirements of Section 4.035, the following:

- A. A site plan, drawn to scale, showing the proposed layout of all structures and other improvements including, where appropriate, driveways, pedestrian walks, landscaped areas, fences, walls, off-street parking and loading areas, and railroad tracks. The site plan shall indicate the location of entrances and exits and direction of traffic flow into and out of off-street parking and loading areas, the location of each parking space and each loading berth and areas of turning and maneuvering vehicles. The site plan shall indicate how utility service and drainage are to be provided.
- B. A Landscape Plan, drawn to scale, showing the location and design of landscaped areas, the variety and sizes of trees and plant materials to be planted on the site, the location and design of landscaped areas, the varieties, by scientific and common name, and sizes of trees and plant materials to be retained or planted on the site, other pertinent landscape features, and irrigation systems required to maintain trees and plant materials. An inventory, drawn at the same scale as the Site Plan, of existing trees of 4" caliper or more is required. However, when large areas of trees are proposed to be retained undisturbed, only a survey identifying the location and size of all perimeter trees in the mass in necessary.
- C. Architectural drawings or sketches, drawn to scale, including floor plans, in sufficient detail to permit computation of yard requirements and showing all elevations of the proposed structures and other improvements as they will appear on completion of construction. Floor plans shall also be provided in sufficient detail to permit computation of yard requirements based on the relationship of indoor versus outdoor living area, and to evaluate the floor plan's effect on the exterior design of the building through the placement and configuration of windows and doors.
- D. A Color Board displaying specifications as to type, color, and texture of exterior surfaces of proposed structures. Also, a phased development schedule if the development is constructed in stages.
- E. A sign plan, drawn to scale, showing the location, size, design, material, color and methods of illumination of all exterior signs.

F. The required application fee.

Response: The site plan and landscaping plan, Sheets 2 and L1 provided in Section VH of this submittal meets the requirements of Section 4.440 (.01). A copy of the application is included Section IB and a fee calculation is provided in Section IC. No buildings, structures or signs are proposed with this application.

SECTION 4.450. INSTALLATION OF LANDSCAPING.

(.01) All landscaping required by this section and approved by the Board shall be installed prior to issuance of occupancy permits, unless security equal to one hundred and ten percent (110%) of the cost of the landscaping as determined by the Planning Director is filed with the City assuring such installation within six (6) months of occupancy. "Security" is cash, certified check, time certificates of deposit, assignment of a savings account or such other assurance of completion as shall meet with the approval of the City Attorney. In such cases the developer shall also provide written authorization, to the satisfaction of the City Attorney, for the City or its designees to enter the property and complete the landscaping as approved. If the installation of the landscaping is not completed within the six-month period, or within an extension of time authorized by the Board, the security may be used by the City to complete the installation. Upon completion of the installation, any portion of the remaining security deposited with the City shall be returned to the applicant.

Response: The applicant does not anticipate deferring the installation of landscaping. Should it be necessary to defer installation of landscaping, the applicant will apply for a temporary permit and provide a security to guarantee installation of the proposed landscaping.

(.02) Action by the City approving a proposed landscape plan shall be binding upon the applicant. Substitution of plant materials, irrigation systems, or other aspects of an approved landscape plan shall not be made without official action of the Planning Director or Development Review Board, as specified in this Code.

Response: The applicant understands that changes to the landscape plan included in this application cannot be made without official action of the Planning Director or the Development Review Board.

(.03) All landscaping shall be continually maintained, including necessary watering, weeding, pruning, and replacing, in a substantially similar manner as originally approved by the Board, unless altered with Board approval.

Response: This FDP application proposes development of a surface parking lot on Lot 12 to serve the residents, employees, and visitors of the Villebois Village mixed use development located on Lot 76 of PDP 12C and Lot 73 of PDP 2C. The property management company of the mixed-use development will assure long-term maintenance of common and public areas of the development, including the parking lot on Lot 12.

(.04) If a property owner wishes to add landscaping for an existing development, in an effort to beautify the property, the Landscape Standards set forth in Section 4.176 shall not apply and no Plan approval or permit shall be required. If the owner wishes to modify or remove landscaping that has been accepted or approved through the City's development review process, that removal or modification must first be approved through the procedures of Section 4.010.

Response: This FDP does not propose to modify landscaping of existing development; therefore, this criterion does not apply.

II. COMMUNITY ELEMENTS BOOK

Applicable Requirement	Requirement Met?	Notes
Street Lighting	<input checked="" type="checkbox"/>	No new lighting or modifications to existing street lighting is proposed. Existing street lighting, consistent with the Lighting Master Plan, is shown on <i>Existing Conditions & Demolition Plan</i> , submitted with the concurrent PDP modification application, Sheet 2 in Section IVH.
Curb Extensions	<input checked="" type="checkbox"/>	No new streets or modifications to existing streets and rights-of-way are proposed. Existing curb extensions are shown on the <i>Preliminary Circulation Plan</i> submitted with the concurrent PDP modification application, Sheet 6 in Section IVH.
Street Trees	<input checked="" type="checkbox"/>	No new street trees are proposed. Location and species of existing street trees, consistent with the Master Plan, are shown on the <i>Street Tree Layout Planting Plan</i> , Sheet L1 in Section VH.
Landscape Elements-Site Furnishings	<input checked="" type="checkbox"/>	No furnishings are proposed. Landscape is designed to provide a visual and physical buffer between surrounding properties and the parking lot as shown on Sheet L1 in Section VH.
Tree Protection	<input checked="" type="checkbox"/>	No trees within the development area are preserved to be preserved. Adjacent street trees will be preserved as shown on the <i>Preliminary Tree Preservation Plan</i> submitted with the concurrent PDP modification application, sheet 8 in Section IVH.
Plant List	<input checked="" type="checkbox"/>	All plant materials listed on Sheet L1 of Section VH are on the Villebois plant list. No prohibited plants are proposed.
Address Overlay Areas	<input checked="" type="checkbox"/>	Subject FDP is located within the Plaza Address Overlay and meets the standards for site furnishings, plant material, and surfaces. No changes to these standards are proposed with this application.

III. VILLAGE CENTER ARCHITECTURAL STANDARDS

Response: The Village Center Architectural standards applicable to development of the surface parking area on Lot 12 of FDP 1C are addressed below. Note, no buildings are proposed to be developed with this FDP.

Standards Applying to All Buildings

Standard	Standard Met?	Notes
5.1 Fencing		
Required		
1) See all applicable sections of the Village Zone, including but not limited	<input checked="" type="checkbox"/>	The SAP Central Plan and Villebois Village Master Plan do not indicate any required

to Section 4.125(.14) Table V-4 Permitted Materials and Configurations and Section 4.125 (.05) D. Fences		community fencing within the subject site. The Village Center Architectural Standards (VCAS) indicate that fencing is optional in the Plaza Address, and where provided should be consistent with the architecture.
2) The following fencing requirements apply to all fences and walls located between rights-of-way and building lines.	<input checked="" type="checkbox"/>	Vine supporting fencing is proposed around the entirety of the surface parking area, except at breaks for pedestrian and vehicle access points. No fencing is proposed to be located between right-of-way and buildings.
3) See Address overlay sections for additional requirements.	<input checked="" type="checkbox"/>	The Village Center Architectural Standards (VCAS) indicate that fencing is optional in the Plaza Address, and where provided should be consistent with the architecture.
4) Except where specifically required by Address overlays, fences are optional. Less fencing than the maximum allowable is allowed.	<input checked="" type="checkbox"/>	Vine supporting fencing is proposed around the entirety of the site, except at breaks for pedestrian and vehicle access points, to provide a visual buffer between the parking lot and adjacent properties.
5) Fencing shall be consistent with the Architectural Character of adjacent buildings, See Architectural Character, this section.	<input checked="" type="checkbox"/>	The applicant is proposing 6-foot-high vine support fence, consisting of welded wire mesh fencing with cedar posts, around the entirety of the site except at breaks for pedestrian and vehicle access points. The fence is designed to provide vegetative screen between the parking lot and surrounding properties consistent with the VCAS in the Plaza Address.
6) Fencing controlling access to a courtyard, outdoor lobby, or other public entries shall be greater than 50% transparent.	<input checked="" type="checkbox"/>	The vine supporting fencing does not control access to a courtyard, outdoor lobby, or other public entries.
7) Fencing located within the first 2'0" setback from rights-of-way shall be greater than 50% transparent.	<input checked="" type="checkbox"/>	The vine supporting fencing is not located within the first 2-foot setback from the adjacent rights-of-way.
8) Fencing located within interior side yards or separating buildings on the same lot shall be offset 4'0" or greater behind the adjacent front building line.	<input checked="" type="checkbox"/>	The vine supporting fencing is not located within interior side yards or separates buildings on the same lot.
9) Posts, pilasters, columns, or bollards may extend an additional 8" above the maximum height of any allowed fencing.	<input checked="" type="checkbox"/>	The applicant is proposing 6-foot-high vine support fence, consisting of welded wire mesh fencing with cedar posts. The posts do not extend more than 8-feet above the fencing.
10) Fencing may not change height at corners. They must level top surfaces and transition at posts to maintain height as required by changes in grade elevation.	<input checked="" type="checkbox"/>	The applicant is proposing 6-foot-high vine support fence, consisting of welded wire mesh fencing with cedar posts. The fencing does not change height at corners and maintains height of 6-feet.
11) Loading facilities, trash enclosures, and ground-level mechanical and utility equipment: These facilities shall be sited at the rear or side of buildings wherever practicable and	<input type="checkbox"/>	Not applicable.

<p>shall be screened where visible from the street. Screening shall match the adjacent development in terms of quality of materials and design. Such screening shall minimize light glare and noise levels affecting adjacent residential uses.</p>		
Optional		
<p>12) Fencing is encouraged to be consistent with building railing at balconies, decks, porches, etc.</p>	<input checked="" type="checkbox"/>	<p>The applicant is proposing 6-foot-high vine support fence, consisting of welded wire mesh fencing with cedar posts, around the entirety of the site except at breaks for pedestrian and vehicle access points. The fence is designed to provide vegetative screen between the parking lot and surrounding properties consistent with the VCAS in the Plaza Address.</p>

IV. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable requirements of the City of Wilsonville Planning & Land Development Ordinance for the requested Final Development Plan; therefore, the applicant requests approval of this application.

Description

The Halo RL6 Direct Mount is a SeleCCTable complete LED Baffle-Trim Module for 6 inch aperture applications, all without the need for a recessed housing; suitable for new construction, remodel and retrofit installation. Using the CCT selectable switch users can chose between five different color temperatures. The RL family offers a regressed lens that provides uniform illumination and wet location listing. Precision construction makes this product AIR-TITE for added savings and code compliance.

Catalog #		Type
Project		
Comments		Date
Prepared by		

Specification Features

CCT Select System

- Use the switch to choose between 2700K, 3000K, 3500K, 4000K, and 5000K CCT.

Module - Trim

- Module construction includes LED Array, heat sink, reflector, lens, baffle and trim ring.
- Regressed baffle
- Heat sink designed to conduct heat away from the LED Array

LED Array

- Mid power LED array provides a uniform source with high efficiency and no pixilation.
- 90 CRI minimum, R9 greater than 50
- Color accuracy within 3 SDCM at the CCT endpoints and 4 SDCM in between endpoints, provide color accuracy and uniformity.
- Color Temperature (CCT) has an selectable range from 2700K to 5000K (factory default 3000K)

Optical Assembly

- Regressed lens
- Impact-resistant polycarbonate
- Convex form and lamp-like appearance
- Diffuse for even illumination

Gaskets

- Closed cell gaskets achieve restrictive airflow requirements without additional caulking

Remote Driver/ Junction Box

- Aluminum driver / junction box with captive hinged junction box cover
- Listed for (6) #12 AWG 90° C splice conductors, 2-in, 2-out plus (2) ground
- (2) ½" conduit pry-outs
- (2) Slide-N-Side™ non-metallic (NM) wire traps all
- Accepts 14-2, 14-3, 12-2, 12-3 U.S and 14-2, 14-3, 12-2 Canadian NM cable
- (3) 4-port push wire nuts with clear caps for quick and reliable mains voltage connections
- Integral keyhole mounting slots facilitate direct mounting to building structure or new construction mounting frame

Driver

- Integral 120V 60 Hz constant current driver provides noise free operation
- Continuous, flicker-free dimming from 100% to 5%.
- Plenum rated inline electrical quick connect provides low voltage connection to fixture fitting

Installation

- Can be installed in 1/2" to 1-1/4" thick ceilings
- Cutout can utilize standard round hole saw sizes, cutout template provided
- Heat treated springs hold fixture fitting securely in the ceiling eliminating light leaks
- Can be removed from below the ceiling for service or replacement

Mounting / Retention

- The RL-DM requires no housing or third party junction box
- The remote enclosure may be used in direct contact with insulation.
- Installer must cut template out of drywall and install into aperture with the clips compressed.
- When released, the spring clips will rest on to the back side of the drywall
- Not for installation in recessed cans

Compliance

- UL Certified for US and Canada
- Wet and Damp location listed
- Airtight certified per ASTM-E283
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions per FCC 47CFR Part 15 consumer limits
- Contains no mercury or lead and RoHS compliant
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11
- Can be used for State of California Title 24 high efficacy luminaire compliance. Complies with Title 24 JA8-2016-E.
- Can be used International Energy Conservation Coe (IECC) and Washington State Energy Code high efficiency luminaire compliance.
- ENERGY STAR® listed, reference database for current listings

Warranty

Five year limited warranty, consult website for details.
www.eaton.com/lighting/legal



RL6

**6-Inch All-Purpose LED Retrofit Module with SeleCCTable switch
DIRECT MOUNT
600 Lumen Series**

FOR USE IN INSULATED CEILING AND NON- INSULATED CEILING

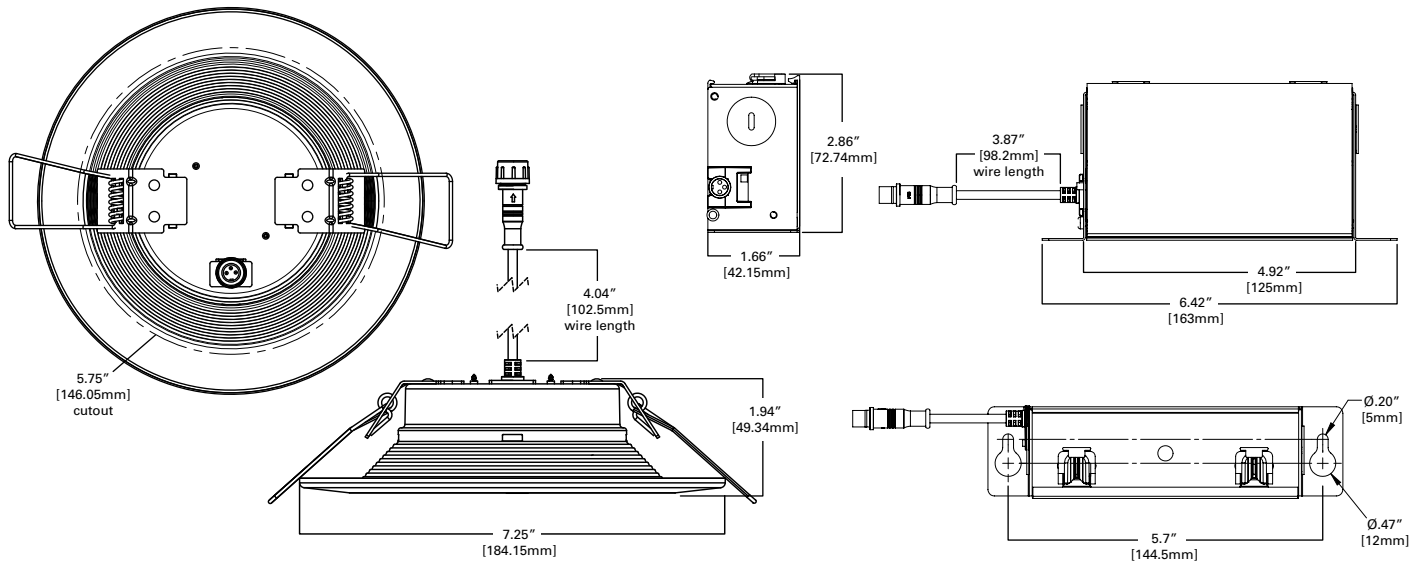
ENERGY DATA @ 3000K	
Lumens	600 Series
Input Voltage	120V
Input Current	74 (mA)
Input Power	8.7 (W)
Efficiency	82.8 (LPW)
Inrush (A)	2.1 (A)
THD: ≤ 20%	
PF: ≥ 0.90	
T Ambient -30 - +40°C	
Sound Rating ≤ 20dba	



Refer to ENERGY STAR® Certified Products List. Can be used to comply with California Title 24 High Efficacy requirements. Certified to California Appliance Efficiency Database under JA8.



DIMENSIONS



Ordering Information

SAMPLE NUMBER: RL6069S1EWHDM

A complete luminaire consists of an LED module and remote driver/junction box.

Models	Lumens	CRI/CCT	Driver	Finish	Mounting
RL6 = 6" all- purpose retrofit LED module	06 =600 lumens (nominal)	9S =90 CRI minimum, white tuning, selectable CCT 2700K-5000K	1E =120V 60Hz leading or trailing edge phase cut 5% dimming	WH =Matte white baffle	DM =Direct Mount

Product Specifications

PRODUCT SPECIFICATIONS

Lumens	719
Watts	8.7
Lumens Per Watt (Efficacy)	82.8
Color Accuracy (CRI)	92
Light Color (CCT) <small>Correlated Color Temperature (CCT)</small>	3000K

2700K
3000K
4500K
6500K

warm white
soft white
bright white



Date _____ Project _____

Notes _____

3.0 VARIABLE WHITE SERIES 2 RIBBONLYTE

Our Variable White Series 2 RibbonLyte allows you to adjust for brightness and warmth like never before. Now with 140 LEDs per meter, our improved RibbonLyte provides better color mixing, reduced diode visibility and a wider range of color temperatures for tuning your lighting design. Available in three wattages and with a 50 mm cut length, you can use Variable White Series 2 RibbonLyte with a 2-channel dimmer to create bright, clear, colder light or the warmest, softest tones.



- Single-row, dual-chip layout means 140 LEDs per meter (42 LEDs per foot!)
- Available in three (3) wattages (1W/ft, 3W/ft, 6W/ft)
- 50 mm cut length adds amazing flexibility to your design
- Color temperature range of 2000K to 6500K and 90+ CRI
- 2-channel dimming! One channel controls brightness and one controls temperature

Applications:

- | | | |
|---------------|---------------|-------------|
| Commercial | Hospitality | Residential |
| Entertainment | Museums | Retail |
| Healthcare | Public Spaces | |



5-Day QuickShip program applies to IP20 option only



ORDERING GUIDE

Category	CRI	Ribbon Type & IP Rating	Wattage + Color
RB	0		3.0VW
RB - Ribbonlyte	0 - Color Changing	VWS220 - VW Series 2 IP20 VWS265 - VW Series 2 IP65 VWS268 - VW Series 2 IP68	3.0VW - 3.0 Variable White

CONNECTION OPTIONS

1. End Feed Bare Wire Connection (Default Option)



2. IP67 Connector Input



3. Soldered Daisy Chain



4. Daisy Chain with IP67 Connectors



5. Bare Wire on Both Ends



Standard cable length if not specified:

1. 12 in. cable with bare wire (custom length up to 20 feet)
2. Standard 12 in. cable with IP67 connectors (custom length up to 10 feet)
3. Daisy chain with 3 in. cable between runs (custom length up to 36 in.)
4. 3 in. cable between IP67 connector and RibbonLyte (custom length up to 18 in.)
5. Standard 12 in. cable with bare wire (custom length up to 10 feet)

Note: IP67 connectors are used for both IP20 and IP65/IP68 RibbonLyte

AVAILABLE COLOR TEMPERATURES



VW

SPECIFICATIONS / DIAGRAM / USAGE GUIDELINES

3.0 VARIABLE WHITE SERIES 2 RIBBONLYTE	
Operating Voltage	24 V
Power Consumption	3.0 W/ft (9.8 W/m)
Current (mA) - 24V	125 mA/ft (410 mA/m)
LED Pitch	42 LEDs/ft (140 LEDs/m)
Protection Rating	IP20, IP65, IP68
Dimming/Control	DMX / 0-10V with Dimming Module
Operating Temperature	-40° F to 140° F (-40° C to 60° C)
Color Temperatures	2000K - 6500K (IP20) 2000K - 6000K (IP65/IP68)
MacAdam Ellipses (SDCM)	2-Step Binning
Maximum Light Output	240 lm/ft (790 lm/m)
Binning Tolerance	+/- 100K
LED Beam Angle	120°
Lamp Life	43,000 hrs L70 @ 131° F (55° C)
Cutable Length	1.97 in. (50 mm)
Lumens/Watt	72 - 90 lm/W (Warm - Cool LED)
Constant Voltage	✓
Cable Length	12 in (30.5 cm)
Certifications	ETL Listed: UL 2108 Issued: 2004/02/27 Ed: 1 Rev: 2014/02/24 Low Voltage Lighting Systems CSA C22.2#9.0 Issued: 1996/06/01 Ed: 1 (R2011) General Requirements for Luminaires; with Gen. Inst. 1: 1997, Gen Inst. 2: 1998. ROHS compliant UL 2108 - Low Voltage Lighting Systems UL 8750 - Light Emitting Diode (LED) Equipment for Use in Lighting Products UL 1598 / CSA 250.0-08 - Luminaires

24V DIMENSIONS	Top View	Side View	Dimensions
IP20	 CUTTABLE EVERY: 1.97 in. (50 mm)		Width 0.31 in. (8 mm) Max Length* 32 ft 8 in. (10 m) Height 0.09 in. (2.3 mm)
IP65	 CUTTABLE EVERY: 1.97 in. (50 mm)		Width 0.31 in. (8 mm) Max Length* 32 ft 8 in. (10 m) Height 0.125 in. (3.2 mm)
IP68	 CUTTABLE EVERY: 1.97 in. (50 mm)		Width 0.44 in. (11.2 mm) Max Length* 32 ft 8 in. (10 m) Height 0.18 in. (4.5 mm)

VARIABLE WHITE DIMMING MODULE - COMPATIBLE WITH VWS2 3.0 RIBBONLYTE



1 dimming module required per 30 ft (9.1 m)

*Max length before additional power is introduced
Maximum run length for IP68 waterproof RibbonLyte is 10 m (32.8 ft). For single runs longer than 10m, RibbonLyte will be daisy chained.

USAGE GUIDELINES

- IP65 and IP68 RibbonLyte are not field cuttable. All custom cuts and connections for these models must be performed at the factory to ensure waterproofing standards are met. Any modification of this on the field or by end user will result in a voided warranty.
- When installing this product take into account the surface temperature of the material this product is mounted to. Many building surfaces which are exposed to direct sunlight exceed the 70° C / 158° F maximum that our product is rated for. High risk locations like this should be avoided.
- Our IP65 can be used in wet, outdoor locations around swimming pools and spa tubs, but our products are not intended to be submerged in pools and fountains and do not carry UL676 certification to do so.
- Please refer to our RibbonLyte Proper Use Guide in our *Application Guide* for more information. Available for download at www.GENLEDBrands.com/Acolyte.
- Compatible with a wide variety of control products including the entire line of Lutron dimming systems.
- For use with GENLED Acolyte[®] drivers, 0-10V dimming modules and interface controllers (DMXINF models).
- Use with non-GENLED Acolyte[®] supplied Triac, MLV or ELV drivers is not supported or warranted.
- Due to the nature of the product, RibbonLyte cuttable lengths are generally longer or shorter than the customer requested length. Unless specified, RibbonLyte is factory cut at the shorter cuttable point.
- We reserve the right to make changes to product lineup, specifications, design and finishes at any time without notice.

GENLED Acolyte[®] does not warrant or represent that the information is free from errors or omission. The information may change without notice and GENLED Acolyte[®] is not in any way liable for the accuracy of any information printed and stored or in any way interpreted or used.

CHANNEL COMPATIBILITY / CHANNEL OPTIONS

CHANNEL	IP20 IP65	IP68	SURFACE MOUNTED CHANNELS										
			LENS OPTIONS: C - Clear F - Frosted K - Black M - Milky NP - Narrow Prismatic WP - Wide Prismatic RM - Round Milky SM - Square Milky										
AC1	✓	✓											
AC2	✓	✓											
AC3	✓	✓											
AC4	✓	✓											
AC5	✓	✓											
AC14	✓												
AP1	✓	✓	AC1 C, F, M	AC2 C, F, M	AC3 C, F, M	AC4 C, F, M	AC5 C, F, M	AC14 SM	AP1 C, K, M, SM	AS1 C, F, M			
AR1	✓												
AR2	✓	✓											
AR3	✓	✓											
AR5	✓												
AR8	✓												
AR10	✓		AS2 C, F, M	AS3 C, F, M	AS6 C, F, M	AS10 C, M	AS12 RM	AS13 RM, SM	AS14 SM	AS16 C, K, M			
AR14	✓												
AR16	✓	✓											
AR20	✓	✓											
AR23	✓												
AR25	✓	✓											
AR30	✓	✓	AS20G G	AS23 C, K, M, SM	AS28 M, NP, WP	AS30 M, RM, SM	AS53 M, NP, WP	AT4 C, F, M	AT5 C, F, M	AT11 C, F, M			
AR33	✓	✓											
AS1	✓	✓											
AS2	✓	✓											
AS3	✓	✓											
AS6	✓	✓											
AS10	✓	✓	AW10 C, K, M	AW12 C, K, M, RM	AW14 C, K, M	AW35 C, F, M	AW38 M, RM, SM	AW38 C, F, M	B1 C, F, M	B2 RM			
AS12	✓	✓											
AS13	✓	✓											
AS14	✓	✓											
AS16	✓	✓											
AS20G	✓												
AS23	✓	✓	C22 C, F, M	GL2 C, F, M	ROUND C, F, M	ROUND12 C, K, M	ROUND20 C, K, M	ST10 C, F, M	WH35 C, F, M				
AS28	✓	✓											
AS30	✓	✓											
AS53	✓	✓											
AT4	✓	✓											
AT5	✓	✓											
AT11	✓	✓											
AW10	✓												
AW12	✓												
AW14	✓	✓											
AW35	✓	✓											
AW38	✓	✓											
AW40	✓		AR1 C, F, M	AR2 C, F, M	AR3 C, F, M	AR5 M	AR8 C, F, M	AR10 C, M	AR14 SM	AR16 C, K, M			
B1	✓												
B2	✓												
C22	✓	✓											
GL1	✓	✓											
GL2	✓	✓											
ROUND	✓	✓	AR20 C, K, M, SM	AR23 C, K, M	AR25 M, RM, SM	AR30 M, RM, SM	AR33 M, NP, WP	GL1 C, F, M	SC1 M	SC2 M			
ROUND12	✓												
ROUND20	✓	✓											
SC1	✓	✓											
SC2	✓	✓											
SC3	✓	✓											
SC4	✓	✓	SC3 M	SC4 M, RM, SM	SC5 M, RM, SM	SC6 C, K, M, SM	SC-CORNER1 M	SC-CORNER2 M	W31 C, F, M				
SC5	✓	✓											
SC6	✓	✓											
SC-CORNER1	✓												
SC-CORNER2	✓												
ST10	✓												
W31	✓	✓											
WH35	✓	✓											

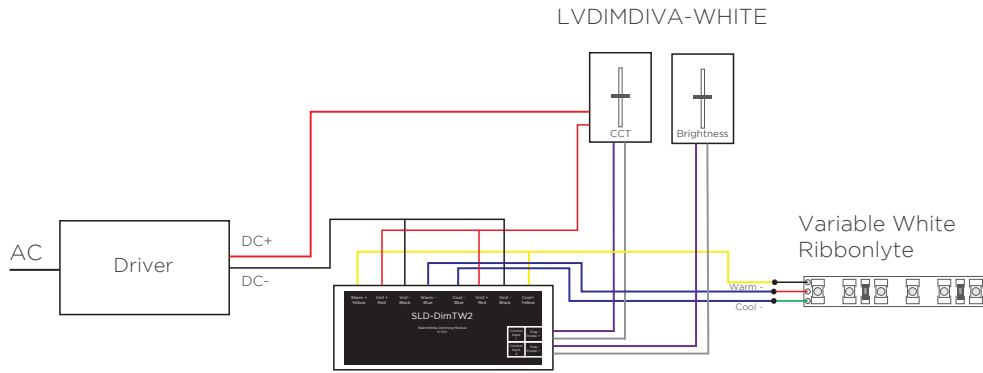
RECESSED CHANNELS

DISCLAIMER

When installing this product take into account the surface temperature of the material this product is mounted to. Many building surfaces which are exposed to direct sunlight exceed the 70°C/158°F maximum that our product is rated for. High risk locations like this should be avoided. Our IP68 product is not intended to be submerged in pools and fountains and does not carry UL676 certification to do so.

WIRING DIAGRAMS

2-CHANNEL DIMMING WIRING DIAGRAM

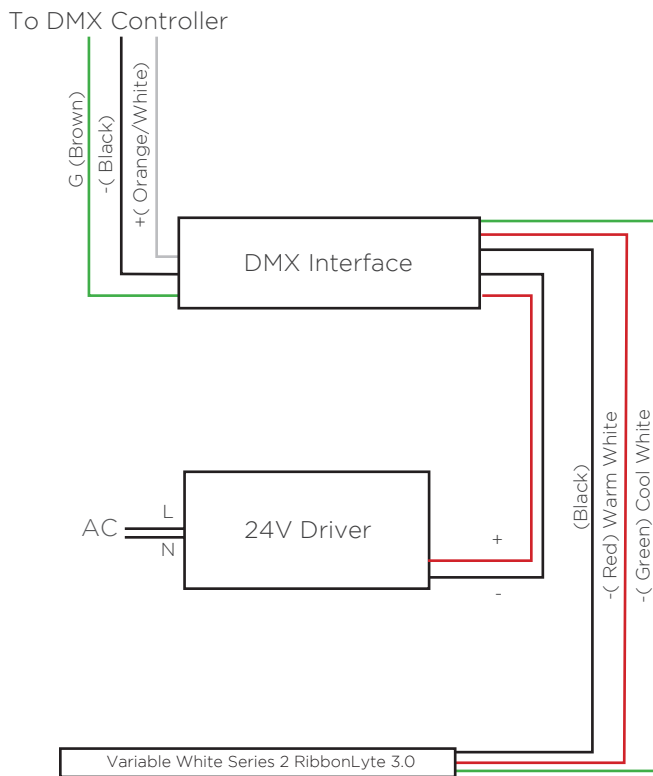


WIRE COLORS PER RIBBONLYTE COLOR

- VARIABLE WHITE**
- Black Wire (+) Positive
 - Red Wire (-) Warm Channel
 - Green Wire (-) Cool Channel

* 0-100% flicker-free performance not guaranteed when used with non-GENLED Acolyte Drivers

DMX WIRING DIAGRAM - COMPATIBLE WITH ALL MODELS OF VARIABLE WHITE RIBBONLYTE



DESCRIPTION

Lanterra 9004-W1 (Up or Down) and 9004-W2 (Up and Down) are 4.25" O.D., line voltage cylinder fixtures with dimmable LED. The luminaire comes in various mountings, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch j-box. The luminaire also comes with various field replaceable optics. It also comes with various lens, louvers and colors or dichroic filters, which can combine up to two at once to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

SPECIFICATION FEATURES

Material

Housing, hood and mounting stem are precision-machined from corrosion resistant billet stock 6061-T6 aluminum.

Finish

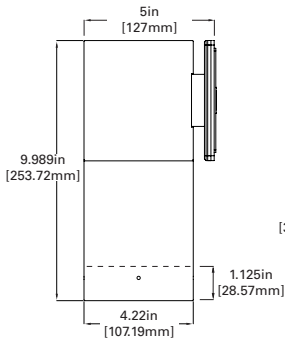
Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS complaint chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

Hood

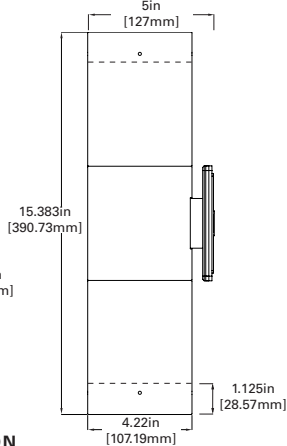
Hood is removable and accepts up to two internal accessories at once (lenses, louvers and filters) to achieve multiple lighting effects. Weep holes prevents water and mineral stains from collecting on the lens, even in the straight up position. The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

DIMENSIONS

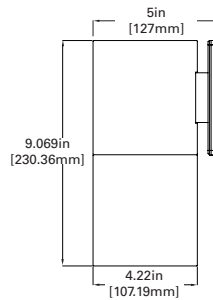
9004-W1-RW



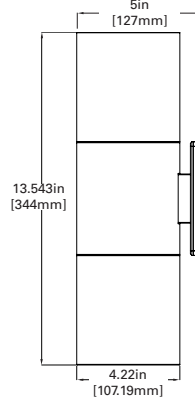
9004-W2-RW



9004-W1-FL



9004-W2-FL



ORDERING INFORMATION

SERIES	DIRECTION	HOOD	LED CCT & CRI	FIELD REPLACEABLE OPTIC		FINISH	LIGHT LEVEL	VOLTAGE	MOUNTING	OPTIONS
				OPTIC 1	OPTIC 2 ¹					
9004	W1 Up or Down W2 ² Up and Down	RW	Standard CRI LED2790 - 2700K, 90 CRI LED 3090 - 3000K, 90 CRI LED 3590 - 3500K, 90 CRI LED 4080 - 4000K, 80 CRI LED 5080 - 5000K, 80 CRI Premium CRI LED 2797 - 2700K, 97 CRI LED 3097 - 3000K, 97 CRI LED 3597 - 3500K, 97 CRI LED 4097 - 4000K, 97 CRI	S Spot	S Spot	Standard Paint Finish BK Black BZ Bronze CS City Silver WT White	L1 Light Level 1 (10W) L2 Light Level 2 (20W) L3 Light Level 3 (30W)	UNV 120-277V	Surface Mount - Wall, Ceiling, Ground RSM Round Surface Mount- mounts directly to junction box Thermal Limitations (unless otherwise noted 50C) 9004-W1-xxx-L3-xxx-WRx (45C) 9004-W2-xxx-L3-xxx-RSM (35C) 9004-W2-xxx-LC2-xxx-RSM (40C)	SVPD2 ⁴ Standalone integral sensor
		RI Recessed Lens with weep holes - Outdoor FL Flush lens hood		F Flood W Wide Flood	F Flood W Wide Flood					
									Remote Driver Housing WIS ^{2,3} Wall Integral Driver Plate Thermal Limitations (unless otherwise noted 45C) 9004-(W1,W2)-xx-L1-xx-WIS (50C)	

Notes: 1. Only available for double head option (W2)
 2. 9004-W1 not available in L3
 3. 9004-W2 not available in L2, L3
 4. Only available for Single head, Up or down (W1) with RSM only
 5. W2 doubles input wattage listed
 6. Remote Driver distance up to 60', For L3 (30W) remote distance up to 15'

Catalog #		Type
Project		
Comments		Date
Prepared by		

industry leading high output with 87% lumen maintenance at 60,000hrs.

Compliance

Components are UL recognized and luminaires are cULus listed for 50°C ambient environments unless noted otherwise, wet location listed, and ROHS compliant. IP66 Rated. DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.

Warranty

Lumiere warrants the Lanterra series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.



Lanterra 9004

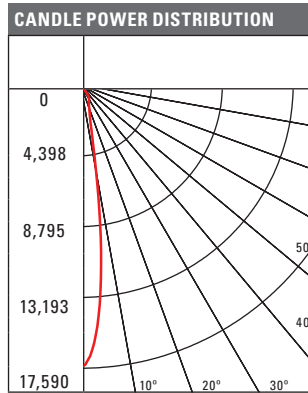
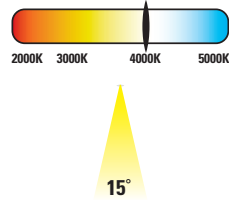
LED
INTERIOR / EXTERIOR
CYLINDER FLOOD LIGHT
CERTIFICATION DATA
 cULus - 1598
Wet Location Listed - IP66
LM79/LM80 Compliant
ROHS Compliant
10W LED, L70/102,000@25° Celcius
20W LED, L70/102,000@25° Celcius
30W LED, L70/102,000@25° Celcius



PHOTOMETRICS

Test Number	P29496
Lumcat	9004-[W1]-X-FL-LED4080-S-BK-L3-UNV
Lumens	2801 Lm
Watts	28.6 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.27 / 0.27 / 0.27
Beam Angle	15.9°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

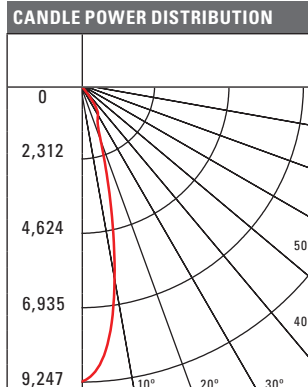
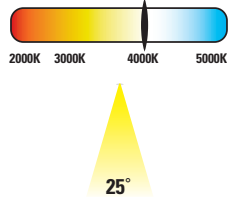


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	4397.5	0.4	0.4	
4'	1099.4	1	1	
6'	488.6	1.6	1.6	
8'	274.8	2	2	
10'	175.9	2.6	2.6	
15'	78.2	4	4	
20'	44	5.4	5.4	
30'	19.5	8.2	8.2	
40'	11	10.8	10.8	

CANDELA TABLE	
Angle	0-deg
0	17590
5	13640
10	5616
15	2329
20	1555
30	1057
40	161
50	11
60	4
70	1
80	0
90	0

Test Number	29497
Lumcat	9004-[W1]-X-FL-LED4080-M-BK-L3-UNV
Lumens	2826 Lm
Watts	28.6 W
LPW	98.8 Lm/W
CCT	4000K
SC (0/90/45)	0.43 / 0.43 / 0.44
Beam Angle	25.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

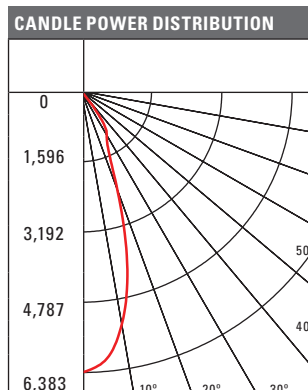
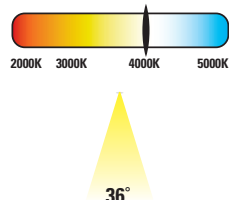


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	2311.8	0.8	0.8	
4'	577.9	1.6	1.6	
6'	256.9	2.4	2.4	
8'	144.5	3.4	3.4	
10'	92.5	4.2	4.2	
15'	41.1	6.4	6.4	
20'	23.1	8.6	8.6	
30'	10.3	12.8	12.8	
40'	5.8	17.2	17.2	

CANDELA TABLE	
Angle	0-deg
0	9247
5	8453
10	6140
15	3506
20	1860
30	1098
40	170
50	13
60	4
70	1
80	0
90	0

Test Number	P29498
Lumcat	9004-[W1]-X-FL-LED4080-F-BK-L3-UNV
Lumens	2871 Lm
Watts	28.5 W
LPW	100.7 Lm/W
CCT	4000K
SC (0/90/45)	0.58 / 0.58 / 0.56
Beam Angle	35.1°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

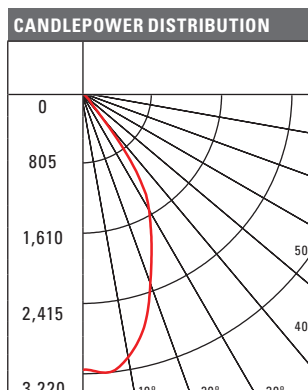
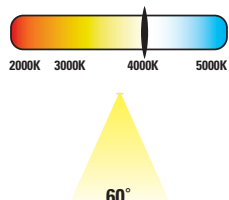


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	1595.8	1	1	
4'	398.9	2.2	2.2	
6'	177.3	3.4	3.4	
8'	99.7	4.6	4.6	
10'	63.8	5.8	5.8	
15'	28.4	8.6	8.6	
20'	16	11.6	11.6	
30'	7.1	17.4	17.4	
40'	4	23.2	23.2	

CANDELA TABLE	
Angle	0-deg
0	6383
5	6141
10	5345
15	4027
20	2423
30	1153
40	178
50	6
60	4
70	1
80	0
90	0

Test Number	P29499
Lumcat	9004-[W1]-X-FL-LED4080-W-BK-L3-UNV
Lumens	2790 Lm
Watts	28.5 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.86 / 0.86 / 0.91
Beam Angle	58.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4



CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	796.9	1.6	1.6	
4'	199.2	3.4	3.4	
6'	88.5	5	5	
8'	49.8	6.8	6.8	
10'	31.9	8.4	8.4	
15'	14.2	12.8	12.8	
20'	8	17	17	
30'	3.5	25.6	25.6	
40'	2	34.2	34.2	

CANDELA TABLE	
Angle	0-deg
0	3173
5	3220
10	3082
15	2784
20	2321
30	1560
40	366
50	95
60	25
70	3
80	0
90	0

CCT/CRI	LED2790	LED3090	LED3590	LED4080	LED5080	LED2797	LED3097	LED3597	LED4097
FC Multiplier	0.754	0.798	0.808	1.000	1.039	0.699	0.706	0.801	0.793

Light Level	L1	L2	L3
FC Multiplier	0.418	0.772	1.000

Note: Photometric tables show lumen output for W1 only. For W2 (Up and Down) option, uplight and downlight both match lumen output as W1.

LUMEN TABLE

		9004-[W1] Regressed Hood - Black								
		L1 - 10 W			L2 - 20 W			L3 - 30W		
		CBCP	Lumens	LPW	CBCP	Lumens	LPW	CBCP	Lumens	LPW
Spot 15°	LED2790	5584	783	79.5	10310	1445	71.9	13357	1872	65.7
	LED3090	5907	828	84.1	10906	1529	76.1	14130	1981	69.5
	LED3590	5983	839	85.1	11047	1549	77.0	14311	2006	70.4
	LED4080	7401	1038	105.3	13666	1916	95.3	17705	2482	87.1
	LED5080	7689	1078	109.4	14197	1990	99.0	18393	2578	90.5
	LED2797	5175	726	73.7	9556	1340	66.6	12380	1736	60.9
	LED3097	5224	732	74.4	9646	1352	67.3	12497	1752	61.5
	LED3597	5926	831	84.3	10941	1534	76.3	14175	1987	69.7
	LED4097	5869	823	83.5	10836	1519	75.6	14038	1968	69.1
Medium Flood 25°	LED2790	2907	781	79.2	5368	1441	71.7	6954	1867	65.5
	LED3090	3075	826	83.8	5678	1525	75.8	7357	1975	69.3
	LED3590	3115	836	84.9	5751	1544	76.8	7451	2001	70.2
	LED4080	3853	1035	105.0	7115	1910	95.0	9218	2475	86.8
	LED5080	4003	1075	109.1	7391	1984	98.7	9576	2571	90.2
	LED2797	2695	723	73.4	4975	1336	66.5	6446	1731	60.7
	LED3097	2720	730	74.1	5022	1348	67.1	6505	1747	61.3
	LED3597	3085	828	84.1	5696	1529	76.1	7380	1981	69.5
	LED4097	3055	820	83.3	5642	1515	75.4	7309	1962	68.9
Flood 36°	LED2790	2006	792	80.4	3704	1463	72.8	4799	1895	66.3
	LED3090	2122	838	85.1	3918	1547	77.0	5076	2004	70.1
	LED3590	2149	849	86.2	3969	1567	78.0	5142	2030	71.0
	LED4080	2659	1050	106.6	4910	1939	96.4	6361	2512	87.8
	LED5080	2762	1091	110.7	5101	2014	100.2	6608	2609	91.2
	LED2797	1859	734	74.5	3233	1356	67.4	4448	1756	61.4
	LED3097	1877	741	75.2	3466	1368	68.1	4490	1773	62.0
	LED3597	2129	841	85.3	3931	1552	77.2	5093	2011	70.3
	LED4097	2108	832	84.5	3893	1537	76.5	5044	1991	69.6
Wide Flood 60°	LED2790	1012	753	76.4	1869	1390	69.2	2422	1801	63.0
	LED3090	1071	796	80.8	1977	1470	73.2	2562	1905	66.6
	LED3590	1085	807	81.9	2003	1489	74.1	2595	1929	67.5
	LED4080	1342	998	101.3	2478	1842	91.7	3210	2387	83.5
	LED5080	1394	1037	105.2	2574	1914	95.2	3335	2480	86.7
	LED2797	938	698	70.8	1733	1288	64.1	2245	1669	58.4
	LED3097	947	704	71.5	1749	1300	64.7	2266	1685	58.9
	LED3597	1074	799	81.1	1984	1475	73.4	2570	1911	66.8
	LED4097	1064	791	80.3	1965	1461	72.7	2545	1893	66.2

TM30 DATA

9004	CCT/CRI	Rf	Rg	Ra	R9
	2790	90.9	98.9	91.7	58.3
	3090	90.8	99.1	92.5	62.6
	3590	90.6	100.4	92.7	67.5
	4080	82.5	94.3	83.1	11.4
	5080	81.6	94.1	82	6
	2797	94.9	100	98.1	86.9
	3097	94	100.3	97.8	88.9
	3597	92.9	99.3	97.2	89.1
	4097	91.5	98.7	95.4	84

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C, 40°C, 50°C	> 87%	> 102,000

POWER TABLE

Number of Heads	Light Level	Input Current (A) at 120 VAC	Input Current (A) at 277 VAC	Input Power (W)
W1	L1	0.08	0.03	10
	L2	0.177	0.088	20.93
	L3	0.252	0.118	30.02
	LC1	0.1	0.085	11.4
	LC2	0.183	0.088	21.44
W2	L1	0.16	0.06	20
	L2	0.354	0.176	41.86
	L3	0.504	0.236	60.04
	LC1	0.2	0.17	22.8
	LC2	0.366	0.176	42.88

DESCRIPTION

The Entri LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Eaton's proprietary LED LightBAR™ technology and AccuLED Optics™ system, the Entri LED luminaire offers designers vast versatility in system design, function and performance. Use Entri LED for wall mount architectural lighting applications and egress lighting requirements. UL/cUL listed for use in wet locations.

SPECIFICATION FEATURES

Construction

HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **FACEPLATE / DOOR:** One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. **GASKET:** One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. **LENS:** Uplight lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is LED board integrated acrylic over-optics, each individually sealed for IP66 rating. **HARDWARE:** Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics

Choice of six patented, high-efficiency AccuLED Optic distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in

4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT and 5000K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments, occupancy sensor and dimming options available.

Mounting

JUNCTION BOX: Standard with zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightBARs mount facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to

Catalog #		Type
Project		
Comments		Date
Prepared by		

wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery pack, surface conduit and through branch wiring. The Entri LED luminaire is approved for mounting on combustible surfaces.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ENC/ENT/ENV ENTRI LED

1 - 2 LightBARs
Solid State LED

ARCHITECTURAL WALL
LUMINAIRE

**CERTIFICATION DATA**

UL/cUL Listed
ISO 9001
IP66 LightBARs
LM79 / LM80 Compliant
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

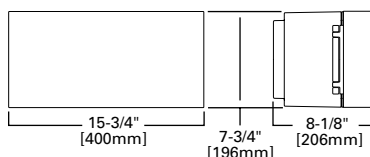
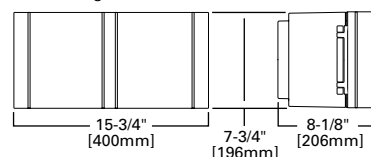
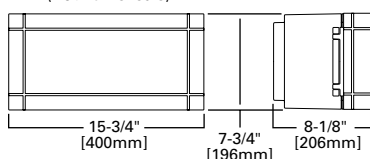
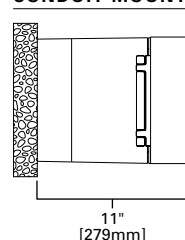
SHIPPING DATA

Approximate Net Weight:
16 lbs. (7.3 kgs.)



TD514003EN
February 7, 2019 9:57 AM

DIMENSIONS

ENC (Round Clean)**ENT (Triangle Reveals)****ENV (Round Reveals)****CONDUIT MOUNT / BATTERY BACK BOX**

CONTROL OPTIONS

0-10V

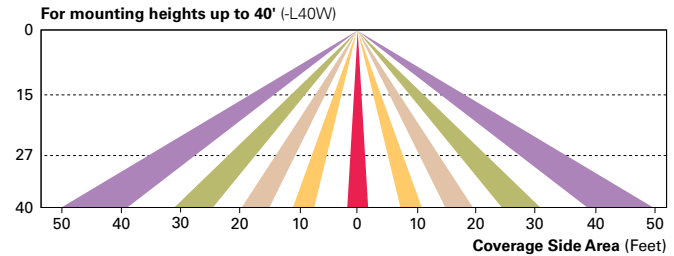
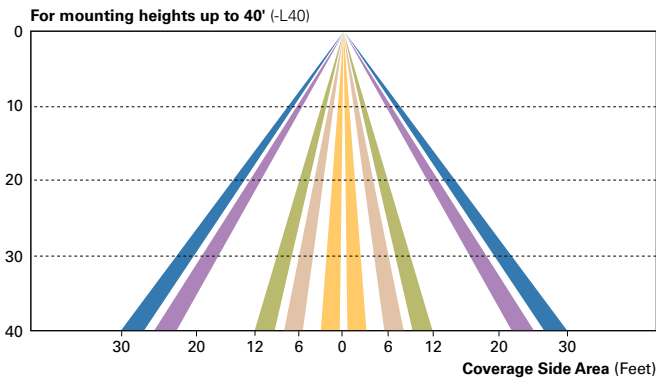
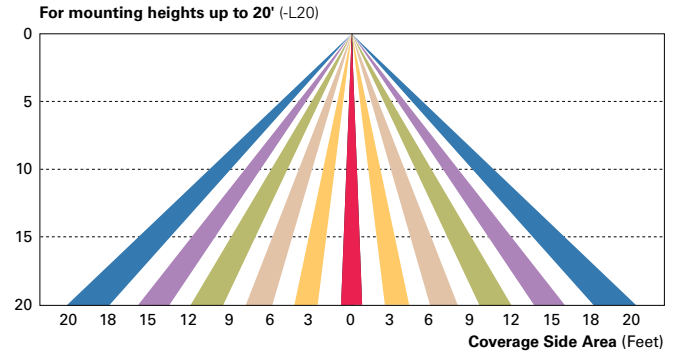
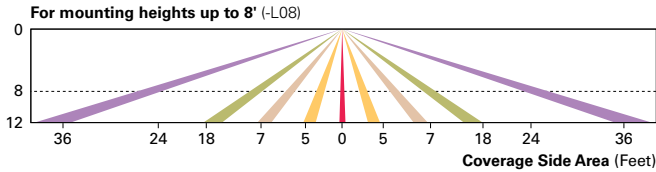
This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Dimming Occupancy Sensor (MS/DIM-LXX and OSB-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The OSB-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

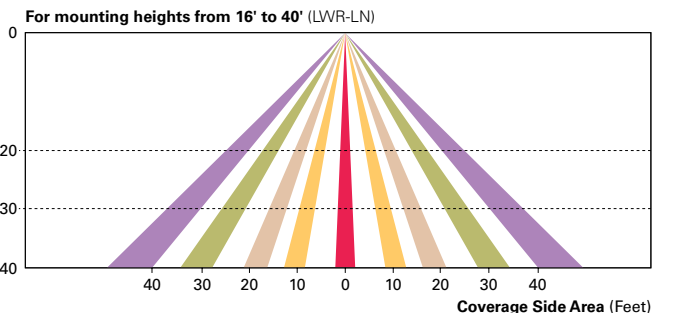
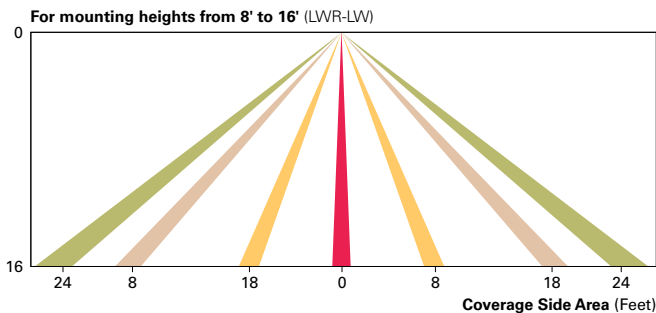
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.



LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.



POWER AND LUMENS BY BAR COUNT

Number of LightBARs	E01	E02	F01	F02	
	21 LED LightBAR		7 LED LightBAR		
Drive Current	350mA		1A		
Power (Watts)	120-277V	25W	47W	26W	50W
Current (A)	120V	0.22	0.40	0.22	0.42
	277V	0.10	0.18	0.10	0.19
Power (Watts)	347V or 480V	31W	52W	32W	55W
Current (A)	347V	0.11	0.16	0.11	0.17
	480V	0.16	0.18	0.16	0.18
Optics					
BL2	Lumens	2,738	5,476	2,260	4,521
	Bug Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
BL3	Lumens	2,702	5,405	2,231	4,462
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1
BL4	Lumens	2,613	5,225	2,157	4,313
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G1
GZW	Lumens	2,785	5,570	2,299	4,598
	Bug Rating	B2-U0-G2	B3-U0-G3	B1-U0-G1	B2-U0-G2
SLR/SL	Lumens	2,435	4,869	2,010	4,020
	Bug Rating	B1-U0-G1	B1-U0-G2	B1-U0-G1	B1-U0-G2

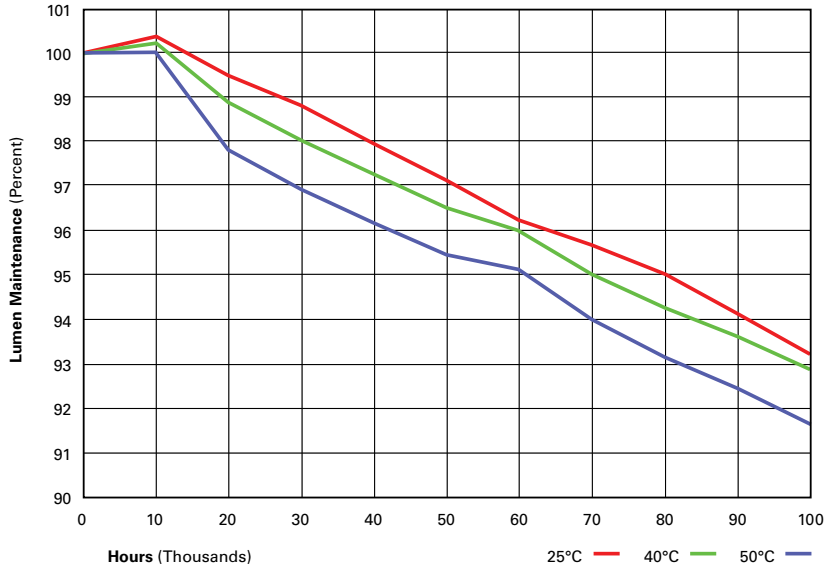
LUMEN MAINTENANCE

Ambient Temperature	25,000 Hours*	50,000 Hours*	60,000 Hours*	100,000 Hours	Theoretical L70 (Hours)
25°C	> 99%	> 97%	> 96%	> 93%	> 450,000
40°C	> 98%	> 97%	> 96%	> 92%	> 425,000
50°C	> 97%	> 96%	> 95%	> 91%	> 400,000

* Per IESNA TM-21 data.

LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
10°C	1.02
15°C	1.01
25°C	1.00
40°C	0.99



ORDERING INFORMATION

Sample Number: ENC-E02-LED-E1-BL3-GM

Product Family	Number of LightBARs ¹	Lamp Type	Voltage	Distribution	Color ³
ENC=Entri Round Clean ENT=Entri Triangle Reveals ENV=Entri Round Reveals	E01=(1) 21 LED LightBAR E02=(2) 21 LED LightBARs F01=(1) 7 LED LightBAR F02=(2) 7 LED LightBARs	LED=Solid State Light Emitting Diodes	E1=Electronic (120-277V) 347=347V 480=480V ²	BL2=Type II w/Back Light Control BL3=Type III w/Back Light Control BL4=Type IV w/Back Light Control GZW=Wall Grazer Wide SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White
Options (Add as Suffix)			Accessories (Order Separately) ¹⁴		
ULG=Uplight Glow (For Uplight Only) ⁴ PC=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) ⁵ WG=Wire Guard TP=Tamper Resistant Hardware LCF=LightBAR Cover Plate Matches Housing Finish 7030=70 CRI / 3000K CCT ⁶ 7050=70 CRI / 5000K CCT ⁶ 8030=80 CRI / 3000K CCT ⁶ OSB-LXX=Occupancy Sensor with Back Box (Specify 120V or 277V) ^{7,8} BBB=Battery Pack with Back Box (Specify 120V or 277V) ⁹ CWB=Cold Weather Battery Pack with Back Box (Specify 120V or 277V) ¹⁰ DIM=0-10V Dimming Driver LWR-LW= LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{11, 13} LWR-LN= LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{11, 13} MS/DIM-LXX= Programmable Photo/Motion Sensor ^{8, 12, 13}			VA2001-XX=Thru-Way Conduit Box VA6172=Wire Guard VA6173=Tamper-Resistant Driver Bit MA1253=10kV Circuit Module Replacement FSIR-100=Wireless Configuration Tool for occupancy sensor ¹²		

- NOTES:**
- Standard 4000K CCT and greater than 70 CRI. LightBARs for downlight use only.
 - Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems)
 - Custom and RAL color matching available upon request. Consult your lighting representative at Eaton for more information.
 - Not available with LWR-XX or MS/DIM-LXX.
 - Not available with ULG option.
 - Extended lead times apply.
 - Available with E02 or F02, only one bar on street side will be wired to sensor. Time delay factory setting 15-minutes. When ordered with PC option, both bars are connected to photocontrol as primary switching means. Standard sensor lens covers 8' mounting height, 360° coverage, maximum 48" diameter. Not available in all configurations or with BBB or CWB options.
 - Replace 'XX' with mounting height in feet for proper lens selection, L08, L20 and L40 are available options.
 - Specify 120V or 277V. LED standard integral battery pack is rated for minimum operating temperature 32°F (0°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
 - Specify 120V or 277V. LED cold weather integral battery pack is rated for minimum operating temperature -4°F (-20°C). Operates one bar for 90-minutes. Not available in all configurations or with OSB option. Consult factory.
 - LumaWatt Pro wireless sensors are factory installed only, order with OSB backbox, requiring network components LWP-EM-1, LWP-GW-1, LWP-PoE8 in appropriate quantities. See www.eaton.com/lighting for LumaWatt Pro application information.
 - The FSIR-100 configuration tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
 - Includes integral photocell.
 - Replace XX with color suffix.



Eaton
1121 Highway 74 South
Peachtree City, GA 30269
P: 770-486-4800
www.eaton.com/lighting

Specifications and dimensions subject to change without notice.

DESCRIPTION

Lanterra 9004-W1 (Up or Down) and 9004-W2 (Up and Down) are 4.25" O.D., line voltage cylinder fixtures with dimmable LED. The luminaire comes in various mountings, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch j-box. The luminaire also comes with various field replaceable optics. It also comes with various lens, louvers and colors or dichroic filters, which can combine up to two at once to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

SPECIFICATION FEATURES

Material

Housing, hood and mounting stem are precision-machined from corrosion resistant billet stock 6061-T6 aluminum.

Finish

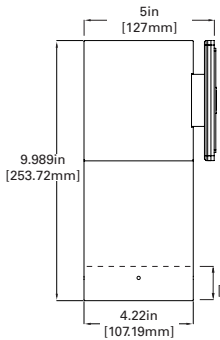
Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS complaint chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

Hood

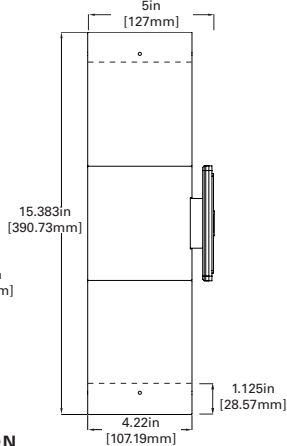
Hood is removable and accepts up to two internal accessories at once (lenses, louvers and filters) to achieve multiple lighting effects. Weep holes prevents water and mineral stains from collecting on the lens, even in the straight up position. The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

DIMENSIONS

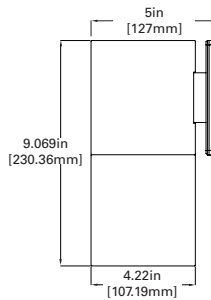
9004-W1-RW



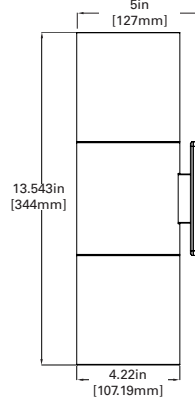
9004-W2-RW



9004-W1-FL



9004-W2-FL



ORDERING INFORMATION

SERIES	DIRECTION	HOOD	LED CCT & CRI	FIELD REPLACEABLE OPTIC		FINISH	LIGHT LEVEL	VOLTAGE	MOUNTING	OPTIONS
				OPTIC 1	OPTIC 2 ¹					
9004	W1 Up or Down	RW Standard-Recessed Lens with weep holes - Outdoor RI Recessed Lens with no weep holes - Indoor FL Flush lens hood	Standard CRI LED2790 - 2700K, 90 CRI LED 3090 - 3000K, 90 CRI LED 3590 - 3500K, 90 CRI LED 4080 - 4000K, 80 CRI LED 5080 - 5000K, 80 CRI Premium CRI LED 2797 - 2700K, 97 CRI LED 3097 - 3000K, 97 CRI LED 3597 - 3500K, 97 CRI LED 4097 - 4000K, 97 CRI	S Spot	S Spot	Standard Paint Finish BK Black BZ Bronze CS City Silver WT White	L1 Light Level 1 (10W)	UNV 120-277V	Surface Mount - Wall, Ceiling, Ground RSM Round Surface Mount- mounts directly to junction box Thermal Limitations (unless otherwise noted 50C) 9004-W1-xxx-L3-xxx-RSM (45C) 9004-W2-xxx-L3-xxx-RSM (35C) 9004-W2-xxx-LC2-xxx-RSM (40C)	SVPD2 ⁴ Standalone integral sensor
	W2 ³ Up and Down			M Medium	M Medium		L2 Light Level 2 (20W)			
							L3 Light Level 3 (30W)		Remote Driver Housing Integral Driver Mount WIS ^{2,3} Wall Integral Driver Plate Thermal Limitations (unless otherwise noted 45C) 9004-(W1,W2)-xx-L1-xx-WIS (50C)	

Notes: 1. Only available for double head option (W2)
 2. 9004-W1 not available in L3
 3. 9004-W2 not available in L2, L3
 4. Only available for Single head, Up or down (W1) with RSM only
 5. W2 doubles input wattage listed
 6. Remote Driver distance up to 60', For L3 (30W) remote distance up to 15'

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

industry leading high output with 87% lumen maintenance at 60,000hrs.

Compliance

Components are UL recognized and luminaires are cULus listed for 50°C ambient environments unless noted otherwise, wet location listed, and ROHS compliant. IP66 Rated. DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.

Warranty

Lumiere warrants the Lanterra series of fixtures against defects in material and workmanship for five (5) years. Auxiliary equipment such as LED drivers carries the original manufacturer's warranty.



Lanterra 9004

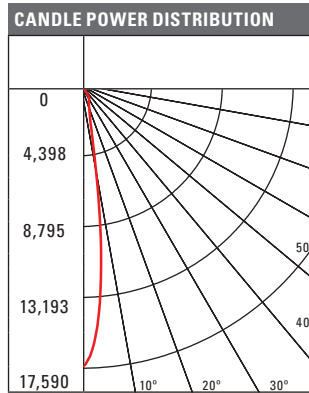
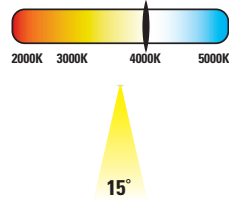
LED
 INTERIOR / EXTERIOR
 CYLINDER FLOOD LIGHT
 CERTIFICATION DATA
 cULus - 1598
 Wet Location Listed - IP66
 LM79/LM80 Compliant
 ROHS Compliant
 10W LED, L70/102,000@25° Celcius
 20W LED, L70/102,000@25° Celcius
 30W LED, L70/102,000@25° Celcius



PHOTOMETRICS

Test Number	P29496
Lumcat	9004-[W1]-X-FL-LED4080-S-BK-L3-UNV
Lumens	2801 Lm
Watts	28.6 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.27 / 0.27 / 0.27
Beam Angle	15.9°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

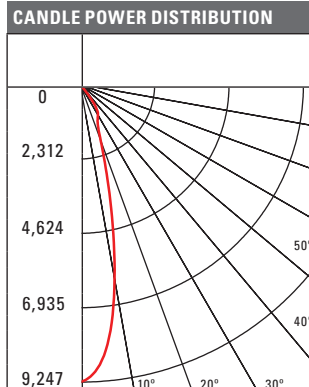
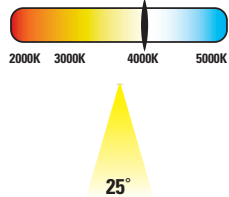


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	4397.5	0.4	0.4	
4'	1099.4	1	1	
6'	488.6	1.6	1.6	
8'	274.8	2	2	
10'	175.9	2.6	2.6	
15'	78.2	4	4	
20'	44	5.4	5.4	
30'	19.5	8.2	8.2	
40'	11	10.8	10.8	

CANDELA TABLE	
Angle	0-deg
0	17590
5	13640
10	5616
15	2329
20	1555
30	1057
40	161
50	11
60	4
70	1
80	0
90	0

Test Number	29497
Lumcat	9004-[W1]-X-FL-LED4080-M-BK-L3-UNV
Lumens	2826 Lm
Watts	28.6 W
LPW	98.8 Lm/W
CCT	4000K
SC (0/90/45)	0.43 / 0.43 / 0.44
Beam Angle	25.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

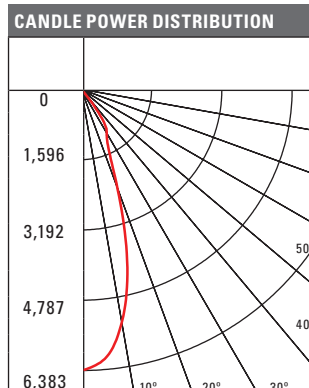
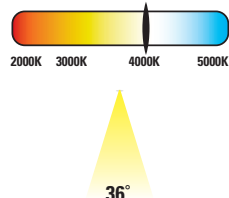


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	2311.8	0.8	0.8	
4'	577.9	1.6	1.6	
6'	256.9	2.4	2.4	
8'	144.5	3.4	3.4	
10'	92.5	4.2	4.2	
15'	41.1	6.4	6.4	
20'	23.1	8.6	8.6	
30'	10.3	12.8	12.8	
40'	5.8	17.2	17.2	

CANDELA TABLE	
Angle	0-deg
0	9247
5	8453
10	6140
15	3506
20	1860
30	1098
40	170
50	13
60	4
70	1
80	0
90	0

Test Number	P29498
Lumcat	9004-[W1]-X-FL-LED4080-F-BK-L3-UNV
Lumens	2871 Lm
Watts	28.5 W
LPW	100.7 Lm/W
CCT	4000K
SC (0/90/45)	0.58 / 0.58 / 0.56
Beam Angle	35.1°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4

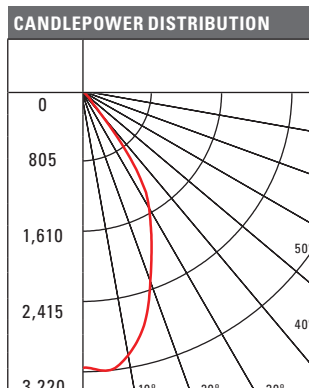
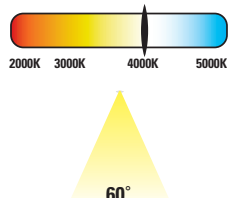


CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	1595.8	1	1	
4'	398.9	2.2	2.2	
6'	177.3	3.4	3.4	
8'	99.7	4.6	4.6	
10'	63.8	5.8	5.8	
15'	28.4	8.6	8.6	
20'	16	11.6	11.6	
30'	7.1	17.4	17.4	
40'	4	23.2	23.2	

CANDELA TABLE	
Angle	0-deg
0	6383
5	6141
10	5345
15	4027
20	2423
30	1153
40	178
50	6
60	4
70	1
80	0
90	0

Test Number	P29499
Lumcat	9004-[W1]-X-FL-LED4080-W-BK-L3-UNV
Lumens	2790 Lm
Watts	28.5 W
LPW	97.9 Lm/W
CCT	4000K
SC (0/90/45)	0.86 / 0.86 / 0.91
Beam Angle	58.5°

COLOR METRIC SUMMARY	
TM-30-15	Rf = 82.5 Rg = 94.3
CRI/CIE	Ra = 83.1 R9 = 11.4



CONE OF LIGHT				
Horizontal Illuminance on Floor				
MH	FC	L	W	
2'	796.9	1.6	1.6	
4'	199.2	3.4	3.4	
6'	88.5	5	5	
8'	49.8	6.8	6.8	
10'	31.9	8.4	8.4	
15'	14.2	12.8	12.8	
20'	8	17	17	
30'	3.5	25.6	25.6	
40'	2	34.2	34.2	

CANDELA TABLE	
Angle	0-deg
0	3173
5	3220
10	3082
15	2784
20	2321
30	1560
40	366
50	95
60	25
70	3
80	0
90	0

CCT/CRI	LED2790	LED3090	LED3590	LED4080	LED5080	LED2797	LED3097	LED3597	LED4097
FC Multiplier	0.754	0.798	0.808	1.000	1.039	0.699	0.706	0.801	0.793

Light Level	L1	L2	L3
FC Multiplier	0.418	0.772	1.000

Note: Photometric tables show lumen output for W1 only. For W2 (Up and Down) option, uplight and downlight both match lumen output as W1.

LUMEN TABLE

		9004-[W1] Regressed Hood - Black								
		L1 - 10 W			L2 - 20 W			L3 - 30W		
		CBCP	Lumens	LPW	CBCP	Lumens	LPW	CBCP	Lumens	LPW
Spot 15°	LED2790	5584	783	79.5	10310	1445	71.9	13357	1872	65.7
	LED3090	5907	828	84.1	10906	1529	76.1	14130	1981	69.5
	LED3590	5983	839	85.1	11047	1549	77.0	14311	2006	70.4
	LED4080	7401	1038	105.3	13666	1916	95.3	17705	2482	87.1
	LED5080	7689	1078	109.4	14197	1990	99.0	18393	2578	90.5
	LED2797	5175	726	73.7	9556	1340	66.6	12380	1736	60.9
	LED3097	5224	732	74.4	9646	1352	67.3	12497	1752	61.5
	LED3597	5926	831	84.3	10941	1534	76.3	14175	1987	69.7
	LED4097	5869	823	83.5	10836	1519	75.6	14038	1968	69.1
Medium Flood 25°	LED2790	2907	781	79.2	5368	1441	71.7	6954	1867	65.5
	LED3090	3075	826	83.8	5678	1525	75.8	7357	1975	69.3
	LED3590	3115	836	84.9	5751	1544	76.8	7451	2001	70.2
	LED4080	3853	1035	105.0	7115	1910	95.0	9218	2475	86.8
	LED5080	4003	1075	109.1	7391	1984	98.7	9576	2571	90.2
	LED2797	2695	723	73.4	4975	1336	66.5	6446	1731	60.7
	LED3097	2720	730	74.1	5022	1348	67.1	6505	1747	61.3
	LED3597	3085	828	84.1	5696	1529	76.1	7380	1981	69.5
	LED4097	3055	820	83.3	5642	1515	75.4	7309	1962	68.9
Flood 36°	LED2790	2006	792	80.4	3704	1463	72.8	4799	1895	66.3
	LED3090	2122	838	85.1	3918	1547	77.0	5076	2004	70.1
	LED3590	2149	849	86.2	3969	1567	78.0	5142	2030	71.0
	LED4080	2659	1050	106.6	4910	1939	96.4	6361	2512	87.8
	LED5080	2762	1091	110.7	5101	2014	100.2	6608	2609	91.2
	LED2797	1859	734	74.5	3233	1356	67.4	4448	1756	61.4
	LED3097	1877	741	75.2	3466	1368	68.1	4490	1773	62.0
	LED3597	2129	841	85.3	3931	1552	77.2	5093	2011	70.3
	LED4097	2108	832	84.5	3893	1537	76.5	5044	1991	69.6
Wide Flood 60°	LED2790	1012	753	76.4	1869	1390	69.2	2422	1801	63.0
	LED3090	1071	796	80.8	1977	1470	73.2	2562	1905	66.6
	LED3590	1085	807	81.9	2003	1489	74.1	2595	1929	67.5
	LED4080	1342	998	101.3	2478	1842	91.7	3210	2387	83.5
	LED5080	1394	1037	105.2	2574	1914	95.2	3335	2480	86.7
	LED2797	938	698	70.8	1733	1288	64.1	2245	1669	58.4
	LED3097	947	704	71.5	1749	1300	64.7	2266	1685	58.9
	LED3597	1074	799	81.1	1984	1475	73.4	2570	1911	66.8
	LED4097	1064	791	80.3	1965	1461	72.7	2545	1893	66.2

TM30 DATA

9004	CCT/CRI	Rf	Rg	Ra	R9
	2790	90.9	98.9	91.7	58.3
	3090	90.8	99.1	92.5	62.6
	3590	90.6	100.4	92.7	67.5
	4080	82.5	94.3	83.1	11.4
	5080	81.6	94.1	82	6
	2797	94.9	100	98.1	86.9
	3097	94	100.3	97.8	88.9
	3597	92.9	99.3	97.2	89.1
	4097	91.5	98.7	95.4	84

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C, 40°C, 50°C	> 87%	> 102,000

POWER TABLE

Number of Heads	Light Level	Input Current (A) at 120 VAC	Input Current (A) at 277 VAC	Input Power (W)
W1	L1	0.08	0.03	10
	L2	0.177	0.088	20.93
	L3	0.252	0.118	30.02
	LC1	0.1	0.085	11.4
	LC2	0.183	0.088	21.44
W2	L1	0.16	0.06	20
	L2	0.354	0.176	41.86
	L3	0.504	0.236	60.04
	LC1	0.2	0.17	22.8
	LC2	0.366	0.176	42.88

**SUPPORTING COMPLIANCE REPORT
TYPE "C" TREE REMOVAL PLAN/PERMIT
VILLEBOIS VILLAGE CENTER APARTMENTS
BUILDING 'C'
LOT 73 PDP 2 CENTRAL**

SECTION VIA

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT	2
	SECTION 4.610.40. TYPE C PERMIT	5
	SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT	7
	SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION	8
	SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS	9
	SECTION 4.640.00. APPLICATION REVIEW PROCEDURES	10
II.	CONCLUSION	10

I. WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE

SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT

(.01) Except where an application is exempt, or where otherwise noted, the following standards shall govern the review of an application for a Type A, B, C or D Tree Removal Permit:

- A. Standard for the Significant Resource Overlay Zone. The standard for tree removal in the Significant Resource Overlay Zone shall be that removal or transplanting of any tree is not inconsistent with the purposes of this chapter.

Response: The proposed development will not have a significant adverse effect upon an SROZ area as none exist on the site.

- B. Preservation and Conservation. No development application shall be denied solely because trees grow on the site. Nevertheless, tree preservation and conservation as a principle shall be equal in concern and importance as other design principles.

Response: The subject site, located in the core of the community will be developed with mixed-use residential, retail, and employment area. The development is designed as centerpiece for the community, as required by the Villebois Village Master Plan. Design of the development incorporates unique, attractive architecture and uses that activate the Village Center, bring variety to Central Villebois, and optimizing the pedestrian opportunities. There are six (6) trees that exist on the development site and eight (8) trees are located within the linear green adjacent to the site as illustrated on the *Preliminary Tree Preservation Plan*. The six (6) trees located within the development site are proposed to be removed to accommodate the mixed-use development and associated parking area. The eight (8) trees located within the adjacent linear green are proposed to be preserved.

- C. Development Alternatives. Preservation and conservation of wooded areas and trees shall be given careful consideration when there are feasible and reasonable location alternatives and design options on-site for proposed buildings, structures or other site improvements.

Response: As mentioned above, development of the subject property provides for mixed-use residential, retail, and employment areas in the core of community. The *Preliminary Tree Preservation Plan*, depicts the trees that are to be removed to accommodate the mixed-use building, associated parking area, and on-site improvements. Trees will likely to be removed during construction. The existing trees will be replaced with street trees adjacent to SW Barber Street, in the rear courtyard, and within the landscaped space of the parking area. While the Villebois Village Master Plan does not provide greenspace on-site, the northeast boundary of the property is adjacent to the Village Center Promenade linear green and directly south of The Piazza. The trees located within the adjacent linear green are proposed to be preserved.

- D. Land Clearing. Where the proposed activity requires land clearing, the clearing shall be limited to designated street rights-of-way and areas

necessary for the construction of buildings, structures or other site improvements.

Response: The clearing of land will be limited to areas necessary for the construction of the mixed-use building, parking area and on-site improvements. The *Preliminary Grading and Erosion Control Plan*, Sheet 4 of the Preliminary Development Plan set, depicts the extent of grading activities proposed on the site.

E. Residential Development. Where the proposed activity involves residential development, residential units shall, to the extent reasonably feasible, be designed and constructed to blend into the natural setting of the landscape.

Response: The VCAS was developed for the general design of residential structures within SAP - Central. As guided by the VCAS, the urban design of the mixed-use building is intended to provide residential, retail, and employment area and uses that activate the Village Center (Conceptual Elevations are provided in Section IVM). The design of buildings within this phase will be developed in accordance with the VCAS for SAP - Central. This is assured through review of compliance with the VCAS at the time of Building Permit application.

F. Compliance with Statutes and Ordinances. The proposed activity shall comply with all applicable statutes and ordinances.

Response: The development in PDP 2 Central Modification will comply with all applicable statutes and ordinances.

G. Relocation or Replacement. The proposed activity shall include necessary provisions for tree relocation or replacement, in accordance with WC 4.620.00, and the protection of those trees that are not removed, in accordance with WC 4.620.10.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10, as addressed below. As shown in the *Tree Report* prepared by Morgan Holen, certified arborist (see Section VIB), the tree mitigation proposes planting of street trees adjacent to SW Barber Street, in the rear courtyard and within the landscaped space of the parking area exceeding the required amount of mitigation of one (1) tree replanted per each tree removed.

H. Limitation. Tree removal or transplanting shall be limited to instances where the applicant has provided completed information as required by this chapter and the reviewing authority determines that removal or transplanting is necessary based on the criteria of this subsection.

1. Necessary for Construction. Where the applicant has shown to the satisfaction of the reviewing authority that removal or transplanting is necessary for the construction of a building, structure or other site improvement and that there is no feasible and reasonable location alternative or design option on-site for a proposed building, structure or other site improvement; or a tree is located too close to an existing or proposed building or structures, or creates unsafe vision clearance.

2. Disease, Damage, or Nuisance, or Hazard. Where the tree is diseased, damaged, or in danger of falling, or presents a hazard as defined in WC 6.208, or is a nuisance as defined in WC 6.200 it seq., or creates unsafe vision clearance as defined in this code.
3. Interference. Where the tree interferes with the healthy growth of other trees, existing utility service or drainage, or utility work in a previously dedicated right-of-way, and it is not feasible to preserve the tree on site.
4. Other. Where the applicant shows that tree removal or transplanting is reasonable under the circumstances.

Response: Morgan Holen, certified arborist, has prepared a *Tree Report* (see Section VIB) for PDP 2 Central Modification. The *Tree Report* includes a tree inventory, which indicates the tree common name and species name, DBH, condition, and recommended treatment (i.e. retain or remove). The determination to remove trees was based upon an assessment of tree health, whether-or-not they interfere with the health of other trees, and if removal is necessary for construction of the mixed-use building, associated parking area, and on-site improvements. A listing of all the trees to be removed is included in the *Tree Report*.

I. Additional Standards for Type C Permits.

1. Tree Survey. For all site development applications reviewed under the provisions of Chapter 4 Planning and Zoning, the developer shall provide a Tree Survey before site development as required by WC 4.610.40, and provide a Tree Maintenance and Protection Plan, unless specifically exempted by the Planning Director or DRB, prior to initiating site development.

Response: The *Preliminary Tree Preservation Plan* (see Section VIC) and the *Tree Report* (see Section VIB) provide a tree survey with the location, species and health of existing trees in the PDP area.

2. Platted Subdivisions. The recording of a final subdivision plat whose preliminary plat has been reviewed and approved after the effective date of Ordinance 464 by the City and that conforms with this subchapter shall include a Tree Survey and Maintenance and Protection Plan, as required by this subchapter, along with all other conditions of approval.

Response: The subject site is part of a platted subdivision Villebois Village Center; therefore, this requirement does not apply.

3. Utilities. The City Engineer shall cause utilities to be located and placed wherever reasonably possible to avoid adverse environmental consequences given the circumstances of existing locations, costs of placement and extensions, the public welfare, terrain, and preservation of natural resources. Mitigation and/or replacement of any removed trees shall be in accordance with the standards of this subchapter.

Response: The *Composite Utility Plans* for the site have been designed to minimize the impact upon the environment to the extent feasible given existing conditions, see Sheet 5 of the Preliminary Development Plan set. Any trees to be removed due to the placement of utilities will be replaced and/or mitigated in accordance with the provisions in this subchapter.

J. Exemption. Type D permit applications shall be exempt from review under standards D, E, H and I of this subsection.

Response: This application requests a Type "C" Tree Removal Permit; therefore, this standard is not applicable.

SECTION 4.610.40. TYPE C PERMIT

(.01) Approval to remove any trees on property as part of a site development application may be granted in a Type C permit. A Type C permit application shall be reviewed by the standards of the subchapter and all applicable review criteria of Chapter 4. Application of the standards of this section shall not result in a reduction of square footage or loss of density, but may require an applicant to modify plans to allow for buildings of greater height. If an applicant proposes to remove trees and submits a landscaping plan as part of a site development application, an application for a Tree Removal Permit shall be included. The Tree Removal Permit application will be reviewed in the Stage II development review process, and any changes made that affect trees after Stage II review of a development application shall be subject to review by DRB. Where mitigation is required for tree removal, such mitigation may be considered as part of the landscaping requirements as set forth in this Chapter. Tree removal shall not commence until approval of the required Stage II application and the expiration of the appeal period following that decision. If a decision approving a Type C permit is appealed, no trees shall be removed until the appeal has been settled.

Response: This application includes a request for approval of a Type "C" Tree Removal Plan for approval by the Development Review Board so that a Tree Removal Permit may be issued. Proposed tree removal is identified on the *Tree Preservation Plan* (see Section VIC).

(.02) The applicant must provide ten copies of a Tree Maintenance and Protection Plan completed by an arborist that contains the following information:

A. A plan, including a topographical survey bearing the stamp and signature of a qualified, registered professional containing all the following information:

1. Property Dimensions. The shape and dimensions of the property, and the location of any existing and proposed structure or improvement.

2. Tree Survey. The survey must include:

a) An accurate drawing of the site based on accurate survey techniques at a minimum scale of one inch (1") equals one

hundred feet (100') and which provides a) the location of all trees having six inches (6") or greater d.b.h. likely to be impacted, b) the spread of canopy of those trees, c) the common and botanical name of those trees, and d) the approximate location and name of any other trees on the property.

- b) A description of the health and condition of all trees likely to be impacted on the site property. In addition, for trees in a present or proposed public street or road right-of-way that are described as unhealthy, the description shall include recommended actions to restore such trees to full health. Trees proposed to remain, to be transplanted or to be removed shall be so designated. All trees to remain on the site are to be designated with metal tags that are to remain in place throughout the development. Those tags shall be numbered, with the numbers keyed to the tree survey map that is provided with the application.
 - c) Where a stand of twenty (20) or more contiguous trees exist on a site and the applicant does not propose to remove any of those trees, the required tree survey may be simplified to accurately show only the perimeter area of that stand of trees, including its drip line. Only those trees on the perimeter of the stand shall be tagged, as provided in "b", above.
 - d) All Oregon white oaks, native yews, and any species listed by either the state or federal government as rare or endangered shall be shown in the tree survey.
3. Tree Protection. A statement describing how trees intended to remain will be protected during development, and where protective barriers are necessary, that they will be erected before work starts. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic tape or similar forms of markers do not constitute "barriers".
 4. Easements and Setbacks. Location and dimension of existing and proposed easements, as well as all setback required by existing zoning requirements.
 5. Grade Changes. Designation of grade proposed for the property that may impact trees.
 6. Cost of Replacement. A cost estimate for the proposed tree replacement program with a detailed explanation including the number, size, and species.
 7. Tree Identification. A statement that all trees being retained will be identified by numbered metal tags, as specified in subsection "A," above in addition to clear identification on construction documents.

Response: The *Tree Preservation Plan* (see Section VIC) identifies trees proposed for removal and provides information required by WC 4.610.40(.02). In addition, Morgan Holen, certified arborist, has prepared a *Tree Report* (see Section VIB) that provides information required by WC 4.610.40(.02).

SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT

(.01) **Requirement Established.** A Type B or C Tree Removal Permit grantee shall replace or relocate each removed tree having six (6) inches or greater d.b.h. within one year of removal.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10. The mitigation proposed for planting of street trees, trees within the landscaped space of the parking area, and tree(s) in the rear courtyard of the building complies with the required amount of mitigation.

(.02) **Basis for Determining Replacement.** The permit grantee shall replace removed trees on a basis of one (1) tree replaced for each tree removed. All replacement trees must measure two inches (2") or more in diameter. Alternatively, the Planning Director or Development Review board may require the permit grantee to replace removed trees on a per caliper inch basis, based on a finding that the large size of the trees being removed justifies an increase in the replacement trees required. Except, however, that the Planning Director or Development Review Board may allow the use of replacement Oregon white oaks and other uniquely valuable trees with a smaller diameter.

Response: The attached *Tree Report* (see Section VIB), prepared by Morgan Holen, certified arborist, includes mitigation analysis for planting replacement trees. Trees to be removed will be replaced in accordance with this criterion.

(.03) **Replacement Tree Requirements.** A mitigation or replacement tree plan shall be reviewed by the City prior to planting and according to the standards of this subsection.

- A. Replacement trees shall have shade potential or other characteristics comparable to the removed trees, shall be appropriately chosen for the site from an approved tree species list supplied by the City, and shall be state Department of Agriculture nursery Grade No. 1 or better.
- B. Replacement trees must be staked, fertilized and mulched, and shall be guaranteed by the permit grantee or the grantee's successors-in-interest for two (2) years after the planting date.
- C. A "guaranteed" tree that dies or becomes diseased during that time shall be replaced.
- D. Diversity of tree species shall be encouraged where trees will be replaced, and diversity of species shall also be maintained where essential to preserving a wooded area or habitat.

Response: The attached *Tree Report* (see Section VIB), prepared by Morgan Holen, includes mitigation analysis for planting replacement trees. All trees to be planted will meet the requirements of this standard.

(.04) All trees to be planted shall consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade.

Response: All trees to be planted will meet the requirements of this standard.

(.05) Replacement Tree Location.

- A. City Review Required. The City shall review tree relocation or replacement plans in order to provide optimum enhancement, preservation, and protection of wooded areas. To the extent feasible and desirable, trees shall be relocated or replaced on-site and within the same general area as trees removed
- B. Relocation or Replacement Off-Site. When it is not feasible or desirable to relocate or replace trees on-site, relocation or replacement may be made at another location - approved by the city.

Response: The existing trees will be replaced on-site with street trees adjacent to SW Barber Street, within the landscaped space of the parking area, and in rear courtyard of the building. Tree replacement areas are shown on the *Street Tree Planting Layout Plan* (see Section VB).

(.06) City Tree Fund. Where it is not feasible to relocate or replace trees on site or at another approved location in the City, the Tree Removal Permit grantee shall pay into the City Tree Fund, which fund is hereby created, an amount of money approximately the value as defined by this subchapter, of the replacement trees that would otherwise be required by this subchapter. The City shall use the City Tree Fund for the purpose of producing, maintaining and preserving wooded areas and heritage trees, and for planting trees within the City.

Response: The six existing trees within PDP 2 C development site will be replaced with street trees adjacent to SW Barber Street, within the landscaped space of the parking area, and in rear courtyard of the building. The number of replacement trees will exceed the existing number of trees currently located on the site; therefore, payment to the City Tree Fund is not necessary.

(.07) Exception. Tree replacement may not be required for applicants in circumstances where the Director determines that there is good cause to not so require. Good cause shall be based on a consideration of preservation of natural resources, including preservation of mature trees and diversity of ages of trees. Other criteria shall include consideration of terrain, difficulty of replacement and impact on adjacent property.

Response: No exception to the tree replacement requirements is requested with this application.

SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION

(.01) Where tree protection is required by a condition of development under Chapter 4 or by a Tree Maintenance and Protection Plan approved under this subchapter, the following standards apply:

- A. All trees required to be protected must be clearly labeled as such.
- B. **Placing Construction Materials Near Tree.** No person may conduct any construction activity likely to be injurious to a tree designated to remain, including, but not limited to, placing solvents, building material, construction equipment, or depositing soil, or placing irrigated landscaping, within the drip line, unless a plan for such construction activity has been approved by the Planning Director or Development Review Board based upon the recommendations of an arborist.
- C. **Attachments to Trees During Construction.** Notwithstanding the requirement of WC 4.620.10(1)(A), no person shall attach any device or wire to any protected tree unless needed for tree protection.
- D. **Protective Barrier.** Before development, land clearing, filling or any land alteration for which a Tree Removal Permit is required, the developer shall erect and maintain suitable barriers as identified by an arborist to protect remaining trees. Protective barriers shall remain in place until the City authorizes their removal or issues a final certificate of occupancy, whichever occurs first. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic Tape or similar forms of markers do not constitute "barriers". The most appropriate and protective barrier shall be utilized. Barriers are required for all trees designated to remain, except in the following cases.
 - 1. Rights-of-ways and Easements.
 - 2. Any property area separate from the construction or land clearing area onto which no equipment may venture.

Response: Six (6) trees existing within the development site are proposed to be removed and eight (8) trees located adjacent to the site, within the linear green are proposed to be preserved. The trees within the linear green will be protected to the greatest extent possible during construction as described in the attached *Tree Report* (see Section VIB). Additional details about tree protection during construction will be provided with the construction drawings. Location and maintenance of replacement trees will be made as required, described in the attached *Tree Report*.

SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS

- (.01) The following standards apply to all activities affecting trees, including, but not limited to, tree protection as required by a condition of approval on a site development application brought under this chapter or as required by an approved Tree Maintenance and Protection Plan.
 - A. Pruning activities shall be guided by the most recent version of the ANSI 300 Standards for Tree, Shrub and Other Woody Plant Maintenance.
 - B. Topping is prohibited
 - 1. Exception from this section may be granted under a Tree Removal Permit if necessary for utility work or public safety.

Response: The attached *Tree Report* (see Section VIB) addresses tree protection standards. If pruning or topping is determined to be necessary in the future, it will occur in accordance with WC 4.620.20.

SECTION 4.640.00. APPLICATION REVIEW PROCEDURES

(.03) Reviewing Authority

- B. Type C. Where the site is proposed for development necessitating site plan review or plat approval by the Development Review Board, the Development Review Board shall be responsible for granting or denying the application for a Tree Removal Permit, and that decision may be subject to affirmance, reversal or modification by the City Council, if subsequently reviewed by the Council.

Response: This application includes *Tree Preservation Plans*, located in Section VIC for review by the Development Review Board. The Applicant is requesting that the Development Review Board approve this plan so that a Tree Removal Permit may be issued.

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable criteria of the City of Wilsonville Land Development Ordinance for the requested review of the Type "C" Tree Removal Plan and Permit. Therefore, the applicant respectfully requests approval of this application.

VIB. Tree Report for Lot 73



MHA19002 VVC Building C - Tree Data 3-12-19 Rev. 4-3-19
Page 1 of 1

Tree No.	Common Name	Species Name	DBH*	C-Rad [^]	Cond [#]	Condition & Comments	Treatment
460	London planetree	<i>Platanus x acerifolia</i>	18	18	M	Dead and broken branches	Remove
467	Red maple	<i>Acer rubrum</i>	20	16	M	Dead and broken branches, crown decay, surface roots	Remove
474	London planetree	<i>Platanus x acerifolia</i>	26	22	M	In landscape island surrounded by existing pavers to remain	Protect
475	White oak	<i>Quercus alba</i>	25	16	P	Dead and broken branches, crown decay, top dieback	Remove
481	Austrian pine	<i>Pinus nigra</i>	15	15	G	Codominant leaders, sequoia pitch moth	Remove
482	Austrian pine	<i>Pinus nigra</i>	19	20	G	Codominant leaders, sequoia pitch moth	Remove
482.2	spruce	<i>Picea spp.</i>	9	9	G	One-sided crown due to close spacing with #482	Remove
482.3	flowering pear	<i>Pyrus calleryana</i>	4	6	G	Surrounded by existing pavers to remain, minor lean	Protect
482.4	flowering pear	<i>Pyrus calleryana</i>	4	5	G	Surrounded by existing pavers to remain	Protect
482.5	flowering pear	<i>Pyrus calleryana</i>	4	5	G	Surrounded by existing pavers to remain, minor lean	Protect
482.6	flowering pear	<i>Pyrus calleryana</i>	3	5	G	Surrounded by existing pavers to remain	Protect
482.7	flowering pear	<i>Pyrus calleryana</i>	4	6	M	Surrounded by existing pavers to remain, excessive lean	Protect
482.8	flowering pear	<i>Pyrus calleryana</i>	4	6	G	Surrounded by existing pavers to remain	Protect
482.9	flowering pear	<i>Pyrus calleryana</i>	5	7	G	Surrounded by existing pavers to remain	Protect

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

[^]C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

[#]Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

Morgan Holen & Associates, LLC

Consulting Arborists and Urban Forest Management

3 Monroe Parkway, Suite P220, Lake Oswego, Oregon 97035

morgan.holen@comcast.net | 971-409-9354

**SUPPORTING COMPLIANCE REPORT
TYPE "C" TREE REMOVAL PLAN
VILLEBOIS VILLAGE CENTER APARTMENTS
BUILDINGS 'A' AND 'B'
LOT 76 PDP 12 CENTRAL**

SECTION VID

TABLE OF CONTENTS

I. WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE	2
SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT.....	2
SECTION 4.610.40. TYPE C PERMIT.....	5
SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT.....	7
SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION.....	9
SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS	10
SECTION 4.640.00. APPLICATION REVIEW PROCEDURES.....	10
II. CONCLUSION	10

I. WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE

SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT

(.01) Except where an application is exempt, or where otherwise noted, the following standards shall govern the review of an application for a Type A, B, C or D Tree Removal Permit:

- A. Standard for the Significant Resource Overlay Zone. The standard for tree removal in the Significant Resource Overlay Zone shall be that removal or transplanting of any tree is not inconsistent with the purposes of this chapter.

Response: The proposed development will not have a significant adverse effect upon an SROZ area as none exist on the site.

- B. Preservation and Conservation. No development application shall be denied solely because trees grow on the site. Nevertheless, tree preservation and conservation as a principle shall be equal in concern and importance as other design principles.

Response: The subject property, located in the core of the community will be developed with mixed-use residential, retail, and employment areas. The development is designed as centerpiece for the community, as required by the Villebois Village Master Plan. Design of the development incorporates unique, attractive architecture and uses that activate the Village Center, bring variety to Central Villebois, and optimizing the pedestrian opportunities.

There are four trees located within the development site, two trees abutting the site, and street trees adjacent to Royal Scot Lane, SW Villebois Drive North and SW Campanile Lane as illustrated on the Tree Preservation Plan in Section VIF. The four trees located within the development site property are proposed to be removed in to accommodate the mixed-use development and associated parking lot. The two trees adjacent to the site and all street trees are proposed to remain.

- C. Development Alternatives. Preservation and conservation of wooded areas and trees shall be given careful consideration when there are feasible and reasonable location alternatives and design options on-site for proposed buildings, structures or other site improvements.

Response: As mentioned above, development of the subject property provides for mixed-use residential, retail, and employment areas in the core of community. The Tree Preservation Plan, in Section VIF, shows the four trees that are to be removed to accommodate the mixed-use building, associated parking area, and on-site improvements. The two trees adjacent to the site and all street trees are proposed to remain. The four trees located on-site will likely to be removed during construction. Replacement trees are proposed within the landscape space of the parking areas of each building and street trees will be planted along SW Campanile Lane and SW Valencia Lane. While the Villebois Village Master Plan does not provide greenspace on-site. Both buildings are directly across from The Piazza.

- D. Land Clearing. Where the proposed activity requires land clearing, the clearing shall be limited to designated street rights-of-way and areas necessary for the construction of buildings, structures or other site improvements.

Response: The clearing of land will be limited to areas necessary for the construction of the mixed-use building, parking lot and on-site improvements. The Grading and Erosion Control Plan in Section IVE of this application depicts the extent of grading activities proposed on the site.

- E. Residential Development. Where the proposed activity involves residential development, residential units shall, to the extent reasonably feasible, be designed and constructed to blend into the natural setting of the landscape.

Response: The VCAS was developed for the general design of residential structures within SAP - Central. As guided by the VCAS, the urban design of the mixed-use building is intended to provide residential, retail, and employment area and uses that activate the village Center (see Conceptual Elevations provided in Section IVM). The design of buildings within this phase will be developed in accordance with the VCAS for SAP - Central. This is assured through review of compliance with the VCAS at the time of Building Permit application.

- F. Compliance with Statutes and Ordinances. The proposed activity shall comply with all applicable statutes and ordinances.

Response: The development in PDP 12 Central will comply with all applicable statutes and ordinances.

- G. Relocation or Replacement. The proposed activity shall include necessary provisions for tree relocation or replacement, in accordance with WC 4.620.00, and the protection of those trees that are not removed, in accordance with WC 4.620.10.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10, as addressed below. As shown in the Tree Report prepared by Morgan Holen, certified arborist (see Section VIE), the tree mitigation proposes planting of street trees adjacent to SW Valencia Lane and SW Campanile Lane, and within the landscaped space of the parking area of the multi-use buildings exceeding the required amount of mitigation of one (1) tree replanted per each tree removed.

- H. Limitation. Tree removal or transplanting shall be limited to instances where the applicant has provided completed information as required by this chapter and the reviewing authority determines that removal or transplanting is necessary based on the criteria of this subsection.

1. Necessary for Construction. Where the applicant has shown to the satisfaction of the reviewing authority that removal or transplanting is necessary for the construction of a building, structure or other site improvement and that there is no feasible and reasonable location alternative or design option on-site for a proposed building, structure or other site improvement; or a tree is located too close

to an existing or proposed building or structures, or creates unsafe vision clearance.

2. Disease, Damage, or Nuisance, or Hazard. Where the tree is diseased, damaged, or in danger of falling, or presents a hazard as defined in WC 6.208, or is a nuisance as defined in WC 6.200 it seq., or creates unsafe vision clearance as defined in this code.
 - A. As a condition of approval of Stage II development, filbert trees must be removed if they are no longer commercially grown or maintained.
3. Interference. Where the tree interferes with the healthy growth of other trees, existing utility service or drainage, or utility work in a previously dedicated right-of-way, and it is not feasible to preserve the tree on site.
4. Other. Where the applicant shows that tree removal or transplanting is reasonable under the circumstances.

Response: Morgan Holen, certified arborist, has prepared a Tree Report (see Section VIE) for PDP 12 Central. The Tree Report includes a tree inventory, which indicates the tree common name and species name, DBH, condition, and recommended treatment (i.e. retain or remove). The determination to remove trees was based upon an assessment of tree health, whether-or-not they interfere with the health of other trees, and if removal is necessary for construction of the mixed-use building, associated parking area, and on-site improvements. A listing of all the trees to be removed is included in the Tree Report (see Section VIE).

I. Additional Standards for Type C Permits.

1. Tree Survey. For all site development applications reviewed under the provisions of Chapter 4 Planning and Zoning, the developer shall provide a Tree Survey before site development as required by WC 4.610.40 , and provide a Tree Maintenance and Protection Plan, unless specifically exempted by the Planning Director or DRB, prior to initiating site development.

Response: The *Tree Preservation Plan* and the Tree Report provide a tree survey with the location, species and health of each existing tree in the PDP area (see Sections VIF and VIE of this application).

2. Platted Subdivisions. The recording of a final subdivision plat whose preliminary plat has been reviewed and approved after the effective date of Ordinance 464 by the City and that conforms with this subchapter shall include a Tree Survey and Maintenance and Protection Plan, as required by this subchapter, along with all other conditions of approval.

Response: The subject site is part of a platted subdivision Villebois Village Center; therefore, this requirement does not apply.

3. Utilities. The City Engineer shall cause utilities to be located and placed wherever reasonably possible to avoid adverse

environmental consequences given the circumstances of existing locations, costs of placement and extensions, the public welfare, terrain, and preservation of natural resources. Mitigation and/or replacement of any removed trees shall be in accordance with the standards of this subchapter.

Response: The Composite Utility Plans for the site have been designed to minimize the impact upon the environment to the extent feasible given existing conditions. These plans can be seen in Section IVE of this application. Any trees to be removed due to the placement of utilities will be replaced and/or mitigated in accordance with the provisions in this subchapter.

J. Exemption. Type D permit applications shall be exempt from review under standards D, E, H and I of this subsection.

Response: This application requests a Type C Tree Removal Permit; therefore, this standard is not applicable.

SECTION 4.610.40. TYPE C PERMIT

(.01) Approval to remove any trees on property as part of a site development application may be granted in a Type C permit. A Type C permit application shall be reviewed by the standards of the subchapter and all applicable review criteria of Chapter 4. Application of the standards of this section shall not result in a reduction of square footage or loss of density, but may require an applicant to modify plans to allow for buildings of greater height. If an applicant proposes to remove trees and submits a landscaping plan as part of a site development application, an application for a Tree Removal Permit shall be included. The Tree Removal Permit application will be reviewed in the Stage II development review process, and any changes made that affect trees after Stage II review of a development application shall be subject to review by DRB. Where mitigation is required for tree removal, such mitigation may be considered as part of the landscaping requirements as set forth in this Chapter. Tree removal shall not commence until approval of the required Stage II application and the expiration of the appeal period following that decision. If a decision approving a Type C permit is appealed, no trees shall be removed until the appeal has been settled.

Response: This application includes a request for approval of a Type "C" Tree Removal Plan for approval by the Development Review Board so that a Tree Removal Permit may be issued. Proposed tree removal is identified on the *Tree Preservation Plan* (see Section VIF of this application).

(.02) The applicant must provide ten copies of a Tree Maintenance and Protection Plan completed by an arborist that contains the following information:

A. A plan, including a topographical survey bearing the stamp and signature of a qualified, registered professional containing all the following information:

1. **Property Dimensions.** The shape and dimensions of the property, and the location of any existing and proposed structure or improvement.
2. **Tree Survey.** The survey must include:
 - a) An accurate drawing of the site based on accurate survey techniques at a minimum scale of one inch (1") equals one hundred feet (100') and which provides a) the location of all trees having six inches (6") or greater d.b.h. likely to be impacted, b) the spread of canopy of those trees, c) the common and botanical name of those trees, and d) the approximate location and name of any other trees on the property.
 - b) A description of the health and condition of all trees likely to be impacted on the site property. In addition, for trees in a present or proposed public street or road right-of-way that are described as unhealthy, the description shall include recommended actions to restore such trees to full health. Trees proposed to remain, to be transplanted or to be removed shall be so designated. All trees to remain on the site are to be designated with metal tags that are to remain in place throughout the development. Those tags shall be numbered, with the numbers keyed to the tree survey map that is provided with the application.
 - c) Where a stand of twenty (20) or more contiguous trees exist on a site and the applicant does not propose to remove any of those trees, the required tree survey may be simplified to accurately show only the perimeter area of that stand of trees, including its drip line. Only those trees on the perimeter of the stand shall be tagged, as provided in "b", above.
 - d) All Oregon white oaks, native yews, and any species listed by either the state or federal government as rare or endangered shall be shown in the tree survey.
3. **Tree Protection.** A statement describing how trees intended to remain will be protected during development, and where protective barriers are necessary, that they will be erected before work starts. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic tape or similar forms of markers do not constitute "barriers".
4. **Easements and Setbacks.** Location and dimension of existing and proposed easements, as well as all setback required by existing zoning requirements.
5. **Grade Changes.** Designation of grade proposed for the property that may impact trees.

6. **Cost of Replacement.** A cost estimate for the proposed tree replacement program with a detailed explanation including the number, size, and species.
7. **Tree Identification.** A statement that all trees being retained will be identified by numbered metal tags, as specified in subsection "A," above in addition to clear identification on construction documents.

Response: The *Tree Preservation Plan* identifies trees proposed for removal and preservation and provides information required by WC 4.610.40(.02) (see Section VIF of this application). In addition, Morgan Holen, certified arborist, has prepared a Tree Report that provides information required by WC 4.610.40(.02) (see Section VIE of this application).

SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT

(.01) **Requirement Established.** A Type B or C Tree Removal Permit grantee shall replace or relocate each removed tree having six (6) inches or greater d.b.h. within one year of removal.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10. The tree mitigation proposed with the planting of street trees and trees within the landscaped spaces of the parking areas complies with the required amount of mitigation.

(.02) **Basis for Determining Replacement.** The permit grantee shall replace removed trees on a basis of one (1) tree replaced for each tree removed. All replacement trees must measure two inches (2") or more in diameter. Alternatively, the Planning Director or Development Review board may require the permit grantee to replace removed trees on a per caliper inch basis, based on a finding that the large size of the trees being removed justifies an increase in the replacement trees required. Except, however, that the Planning Director or Development Review Board may allow the use of replacement Oregon white oaks and other uniquely valuable trees with a smaller diameter.

Response: The Tree Report prepared by Morgan Holen, certified arborist, includes mitigation analysis for planting replacement trees (see Section VIE of this application). Trees to be removed will be replaced in accordance with this criterion.

(.03) **Replacement Tree Requirements.** A mitigation or replacement tree plan shall be reviewed by the City prior to planting and according to the standards of this subsection.

- A. Replacement trees shall have shade potential or other characteristics comparable to the removed trees, shall be appropriately chosen for the site from an approved tree species list supplied by the City, and shall be state Department of Agriculture nursery Grade No. 1 or better.
- B. Replacement trees must be staked, fertilized and mulched, and shall be guaranteed by the permit grantee or the grantee's successors-in-interest for two (2) years after the planting date.

- C. A “guaranteed” tree that dies or becomes diseased during that time shall be replaced.
- D. Diversity of tree species shall be encouraged where trees will be replaced, and diversity of species shall also be maintained where essential to preserving a wooded area or habitat.

Response: The attached Tree Report, prepared by Morgan Holen, includes mitigation analysis for planting replacement trees (see Section VIE of this application). All trees to be planted will meet the requirements of this standard.

- (.04) All trees to be planted shall consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade.

Response: All trees to be planted will meet the requirements of this standard.

- (.05) Replacement Tree Location.

- A. City Review Required. The City shall review tree relocation or replacement plans in order to provide optimum enhancement, preservation, and protection of wooded areas. To the extent feasible and desirable, trees shall be relocated or replaced on-site and within the same general area as trees removed
- B. Relocation or Replacement Off-Site. When it is not feasible or desirable to relocate or replace trees on-site, relocation or replacement may be made at another location - approved by the city.

Response: The existing trees will be replaced on-site with street trees adjacent to SW Campanile Lane and SW Valencia Lane, within the landscaped space of the parking area. Tree replacement areas are shown on the *Street Tree Planting Layout Plan* (see Section VE of this application).

- (.06) City Tree Fund. Where it is not feasible to relocate or replace trees on site or at another approved location in the City, the Tree Removal Permit grantee shall pay into the City Tree Fund, which fund is hereby created, an amount of money approximately the value as defined by this subchapter, of the replacement trees that would otherwise be required by this subchapter. The City shall use the City Tree Fund for the purpose of producing, maintaining and preserving wooded areas and heritage trees, and for planting trees within the City.

Response: The existing trees within PDP 12 C proposed to be removed will be replaced with street trees adjacent to SW Campanile Lane and SW Valencia Lane, within the landscaped space of the parking area, and in entrance courtyard of the building. The number of replacement trees will exceed the existing number of trees currently located on the site; therefore, payment to the City Tree Fund is not necessary.

- (.07) Exception. Tree replacement may not be required for applicants in circumstances where the Director determines that there is good cause to not so require. Good cause shall be based on a consideration of preservation of natural resources, including preservation of mature trees

and diversity of ages of trees. Other criteria shall include consideration of terrain, difficulty of replacement and impact on adjacent property.

Response: No exception to the tree replacement requirements is requested with this application.

SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION

- (.01) Where tree protection is required by a condition of development under Chapter 4 or by a Tree Maintenance and Protection Plan approved under this subchapter, the following standards apply:
- A. All trees required to be protected must be clearly labeled as such.
 - B. **Placing Construction Materials Near Tree.** No person may conduct any construction activity likely to be injurious to a tree designated to remain, including, but not limited to, placing solvents, building material, construction equipment, or depositing soil, or placing irrigated landscaping, within the drip line, unless a plan for such construction activity has been approved by the Planning Director or Development Review Board based upon the recommendations of an arborist.
 - C. **Attachments to Trees During Construction.** Notwithstanding the requirement of WC 4.620.10(1)(A), no person shall attach any device or wire to any protected tree unless needed for tree protection.
 - D. **Protective Barrier.** Before development, land clearing, filling or any land alteration for which a Tree Removal Permit is required, the developer shall erect and maintain suitable barriers as identified by an arborist to protect remaining trees. Protective barriers shall remain in place until the City authorizes their removal or issues a final certificate of occupancy, whichever occurs first. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic Tape or similar forms of markers do not constitute "barriers". The most appropriate and protective barrier shall be utilized. Barriers are required for all trees designated to remain, except in the following cases.
 - 1. **Rights-of-ways and Easements.** Street right-of-way and utility easements may be cordoned by placing stakes a minimum of fifty (50) feet apart and tying ribbon, plastic tape, rope, etc., from stake to stake along the outside perimeters of areas to be cleared.
 - 2. Any property area separate from the construction or land clearing area onto which no equipment will venture may also be cordoned off as described in paragraph (D) of this subsection, or by other reasonable means as approved by the reviewing authority.

Response: Trees to be retained will be protected to the greatest extent possible during construction as described in the attached Tree Report (see Section VIE). Additional details about tree protection during construction will be provided with the construction drawings. Location and maintenance of replacement trees will be made as required, described in the attached Tree Report (see Section VIE).

SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS

- (.01) The following standards apply to all activities affecting trees, including, but not limited to, tree protection as required by a condition of approval on a site development application brought under this chapter or as required by an approved Tree Maintenance and Protection Plan.
- A. Pruning activities shall be guided by the most recent version of the ANSI 300 Standards for Tree, Shrub and Other Woody Plant Maintenance.
 - B. Topping is prohibited
 - 1. Exception from this section may be granted under a Tree Removal Permit if necessary for utility work or public safety.

Response: The attached Tree Report addresses tree protection standards (see Section VIE). If pruning or topping is determined to be necessary in the future, it will occur in accordance with WC 4.620.20.

SECTION 4.640.00. APPLICATION REVIEW PROCEDURES

(.03) Reviewing Authority

- B. Type C. Where the site is proposed for development necessitating site plan review or plat approval by the Development Review Board, the Development Review Board shall be responsible for granting or denying the application for a Tree Removal Permit, and that decision may be subject to affirmance, reversal or modification by the City Council, if subsequently reviewed by the Council. For site development applications subject to a Class II administrative review process in the Coffee Creek Industrial Design Overlay District, the Planning Director shall be responsible for the granting or denial of the Tree Removal Permit application

Response: This application includes *Tree Preservation Plans*, located in Section VIF of this application for review by the Development Review Board. The Applicant is requesting that the Development Review Board approve this plan so that a Tree Removal Permit may be issued.

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable criteria of the City of Wilsonville Land Development Ordinance for the requested review of the Type "C" Tree Removal Plan and Permit. Therefore, the applicant respectfully requests approval of this application.

VIE. Tree Report for Lot 76



Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
302	Pin oak	<i>Quercus palustris</i>	25	25	I	Codominant leaders, needs crown pruning	Protect
303	Pin oak	<i>Quercus palustris</i>	22	20	G		Remove
308	Red oak	<i>Quercus rubra</i>	24	26	G	Few dead branches, mistletoe, needs crown pruning	Protect
450	Pin oak	<i>Quercus palustris</i>	28	30	I	Blackberries surrounding trunk limited assessment	Remove
581	Scarlet oak	<i>Quercus coccinea</i>	21	34	P	Very poor structure, crown partially crushed by failed codominant leader of #582	Remove
582	Scarlet oak	<i>Quercus coccinea</i>	34	40	P	Failed codominant leaders, large wound with crack in juncture of remaining leaders, hazardous - high risk	Remove
308.1	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.2	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.3	flowering pear	<i>Pyrus calleryana</i>	5	8	M	Surrounded by existing pavers to remain, one-sided crown to east with lean in direction of crown weight	Protect
308.4	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.5	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
308.6	flowering pear	<i>Pyrus calleryana</i>	5	8	G	Surrounded by existing pavers to remain	Protect
450.1	zelkova	<i>Zelkova serrata</i>	5	4	G	Surrounded by existing pavers to remain	Protect
450.2	zelkova	<i>Zelkova serrata</i>	5	5	G	Surrounded by existing pavers to remain	Protect
450.3	zelkova	<i>Zelkova serrata</i>	2	2	G	Surrounded by existing pavers to remain	Protect
450.4	zelkova	<i>Zelkova serrata</i>	5	4	G	Surrounded by existing pavers to remain	Protect
450.5	zelkova	<i>Zelkova serrata</i>	5	4	G	Surrounded by existing pavers to remain	Protect
450.6	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.7	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect



Tree No.	Common Name	Species Name	DBH*	C-Rad^	Cond#	Condition & Comments	Treatment
450.8	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.9	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.10	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect
450.11	zelkova	<i>Zelkova serrata</i>	4	5	G	Surrounded by existing pavers to remain	Protect

*DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

^C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

#Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.



GEORGESON, INC.

REVISION	DESCRIPTION
DATE	

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
TREE
PRESERVATION
PLAN

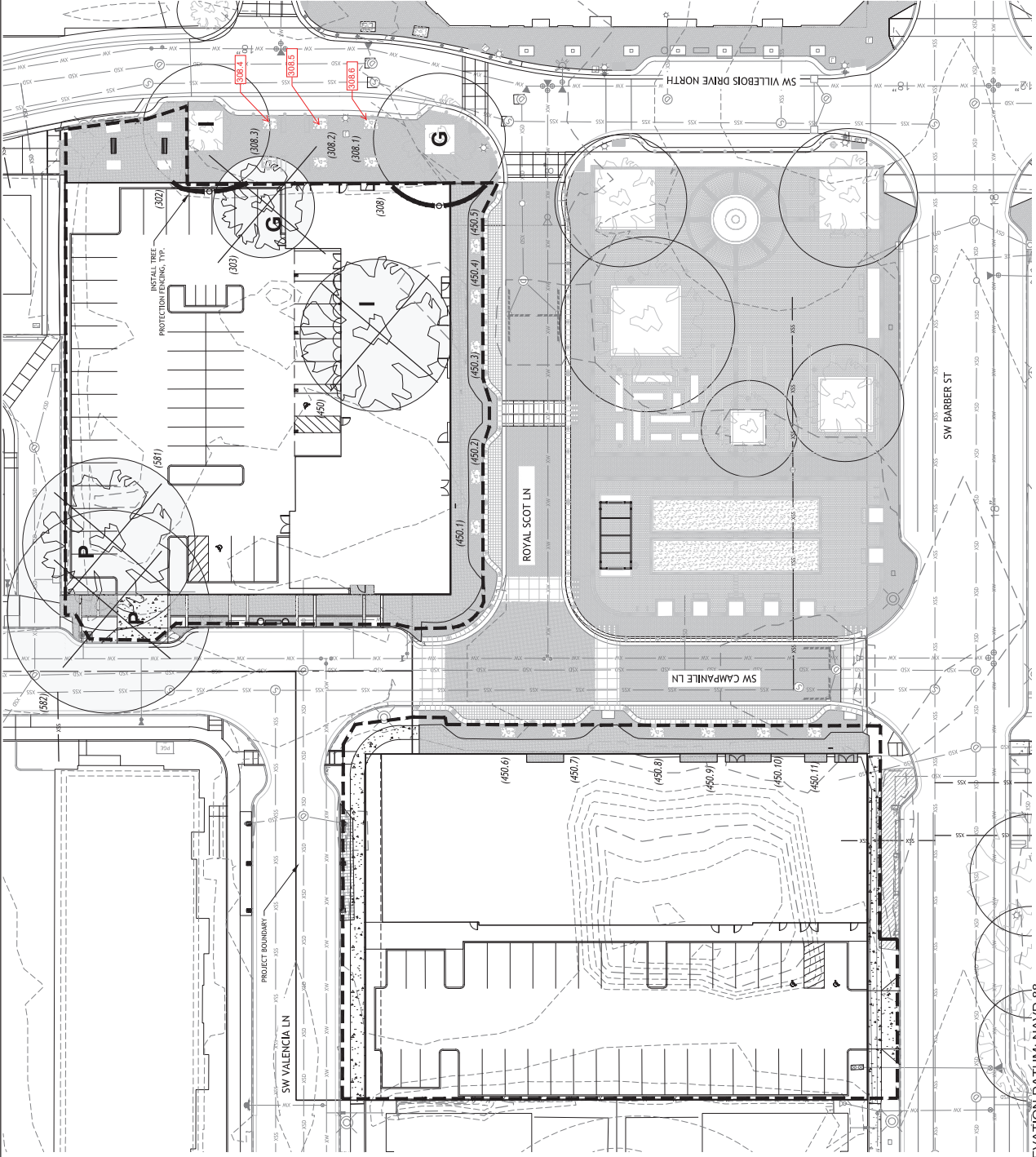
Lot 76

11/15/2019 Date: 4/6/2019

VIF

LEGEND:

I	IMPORTANT
G	GOOD HEALTH
M	MODERATE
P	POOR
NE	NOT EXAMINED
(Symbol: Circle with diagonal lines)	EXISTING TREES TO REMAIN
(Symbol: Circle with horizontal lines)	EXISTING TREES LIKELY TO BE REMOVED
(Symbol: Circle with vertical lines)	EXISTING TREES TO BE REMOVED
(Symbol: Dashed line)	TREE PROTECTION FENCING
(Symbol: Solid line)	GRADING LIMITS



NOTES

ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER PROJECT ARCHITECT CONTACT: MORGAN HOLEN PHONE: 903-646-5349

THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE MAXIMUM QUALITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE SYSTEMS WAS USED.

CLASSIFICATION METHOD:

TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

- SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM)
- COMPATIBILITY WITH DEVELOPMENT
- FORM / VISUAL INTEREST / MAX. TREE SIZE

TREES RANKED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

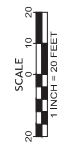
TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD MODERATE FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

1. INFORMATION FROM THIS PLAN IS THE PROPERTY OF GEORGESON, INC. AND IS TO BE USED ONLY FOR THE PROJECT BOUNDARY IS BASED ON A VISUAL EVALUATION OF THE EXISTING TREES BY THE ARCHITECT AND LANDSCAPE ARCHITECT. A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



ELEVATION DATUM: NAVD 88

**SUPPORTING COMPLIANCE REPORT
TYPE "C" TREE REMOVAL PLAN/PERMIT
VILLEBOIS VILLAGE CENTER MIXED-USE DEVELOPMENT
SURFACE PARKING AREA SITE 'D'
LOT 12 PDP 1 CENTRAL**

SECTION VI

TABLE OF CONTENTS

I.	WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE	2
	SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT	2
	SECTION 4.610.40. TYPE C PERMIT	4
	SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT.....	6
	SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION.....	8
	SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS	8
	SECTION 4.640.00. APPLICATION REVIEW PROCEDURES.....	9
II.	CONCLUSION	9

I. WILSONVILLE PLANNING AND LAND DEVELOPMENT ORDINANCE

SECTION 4.610.10. STANDARDS FOR TREE REMOVAL, RELOCATION OR REPLACEMENT

(.01) Except where an application is exempt, or where otherwise noted, the following standards shall govern the review of an application for a Type A, B, C or D Tree Removal Permit:

- A. Standard for the Significant Resource Overlay Zone. The standard for tree removal in the Significant Resource Overlay Zone shall be that removal or transplanting of any tree is not inconsistent with the purposes of this chapter.

Response: The proposed development will not have a significant adverse effect upon an SROZ area as none exist on the site.

- B. Preservation and Conservation. No development application shall be denied solely because trees grow on the site. Nevertheless, tree preservation and conservation as a principle shall be equal in concern and importance as other design principles.

Response: The subject site, located in the core of the community will be developed with a parking lot to serve the residence, employees, and visitors of the Villebois Village mixed-use development designed as centerpiece for the community, as required by the Villebois Village Master Plan. There are two (2) trees that exist on the development site and two (2) street trees located adjacent to SW Barber Street as illustrated on the *Tree Removal Plan*, Exhibit IIIC. The two (2) trees located within the development site are proposed to be removed to accommodate the parking lot. The street tree adjacent to SW Barber Street is proposed to be preserved.

- C. Development Alternatives. Preservation and conservation of wooded areas and trees shall be given careful consideration when there are feasible and reasonable location alternatives and design options on-site for proposed buildings, structures or other site improvements.

Response: As mentioned above, the parking lot proposed to be developed on the subject property will serve the residents, employees, and visitors of the Villebois Village mixed-use development in the core of community. The *Tree Removal Plan*, Exhibit VII, depicts the trees that are to be removed to accommodate the parking lot and on-site improvements. Trees will likely to be removed during construction. The existing trees will be replaced with trees located in landscaped buffer and landscape islands located around and in the parking lot, as illustrated on the Street Tree Layout Planting Plan, Sheet L1 in Section VH. While the Villebois Village Master Plan does not provide greenspace on-site, The Piazza is located directly north of the site.

- D. Land Clearing. Where the proposed activity requires land clearing, the clearing shall be limited to designated street rights-of-way and areas necessary for the construction of buildings, structures or other site improvements.

Response: The clearing of land will be limited to areas necessary for the construction of the parking lot and on-site improvements. The *Preliminary Grading*

and *Erosion Control Plan*, Sheet 4 of the Preliminary Development Plan set in Section IVH, depicts the extent of grading activities proposed on the site.

- E. Residential Development. Where the proposed activity involves residential development, residential units shall, to the extent reasonably feasible, be designed and constructed to blend into the natural setting of the landscape.

Response: This application does not propose residential development; therefore, this standard is not applicable.

- F. Compliance with Statutes and Ordinances. The proposed activity shall comply with all applicable statutes and ordinances.

Response: The development in PDP 1 Central Modification will comply with all applicable statutes and ordinances.

- G. Relocation or Replacement. The proposed activity shall include necessary provisions for tree relocation or replacement, in accordance with WC 4.620.00, and the protection of those trees that are not removed, in accordance with WC 4.620.10.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10, as addressed below. As shown in the *Arborist Report* prepared by Morgan Holen, certified arborist (see Section VIH), the tree mitigation proposes planting of trees located in the landscaped buffer and landscape island in the parking lot exceeding the required amount of mitigation one (1) tree replanted per each tree removed.

- H. Limitation. Tree removal or transplanting shall be limited to instances where the applicant has provided completed information as required by this chapter and the reviewing authority determines that removal or transplanting is necessary based on the criteria of this subsection.

1. Necessary for Construction. Where the applicant has shown to the satisfaction of the reviewing authority that removal or transplanting is necessary for the construction of a building, structure or other site improvement and that there is no feasible and reasonable location alternative or design option on-site for a proposed building, structure or other site improvement; or a tree is located too close to an existing or proposed building or structures, or creates unsafe vision clearance.
2. Disease, Damage, or Nuisance, or Hazard. Where the tree is diseased, damaged, or in danger of falling, or presents a hazard as defined in WC 6.208, or is a nuisance as defined in WC 6.200 it seq., or creates unsafe vision clearance as defined in this code.
3. Interference. Where the tree interferes with the healthy growth of other trees, existing utility service or drainage, or utility work in a previously dedicated right-of-way, and it is not feasible to preserve the tree on site.
4. Other. Where the applicant shows that tree removal or transplanting is reasonable under the circumstances.

Response: Morgan Holen, certified arborist, has prepared an *Arborist Report* (see Section VIH) for PDP 1 Central Modification. The *Arborist Report* includes a tree inventory, which indicates the tree common name and species name, DBH, condition,

and recommended treatment (i.e. retain or remove). The determination to remove trees was based upon an assessment of tree health, whether-or-not they interfere with the health of other trees, and if removal is necessary for construction of the parking lot and on-site improvements. A listing of all the trees to be removed is included in the *Arborist Report*.

I. Additional Standards for Type C Permits.

1. Tree Survey. For all site development applications reviewed under the provisions of Chapter 4 Planning and Zoning, the developer shall provide a Tree Survey before site development as required by WC 4.610.40, and provide a Tree Maintenance and Protection Plan, unless specifically exempted by the Planning Director or DRB, prior to initiating site development.

Response: The *Preliminary Tree Preservation Plan* (see Section VII) and the *Arborist Report* (see Section VIH) provide a tree survey with the location, species and health of existing trees in the PDP area.

2. Platted Subdivisions. The recording of a final subdivision plat whose preliminary plat has been reviewed and approved after the effective date of Ordinance 464 by the City and that conforms with this subchapter shall include a Tree Survey and Maintenance and Protection Plan, as required by this subchapter, along with all other conditions of approval.

Response: The subject site is part of a platted subdivision Villebois Village Center; therefore, this requirement does not apply.

3. Utilities. The City Engineer shall cause utilities to be located and placed wherever reasonably possible to avoid adverse environmental consequences given the circumstances of existing locations, costs of placement and extensions, the public welfare, terrain, and preservation of natural resources. Mitigation and/or replacement of any removed trees shall be in accordance with the standards of this subchapter.

Response: The *Composite Utility Plans* for the site have been designed to minimize the impact upon the environment to the extent feasible given existing conditions, see Sheet 5 of the Preliminary Development Plan set in Section IVE. Any trees to be removed due to the placement of utilities will be replaced and/or mitigated in accordance with the provisions in this subchapter.

- J. Exemption. Type D permit applications shall be exempt from review under standards D, E, H and I of this subsection.

Response: This application requests a Type "C" Tree Removal Permit; therefore, this standard is not applicable.

SECTION 4.610.40. TYPE C PERMIT

- (.01) Approval to remove any trees on property as part of a site development application may be granted in a Type C permit. A Type C permit application shall be reviewed by the standards of the subchapter and all applicable review criteria of Chapter 4. Application of the standards of this section shall not result in a reduction of square

footage or loss of density, but may require an applicant to modify plans to allow for buildings of greater height. If an applicant proposes to remove trees and submits a landscaping plan as part of a site development application, an application for a Tree Removal Permit shall be included. The Tree Removal Permit application will be reviewed in the Stage II development review process, and any changes made that affect trees after Stage II review of a development application shall be subject to review by DRB. Where mitigation is required for tree removal, such mitigation may be considered as part of the landscaping requirements as set forth in this Chapter. Tree removal shall not commence until approval of the required Stage II application and the expiration of the appeal period following that decision. If a decision approving a Type C permit is appealed, no trees shall be removed until the appeal has been settled.

Response: This application includes a request for approval of a Type "C" Tree Removal Plan for approval by the Development Review Board so that a Tree Removal Permit may be issued. Proposed tree removal is identified on the *Preliminary Tree Preservation Plan* in Section VII.

(.02) The applicant must provide ten copies of a Tree Maintenance and Protection Plan completed by an arborist that contains the following information:

- A. A plan, including a topographical survey bearing the stamp and signature of a qualified, registered professional containing all the following information:
 1. Property Dimensions. The shape and dimensions of the property, and the location of any existing and proposed structure or improvement.
 2. Tree Survey. The survey must include:
 - a) An accurate drawing of the site based on accurate survey techniques at a minimum scale of one inch (1") equals one hundred feet (100') and which provides a) the location of all trees having six inches (6") or greater d.b.h. likely to be impacted, b) the spread of canopy of those trees, c) the common and botanical name of those trees, and d) the approximate location and name of any other trees on the property.
 - b) A description of the health and condition of all trees likely to be impacted on the site property. In addition, for trees in a present or proposed public street or road right-of-way that are described as unhealthy, the description shall include recommended actions to restore such trees to full health. Trees proposed to remain, to be transplanted or to be removed shall be so designated. All trees to remain on the site are to be designated with metal tags that are to remain in place throughout the development. Those tags shall be numbered, with the numbers keyed to the tree survey map that is provided with the application.
 - c) Where a stand of twenty (20) or more contiguous trees exist on a site and the applicant does not propose to remove any of those trees, the required tree survey may be simplified to accurately show only the perimeter area of that stand of trees, including its drip line. Only those trees on the perimeter of the stand shall be tagged, as provided in "b", above.
 - d) All Oregon white oaks, native yews, and any species listed by either the state or federal government as rare or endangered shall be shown in the tree survey.

3. **Tree Protection.** A statement describing how trees intended to remain will be protected during development, and where protective barriers are necessary, that they will be erected before work starts. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic tape or similar forms of markers do not constitute "barriers".
4. **Easements and Setbacks.** Location and dimension of existing and proposed easements, as well as all setback required by existing zoning requirements.
5. **Grade Changes.** Designation of grade proposed for the property that may impact trees.
6. **Cost of Replacement.** A cost estimate for the proposed tree replacement program with a detailed explanation including the number, size, and species.
7. **Tree Identification.** A statement that all trees being retained will be identified by numbered metal tags, as specified in subsection "A," above in addition to clear identification on construction documents.

Response: The *Preliminary Tree Preservation Plan* in Section IIIC identifies trees proposed for removal and provides information required by WC 4.610.40(.02). In addition, Morgan Holen, certified arborist, has prepared an *Arborist Report* that provides information required by WC 4.610.40(.02), see Section VIH.

SECTION 4.620.00. TREE RELOCATION, MITIGATION, OR REPLACEMENT

(.01) **Requirement Established.** A Type B or C Tree Removal Permit grantee shall replace or relocate each removed tree having six (6) inches or greater d.b.h. within one year of removal.

Response: No relocation of trees is proposed. Tree replacement will occur in accordance with the necessary provisions from WC 4.620.00 and WC 4.620.10. The mitigation proposed for planting of trees within the landscaped areas of the parking lot complies with the required amount of mitigation.

(.02) **Basis for Determining Replacement.** The permit grantee shall replace removed trees on a basis of one (1) tree replaced for each tree removed. All replacement trees must measure two inches (2") or more in diameter. Alternatively, the Planning Director or Development Review board may require the permit grantee to replace removed trees on a per caliper inch basis, based on a finding that the large size of the trees being removed justifies an increase in the replacement trees required. Except, however, that the Planning Director or Development Review Board may allow the use of replacement Oregon white oaks and other uniquely valuable trees with a smaller diameter.

Response: Morgan Holen, a certified arborist, prepared the *Arborist Report* provided in Section VIH which includes mitigation analysis for planting replacement trees. Trees to be removed will be replaced in accordance with this criterion.

(.03) **Replacement Tree Requirements.** A mitigation or replacement tree plan shall be reviewed by the City prior to planting and according to the standards of this subsection.

- A. Replacement trees shall have shade potential or other characteristics comparable to the removed trees, shall be appropriately chosen for the site from an approved tree species list supplied by the City, and shall be state Department of Agriculture nursery Grade No. 1 or better.
- B. Replacement trees must be staked, fertilized and mulched, and shall be guaranteed by the permit grantee or the grantee's successors-in-interest for two (2) years after the planting date.
- C. A "guaranteed" tree that dies or becomes diseased during that time shall be replaced.
- D. Diversity of tree species shall be encouraged where trees will be replaced, and diversity of species shall also be maintained where essential to preserving a wooded area or habitat.

Response: Morgan Holen, a certified arborist, prepared the Arborist Report provided in Section VIH includes mitigation analysis for planting replacement trees. All trees to be planted will meet the requirements of this standard.

- (.04) All trees to be planted shall consist of nursery stock that meets requirements of the American Association of Nurserymen (AAN) American Standards for Nursery Stock (ANSI Z60.1) for top grade.

Response: All trees to be planted will meet the requirements of this standard.

- (.05) Replacement Tree Location.

- A. City Review Required. The City shall review tree relocation or replacement plans in order to provide optimum enhancement, preservation, and protection of wooded areas. To the extent feasible and desirable, trees shall be relocated or replaced on-site and within the same general area as trees removed
- B. Relocation or Replacement Off-Site. When it is not feasible or desirable to relocate or replace trees on-site, relocation or replacement may be made at another location - approved by the city.

Response: The existing trees will be replaced on-site with street trees within the landscaped buffer and islands in the parking lot. Tree replacement areas are shown on the *Street Tree Layout Planting Plan, Sheet L1* in Section VH.

- (.06) City Tree Fund. Where it is not feasible to relocate or replace trees on site or at another approved location in the City, the Tree Removal Permit grantee shall pay into the City Tree Fund, which fund is hereby created, an amount of money approximately the value as defined by this subchapter, of the replacement trees that would otherwise be required by this subchapter. The City shall use the City Tree Fund for the purpose of producing, maintaining and preserving wooded areas and heritage trees, and for planting trees within the City.

Response: The two trees proposed to be removed on the development site will be replaced with trees located in the landscaped buffer and landscape islands located in the parking lot. The number of replacement trees will exceed the existing number of trees currently located on the site; therefore, payment to the City Tree Fund is not necessary.

- (.07) Exception. Tree replacement may not be required for applicants in circumstances where the Director determines that there is good cause to not so require. Good

cause shall be based on a consideration of preservation of natural resources, including preservation of mature trees and diversity of ages of trees. Other criteria shall include consideration of terrain, difficulty of replacement and impact on adjacent property.

Response: No exception to the tree replacement requirements is requested with this application.

SECTION 4.620.10. TREE PROTECTION DURING CONSTRUCTION

- (.01) Where tree protection is required by a condition of development under Chapter 4 or by a Tree Maintenance and Protection Plan approved under this subchapter, the following standards apply:
- A. All trees required to be protected must be clearly labeled as such.
 - B. **Placing Construction Materials Near Tree.** No person may conduct any construction activity likely to be injurious to a tree designated to remain, including, but not limited to, placing solvents, building material, construction equipment, or depositing soil, or placing irrigated landscaping, within the drip line, unless a plan for such construction activity has been approved by the Planning Director or Development Review Board based upon the recommendations of an arborist.
 - C. **Attachments to Trees During Construction.** Notwithstanding the requirement of WC 4.620.10(1)(A), no person shall attach any device or wire to any protected tree unless needed for tree protection.
 - D. **Protective Barrier.** Before development, land clearing, filling or any land alteration for which a Tree Removal Permit is required, the developer shall erect and maintain suitable barriers as identified by an arborist to protect remaining trees. Protective barriers shall remain in place until the City authorizes their removal or issues a final certificate of occupancy, whichever occurs first. Barriers shall be sufficiently substantial to withstand nearby construction activities. Plastic Tape or similar forms of markers do not constitute "barriers". The most appropriate and protective barrier shall be utilized. Barriers are required for all trees designated to remain, except in the following cases.
 - 1. Rights-of-ways and Easements.
 - 2. Any property area separate from the construction or land clearing area onto which no equipment may venture.

Response: Two (2) trees located within the development site are proposed to be removed and two (2) trees located adjacent to the site, along SW Barber Street are proposed to be preserved. The trees located adjacent to SW Barber will be protected to the greatest extent possible during construction as described in the *Arborist Report* provided in Section VIH. Additional details about tree protection during construction will be provided with the construction drawings. Location and maintenance of replacement trees will be made as required, described in the attached *Arborist Report* and shown on the *Street Tree Layout Planting Plan*, Sheet L1 in Section VH.

SECTION 4.620.20. MAINTENANCE AND PROTECTION STANDARDS

- (.01) The following standards apply to all activities affecting trees, including, but not limited to, tree protection as required by a condition of approval on a site

development application brought under this chapter or as required by an approved Tree Maintenance and Protection Plan.

- A. Pruning activities shall be guided by the most recent version of the ANSI 300 Standards for Tree, Shrub and Other Woody Plant Maintenance.
- B. Topping is prohibited
 - 1. Exception from this section may be granted under a Tree Removal Permit if necessary for utility work or public safety.

Response: The *Arborist Report* provided in Section VIH addresses tree protection standards. If pruning or topping is determined to be necessary in the future, it will occur in accordance with WC 4.620.20.

SECTION 4.640.00. APPLICATION REVIEW PROCEDURES

(.03) Reviewing Authority

- B. Type C. Where the site is proposed for development necessitating site plan review or plat approval by the Development Review Board, the Development Review Board shall be responsible for granting or denying the application for a Tree Removal Permit, and that decision may be subject to affirmance, reversal or modification by the City Council, if subsequently reviewed by the Council.

Response: A *Preliminary Tree Preservation Plan* for review by the Development Review Board is provided in Section VII. The Applicant is requesting that the Development Review Board approve this plan so that a Tree Removal Permit may be issued.

II. CONCLUSION

This Supporting Compliance Report demonstrates compliance with the applicable criteria of the City of Wilsonville Land Development Ordinance for the requested review of the Type "C" Tree Removal Plan and Permit. Therefore, the applicant respectfully requests approval of this application.

Villebois Village Center PDP 1C (Lot 12) Parking Lot – Wilsonville, Oregon
Tree Maintenance and Protection Plan
February 23, 2021

MHA21006

Purpose

This Tree Maintenance and Protection Plan for the Villebois Village Center PDP 1C (Lot 12) Parking Lot project located in Wilsonville, Oregon, is provided pursuant to City of Wilsonville Development Code, Section 4.610.40. This arborist report describes the existing trees located on the project site, as well as recommendations for tree removal, retention, mitigation, and protection. This report is based on observations made by International Society of Arboriculture Board Certified Master Arborist (PN-6145B) and Qualified Tree Risk Assessor Morgan Holen during a site visit conducted on February 23, 2021 and subsequent coordination with Pacific Community Design.

Scope of Work and Limitations

Morgan Holen & Associates, LLC, was contracted by Costa Pacific Communities to visually assess existing trees located on and directly adjacent to the project site measuring six-inches in diameter and larger in terms of general condition and suitability for preservation with development, and prepare a tree maintenance and protection plan for the project. A site plan was provided by Pacific Community Design illustrating the location of trees and tree survey point numbers, and potential construction impacts.

Visual Tree Assessment (VTA¹) was performed on individual trees located across the site. Trees were evaluated in terms species, size, general condition, and potential construction impacts, and treatment recommendations include retain or remove. Following the inventory fieldwork, we coordinated with Pacific Community Design to discuss and finalize treatment recommendations based on the proposed site plan and grading.

The client may choose to accept or disregard the recommendations contained herein or seek additional advice. Neither this author nor Morgan Holen & Associates, LLC, have assumed any responsibility for liability associated with the trees on or adjacent to this site.

Tree Plan

The project proposes a new parking lot on an undeveloped lot southwest of the intersection between SW Barber Street and SW Villebois Drive. A new six-foot tall vine support fence is planned around the perimeter of the site. There are four existing trees measuring at least six-inches in diameter located on and directly adjacent to the proposed development. A complete description of the individual trees is provided in Table 1 below. Two deodar cedar (*Cedrus deodara*) trees smaller than six-inches diameter are also located on the site, but are not included in the inventory.

Tree 323 is located in the right-of-way adjacent to the project and was well protected during street construction which we monitored years ago. It is within a tree well and an existing sidewalk separates this tree from the proposed development. This tree is planned for protection and a lineal section of tree protection fencing is recommended between the existing sidewalk and the existing underground PGE vault at the limits of proposed work to provide a physical barrier to the trunk during construction.

¹ Visual Tree Assessment (VTA): The standard process of visual tree inspection whereby the inspector visually assesses the tree from a distance and up close, looking for defect symptoms and evaluating overall condition and vitality.

Tree 326 was previously protected during adjacent sidewalk construction and during the time the sales office was located on the lot. This tree is now planned for removal with the proposed parking lot construction. The existing sidewalk will be demolished adjacent to the tree and a bioretention swale is proposed in the general vicinity of the tree; grading in the critical root zone necessitates its removal.

Tree 333 was also well protected during previous site development on the adjacent lot. This tree suffered severe storm damage during the 2021 President’s Day weekend ice storm including the loss of two very large scaffold branches and numerous broken leaders and other smaller branches. It was classified as Important in the original Villebois tree inventory, but is now Moderate at best and with poor structure. Tree 333 is now planned for removal because it is located in the proposed parking lot and will be directly impacted by construction.

Tree 901 was not included in previous inventories for this site, but it has grown to six-inches in diameter and was assessed. It is a small street tree in a tree well located near the intersection. It is essentially unaffected by the proposed site development, but the protection fencing for tree 323 will extend to the intersection to create a physical barrier for tree 901 as well.

Table 1. Tree Inventory 02/23/2021 – Villebois Village Center PDP 1C (Lot 12) Parking Lot.

Tree No.	Common Name	Species Name	DBH ¹	C-Rad ²	Cond ³	Str ⁴	Condition & Comments	Treatment
323	pin oak	<i>Quercus palustris</i>	23	22	G	G	Minor storm damage; broken branches should be pruned	Retain
326	red maple	<i>Acer rubrum</i>	19.5	20	G	M	Codominant leaders, broken branches from storm damage, hollow with trunk decay at old branch wound on east face at ~6’ with poor woundwood development, expansive surface roots	Remove
333	scarlet oak	<i>Quercus coccinea</i>	30	26	M	P	Multiple leaders, extensive storm damage including the loss of two very large scaffold branches and numerous broken leaders and smaller branches	Remove
901	zelkova	<i>Zelkova serrata</i>	6	9	P	P	Decay column in trunk, broken branches from storm damage	Retain

¹DBH: Diameter at Breast Height (measured 4.5-feet above ground level in inches).

²C-Rad: Crown Radius, the distance from the center of the tree to the edge of the dripline (measured in feet).

³Condition Rating: I-Important; G-Good; M-Moderate; P-Poor.

⁴Structure Rating: G-Good; M-Moderate; P-Poor.

Mitigation Requirements

All 4 inventoried trees are 6-inches or larger in diameter, including two trees planned for retention with protection during construction and two trees planned for removal. Tree removal requires mitigation per Section 4.620.00; removed trees shall be replaced on a basis of one tree planted for each tree removed. Therefore, two trees measuring at least 2-inch in diameter shall be planted as mitigation for tree removal.

Tree Protection Standards

The following tree protection specifications should be copied onto the tree preservation plan drawing prepared by Pacific Community Design. Tree protection measures include:

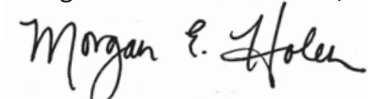
1. **Protection Fencing.** Trees to remain shall be protected by installation of tree protection fencing to prevent injury to tree trunks or roots. Fencing shall be 6-foot-high steel on concrete blocks and installed as illustrated on the tree plan drawing prior to any construction activity.
2. **Tree Protection Zone.** Without authorization from the Project Arborist, none of the following shall occur within the tree protection zone:
 - a. Grade change or cut and fill;
 - b. New impervious surfaces;
 - c. Utility or drainage field placement;
 - d. Staging or storage of materials and equipment; or
 - e. Vehicle maneuvering.

Tree protection zones may be entered for tasks like surveying, measuring, and sampling. Fences must be closed upon completion of these tasks.

3. **Pruning.** Pruning may be needed to remove storm damaged branches for worker safety prior to construction. However, it is likely that this work may be performed by the Homeowners Association prior to construction. Tree removal and pruning shall be performed by a Qualified Tree Service.
4. **Excavation.** Roots are not likely to be encountered where minimal excavation is required for the parking lot on the east side of the lot. If tree roots are encountered, roots smaller than 2-inches in diameter shall be pruned clean to sound wood using a sharp saw at the limits of excavation as digging progresses to avoid pulling and tearing roots. Excavation immediately adjacent to roots 2-inches in diameter and larger shall be by hand or other non-invasive techniques to ensure that roots are not damaged. Where feasible, major roots shall be protected by tunneling or other means to avoid destruction or damage. Coordinate with the project arborist prior to pruning roots 2-inches in diameter and larger to assess and document potential root impacts and provide on-the-ground tree protection recommendations to the contractor.
5. **Permanent Fence Construction.** Tree protection fencing may be removed as the new permanent vine support fence is installed. Post holes shall be dug by hand and with hand tools beneath the dripline of protected tree 323. Adjust post holes to avoid impacts if tree roots 2-inches in diameter and larger are encountered. Do not stockpile fencing materials or equipment in the tree well or against the tree trunk.

Thank you for choosing Morgan Holen & Associates, LLC, to provide consulting arborist services for the Yorkshire project. Please contact us if you have questions or need any additional information.

Thank you,
Morgan Holen & Associates, LLC



Morgan E. Holen, Member
ISA Board Certified Master Arborist, PN-6145B
ISA Tree Risk Assessment Qualified
Forest Biologist



C2K
ARCHITECTURE



12864 SW Main Street, 1st Fl., OR
97223
GEOVISION, INC.

DATE	REVISIONS / DESCRIPTION

**PDP 1C MOD
VILLEBOIS VILLAGE
MIXED-USE**

Preliminary
Development
Plan

**PRELIMINARY
TREE
PRESERVATION
PLAN**

Lot 12

2nd Submission Date: 06/14/2020

VII

LEGEND:

I	IMPORTANT
G	GOOD
M	MEDIATE
P	POOR
NE	NOT EXAMINED
(Symbol: Circle with dot)	EXISTING TREES TO BE REMAIN
(Symbol: Circle with X)	EXISTING TREES TO BE REMOVED
(Symbol: Dashed line)	TREE PROTECTION FENCING
(Symbol: Solid line)	GRADING LIMITS

TREE PROTECTION NOTES:

1. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARCHITECTOR AND THE LANDSCAPE ARCHITECT TO REVIEW TREE PROTECTION MASSSES AND ADDRESS QUESTIONS ON-SITE PRIOR TO THE START OF CONSTRUCTION ACTIVITY.
2. **TREE PROTECTION ZONE:** WITHOUT AUTHORIZATION FROM THE PROJECT ARCHITECT, NONE OF THE PROTECTIVE MEASURES SHALL BE TAKEN WITHIN THE TREE PROTECTION ZONE. TREE PROTECTION SHALL BE INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION.
3. **NEW IMPERVIOUS SURFACES:**
 - a) UTILITY OR DRAINAGE FIELD PLACEMENT;
 - b) STAGING OR STORAGE OF MATERIALS AND EQUIPMENT; OR
 - c) VEHICLE MANEUVERING.
4. **PRUNING:** PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE. PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD, DAMAGED, DISEASED, OR DEFECTIVE BRANCHES. PRUNING SHALL BE LIMITED TO THE REMOVAL OF BRANCHES THAT ARE OBSTRUCTING THE PROJECT OR ARE A SAFETY HAZARD. PRUNING SHALL BE LIMITED TO THE REMOVAL OF BRANCHES THAT ARE OBSTRUCTING THE PROJECT OR ARE A SAFETY HAZARD. PRUNING SHALL BE LIMITED TO THE REMOVAL OF BRANCHES THAT ARE OBSTRUCTING THE PROJECT OR ARE A SAFETY HAZARD.
5. **EXCAVATION:** ROOTS ARE LIKELY TO BE ENCOUNTERED WHERE MINIMAL EXCAVATION IS REQUIRED FOR THE PARKING LOT ON THE EAST SIDE OF THE LOT. IF TREE ROOTS ARE ENCOUNTERED, THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ARCHITECT AND LANDSCAPE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ARCHITECT AND LANDSCAPE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL STOP WORK IMMEDIATELY AND NOTIFY THE ARCHITECT AND LANDSCAPE ARCHITECT IMMEDIATELY.
6. **PERMANENT FENCE CONSTRUCTION:** TREE PROTECTION FENCING SHALL BE INSTALLED AS THE NEW PERMANENT WINE SUPPORT FENCE IS INSTALLED. POST HOLES SHALL BE DUG BY THE CONTRACTOR AND FENCING SHALL BE INSTALLED BY THE CONTRACTOR. POST HOLES SHALL BE DUG BY THE CONTRACTOR AND FENCING SHALL BE INSTALLED BY THE CONTRACTOR.

GENERAL NOTES:

ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARCHITECT.

CONTACT: MORGAN HOLEN
PHONE: 503-946-4346

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF EXISTING TREES WITHIN THE PROJECT SITE. TREES WITH MODERATE CLASSIFICATIONS, THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:

1. HEALTH
2. FORM / VISUAL INTEREST / MATURE SIZE
3. FORM / VISUAL INTEREST / MATURE SIZE
4. FORM / VISUAL INTEREST / MATURE SIZE

TREES RATED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

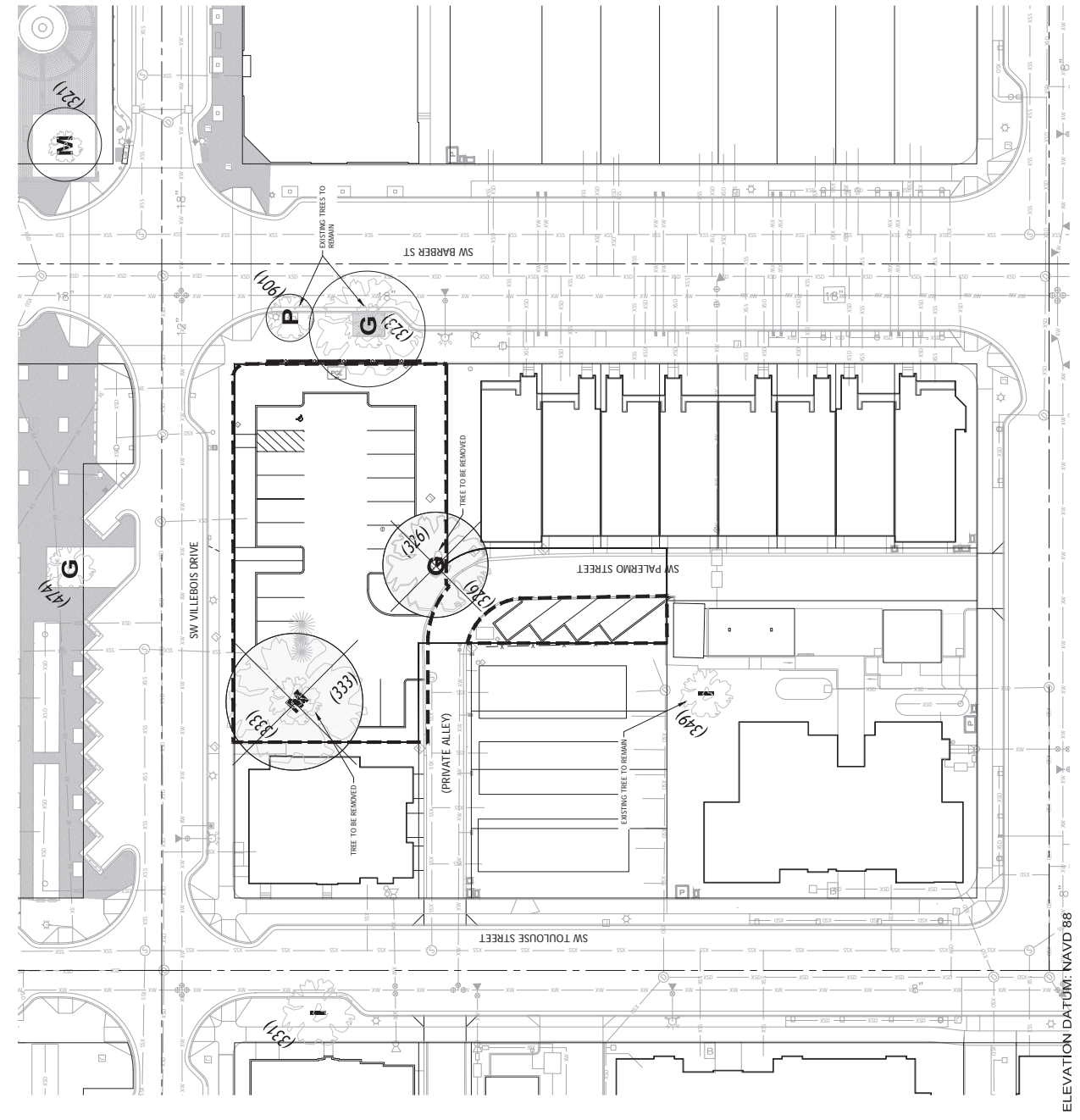
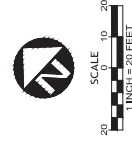
TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DISRUPTABLE SPECIES, BUT HAD MODERATE FORM OR VISUAL INTEREST WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DISRUPTABLE SPECIES OR WERE THE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

1. THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON FIELD SURVEY DATA AND AERIAL PHOTOGRAPHS. THE INFORMATION IS FOR GENERAL INFORMATION ONLY AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



ELEVATION DATUM: NAVD 88