

PHASE 12 CENTRAL VILLEBOIS VILLAGE MIXED-USE PRELIMINARY DEVELOPMENT PLAN

TL 2800, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

COSTA PACIFIC
14350 SE INDUSTRIAL WAY
CLACKAMAS, OR 97015
[P] 503-314-8014
CONTACT: RUDY KADLUB

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JAKI HUNT, PE

SURVEYOR:

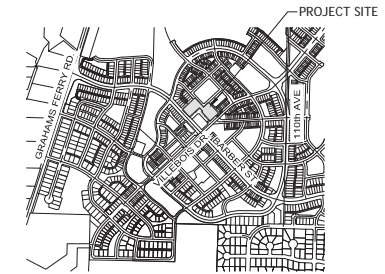
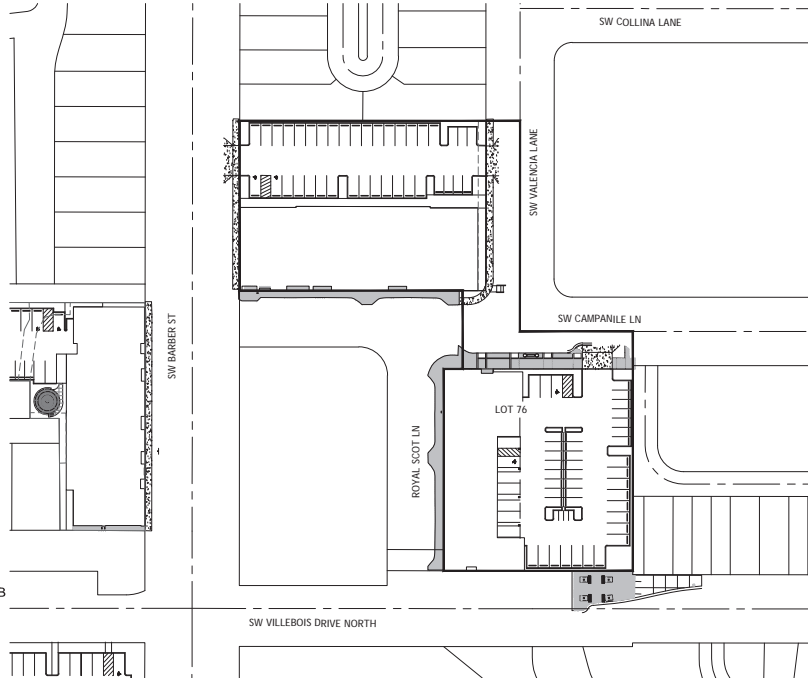
PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
703 BROADWAY ST., STE 650
VANCOUVER, WA 98660
[P] 503-968-8787
CONTACT: SCOTT MCDEVITT, PE



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	COMCAST

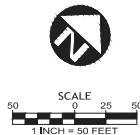
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 EXISTING CONDITIONS & DEMOLITION PLAN
- 3 SITE / LAND USE PLAN
- 4 PRELIMINARY GRADING & EROSION CONTROL PLAN
- 5 PRELIMINARY COMPOSITE UTILITY PLAN
- 6 PRELIMINARY CIRCULATION PLAN
- 7 PRELIMINARY PARKING PLAN
- 8 PRELIMINARY TREE PRESERVATION PLAN
- L1 STREET TREE LAYOUT PLANTING PLAN



ELEVATION DATUM: NAVD 88



REVISIONS	
DATE	DESCRIPTION

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

COVER
SHEET

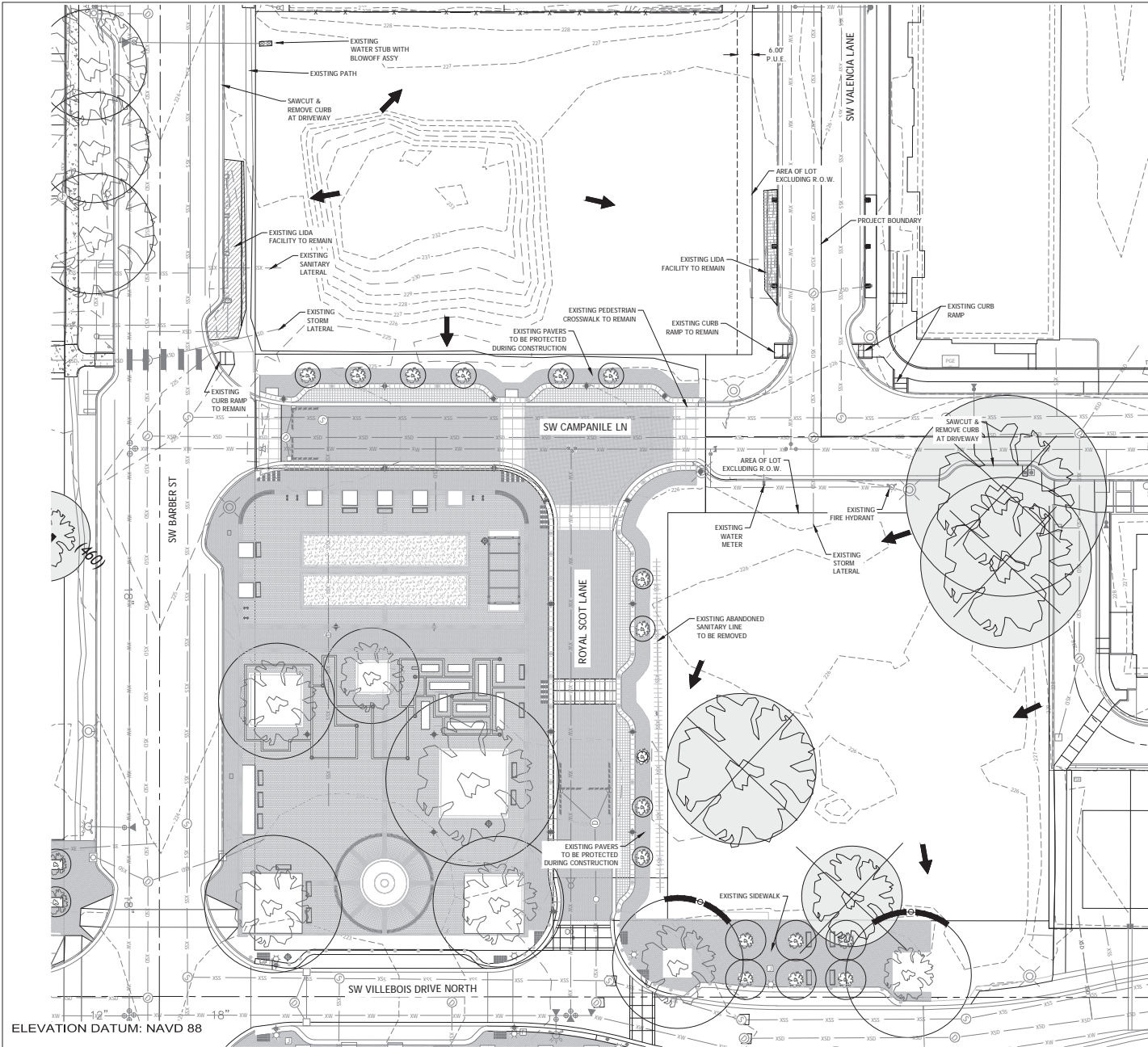
2nd Submittal Date: 05/14/2021

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N:\proj\318\603\07 Drawings\03 Planning\Submittal\03PDP 12C\318603\1\03PDP12C COVER.dwg SHEET 1 May 12, 21 11:00 AM jim

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ELEVATION DATUM: NAVD 88

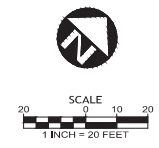


LEGEND

- EASEMENT LINES
- EXISTING RIGHT-OF-WAY
- EXISTING CENTERLINE
- EXISTING PROPERTY LINE
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EX 1-FOOT CONTOURS
- EX 5-FOOT CONTOURS
- EX SANITARY SEWER
- EX STORM DRAIN
- EX WATER LINE
- EX GAS LINE
- EX BURIED POWER LINE
- EX OVERHEAD POWER LINE
- EX CABLE TV LINE
- EX TELEPHONE LINE
- EX SANITARY MANHOLE
- EX STORM MANHOLE
- EX AREA DRAIN
- EX CURB INLET
- EX STORM CLEANOUT
- EX FIRE HYDRANT
- EX WATER METER
- EX WATER VALVE
- EX BLOW-OFF
- EX AIR RELEASE VALVE
- EX GAS VALVE
- EX CABLE RISER
- EX TELEPHONE RISER
- EX LIGHT POLE
- EXISTING FENCE
- EXISTING ELECTRIC VAULT
- EXISTING RETAINING WALL
- EX TREES TO REMAIN
- DRAINAGE SLOPE DIRECTION

TREE LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- EXISTING TREES TO REMAIN
- EXISTING TREES LIKELY TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCING



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PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR
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(T) 503-941-9484
GEODESIGN, INC

REVISIONS
DATE DESCRIPTION

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

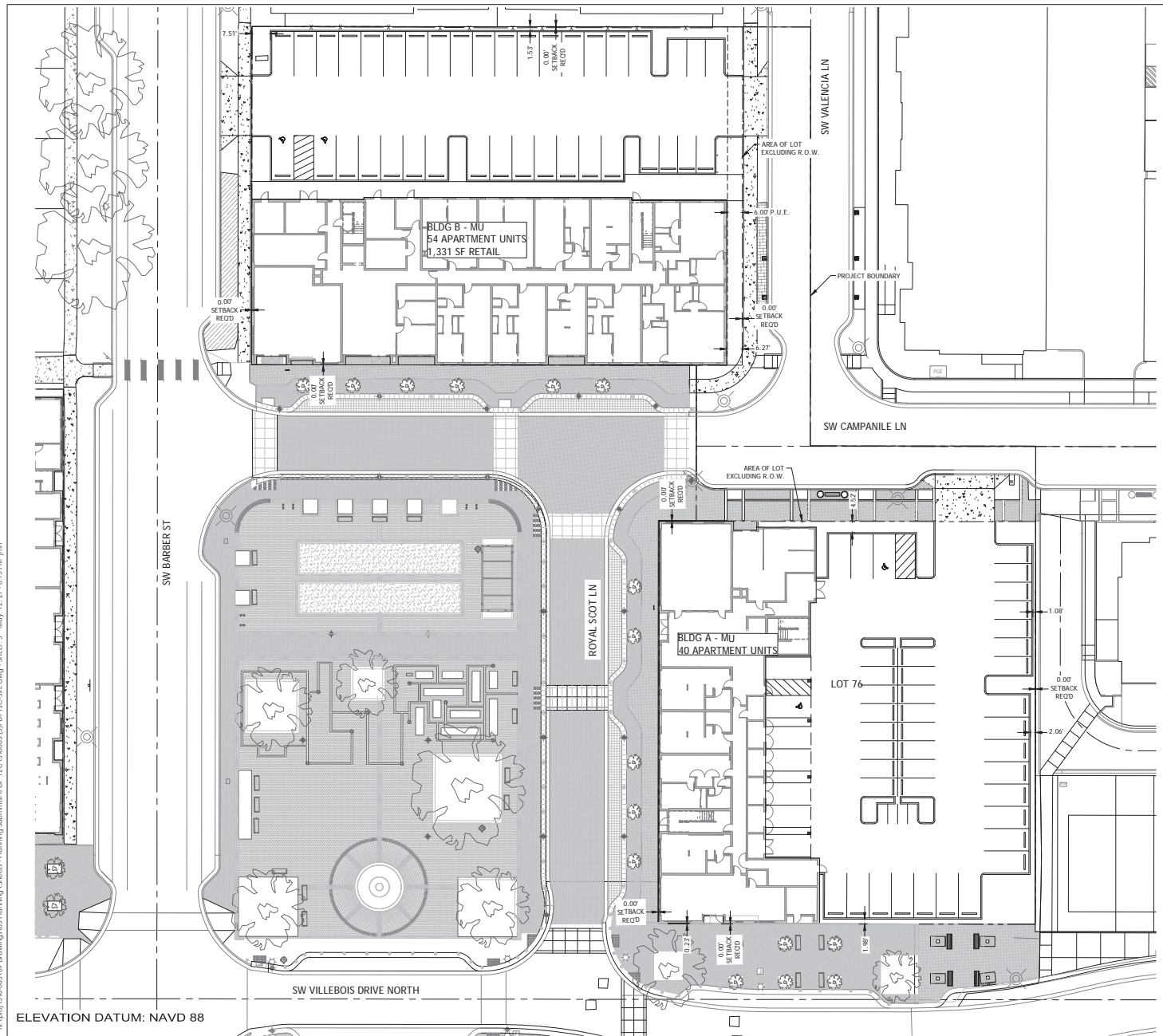
EXISTING
CONDITIONS
AND
DEMOLITION
PLAN

2nd Submittal Date: 05/14/2021

2

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ELEVATION DATUM: NAVD 88



LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED PUBLIC UTILITY EASEMENT
- PROPOSED BUILDING SETBACK
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PDP BOUNDARY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED A.C. PAVING
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK BY OTHERS
- EXISTING SIDEWALK

LEGEND:

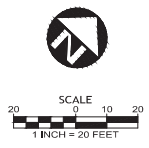
MU MIXED USE

LOT/UNIT COUNT:

40	BUILDING A - UNITS
54	BUILDING B - UNITS
94	TOTAL

LAND AREA TABLE:

TOTAL AREA:	1.40 AC.
BUILDING:	0.49 AC.
PARKING LOT:	0.61 AC.
LANDSCAPE:	0.08 AC.
PUBLIC RIGHT-OF-WAY:	0.22 AC.
AVG. DENSITY PER NET ACRE:	
94 / 1.18 =	79.7 UNITS / AC



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DATE	DESCRIPTION
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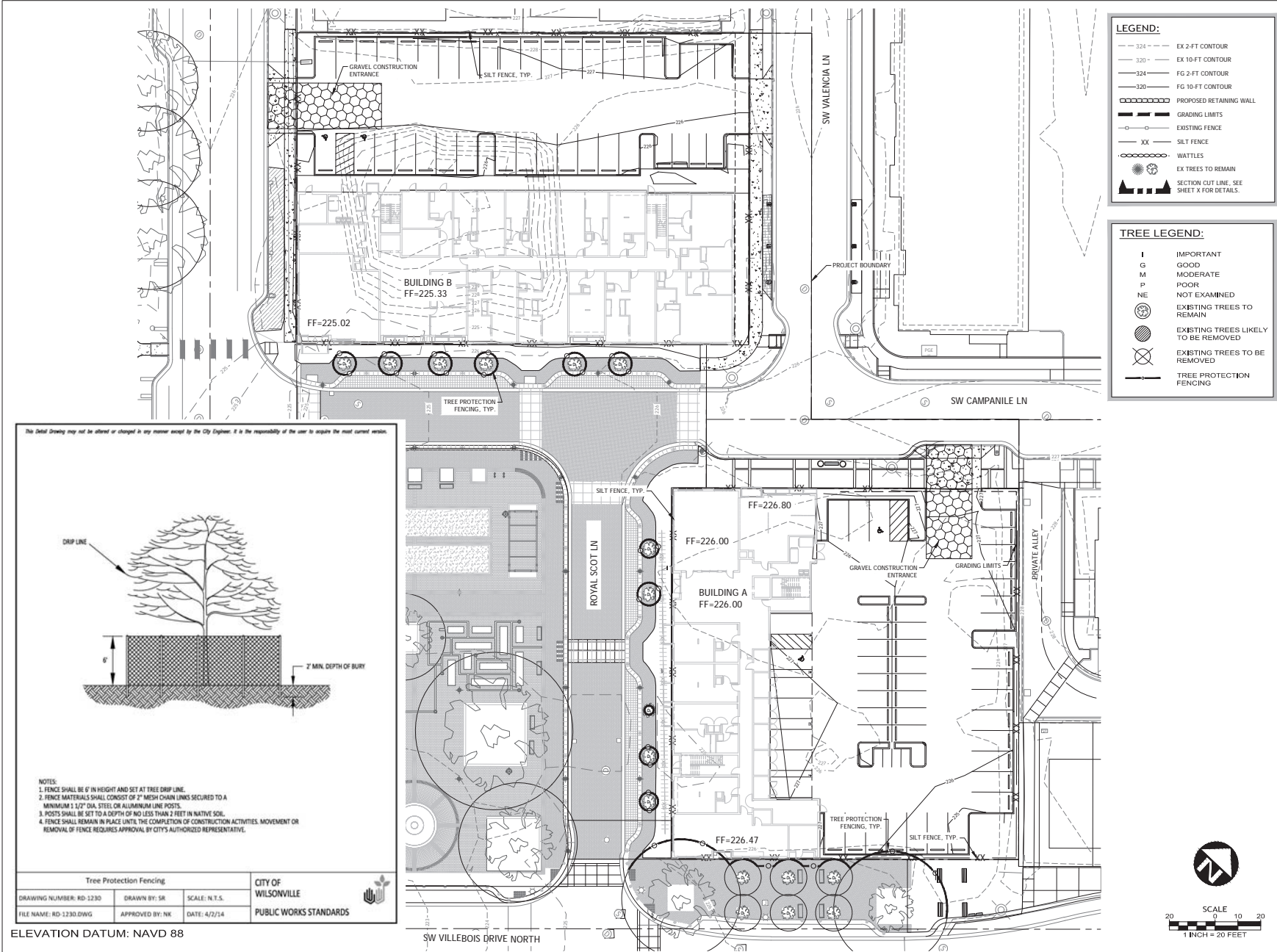
PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

SITE/
LAND USE
PLAN

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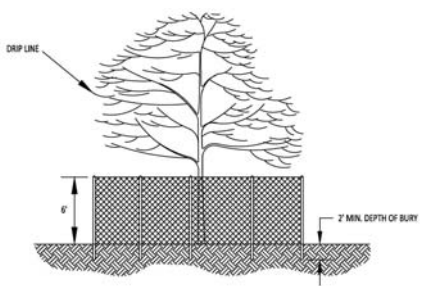
LEGEND:

- 324 EX 2-FT CONTOUR
- 320 EX 10-FT CONTOUR
- 324 FG 2-FT CONTOUR
- 320 FG 10-FT CONTOUR
- PROPOSED RETAINING WALL
- GRADING LIMITS
- EXISTING FENCE
- XX SILT FENCE
- WATTLES
- EX TREES TO REMAIN
- SECTION CUT LINE. SEE SHEET X FOR DETAILS.

TREE LEGEND:

- I** IMPORTANT
- G** GOOD
- M** MODERATE
- P** POOR
- NE** NOT EXAMINED
- EXISTING TREES TO REMAIN
- EXISTING TREES LIKELY TO BE REMOVED
- EXISTING TREES TO BE REMOVED
- TREE PROTECTION FENCING

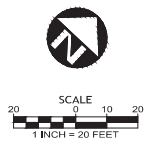
This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.



- NOTES:**
1. FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIP LINE.
 2. FENCE MATERIALS SHALL CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 3/4" DIA. STEEL OR ALUMINUM LINE POSTS.
 3. POSTS SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.
 4. FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

Tree Protection Fencing			 CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: RD-1230	DRAWN BY: SR	SCALE: N.T.S.	
FILE NAME: RD-1230.DWG	APPROVED BY: NK	DATE: 4/2/14	

ELEVATION DATUM: NAVD 88



Villebois

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GEODESIGN, INC

REVISIONS	DESCRIPTION

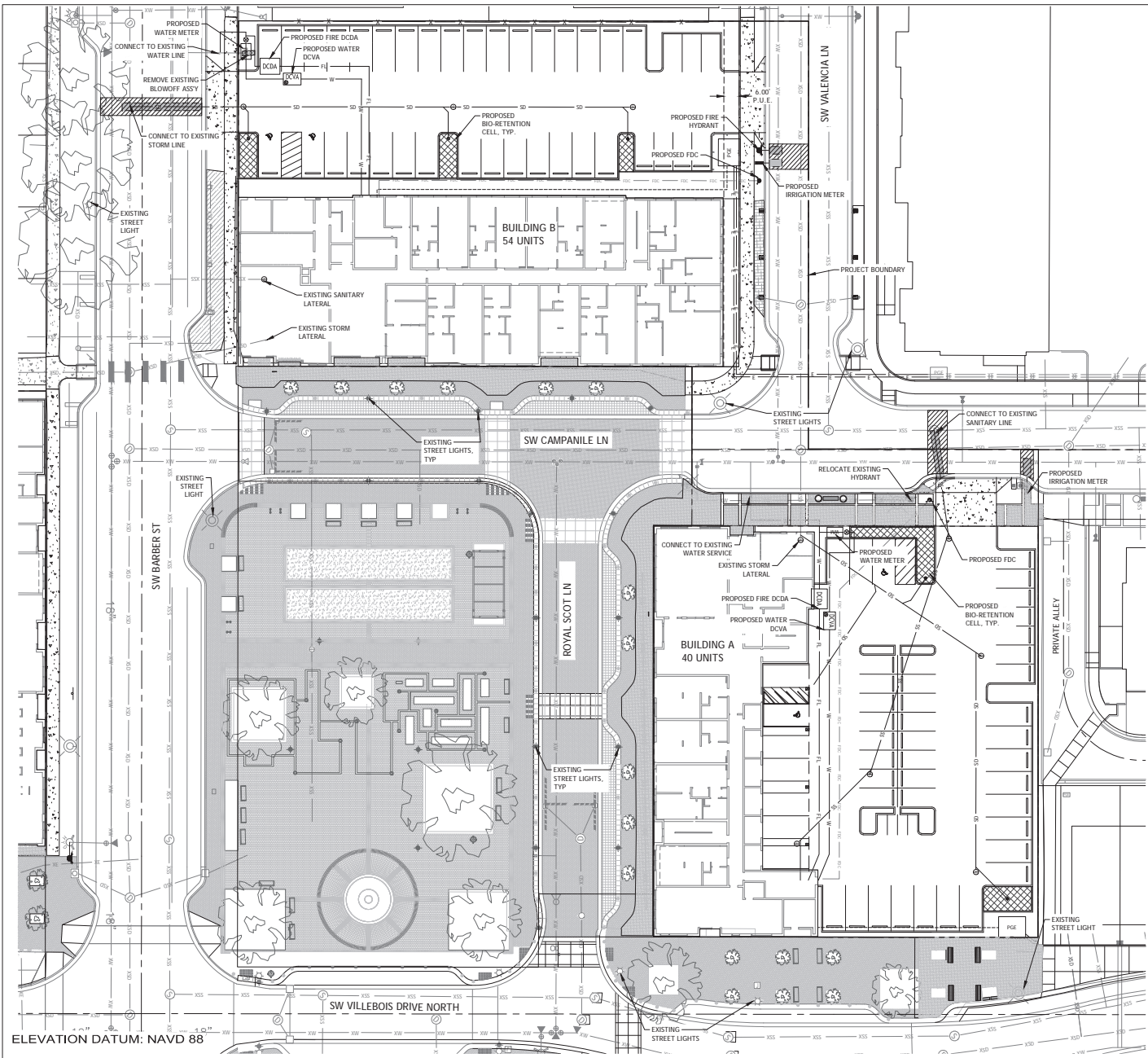
PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
GRADING
& EROSION
CONTROL
PLAN

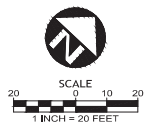
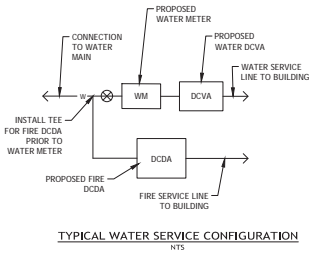
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ELEVATION DATUM: NAVD 88

LEGEND	
---	EASEMENT LINES
SS	PROPOSED SANITARY SEWER
SSS	EX SANITARY SEWER
SD	PROPOSED STORM DRAIN
SDS	EX STORM DRAIN
WL	PROPOSED WATER LINE
WLS	EX WATER LINE
GL	EX GAS LINE
PL	EX BURIED POWER LINE
PLS	EX OVERHEAD POWER LINE
CTV	EX CABLE TV LINE
TEL	EX TELEPHONE LINE
●	PROPOSED SANITARY MANHOLE
○	EX SANITARY MANHOLE
●	PROPOSED SANITARY CLEANOUT
○	EX SANITARY CLEANOUT
●	PROPOSED STORM MANHOLE
○	EX STORM MANHOLE
■	PROPOSED CATCH BASIN
□	EX CATCH BASIN
○	PROPOSED STORM CLEANOUT
○	EX STORM CLEANOUT
○	PROPOSED FIRE HYDRANT
○	EX FIRE HYDRANT
■	PROPOSED WATER METER
■	EX WATER METER
●	PROPOSED WATER VALVE
●	EX WATER VALVE
■	PROPOSED BLOW-OFF
■	EX BLOW-OFF
■	PROPOSED AIR RELEASE VALVE
■	EX AIR RELEASE VALVE
■	PROPOSED THRUST BLOCK
■	EX THRUST BLOCK
■	EX GAS VALVE
■	EX CABLE RISER
■	EX TELEPHONE RISER



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DATE	DESCRIPTION

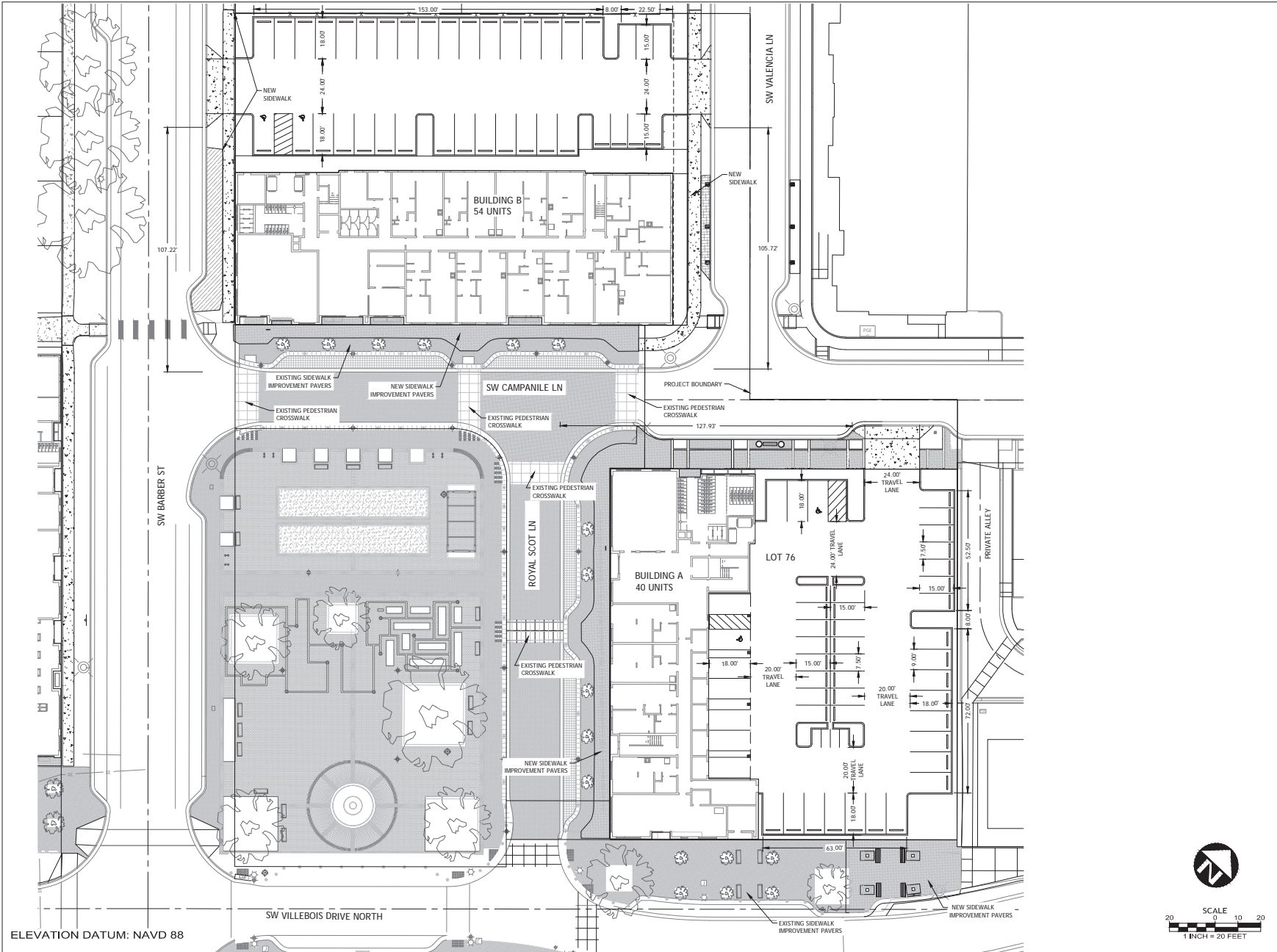
PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

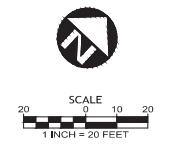
PRELIMINARY
COMPOSITE
UTILITY
PLAN

2nd Submittal Date: 05/14/2021

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ELEVATION DATUM: NAVD 88



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DATE	

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

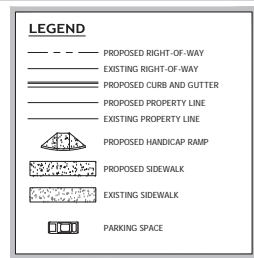
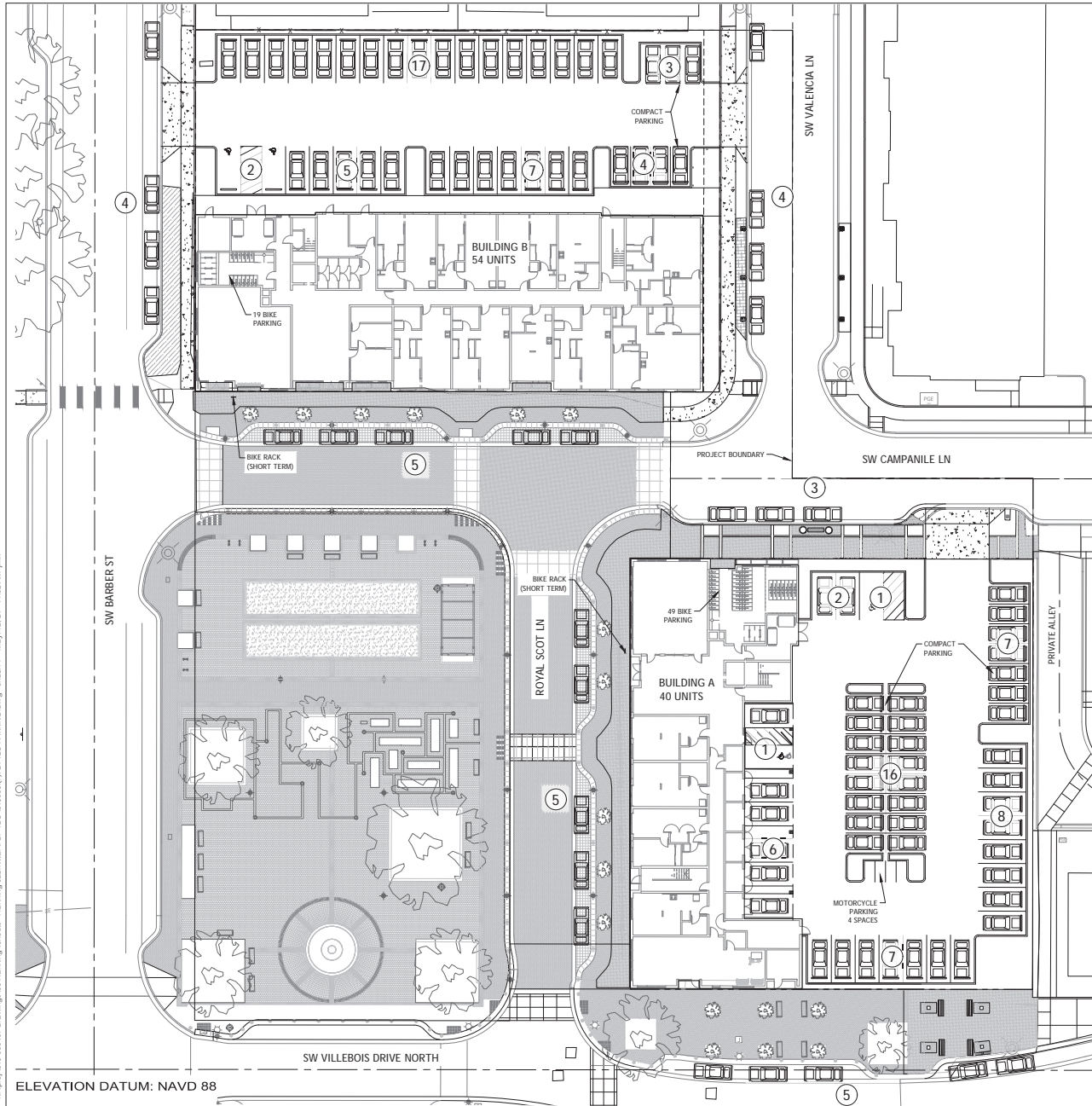
Preliminary
Development
Plan

PRELIMINARY
CIRCULATION
PLAN

2nd Submittal Date: 05/14/2021

6

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Off-Street Parking Requirements according to Section 4.125 Table V-2:

Multi-Family Dwellings

69 1-Bed Units at 1.0 space/unit	=	69 spaces
14 2-Bed Units at 1.5 spaces/unit	=	21 spaces
11 3-Bed Units at 1.75 spaces/unit	=	19 spaces

Retail/Commercial

1,331 sf. at 2.0 Spaces/1,000 sf	=	3 spaces
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Vehicle Parking Requirements per Section 4.125 Table V-2 = 112 spaces

Vehicle Parking Provided with Buildings 'A' and 'B' on Lot 76:

Off-Street Standard Spaces	=	52 spaces
Off-Street Compact Spaces	=	20 spaces
Off-Street ADA Spaces	=	4 spaces
On-Street - SW Barber Street	=	4 spaces
On-Street - SW Campanile Ln.	=	8 spaces
On-Street - SW Valencia Lane	=	4 spaces
On-Street - Royal Scott Lane	=	5 spaces
On-Street - SW Villebois Drive North	=	5 spaces

Vehicle Parking Provided = 112 spaces

Bicycle Parking Requirements according to Section 4.125 Table V-2:

Multi-Family Dwellings

Short Term 94 units at 1.0 space/ 20 units	=	5 spaces
Long Term 94 units at 1.0 space per 4 units	=	24 spaces

Retail/Commercial

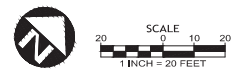
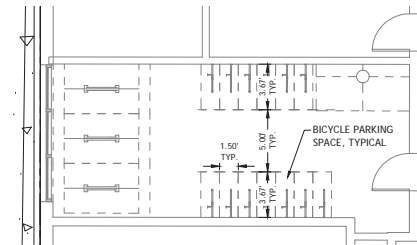
Short Term	=	2 spaces
1,331 sf. at 1.0 space/ 10,000 sf (Min. 2 spaces)	=	2 spaces
Long Term	=	2 spaces
1,331 sf. at 1.0 Spaces/ 40,000 sf (Min. 2 spaces)	=	2 spaces

Total Short Term Bicycle Parking Spaces Required = 7 spaces
Total Long Term Bicycle Parking Spaces Required = 26 spaces
Total Bicycle Parking Spaces Required = 33 spaces

Bicycle Parking Provided:

Short Term	=	4 spaces
Exterior Bike Racks	=	4 spaces
Long Term	=	49 spaces
Building 'A' Bike Storage Room on 1st Floor	=	19 spaces
Building 'B' Bike Storage Room on 1st Floor	=	94 spaces
94 units at 1.0 Space per Unit	=	94 spaces

Total Bicycle Parking Provided = 166 spaces



REVISIONS

DATE	DESCRIPTION
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PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

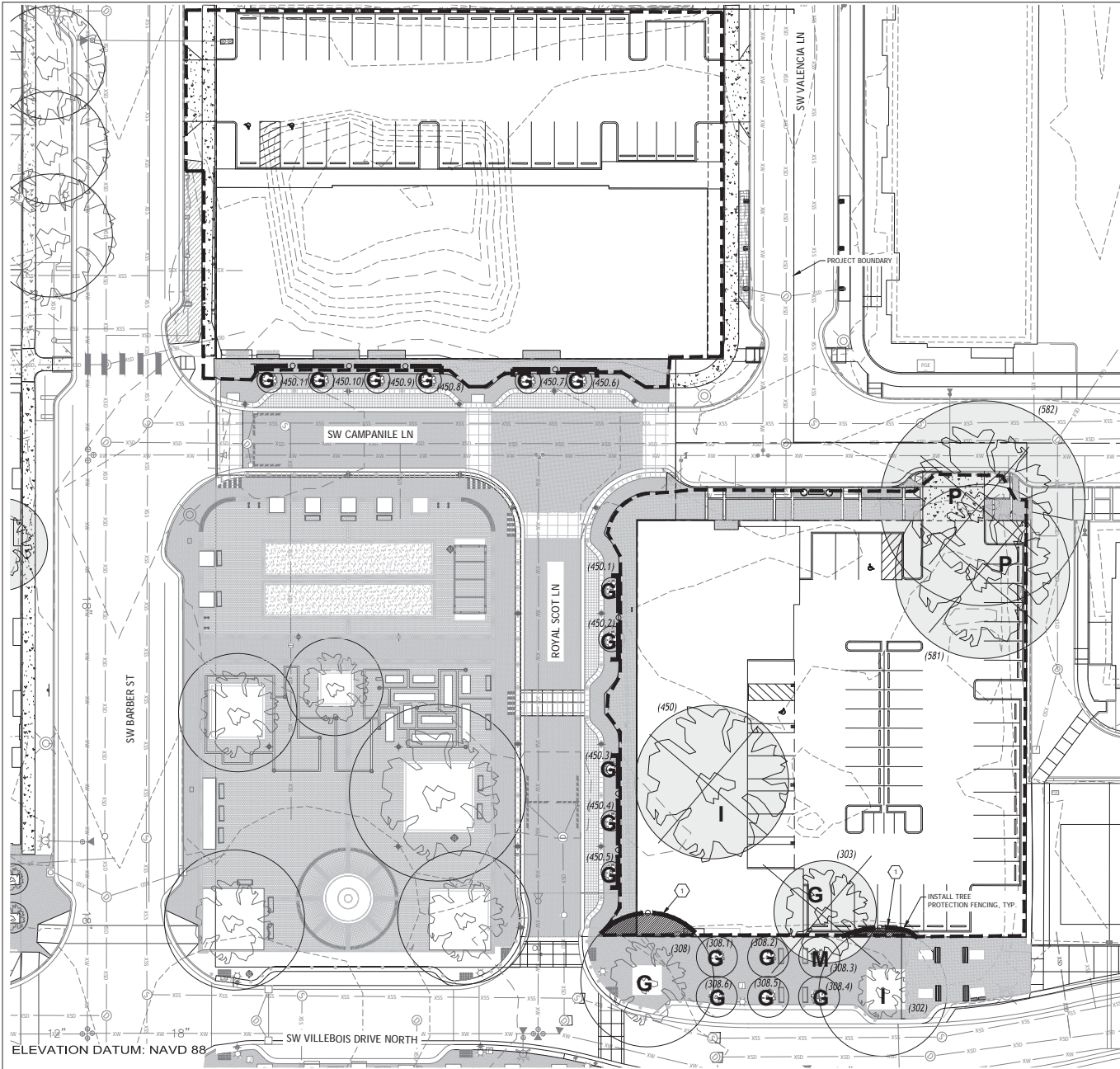
Preliminary
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Plan

PRELIMINARY
PARKING
PLAN

2nd Submittal Date: 05/14/2021



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LEGEND:

- I IMPORTANT
- G GOOD
- M MODERATE
- P POOR
- NE NOT EXAMINED
- (Tree symbol with circle) EXISTING TREES TO REMAIN
- (Tree symbol with X) EXISTING TREES TO BE REMOVED
- (Dashed line) TREE PROTECTION FENCING
- (Dotted line) GRADING LIMITS

KEYNOTE:

- 1) COORDINATE WITH PROJECT ARBORIST PRIOR TO ADJUSTING TREE PROTECTION FENCING OR WORK BENEATH PROTECTED TREE DRUPLINES. SEE TREE PROTECTION NOTE 4 REGARDING EXCAVATION.

- TREE PROTECTION NOTES**
- 1. PRECONSTRUCTION CONFERENCE.** THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER TO REVIEW TREE PROTECTION MEASURES AND ADDRESS QUESTIONS ON-SITE PRIOR TO THE START OF CONSTRUCTION ACTIVITY.
 - 2. FENCING.** TREES TO REMAIN ON SITE SHALL BE PROTECTED BY INSTALLATION OF TREE PROTECTION FENCING AS DEPICTED ON THE TREE PRESERVATION PLAN IN ORDER TO PREVENT INJURY TO TREE TRUNKS OR ROOTS, OR SOIL COMPACTION WITHIN THE ROOT PROTECTION AREA. FENCES SHALL BE A MINIMUM 6-FOOT HIGH 2-INCH CHAIN LINK MESH SECURED TO A MINIMUM 1.5-INCH STEEL OR ALUMINUM POSTS STEEL ON CONCRETE BLOCKS OR DRIVEN INTO THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE PROJECT ARBORIST PRIOR TO OPENING, ADJUSTING, OR REMOVING TREE PROTECTION FENCING.
 - 3. TREE PROTECTION ZONE.** WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR BENEATH THE DRUPLINE OF ANY PROTECTED TREE:
 - a) GRADE CHANGE OR CUT AND FILL;
 - b) NEW IMPERVIOUS SURFACES;
 - c) UTILITY OR DRAINAGE FIELD PLACEMENT;
 - d) STAGING OR STORAGE OF MATERIALS AND EQUIPMENT; OR VEHICLE MANEUVERING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER PRIOR TO WORKING BENEATH PROTECTED TREE DRUPLINES. ROOT PROTECTION ZONES MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING, AND SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS.
- 4. PRUNING.** PRUNING MAY BE NEEDED TO PROVIDE OVERHEAD CLEARANCE AND TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST SHOULD HELP IDENTIFY WHERE PRUNING IS NECESSARY ONCE TREES RECOMMENDED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS PREPARED FOR CONSTRUCTION. TREE REMOVAL AND PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.
 - 5. EXCAVATION.** EXCAVATION WITHIN THE ALLOWED ENCROACHMENT AREAS IDENTIFIED ON THE TREE PRESERVATION PLAN SHALL BE CONDUCTED UNDER THE ON-SITE SUPERVISION OF THE PROJECT ARBORIST. EXCAVATION IMMEDIATELY ADJACENT TO ROOTS LARGER THAN 2-INCHES IN DIAMETER BENEATH THE DRUPLINE OF PROTECTED TREES SHALL BE BY HAND OR OTHER NON-INVASIVE TECHNIQUES TO ENSURE THAT ROOTS ARE NOT DAMAGED. WHERE FEASIBLE, MAJOR ROOTS SHALL BE PROTECTED BY TUNNELING OR OTHER MEANS TO AVOID DESTRUCTION OR DAMAGE. EXCEPTIONS CAN BE MADE IF, IN THE OPINION OF THE PROJECT ARBORIST, UNACCEPTABLE DAMAGE WILL NOT OCCUR TO THE TREE.
 - 6. QUALITY ASSURANCE.** THE PROJECT ARBORIST SHOULD SUPERVISE PROPER EXECUTION OF THIS PLAN ON-CALL DURING CONSTRUCTION ACTIVITIES THAT COULD ENCROACH ON PROTECTED TREES. TREE PROTECTION SITE INSPECTION MONITORING REPORTS SHOULD BE PROVIDED TO THE CLIENT AND CITY FOLLOWING EACH SITE VISIT PERFORMED DURING CONSTRUCTION.

GENERAL NOTES

ALL CONSTRUCTION AND GRADING WITHIN TREE PROTECTION ZONE IS TO BE COMPLETED UNDER DIRECT SUPERVISION OF PROJECT ARBORIST.
CONTACT: MORGAN HOLLEN
PHONE: 503-646-4349

THE INTENT OF THE PLAN IS TO RETAIN AND INCORPORATE THE MAXIMUM QUANTITY OF TREES WITH IMPORTANT, GOOD, AND MODERATE CLASSIFICATIONS. THE FOLLOWING CLASSIFICATION SYSTEM WAS USED:

CLASSIFICATION METHOD:
TREES WERE RATED BASED ON THE FOLLOWING CONSIDERATIONS:

1. HEALTH
2. SPECIES (NATIVES WITH HABITAT AND ECOSYSTEM VALUE)
3. COMPATIBILITY WITH DEVELOPMENT
4. FORM / VISUAL INTEREST / MATURE SIZE

TREES RATED AS IMPORTANT WERE RATED HIGH IN ALL FOUR AREAS.

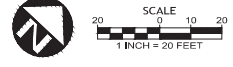
TREES IN THE GOOD CATEGORY HAD GOOD HEALTH AND WERE A DESIRABLE SPECIES, BUT HAD IRREGULAR FORM OR LESS COMPATIBILITY WITH DEVELOPMENT.

TREES IN THE MODERATE CATEGORY HAD GOOD TO MODERATE HEALTH AND FORM, BUT WERE A LESS DESIRABLE SPECIES OR MAY BE LESS COMPATIBLE WITH DEVELOPMENT.

TREES IN THE POOR CATEGORY HAD POOR HEALTH AND/OR SUBSTANTIAL DAMAGE.

NOTES:

1. THE INFORMATION PROVIDED WITHIN THE PROJECT BOUNDARY IS BASED ON AN ON-SITE EVALUATION OF THE EXISTING TREES BY ARBORIST MORGAN HOLLEN AND WAS PROVIDED IN A TREE REPORT INCLUDED WITH THE APPLICATION MATERIALS.



Villebois

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P&D
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97223
(T) 503-941-9484
GEODESIGN, INC

REVISIONS	
DATE	DESCRIPTION

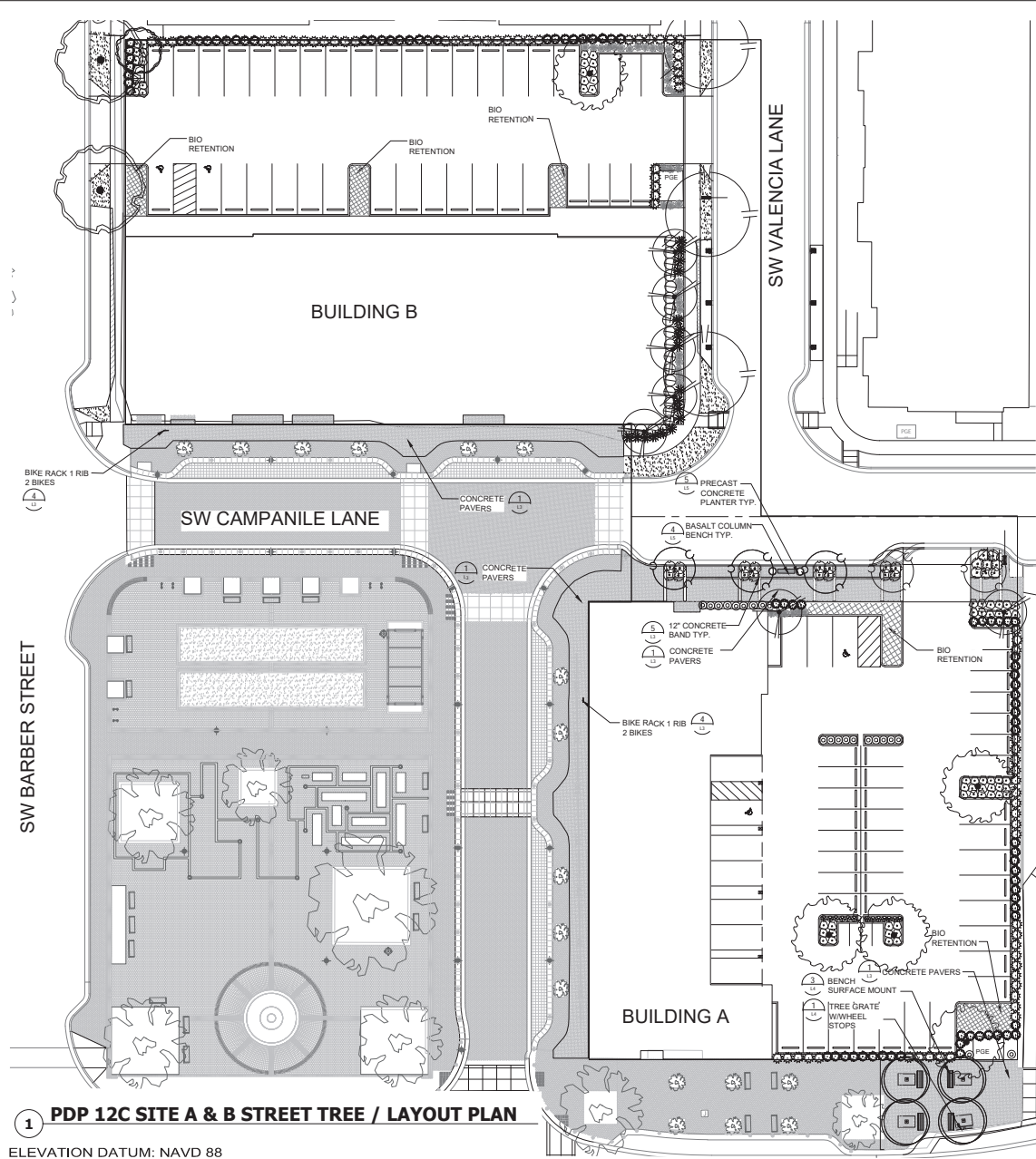
PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Preliminary
Development
Plan

PRELIMINARY
TREE
PRESERVATION
PLAN

2nd Submittal Date: 05/14/2021

N:\proj\12c\12c.dwg Drawing: 03 Planning\Sheets - Planning\Submittal\landscaping\pdp_12c\12c.dwg (L) OVERALL PLAN\A-PDP-12.dwg - SHEET: SITE C - May 12, 2021 1:51 PM Indiana



1 PDP 12C SITE A & B STREET TREE / LAYOUT PLAN

ELEVATION DATUM: NAVD 88

PLANTING LEGEND

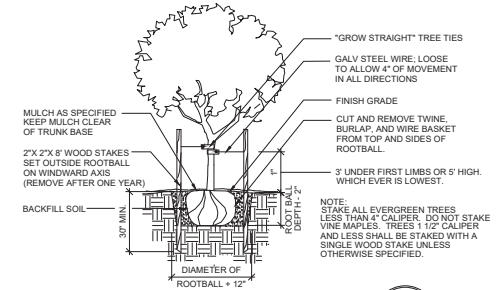
STREET TREES

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	3	URBANITE ASH / FRAXINUS PENNSYLVANICA 'URBANITE'	2 1/2" CAL. B&B, 25' O.C.
	4	ARMSTRONG RED MAPLE / ACER X FREEMANII 'ARMSTRONG'	2 1/2" CAL., B&B, 25' O.C.
	5	REDSPIRE PEAR / PYRUS CALLERYANA 'REDSPIRE'	2 1/2" CAL., B&B, 25' O.C.
	2	VILLAGE GREEN ZELKOVA / ZELKOVA SERRATA 'VILLAGE GREEN'	2" CAL., B&B, 25' O.C.

LAWN-STREET TREES

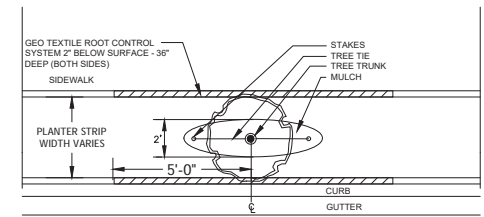
SYMBOL	SIZE AND DESCRIPTION
	LAWN (SEEDED) PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. RATE 8 LBS/1000 SQUARE FEET.

NOTE: FOR GENERAL PLANT LEGEND, DETAILS AND NOTES SEE SHEET L2



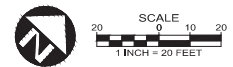
TREE STAKING DETAIL

SCALE: N.T.S.



TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S.



Villebois

C2K
ARCHITECTURE

POD
PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR
97223
(T) 503-941-9484
GEODESIGN, INC

REVISIONS	DESCRIPTION
DATE	DESCRIPTION

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Final
Development
Plan

STREET TREE
LAYOUT
PLANTING
PLAN

2nd Submittal Date: 05/14/2021

L1

PHASE 12 CENTRAL VILLEBOIS VILLAGE MIXED-USE FINAL DEVELOPMENT PLAN

TL 2100, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SECTION 15 W.M.
CITY OF WILSONVILLE, OREGON

APPLICANT:

COSTA PACIFIC
14350 SE INDUSTRIAL WAY
CLACKAMAS, OR 97015
[P] 503-314-8014
CONTACT: RUDY KADLUB

PLANNER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: STACY CONNERY, AICP

CIVIL ENGINEER:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: JAKI HUNT, PE

SURVEYOR:

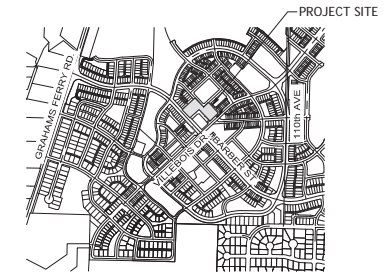
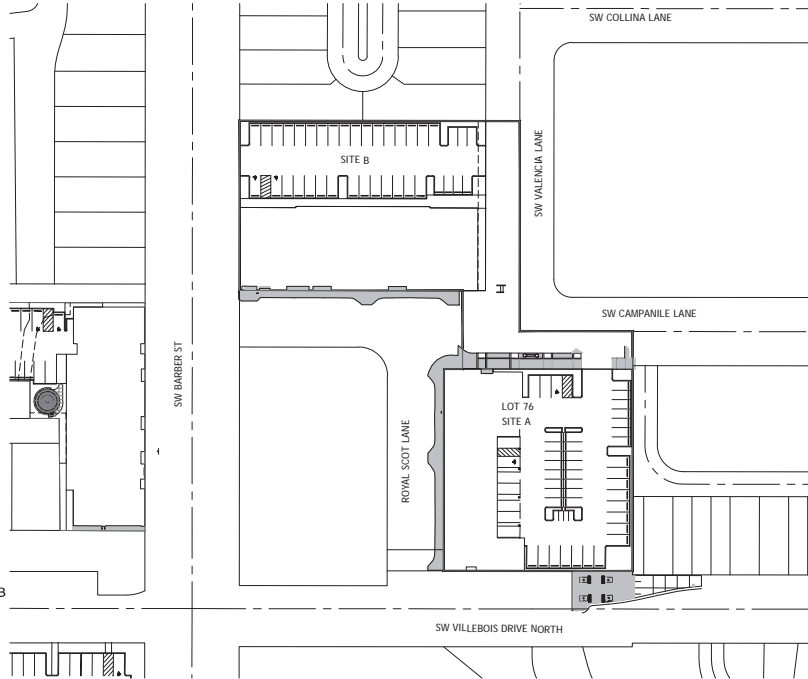
PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: TRAVIS JANSEN, PLS, PE

LANDSCAPE ARCHITECT:

PACIFIC COMMUNITY DESIGN, INC
12564 SW MAIN STREET
TIGARD, OR 97223
[P] 503-941-9484
CONTACT: KERRY LANKFORD, RLA, CLARB

GEOTECHNICAL ENGINEER:

GEODESIGN, INC.
703 BROADWAY ST., STE 650
VANCOUVER, WA 98660
[P] 503-968-8787
CONTACT: SCOTT MCDEVITT, PE



VICINITY MAP

UTILITIES & SERVICES:

WATER:	CITY OF WILSONVILLE
STORM:	CITY OF WILSONVILLE
SEWER:	CITY OF WILSONVILLE
POWER:	PORTLAND GENERAL ELECTRIC
GAS:	NORTHWEST NATURAL
FIRE:	TUALATIN VALLEY FIRE & RESCUE
POLICE:	CLACKAMAS COUNTY SHERIFF
SCHOOL:	WEST LINN / WILSONVILLE SCHOOL DISTRICT 3JT
PARKS:	CITY OF WILSONVILLE
PHONE:	FRONTIER
WASTE DISPOSAL:	REPUBLIC SERVICES
CABLE:	COMCAST

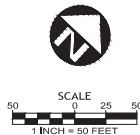
BENCHMARK:

OREGON STATE PLANE COORDINATE 5818 LOCATED IN MONUMENT BOX IN CENTERLINE OF TOOZE ROAD .2 MILES WEST OF 110TH.

ELEVATION DATUM: NAVD 88, ELEVATION = 202.991

SHEET INDEX:

- 1 COVER SHEET
- 2 UNIT SITE PLAN
- 3 PRELIMINARY PARKING PLAN
- L1 STREET TREE LAYOUT PLANTING PLAN
- L2 PLANTING LEGEND DETAILS & NOTES
- L3 DETAILS
- L4 DETAILS
- L5 DETAILS



ELEVATION DATUM: NAVD 88



REVISIONS	
DATE	DESCRIPTION

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

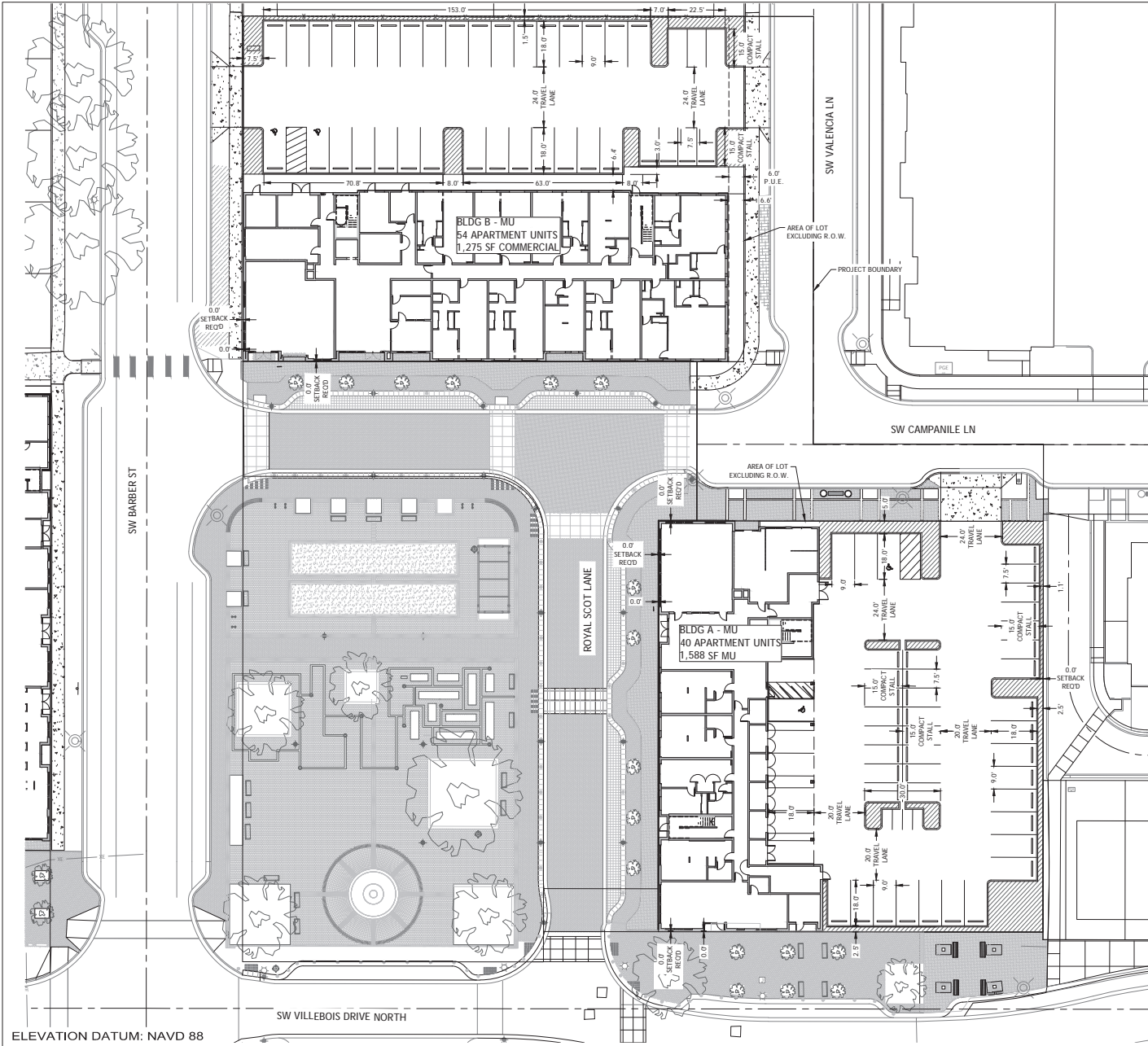
Final
Development
Plan

COVER
SHEET

2nd Submittal Date: 05/14/2021

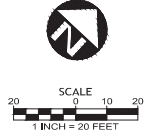
1

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ELEVATION DATUM: NAVD 88

LAND COVERAGE TABLE:	
TOTAL AREA:	1.40 AC
PUBLIC RIGHT-OF-WAY:	0.22 AC (15.7%)
LOT COVERAGE:	1.10 AC (78.6%)
LANDSCAPING AREA:	0.08 AC (5.7%)



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ARCHITECTURE

P&D
PACIFIC COMMUNITY DESIGN
12564 SW Main Street Tigard, OR
97223
(503) 941-9484
GEODESIGN, INC

REVISIONS
DATE DESCRIPTION

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

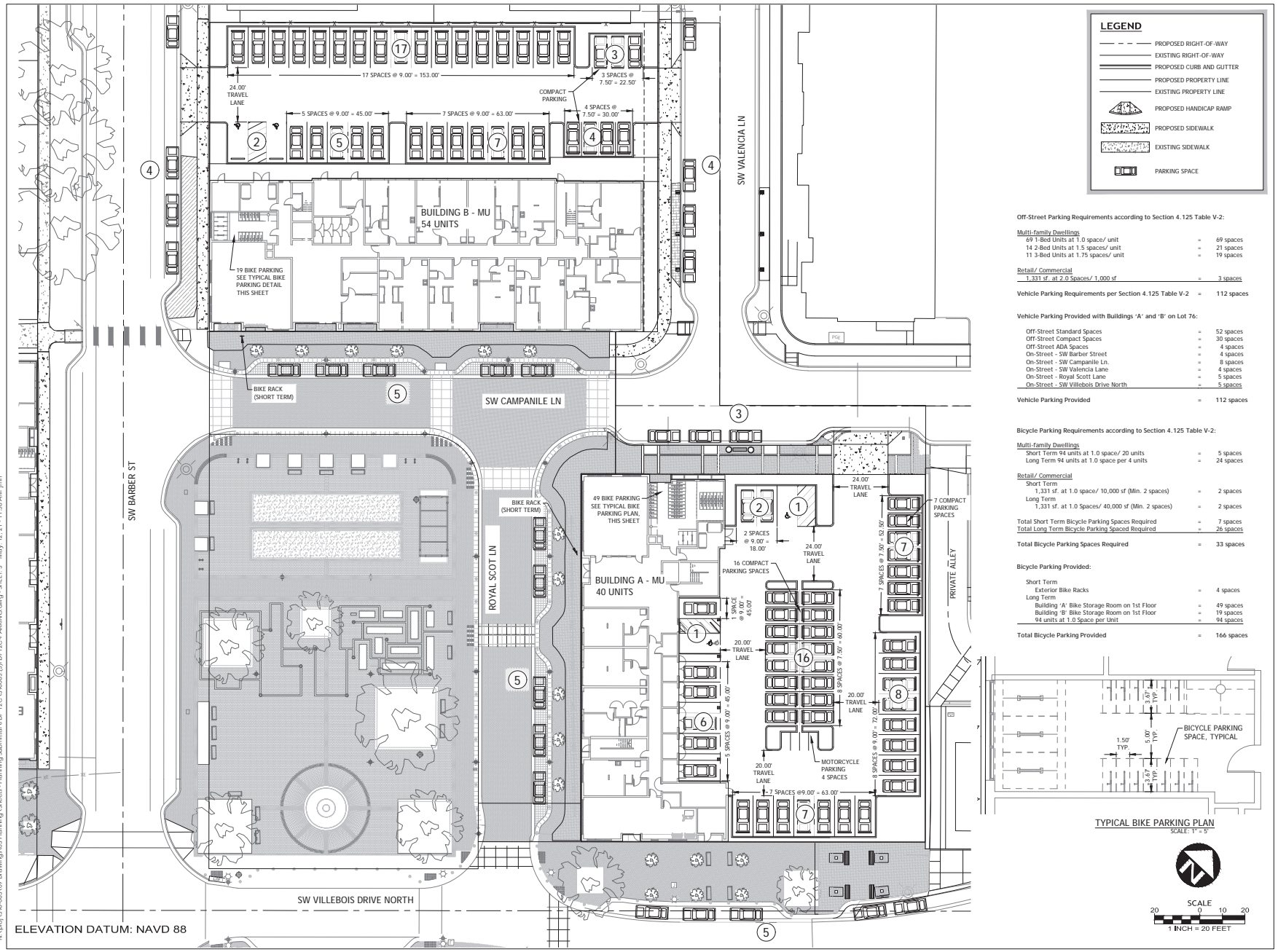
Final
Development
Plan

UNIT
SITE PLAN

2nd Submittal Date: 05/14/2021

2

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LEGEND

- PROPOSED RIGHT-OF-WAY
- EXISTING RIGHT-OF-WAY
- PROPOSED CURB AND GUTTER
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED HANDICAP RAMP
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- PARKING SPACE

Off-Street Parking Requirements according to Section 4.125 Table V-2:

Multi-Family Dwellings	
69 1-Bed Units at 1.0 space/ unit	= 69 spaces
14 2-Bed Units at 1.5 spaces/ unit	= 21 spaces
11 3-Bed Units at 1.75 spaces/ unit	= 19 spaces
Retail/ Commercial	
1,331 sf. at 2.0 Spaces/ 1,000 sf	= 3 spaces

Vehicle Parking Requirements per Section 4.125 Table V-2 = 112 spaces

Vehicle Parking Provided with Buildings 'A' and 'B' on Lot 76:

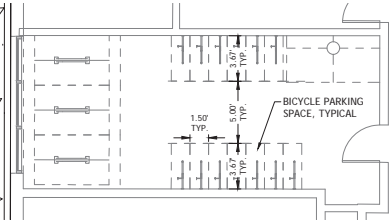
Off-Street Standard Spaces	= 52 spaces
Off-Street Compact Spaces	= 30 spaces
Off-Street ADA Spaces	= 4 spaces
On-Street - SW Barber Street	= 4 spaces
On-Street - SW Campanile Ln.	= 8 spaces
On-Street - SW Valenciana Lane	= 4 spaces
On-Street - Royal Scott Lane	= 5 spaces
On-Street - SW Villebois Drive North	= 5 spaces
Vehicle Parking Provided	= 112 spaces

Bicycle Parking Requirements according to Section 4.125 Table V-2:

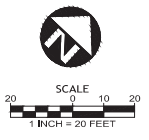
Multi-Family Dwellings	
Short Term 94 units at 1.0 space/ 20 units	= 5 spaces
Long Term 94 units at 1.0 space per 4 units	= 24 spaces
Retail/ Commercial	
Short Term	= 2 spaces
Long Term	= 2 spaces
1,331 sf. at 1.0 space/ 10,000 sf (Min. 2 spaces)	= 2 spaces
1,331 sf. at 1.0 Spaces/ 40,000 sf (Min. 2 spaces)	= 2 spaces
Total Short Term Bicycle Parking Spaces Required	= 7 spaces
Total Long Term Bicycle Parking Spaces Required	= 26 spaces
Total Bicycle Parking Spaces Required	= 33 spaces

Bicycle Parking Provided:

Short Term	= 4 spaces
Exterior Bike Racks	= 4 spaces
Long Term	= 49 spaces
Building 'A' Bike Storage Room on 1st Floor	= 19 spaces
Building 'B' Bike Storage Room on 1st Floor	= 94 spaces
94 units at 1.0 Space per Unit	= 94 spaces
Total Bicycle Parking Provided	= 166 spaces



TYPICAL BIKE PARKING PLAN
SCALE: 1" = 5'



REVISIONS

DATE	DESCRIPTION

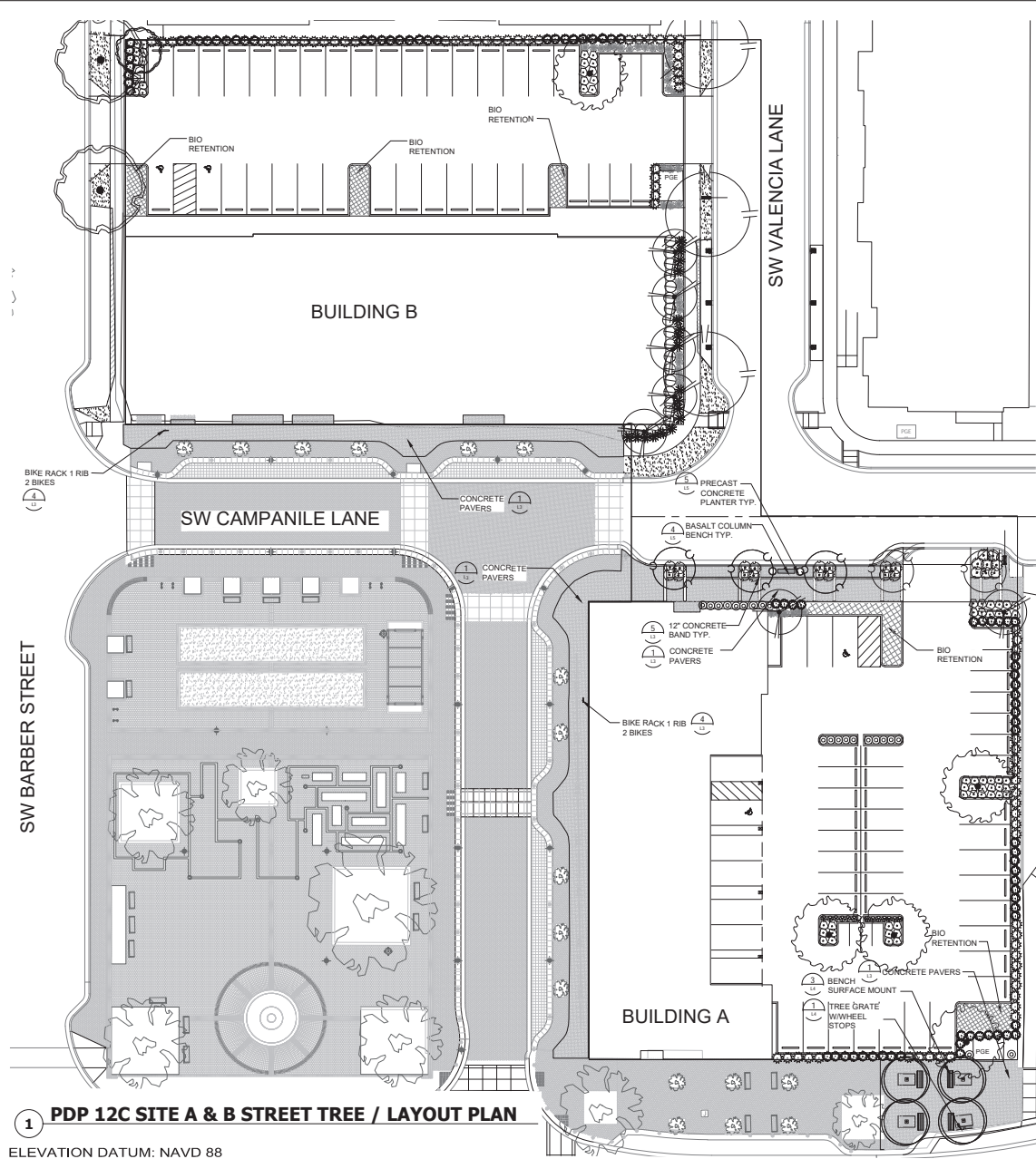
PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

Final
Development
Plan

PRELIMINARY
PARKING
PLAN

2nd Submittal Date: 05/14/2021

N:\proj\12c\12c.dwg Drawing: 03 Planning\Sheets - Planning\Submittal\landscaping\pdp_12c\12c.dwg (L) OVERALL PLAN\A-PDP-12.dwg - SHEET: SITE C - May 12, 21, 1:51 PM, Indiana



1 PDP 12C SITE A & B STREET TREE / LAYOUT PLAN

ELEVATION DATUM: NAVD 88

PLANTING LEGEND

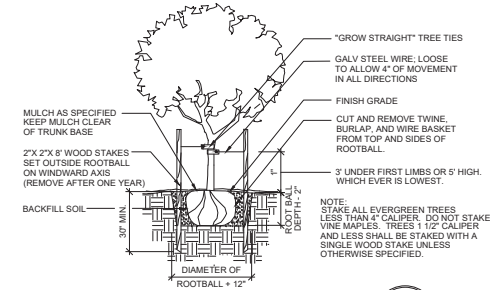
STREET TREES

SYMBOL	QUANTITY	COMMON NAME / BOTANICAL NAME	SIZE AND DESCRIPTION
	3	URBANITE ASH / FRAXINUS PENNSYLVANICA 'URBANITE'	2 1/2" CAL. B&B, 25' O.C.
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	5	REDSPIRE PEAR / PYRUS CALLERYANA 'REDSPIRE'	2 1/2" CAL., B&B, 25' O.C.
	2	VILLAGE GREEN ZELKOVA / ZELKOVA SERRATA 'VILLAGE GREEN'	2" CAL., B&B, 25' O.C.

LAWN-STREET TREES

SYMBOL	SIZE AND DESCRIPTION
	LAWN (SEEDED) PRO-TIME 309 (SUPREME MIX) GRASS SEED BY HOBBS AND HOPKINS, LTD. RATE 8 LBS/1000 SQUARE FEET.

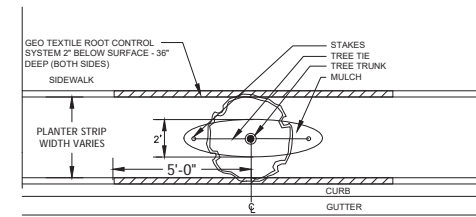
NOTE: FOR GENERAL PLANT LEGEND, DETAILS AND NOTES SEE SHEET L2



TREE STAKING DETAIL

SCALE: N.T.S.

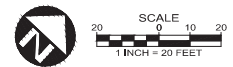
1
L1



TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY

SCALE: N.T.S.

2
L1



Villebois

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PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR
97223
(T) 503-941-9484
GEODESIGN, INC

REVISIONS
DATE DESCRIPTION

PDP 12C
VILLEBOIS VILLAGE
MIXED-USE

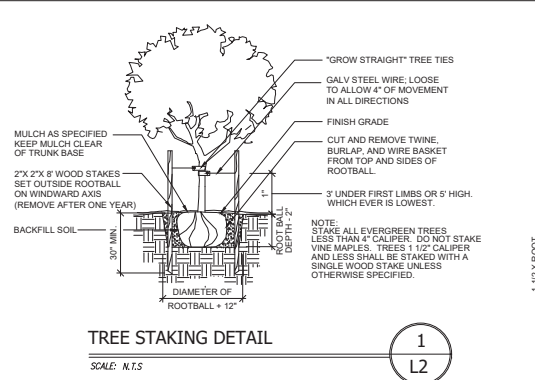
Final
Development
Plan

STREET TREE
LAYOUT
PLANTING
PLAN

2nd Submittal Date: 05/14/2021

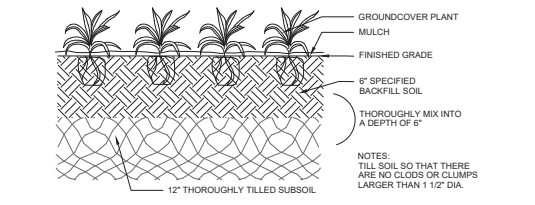
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TREE STAKING DETAIL
SCALE: N.T.S.

1
L2



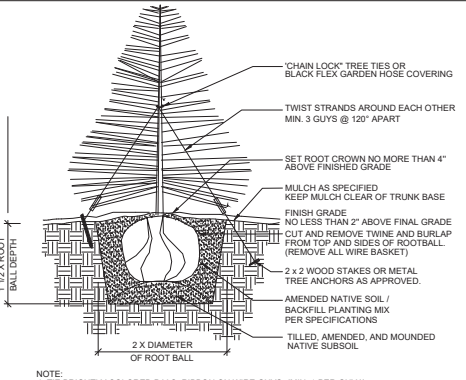
GROUND COVER PLANTING DETAIL
SCALE: N.T.S.

4
L2

GENERAL NOTES: LANDSCAPE PLAN

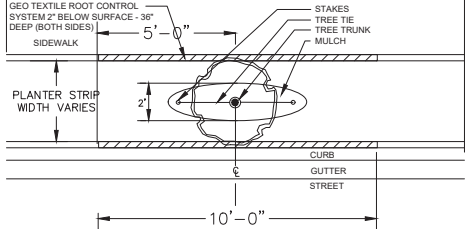
1. THE CONTRACTOR SHALL VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
3. CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO ODR.
4. ALL PLANT MASSES TO BE CONTAINED WITHIN A BARK MULCH BED, UNLESS NOTED OTHERWISE.
5. BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
6. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
7. CONTRACTOR TO FINE GRADE AND ROCK-HOLD ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
8. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE-OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT TAG AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GRAPHIC SYMBOL QUANTITY SHALL GOVERN.
9. COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
10. WITH THE EXCEPTION OF THOSE TREES INDICATED ON THE TREE REMOVAL PLAN, CONTRACTOR SHALL NOT REMOVE ANY TREES DURING CONSTRUCTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ODR. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AS DIRECTED BY THE ODR.
11. WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY ODR TO ADJUST TREE LOCATIONS.
12. LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN NOTIFICATION TO THE ODR. MAINTAIN TREES, SHRUBS, LAWNS AND OTHER PLANTS UNTIL FINAL ACCEPTANCE OR 90 DAYS AFTER NOTIFICATION AND ACCEPTANCE, WHICHEVER IS LONGER.
13. REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER PER THE RECOMMENDATIONS OF THE SOIL ANALYSIS FROM THE SITE.
14. BACK FILL MATERIAL FOR TREE AND SHRUB PLANTING SHALL CONTAIN ONE PART FINE GRADE COMPOST TO ONE PART TOPSOIL BY VOLUME, BONE MEAL PER MANUFACTURER'S RECOMMENDATION, AND SLOW RELEASE FERTILIZER PER MANUFACTURER'S RECOMMENDATION.
15. GROUND COVERS AND PERENNIALS SHALL BE PLANTED WITH A MAXIMUM 2 INCH COVER OF BARK MULCH WITH NO FOLIAGE COVERED.
16. CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AT NO COST TO THE OWNER. THESE ITEMS MAY BE REQUIRED TO BE REPLACED WITH PLANT MATERIALS THAT ARE IN COMPLIANCE WITH THE DRAWINGS.
17. ALL PLANT MATERIALS SHALL BE NURSERY GROWN WITH HEALTHY ROOT SYSTEMS AND FULL BRANCHING, DISEASE AND INSECT FREE AND WITHOUT DEFECTS SUCH AS SUN SCALD, ABRASIONS, INJURIES AND DISFIGUREMENT.
18. ALL PLANT MATERIAL SHALL BE INSTALLED AT THE SIZE AND QUANTITY SPECIFIED. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR SUB-STANDARD RESULTS CAUSED BY REDUCTION IN SIZE AND/OR QUANTITY OF PLANT MATERIALS.
19. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.

ELEVATION DATUM: NAVD 88



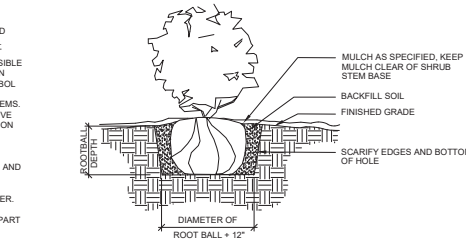
CONIFER TREE GUYING DETAIL
SCALE: N.T.S.

2
L2



TREE PLANTER AND BARRIER DETAIL FOR TREES WITHIN RIGHT OF WAY
SCALE: N.T.S.

5
L2



SHRUB PLANTING DETAIL
SCALE: N.T.S.

3
L2

PLANTING LEGEND

TREES

SYMBOL	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION
	GREENSPIRE LINDEN / TILIA CORDATA 'GREENSPIRE': 2" CAL., B&B
	CHINESE KOUSA DOGWOOD / CORNUS KOUSA CHINENSIS: 2" CAL.
	CHINESE REDBUD / CERCIIS CHINENSIS: 2" CAL., B&B

SHRUBS

SYMBOL	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION
	EMERALD ARBORVITAE / THUJA OCCIDENTALIS 'EMERALD': 6" HT., B&B
	DOUBIFILE VIBURNUM / VIBURNUM P. TOMENTOSUM: 2 GAL.
	WICHTA BLUE JUNIPER / JUNIPERUS SCOPULORUM 'WICHTA': 6" HT., B&B
	DAVID VIBURNUM / VIBURNUM DAVIDI: 2 GAL.
	KELSEY REDOSIER DOGWOOD / CORNUS V. SERICEA 'KELSEY': 2 GAL.
	RHODODENDRON 'JEAN MARIE DE MONTEJUE': 3 GAL.
	ANTHONY WATERER SPIREA / SPIREA BUMALDA 'ANTHONY WATERER': 2 GAL.

ORNAMENTAL GRASS

SYMBOL	COMMON NAME / BOTANICAL NAME: SIZE AND DESCRIPTION
	DWARF FOUNTAIN GRASS PENNisetum ALOPECUROIDES 'HAMELYN': 2 GAL.
	FOERSTER FEATHER REED GRASS / CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER': 1 GAL.
	DWARF VARIEGATED MAIDEN GRASS MISCANTHUS SINENSIS 'DIXIELAND': 2 GAL.

NOTE:
1. LANDSCAPE AREAS WILL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY CONTRACTOR. CONTRACTOR WILL PROVIDE MATERIALS AND INSTALL ALL IRRIGATION DOWNSTREAM OF THE WATER METER.
2. DO NOT PROVIDE IRRIGATION WITHIN THE EXISTING TREES TO REMAIN DRIPLINE.

BIORETENTION CELL PLANTING LEGEND

QUANTITIES PER CITY OF WILSONVILLE STANDARDS
CALCULATE PER 100 SF OF FACILITY AREA

MOISTURE ZONE (S): 115 HERBACEOUS PLANTS

MOISTURE ZONE (A): 3 LARGE SHRUBS/SMALL TREES,
4 SMALL SHRUBS,
AND 115 GROUND COVER PLANTS

MOISTURE ZONE (B): 1 TREE,
3 LARGE SHRUBS,
4 SMALL SHRUBS,
AND 115 GROUND COVER PLANTS

MOISTURE ZONE (C & D): 115 SEDUMS,
AND HERBACEOUS PLANTS

ALL PLANTING PLANS MUST HAVE A MINIMUM OF 50% EVERGREEN PLANTS AND AT LEAST TWO SPECIES FROM THE HERBACEOUS AND SMALL SHRUBS/GROUND COVER PLANT COMMUNITIES.

MOISTURE ZONE (A)

SYMBOL	COMMON NAME / Botanical name:	Size and Description
	WEEPING ALASKAN CEDAR / Chamaecyparis nootkatensis 'Pendula':	7-8' HL, B&B
	PACIFIC DOGWOOD / Cornus nuttallii:	2" Cal, B&B
	NOOTKA ROSE / Rosa nutkana:	#1 CONTAINER
	RED TWIG DOGWOOD / Cornus sericea:	#1 CONTAINER
	KELSEY DOGWOOD / Cornus sericea 'Kelsey':	#1 CONTAINER
	SNOWBERRY / Symphoricarpos alba:	#1 CONTAINER

MOISTURE ZONE (S): (4" PLUGS @ 12" O.C.)

	SLOUGH SEDGE / Carex obovata:	34%
	SOFT RUSH / Juncus tenuis:	33%
	SMALL FRUITED BULRUSH / Scirpus microcarpus:	33%

WATER USAGE

HIGH WATER USAGE AREAS: 0 SF
MODERATE WATER USAGE AREAS: LAWN 794 SF
SHRUBS/TREES 2,980SF
LOW WATER USAGE AREAS: BIORETENTION CELLS 770 SF

Villebois

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ARCHITECTURE

POD
PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR
97223
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GEODESIGN, INC

REVISIONS
DATE DESCRIPTION

PDP 13C
VILLEBOIS VILLAGE
MIXED-USE

Final
Development
Plan

**PLANTING LEGEND
DETAILS & NOTES**

2nd Submittal Date: 05/14/2021

L2

Willamette Graystone
Aqua-Bric®
Better Selection. Family Owned.

HIGHLIGHTS/RECOMMENDED USE
PARKS, WALKWAYS, DRIVEWAYS, SIDEWALKS & ADA COMPLIANT OPENINGS

Aqua-Bric® is a precast, fibrous concrete paver, and when installed using the environmentally sound Bio Aquatic System (BAS™) provides a permeable solution for storm water management. The Aqua-Bric® paver is a superior choice for projects where function and design blend to create exceptional, usable space.

Product Information
 Aqua-Bric® comes in two sizes:
 - 6" x 10" x 60mm (Standard)
 - 6" x 10" x 60mm (ADA Compliant)
 Each layer contains 8 full pieces (8 full pieces per square yard)

Bedding Information
 - 6" layer of Type No. 8 aggregate
 - 2" layer of Type No. 57 stone
 - 4" of 3/4" minus compacted, crushed rock under band
 - Compacted subgrade

Water Information
 - 1.25" scheduled 40 steel pipe, 18"W x 32"H
 - 1.25" scheduled 40 steel pipe, 18"W x 32"H

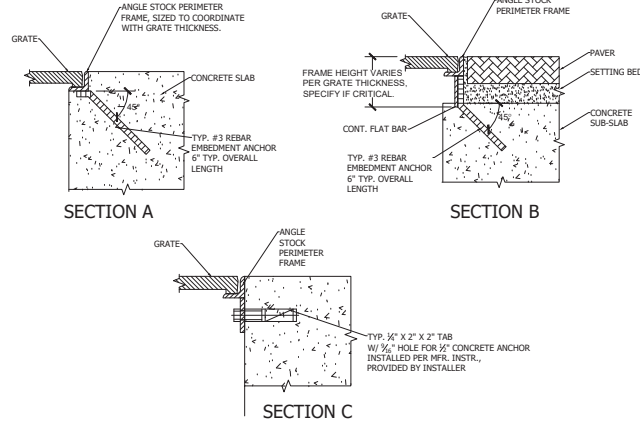
Color Options: Autumn Blend, Century, Herringbone, Modified Basketweave, Running Bond, Sidewalk Area, Stack Bond, Basketweave, 45° Herringbone, 90° Herringbone, Stack Bond.

Manufacturer: Willamette Graystone
Model: Aquabric Permeable Concrete Paver
Color: Autumn Blend
Finish: Century
Size: 5' x 10' x 60mm - Herringbone Pattern

Willamette Graystone
Aqua-Bric®
Better Selection. Family Owned.

Paver Patterns: Running Bond, Basketweave, Sidewalk Area, 45° Herringbone, Modified Basketweave, 90° Herringbone, Stack Bond.

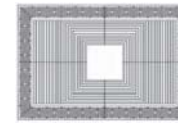
Manufacturer: Willamette Graystone
Model: Aquabric Permeable Concrete Paver
Color: Autumn Blend
Finish: Century
Size: 5' x 10' x 60mm - Herringbone Pattern



TREE GRATE EDGE CONDITIONS

SCALE: N.T.S.

6
L3



MANUFACTURER: URBAN ACCESSORIES
 MODEL: CHINOOK
 FINISH: CAST IRON
 SIZE: 4'x6'



SEE DETAIL 5 SHEET DL1.05 AND DETAIL 1 SHEET DL1.06 FOR TREE GRATE INFORMATION.

TREE GRATE

SCALE: N.T.S.

7
L3

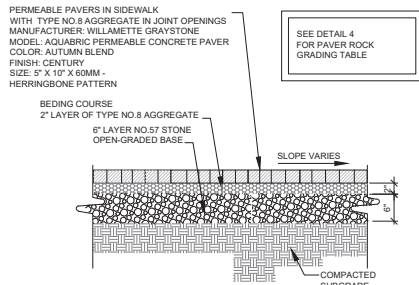
TREE GRATE SCHEDULE

LOCATION	QTY
PUBLIC STREET	5

AQUA - BRIC CUT SHEET

SCALE: N.T.S.

1
L3



SIDEWALK AREA- 60 MM PERMEABLE PAVES- AUTUMN BLEND

SCALE: N.T.S.

2
L3



CONCRETE UNIT PAVERS WITH HELL-PROOF POLYMERIC SAND JOINTS
 MANUFACTURER: WILLAMETTE GRAYSTONE
 MODEL: AQUABRIC PERMEABLE CONCRETE
 COLOR: AUTUMN BLEND
 FINISH: CENTURY
 SIZE: 5' X 10' X 60MM - HERRINGBONE PATTERN

PAVERS

ELEVATION DATUM: NAVD 88

3
L3

PAVER PATTERNS

SCALE: N.T.S.

4
L3



MANUFACTURER: FUNCTION FIRST BIKE SECURITY
 MODEL: THE BIKE RIB
 MATERIAL: STEEL PIPE
 FINISH: BLACK AND POWDERCOATED
 SIZE: 1.25" SCHEDULED 40 STEEL PIPE, 18"W x 32"H

BIKE RACK

SCALE: N.T.S.

4
L5



6" TO 12" WIDE LIGHT BROOM FINISH CONCRETE BAND SEE DETAIL 2 SHEET DL1.01

PAVER CONCRETE BAND

SCALE: N.T.S.

5
L3

SEE DETAIL 7 SHEET DL1.01 FOR CONCRETE BAND IMAGE

6" TO 12" WIDE X 4" D- CONCRETE BAND LIGHT BROOM FINISH

4 BAR CONTINUOUS TYPICAL

VARIES

6" LAYER NO. 57 STONE OPEN-GRADED BASE

4" OF 3/4" MINUS COMPACTED, CRUSHED ROCK UNDER BAND

COMPACTED SUBGRADE

SET PAVERS 1/4" HIGHER THAN CONCRETE SIDEWALK

PERMEABLE PAVERS IN SIDEWALK AREAS WITH TYPE NO. 8 AGGREGATE IN JOINT OPENINGS

MANUFACTURER: WILLAMETTE GRAYSTONE

MODEL: AQUABRIC PERMEABLE CONCRETE PAVES

COLOR: AUTUMN BLEND

FINISH: CENTURY

SIZE: 5' X 10' X 60MM - HERRINGBONE PATTERN

2" LAYER OF TYPE NO. 8 AGGREGATE

6" TO 12" WIDE PLAZA CONCRETE BAND / CONCRETE PAVES

SCALE: N.T.S.

8
L3

Villebois
C2K ARCHITECTURE
P&D PACIFIC COMMUNITY DESIGN
12544 SW Main Street Tigard, OR 97223
(503) 941-9484
GEODESIGN, INC.

REVISIONS
DATE DESCRIPTION

PDP 12C VILLEBOIS VILLAGE MIXED-USE

Final Development Plan

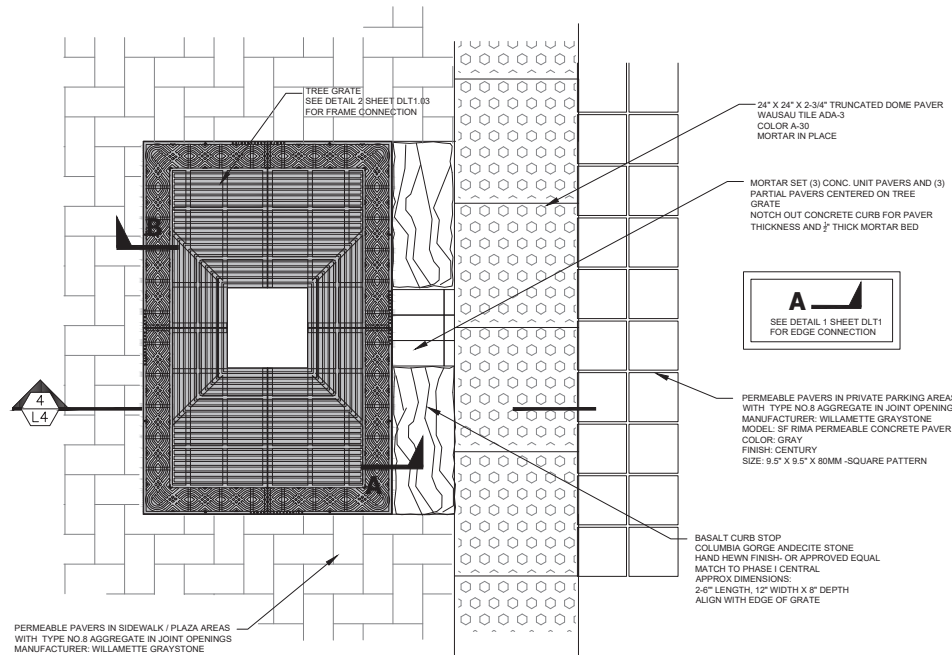
DETAILS

2nd Submittal Date: 05/14/2021

L3

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PUBLIC STREET TREE GRATE W/BASALT CURB-PLAN
SCALE: N.T.S.

BASALT CURB STOP SCHEDULE

LOCATION	LENGTH	WIDTH	DEPTH	QTY
PUBLIC STREET	2'-6"	12"	8"	4

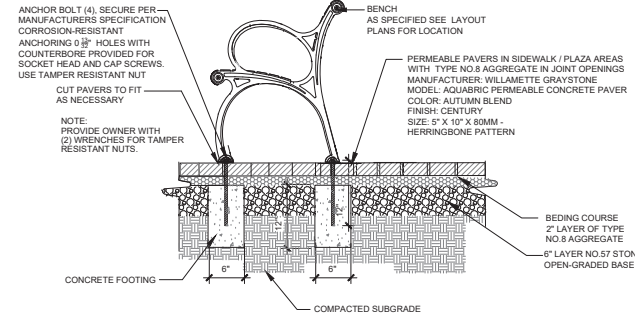


URBAN / GREENWAY BENCH
MANUFACTURER: LANDSCAPE FORMS
MODEL: THE PLANNELL SERIES
MATERIAL: METAL ALUMINUM SEAT
FINISH: BLACK POWDERCOATED
SIZE: 72" LENGTH

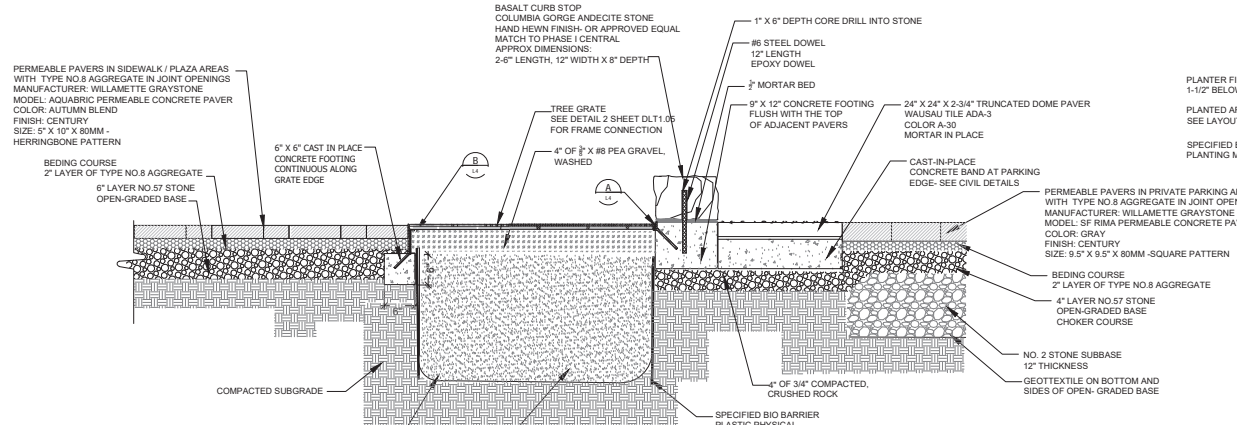
BENCH SCHEDULE

LOCATION	QTY
PUBLIC STREET	2

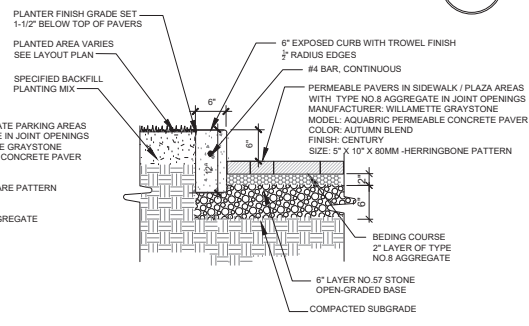
BENCH
SCALE: N.T.S.



BENCH / PAVER FOOTING
SCALE: N.T.S.



SECTION 3-3 PUBLIC STREET TREE GRATE W/BASALT CURB
SCALE: N.T.S.



6" EXPOSED CONCRETE CURB
SCALE: N.T.S.

ELEVATION DATUM: NAVD 88



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MIXED-USE

Final
Development
Plan

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2nd Submittal Date: 05/14/2021



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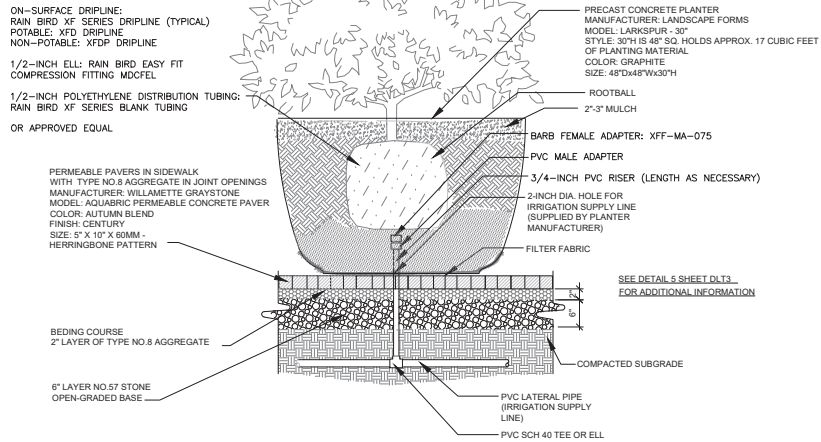
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SCALE: N.T.S.

1
L5

NOT USED

XXX
SCALE: N.T.S.

3
L5



XFD ON SURFACE DRIPLINE IN LANDSCAPE PLANTER

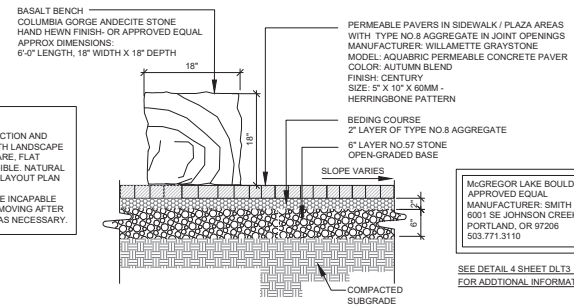
SCALE: N.T.S.

2
L5

SCALE: N.T.S.

BASALT BENCH / PLANTER SCHEDULE

TYPE	LOCATION	LENGTH	WIDTH	DEPTH	QTY
BOULDER	PUBLIC SIDEWALK	6'-0"	18"	18"	2
PLANTER	PLANTER				4



BASALT BENCH / PERMEABLE PAVER CONNECTION

SCALE: N.T.S.

6
L5



BASALT BENCH
COLUMBIA GORGE ANDECITE STONE
HAND HEWN FINISH- OR APPROVED EQUAL
APPROX DIMENSIONS:
6'-0" LENGTH, 18" WIDTH X 18" DEPTH

SEE DETAIL 6 SHEET DLT1 02 FOR ADDITIONAL INFORMATION

BASALT COLUMN BENCH

SCALE: N.T.S.

4
L5



PRECAST CONCRETE PLANTER
MANUFACTURER: LANDSCAPE FORMS
MODEL: LARKSPUR - 30"
STYLE: 30" IS 48" SQ. HOLDS APPROX. 17 CUBIC FEET OF PLANTING MATERIAL
COLOR: GRAPHITE
SIZE: 48"Dx48"Wx30"H

SEE DETAIL 2 SHEET DLT3 FOR IRRIGATION CONNECTION

PRECAST CONCRETE PLANTER

SCALE: N.T.S.

5
L5



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DETAILS

2nd Submittal Date: 05/14/2021

L5

ELEVATION DATUM: NAVD 88

VILLEBOIS VILLAGE CENTER APARTMENTS - LOT 76, BUILDINGS A & B

WILSONVILLE, OR
RESIDENTIAL MIXED-USE DEVELOPMENT



BUILDING A



BUILDING B

PROJECT DIRECTORY

OWNER

COSTA PACIFIC COMMUNITIES
1435 SE INDUSTRIAL WAY
CLACKAMAS, OR 97015
CONTACT: RUDY KAGLIS

ARCHITECT

CDK ARCHITECTURE INC.
1645 NW HOYT ST
PORTLAND, OREGON 97209
P. 503.444.2200
CONTACT: JOHN WRIGHT

CIVILLANDSCAPE

PACIFIC COMMUNITY DESIGN
12564 SW MAIN STREET
TIGARD, OR 97223
P. 503.828.5097
CONTACT: STACY CONNERY

BUILDING A AND B OVERVIEW

WE ARE PROPOSING 2 NEW BUILDINGS ON LOT 76, WHICH IS CURRENTLY VACANT. LOT 76 WRAPS TWO EDGES OF THE PLAZA AT VILLEBOIS ACROSS SW ROYAL SCOT LN AND SW CAMPANILE LN. THE TOTAL LOT SIZE IS APPROX. 1.15 ACRES AND INCLUDES THE CONNECTION OF BOTH SW CAMPANILE LN AND SW VALENCIA LN TO THE PLAZA.

BUILDING A IS LOCATED ON THE SOUTHWEST CORNER OF SW CAMPANILE LN AND SW ROYAL SCOT LN. THE PROPOSED 4-STORY WOOD-FRAMED APARTMENT BUILDING CONSISTS OF 48 TOTAL RESIDENTIAL UNITS INCLUDING 3 LIVABLE UNITS, A FITNESS ROOM, PRIVATE COMMUNITY ROOM AND GRADE-LEVEL PARKING. THE TOTAL BUILDING AREA IS APPROX 38,500 SF.

BUILDING B IS LOCATED ON THE NORTHEAST CORNER OF SW CAMPANILE LN AND SW BARBER ST. BUILDING B IS A 4-STORY WOOD-FRAMED APARTMENT BUILDING PROVIDING 54 TOTAL RESIDENTIAL UNITS AND GRADE-LEVEL PARKING. BUILDING B INCLUDES THE LEASING OFFICE FOR THE PROJECT AND APPROX 1,500 SF RETAIL ALONG THE STREET CORNER AT SW BARBER ST AND SW CAMPANILE LN. THE TOTAL BUILDING AREA IS APPROX 60,600 SF.

SEE SEPARATE LUR APPLICATION PACKAGE FOR BLDG C, WHICH IS INCLUDED WITHIN THIS PROPOSED PROJECT.

BUILDING A AND B SUMMARY

INCLUDES RELATED OFFICE APPOINTMENTS

Item	Quantity	Unit	Material	Notes
Concrete	10,000	cu yd	4000	
Rebar	100,000	lb	60	
Formwork	10,000	sq ft	10	

Item	Quantity	Unit	Material	Notes
Steel Decking	10,000	sq ft	10	
Formwork	10,000	sq ft	10	
Rebar	100,000	lb	60	

Item	Quantity	Unit	Material	Notes
Concrete	10,000	cu yd	4000	
Rebar	100,000	lb	60	
Formwork	10,000	sq ft	10	

Item	Quantity	Unit	Material	Notes
Steel Decking	10,000	sq ft	10	
Formwork	10,000	sq ft	10	
Rebar	100,000	lb	60	

Item	Quantity	Unit	Material	Notes
Concrete	10,000	cu yd	4000	
Rebar	100,000	lb	60	
Formwork	10,000	sq ft	10	

Item	Quantity	Unit	Material	Notes
Steel Decking	10,000	sq ft	10	
Formwork	10,000	sq ft	10	
Rebar	100,000	lb	60	

Item	Quantity	Unit	Material	Notes
Concrete	10,000	cu yd	4000	
Rebar	100,000	lb	60	
Formwork	10,000	sq ft	10	

Item	Quantity	Unit	Material	Notes
Steel Decking	10,000	sq ft	10	
Formwork	10,000	sq ft	10	
Rebar	100,000	lb	60	

DRAWING INDEX_BLDG A & B

Item	Description
A.001	COVER SHEET - BLDG A & B
A.121	MATERIALS BOARD - BLDG A & B
A.151	EXTERIOR VERTICAL ASSEMBLIES - BLDG A & B
A.201	ARCHITECTURAL SITE PLAN - BLDG A & B
A.211	BUILDING A LEVEL 1 PLAN
A.312	BUILDING A LEVEL 2-4 PLAN
A.313	BUILDING A ROOF PLAN
A.221	BUILDING B LEVEL 1 PLAN
A.322	BUILDING B LEVEL 2-4 PLAN
A.224	BUILDING B ROOF PLAN
A.225	BUILDING B UNIT PLANS
A.226	BLDG A & B UNIT PLANS
A.227	BLDG A & B UNIT PLANS
A.311	BUILDING A ELEVATIONS
A.312	BUILDING A ELEVATIONS
A.321	BUILDING B ELEVATIONS
A.322	BUILDING B ELEVATIONS
A.401	SIGNAGE PLAN - BLDG A & B
A.402	SIGNAGE PLAN - BLDG A & B
A.403	SIGNAGE PLAN - BLDG A & B
A.404	SIGNAGE PLAN - BLDG A & B
A.501	SITE LIGHTING PLAN - BLDG A & B

VICINITY MAP



C2K
ARCHITECTURE
1645 NW HOYT
PORTLAND OREGON 97209
503 444 2200

VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST
WILSONVILLE, OR

PROJECT NO.: 18115
DRAWN: Author
DATE: 14 MAY 2021
LAND USE REVIEW

REVISION: DESCRIPTION

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SHEET TITLE:
COVER SHEET - BLDG A & B

SHEET NO.:
A.001

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BUILDING A



BUILDING B

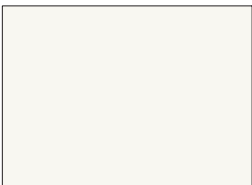
BRICK VENEER:
 ASPEN (MUTUAL MATERIALS)



FIBER CEMENT LAP SIDING AND REVEAL PANEL:
 SUNFLOWER ORANGE (SW 6678)



FIBER CEMENT REVEAL PANEL:
 WHITE (SW 7006)



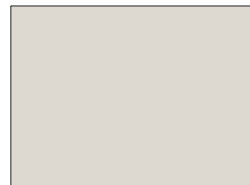
FIBER CEMENT LAP SIDING:
 PEPPERCORN (SW 7674)



BRICK VENEER:
 COAL CREEK (MUTUAL MATERIALS)



FIBER CEMENT LAP SIDING:
 DRIFT OF MIST (SW 9166)



FIBER CEMENT REVEAL PANEL:
 CAVIAR (SW 6990)



FIBER CEMENT REVEAL PANEL:
 GAUNTLET GRAY (SW 7019)



FIBER CEMENT REVEAL PANEL:
 IRON ORE (SW 7089)



**VILLEBOIS
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SHEET TITLE:
MATERIALS BOARD - BLDG A & B

SHEET NO.:
A.121

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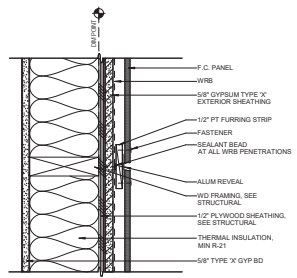
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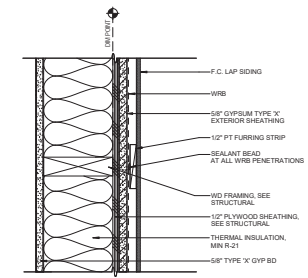
LAND USE REVIEW

SHEET TITLE:
**EXTERIOR VERTICAL ASSEMBLIES -
 BLDG A & B**

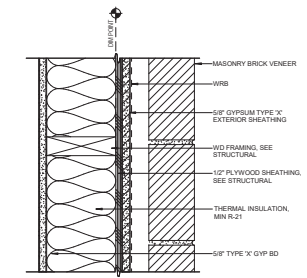
SHEET NO.:
A.151



03 - EXT - 1 HR F.C. REVEAL PANEL WALL - BLDG A & B
 3'
 11/8"



02 - EXT - 1 HR F.C. LAP SIDING WALL - BLDG A & B
 2'
 11/8"



01 - EXT - 1 HR BRICK VENEER WALL - BLDG A & B
 1'
 11/8"

ARCH SITE PLAN - GENERAL NOTES

- SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION. ARCHITECTURAL SITE PLAN FOR REFERENCE REGARDING ARCHITECTURAL DRAWINGS.

PHASED DEVELOPMENT PLAN

- TOTAL CONSTRUCTION TIME FOR BUILDINGS A, B, AND C IS ESTIMATED TO LAST BETWEEN 18 AND 19 MONTHS.
- BUILDING B WILL BE DELIVERED FIRST, FOLLOWED BY A, THEN BY C ALL ROUGHLY 1 MONTH APART.
- SITE WORK WILL BE COMPLETED DURING THE LAST 3-4 MONTHS OF CONSTRUCTION.

NOTE: SEE SEPARATE APPLICATION PACKAGE FOR BLDG C. BLDG C INFORMATION SHOWN HERE IS FOR REFERENCE ONLY.



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 PORTLAND OREGON 97209
 503 444 2200



VILLEBOIS VILLAGE CENTER

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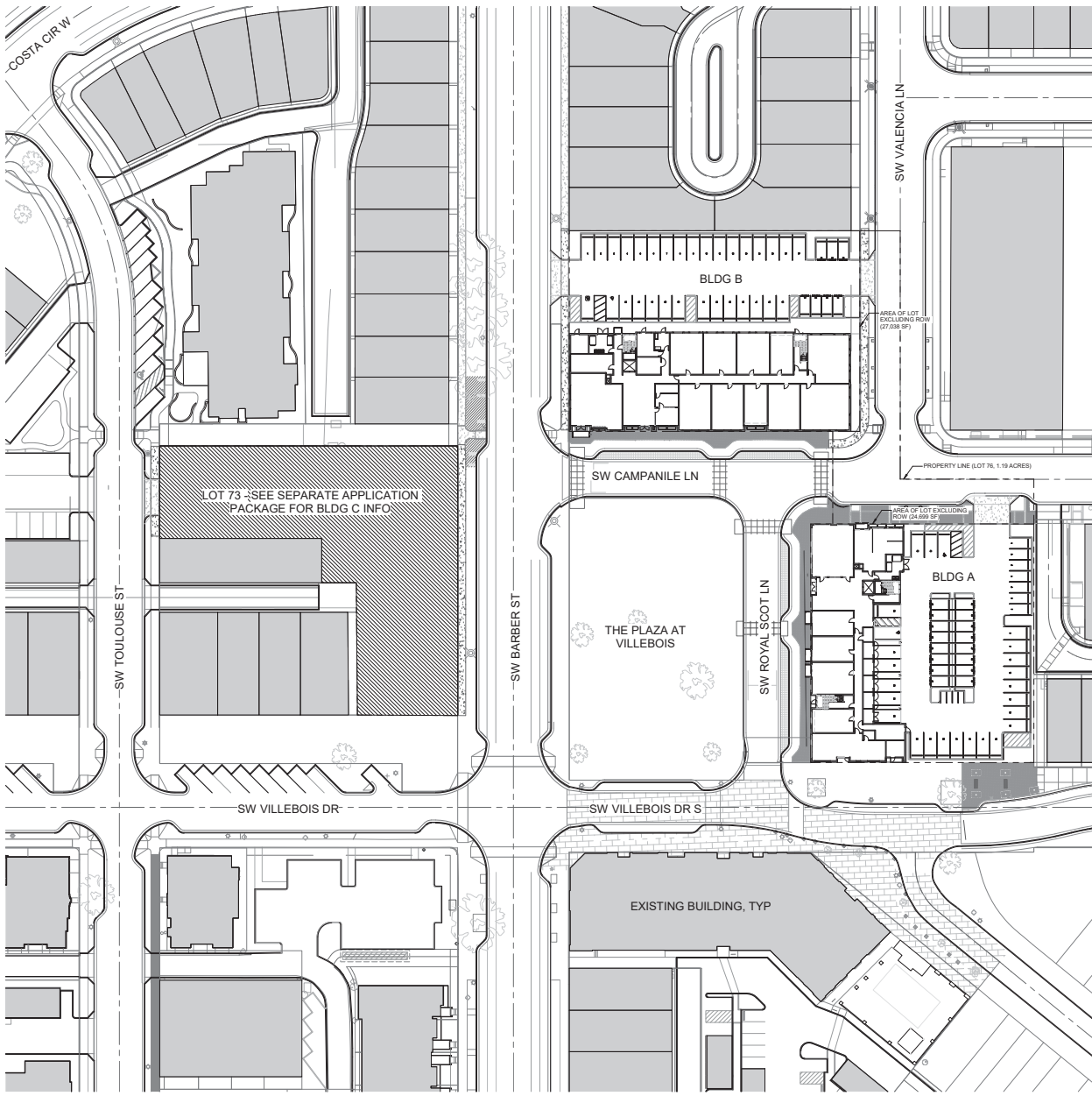
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SHEET TITLE:
 ARCHITECTURAL SITE PLAN - BLDG A & B

SHEET NO.:
A.201



1 SITE PLAN - BLDGS A & B
 1" = 32'-0"



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GENERAL NOTES - PLANS

1. ALL CORRIDOR AND DEMISING WALLS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM. ALL WALLS BETWEEN RETAIL SERVICES OR FUTURE RETALS AND OTHER BUILDING FUNCTIONS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM.
2. ALL STAIR, ELEVATOR, AND SHAFT WALLS TO HAVE A 2 HR FIRE RESISTANCE RATING.
3. ALL EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF 1 HR PER THE EXTERIOR VERTICAL ASSEMBLY SHEET.



**VILLEBOIS
 VILLAGE
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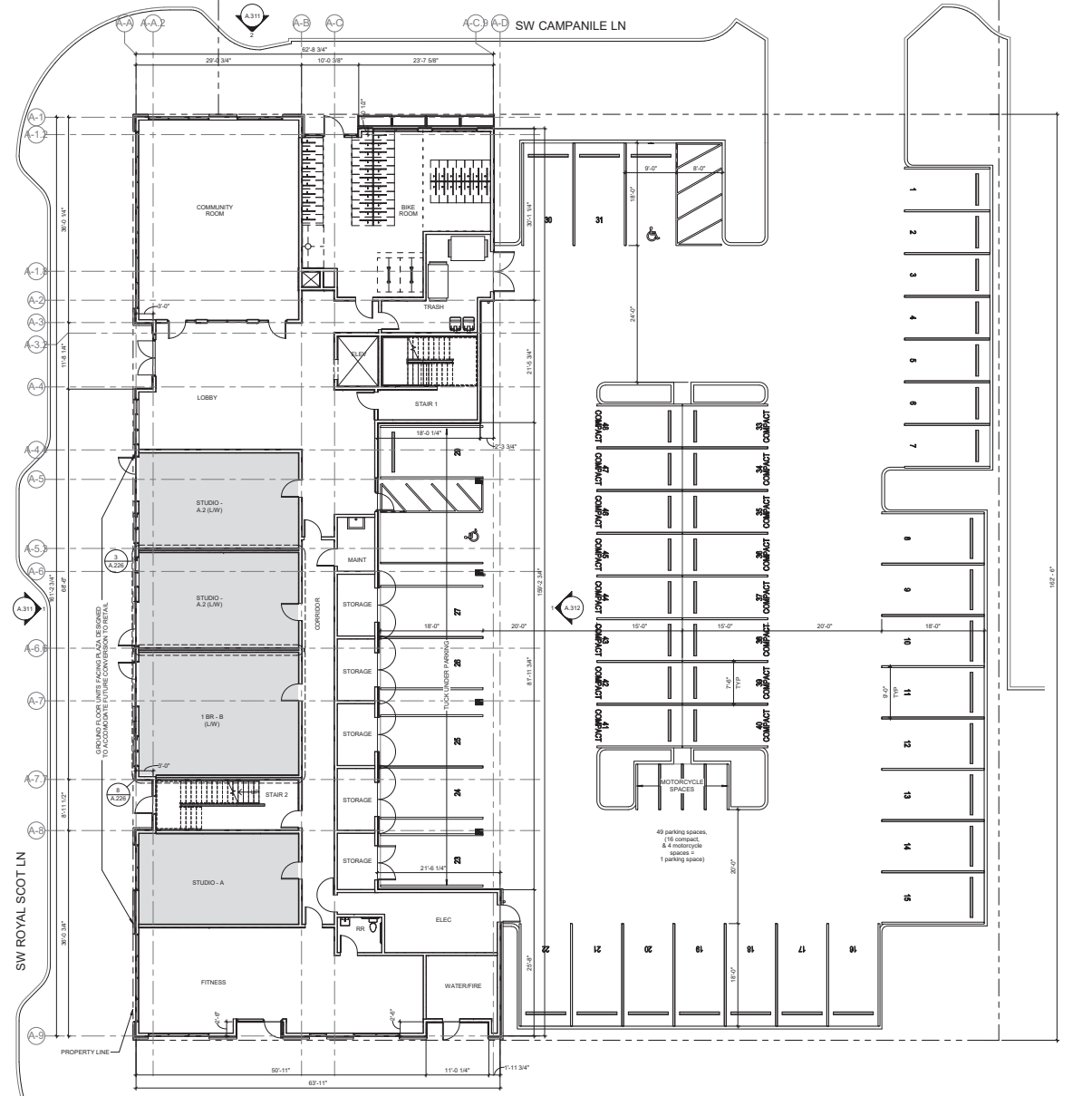
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LAND USE REVIEW

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SHEET TITLE:
BUILDING A LEVEL 1 PLAN

SHEET NO.:
A.211



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03/20/21 10:07 PM

11 BLDG A - LEVEL 1
 14' x 110'

GENERAL NOTES - PLANS

1. ALL CORRIDOR AND DEMISING WALLS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM. ALL WALLS BETWEEN RETAIL SERVICES OR FUTURE RETAILS AND OTHER BUILDING FUNCTIONS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM.
2. ALL STAIR, ELEVATOR, AND SHAFT WALLS TO HAVE A 2 HR FIRE RESISTANCE RATING.
3. ALL EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF 1 HR PER THE EXTERIOR VERTICAL ASSEMBLY SHEET.



**VILLEBOIS
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PROJECT NO.: 18115
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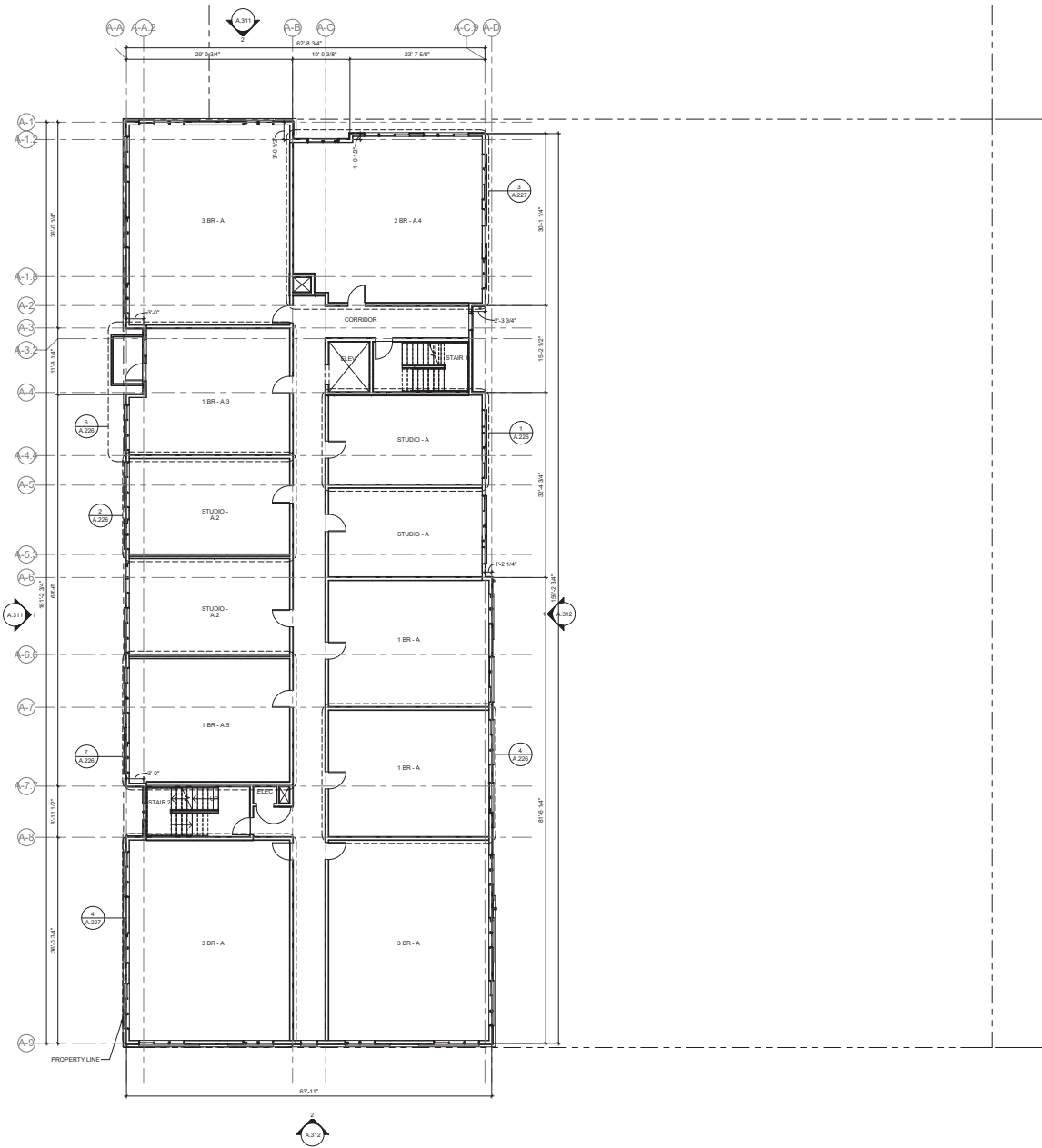
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SHEET TITLE:
BUILDING A LEVEL 2-4 PLAN

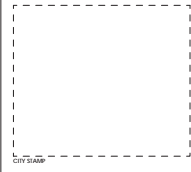
SHEET NO.:
A.212



GENERAL NOTES - ROOF PLAN

1. ROOF SLOPES ARE 1/2" / 12" MIN UON
2. PROVIDE ROOF CRICKETS AT ALL CURBS.

KEYNOTES - LUR ROOF PLAN	
1	ELEVATOR OVERRUN
2	ROOF DRAIN W/ DOWNSPOUT
3	WALKWAY PAD
4	THROUGH WALL SCUPPER
5	ROOF PATCH
6	GUTTER AND DOWNSPOUT



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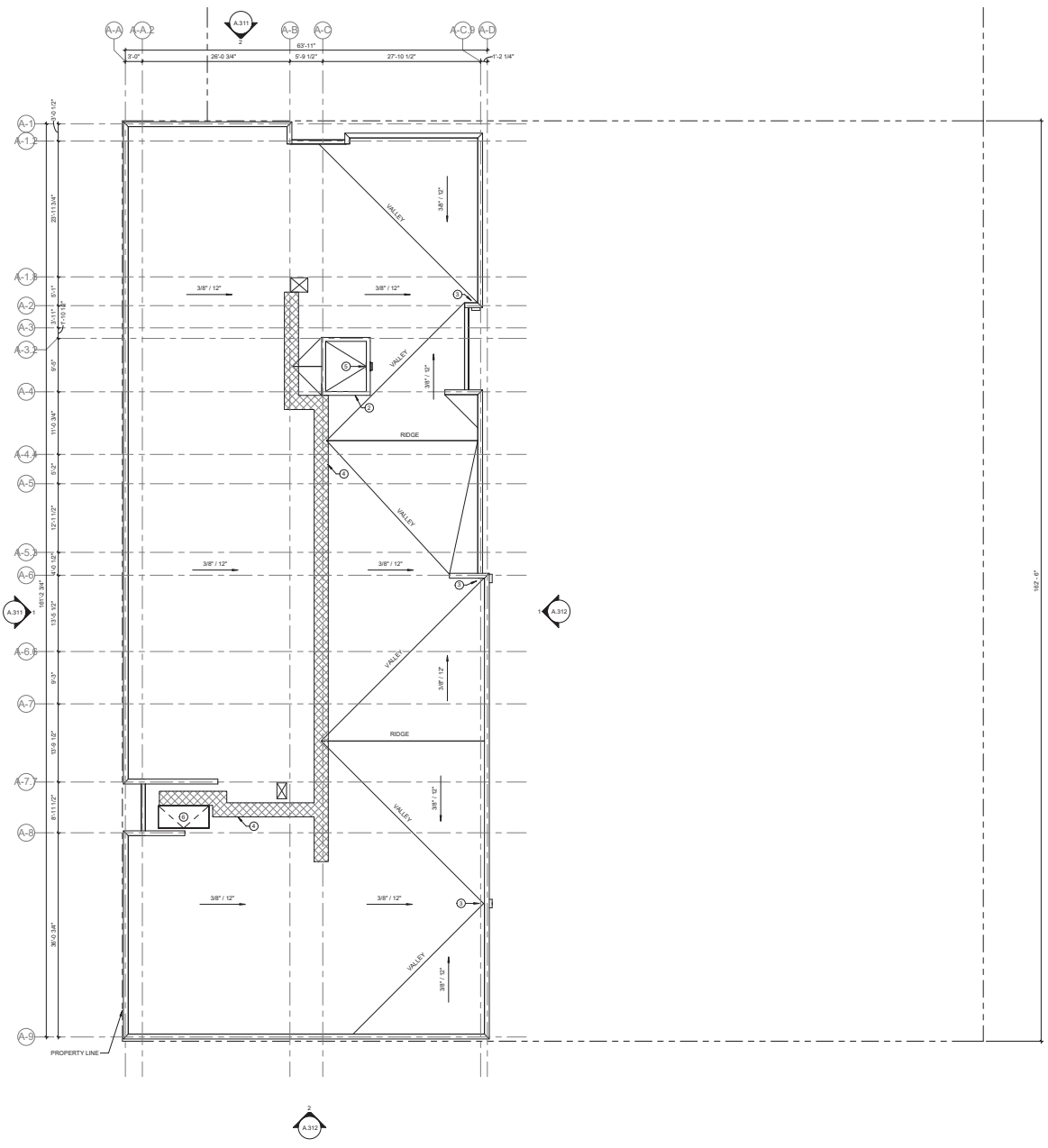
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**PRELIMINARY NOT
 FOR CONSTRUCTION**

LAND USE REVIEW

SHEET TITLE:
BUILDING A ROOF PLAN

SHEET NO.:
A.215



GENERAL NOTES - PLANS

1. ALL CORRIDOR AND DEMISING WALLS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM. ALL WALLS BETWEEN RETAIL SERVICES OR FUTURE RETAILS AND OTHER BUILDING FUNCTIONS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM.
2. ALL STAIR, ELEVATOR AND SHAFT WALLS TO HAVE A 2 HR FIRE RESISTANCE RATING.
3. ALL EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF 1 HR PER THE EXTERIOR VERTICAL ASSEMBLY SHEET.

**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
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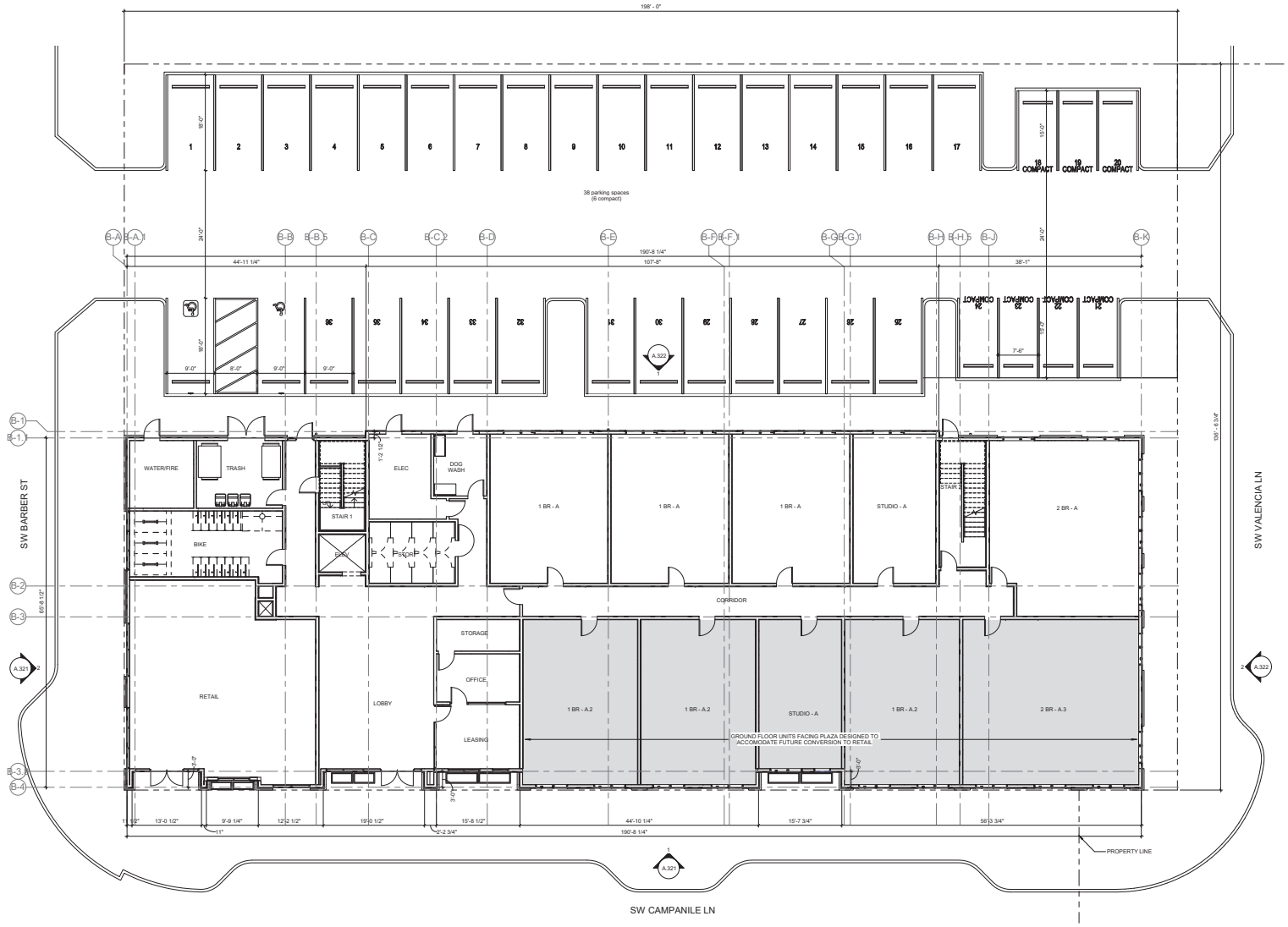
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LAND USE REVIEW

PRELIMINARY NOT
 FOR CONSTRUCTION

SHEET TITLE:
BUILDING B LEVEL 1 PLAN

SHEET NO.:
A.221



1 BLDG B - LEVEL 1
 1/2" = 1'-0"

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8/3/2021 10:12 PM

GENERAL NOTES - PLANS

1. ALL CORRIDOR AND DEMISING WALLS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM. ALL WALLS BETWEEN RETAIL SERVICES OR FUTURE RETAILS AND OTHER BUILDING FUNCTIONS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM.
2. ALL STAIR, ELEVATOR, AND SHAFT WALLS TO HAVE A 2 HR FIRE RESISTANCE RATING.
3. ALL EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF 1 HR PER THE EXTERIOR VERTICAL ASSEMBLY SHEET.



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PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
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REVISION: DESCRIPTION:

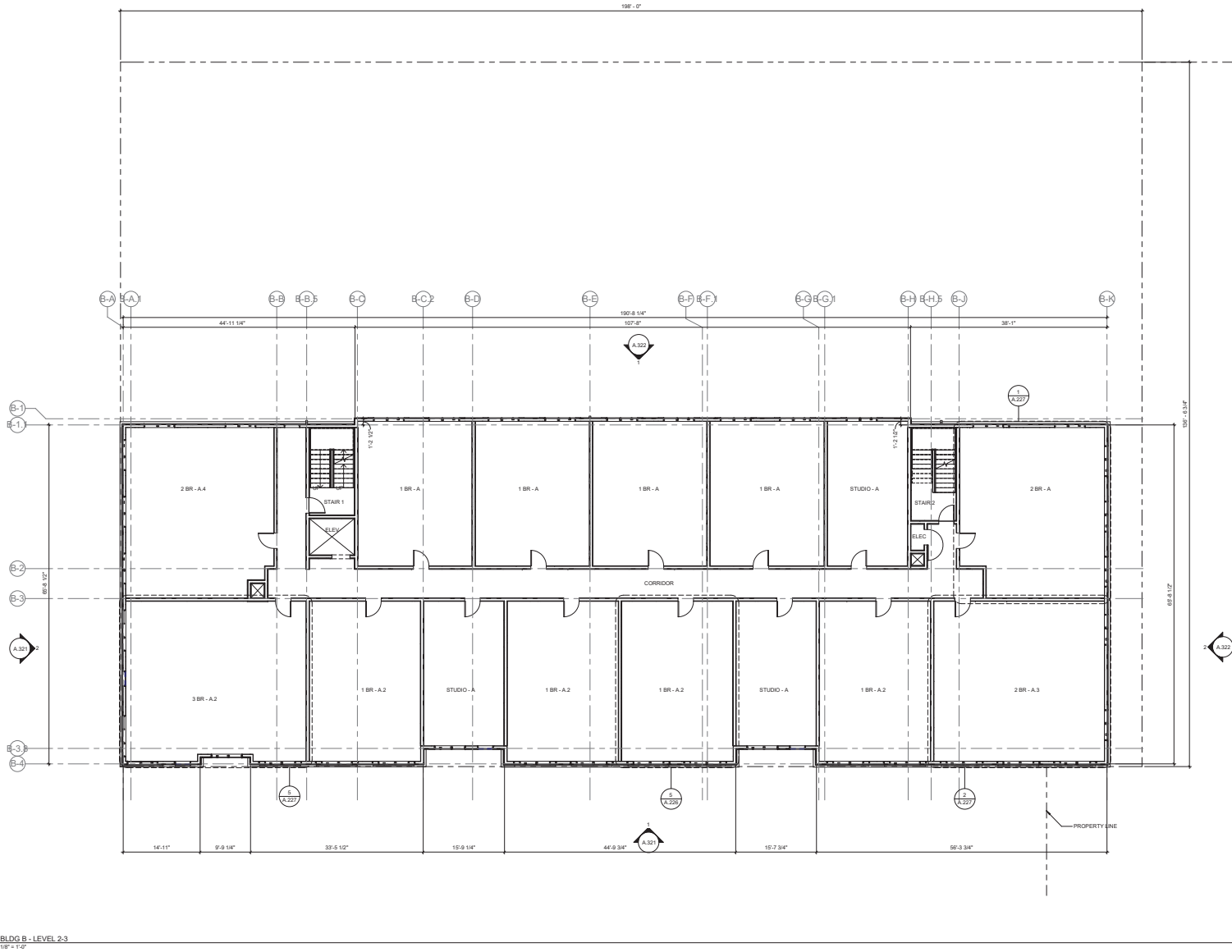
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LAND USE REVIEW

PRELIMINARY NOT
 FOR CONSTRUCTION

SHEET TITLE:
BUILDING B LEVEL 2-3 PLAN

SHEET NO.:
A.222



1
 222
BLDG B - LEVEL 2-3
 1/8" = 1'-0"

C:\Draws_Local\818115_Villebois_Village\indoor.dwg

8/3/2021 10:13 PM

GENERAL NOTES - PLANS

1. ALL CORRIDOR AND DEMISING WALLS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM. ALL WALLS BETWEEN RETAIL SERVICES OR FUTURE RETAILS AND OTHER BUILDING FUNCTIONS TO HAVE A 1 HR FIRE RESISTANCE RATING MINIMUM.
2. ALL STAIR, ELEVATOR, AND SHAFT WALLS TO HAVE A 2 HR FIRE RESISTANCE RATING.
3. ALL EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF 1 HR PER THE EXTERIOR VERTICAL ASSEMBLY SHEET.



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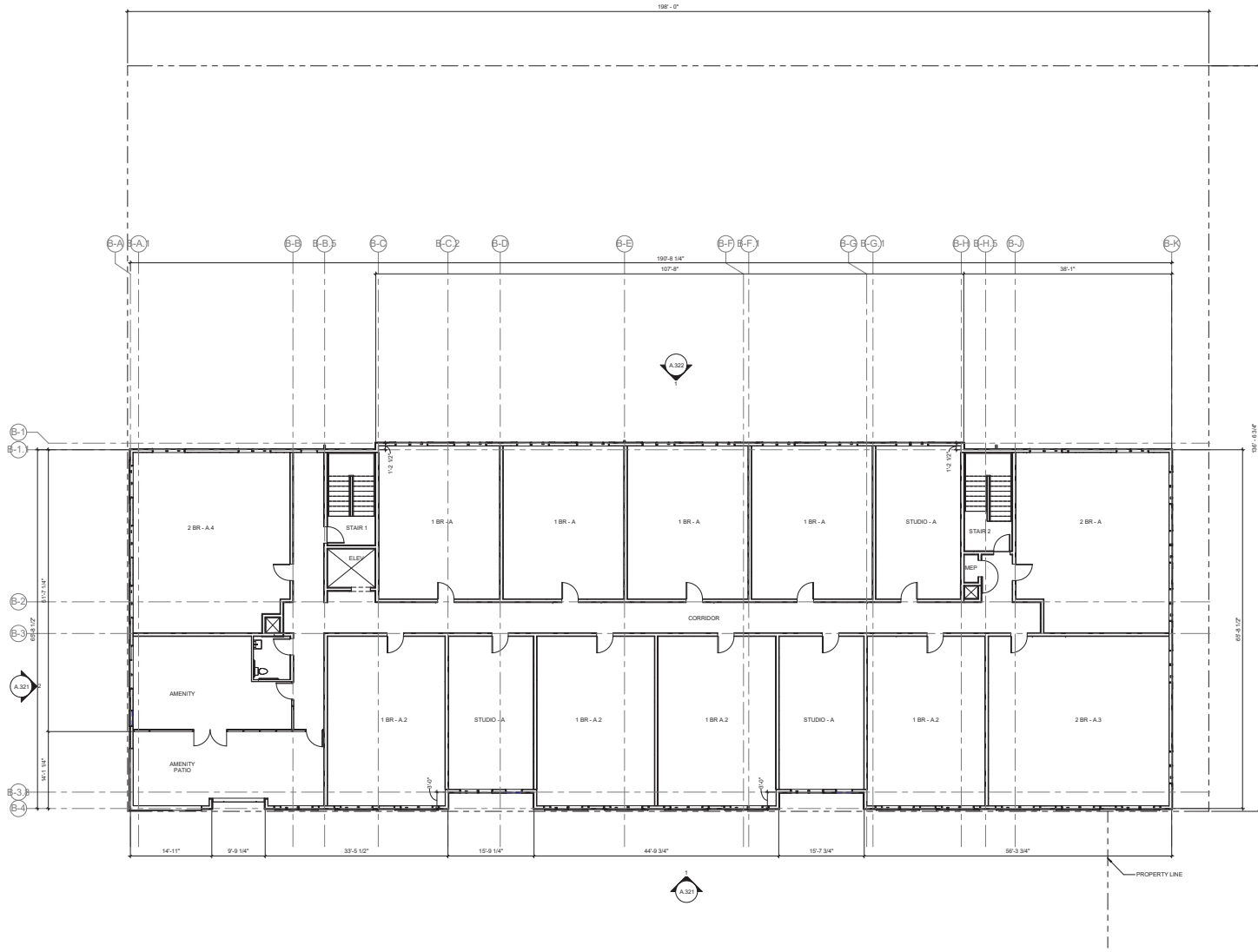
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PRELIMINARY NOT
 FOR CONSTRUCTION

SHEET TITLE:
BUILDING B LEVEL 4 PLAN

SHEET NO.:
A.224



BLDG B - LEVEL 4
 18' x 114'

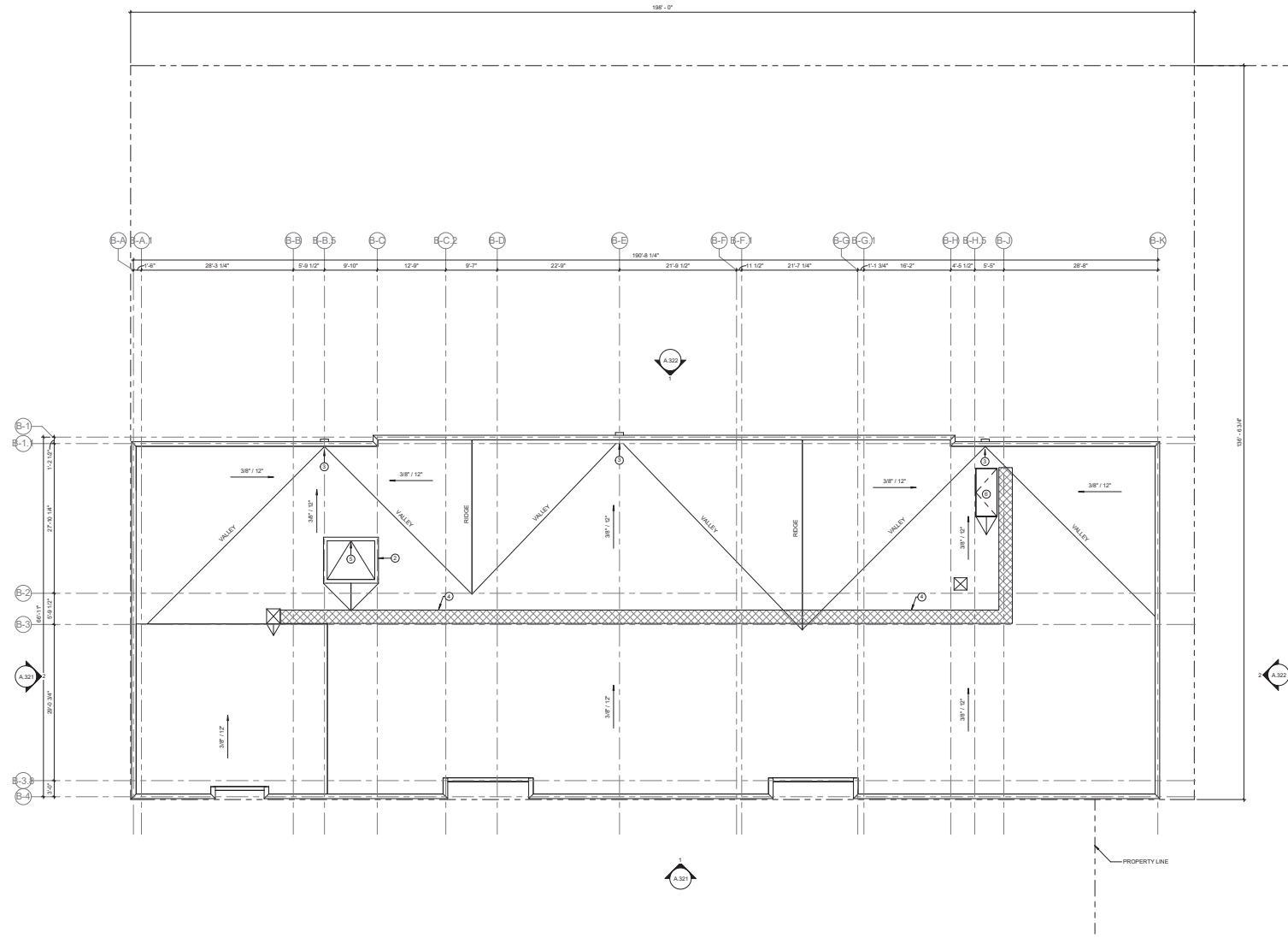
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6/3/2021 1:01:15 PM

GENERAL NOTES - ROOF PLAN

1. ROOF SLOPES ARE 1/2" 12" MIN UON.
2. PROVIDE ROOF CRICKETS AT ALL CURBS.

KEYNOTES - LUR ROOF PLAN	
1	ELEVATOR OVERRUN
2	ROOF DRAIN W/ DOWNSPOUT
3	WALKWAY PAD
4	THROUGH WALL SCUPPER
5	ROOF PATCH
6	GUTTER AND DOWNSPOUT



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LAND USE REVIEW

SHEET TITLE:
BUILDING B ROOF PLAN

SHEET NO.:
A.225



VILLEBOIS VILLAGE CENTER

OWNER:
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ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
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REVISION: DESCRIPTION:

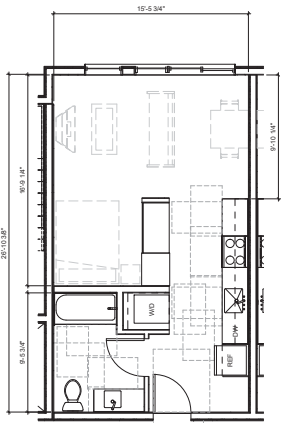
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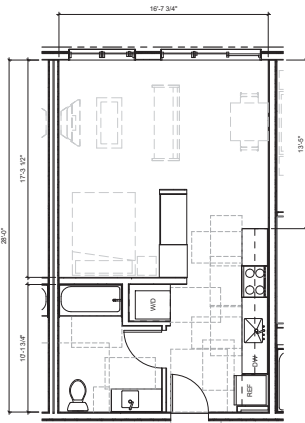
LAND USE REVIEW

SHEET TITLE:
BLDG A & B UNIT PLANS

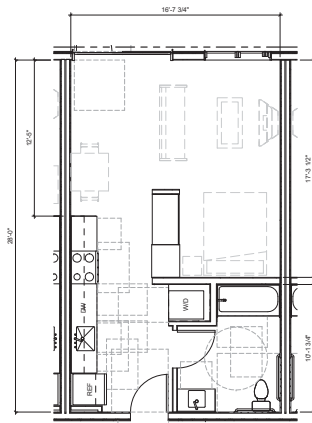
SHEET NO.:
A.226



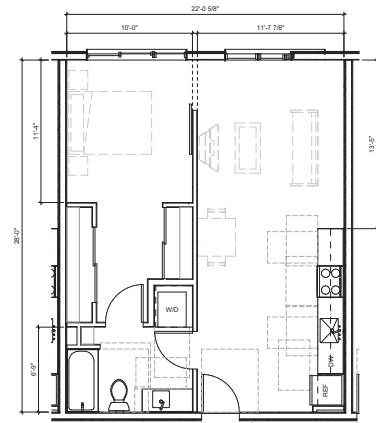
1 STUDIO - A
 1/4" = 1'-0"



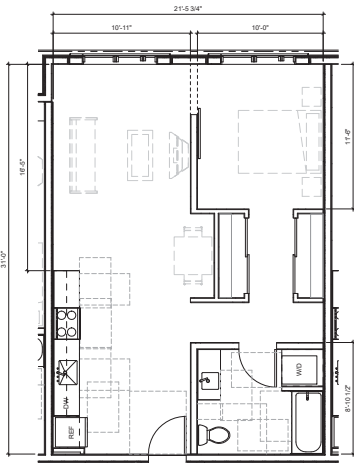
2 STUDIO - A.2
 1/4" = 1'-0"



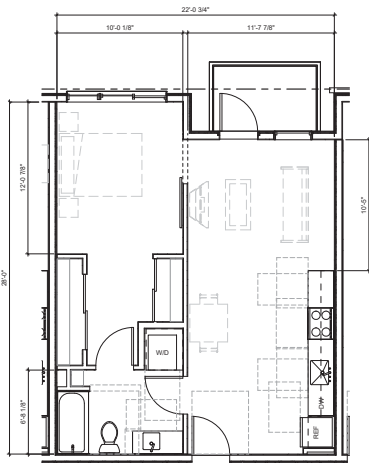
3 STUDIO - A.2 (L/W)
 1/4" = 1'-0"



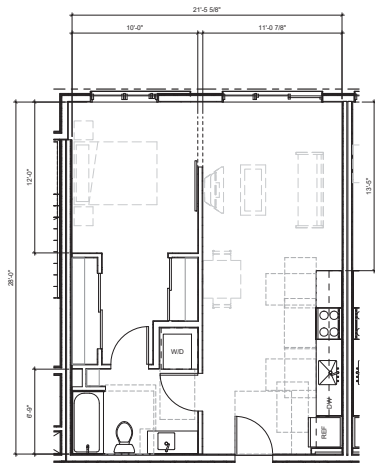
4 1 BR - A
 1/4" = 1'-0"



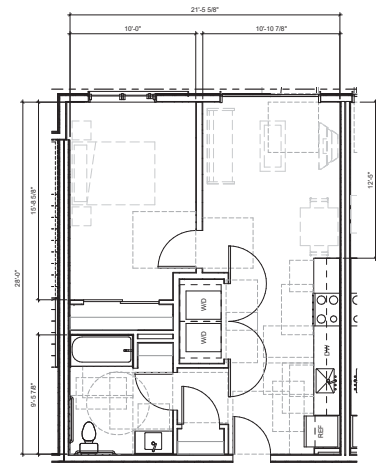
5 1 BR - A.2
 1/4" = 1'-0"



6 1 BR - A.3
 1/4" = 1'-0"



7 1 BR - A.5
 1/4" = 1'-0"



8 1 BR - B (L/W)
 1/4" = 1'-0"



VILLEBOIS VILLAGE CENTER

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PROJECT NO.: 18115
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 REVISION: DESCRIPTION

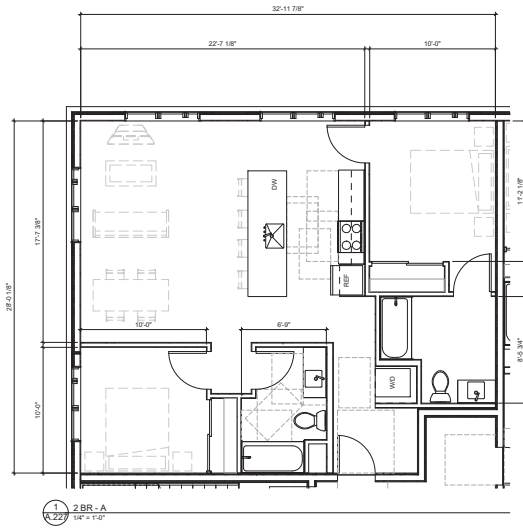
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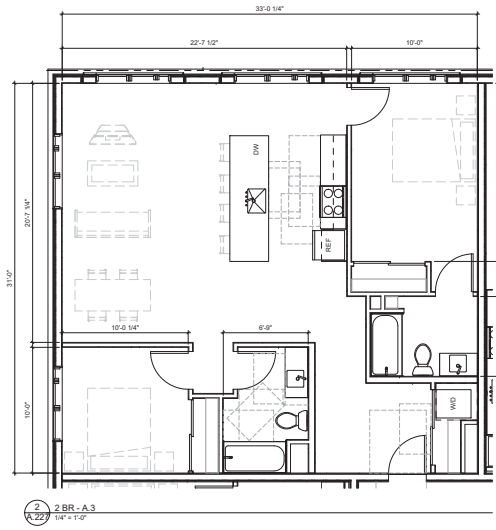
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SHEET TITLE:
BLDG A & B UNIT PLANS

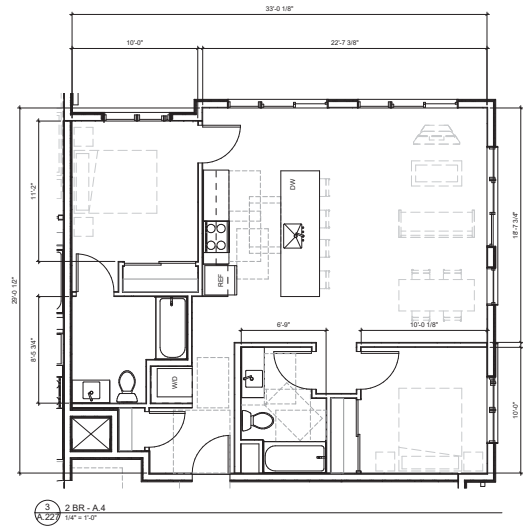
SHEET NO.:
A.227



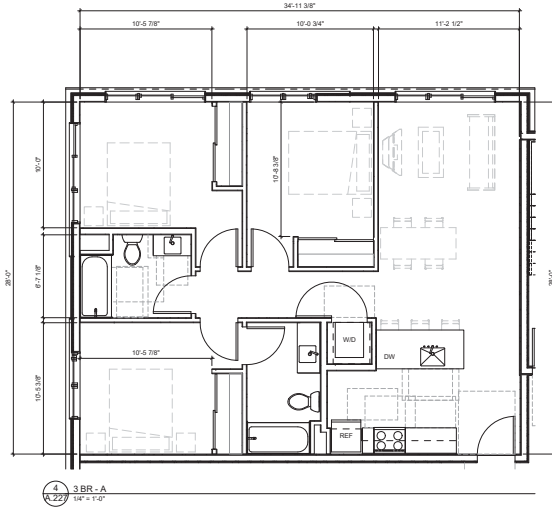
2 BR - A
 14' x 12'



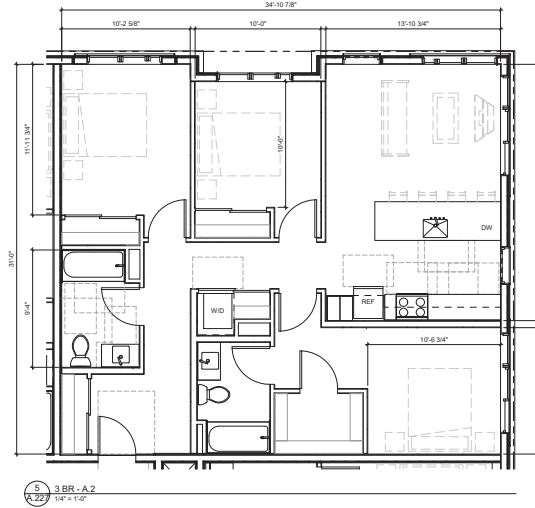
2 BR - A.3
 14' x 12'



2 BR - A.4
 14' x 12'



3 BR - A
 14' x 12'



3 BR - A.2
 14' x 12'

KEYNOTES - LUR ELEVATIONS	
1	FIBER CEMENT LAP SIDING - PEPPERCORN
2	FIBER CEMENT LAP SIDING - DRIFT OF BERT
3	FIBER CEMENT LAP SIDING - SUNFLOWER ORANGE
4	FIBER CEMENT LAP SIDING - ROCK BOTTOM
5	FIBER CEMENT LAP SIDING - ALPACA
6	FIBER CEMENT REVEAL PANEL - WHITE
7	FIBER CEMENT REVEAL PANEL - GAVILLET GRAY
8	FIBER CEMENT REVEAL PANEL - MARIGOLD ORANGE
9	FIBER CEMENT REVEAL PANEL - SUNFLOWER ORANGE
10	BRICK VENEER - ASPEN
11	BRICK VENEER - COAL CREEK
12	BRICK VENEER - MARIANA LN
13	FIBER CEMENT BOARD AND BATTEN PANEL - ALPACA
14	PUTTER AND DOWNSPOUT - PAINTED BLACK
15	FIBER CEMENT REVEAL PANEL - CAJON
16	CABLE RAILING BOL-TON BALCONY (5'-0" x 10'-0" PLAN DIMS)
17	CABLE RAILING BOL-TON BALCONY (5'-0" x 10'-0" PLAN DIMS)
18	PAINTED STEEL CHANNEL CANOPY
19	METAL COPING - BLACK
20	METAL COPING - BLACK
21	FIBER CEMENT - FASCIA BOARD - IRON ORE
22	PAINTED METAL ANGLE FLASHING BETWEEN LAP SIDING AND REVEAL PANEL TYP
23	HARDIE REVEAL
24	METAL PRE-FORMED OUTSIDE CORNERS @ LAP SIDING
25	1/4" FIBER CEMENT EDGE TRIM
26	PAINTED PLATE STEEL CANOPY
27	WALL WOODS
28	STOREFRONT SYSTEM
29	FIBER CEMENT REVEAL PANEL - IRON ORE



1 BLDG A - ELEVATION - WEST
 1/8" = 1'-0"



2 BLDG A - ELEVATION - NORTH
 1/8" = 1'-0"



VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
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LAND USE REVIEW

PRELIMINARY NOT FOR CONSTRUCTION

SHEET TITLE:
BUILDING A ELEVATIONS

SHEET NO.:
A.311

KEYNOTES - LUR ELEVATIONS	
1	FIBER CEMENT LAP SIDING - PEPPERCORN
2	FIBER CEMENT LAP SIDING - DRIFT OF BERT
3	FIBER CEMENT LAP SIDING - SUNFLOWER ORANGE
4	FIBER CEMENT LAP SIDING - ROCK BOTTOM
5	FIBER CEMENT LAP SIDING - ALPACA
6	FIBER CEMENT REVEAL PANEL - WHITE
7	FIBER CEMENT REVEAL PANEL - GAVILLET GRAY
8	FIBER CEMENT REVEAL PANEL - MARIPOSA ORANGE
9	FIBER CEMENT REVEAL PANEL - SUNFLOWER ORANGE
10	BRICK VENEER - ALPACA
11	BRICK VENEER - COAL CREEK
12	BRICK VENEER - MARIPOSA
13	FIBER CEMENT BOARD AND BATTEN PANEL - ALPACA
14	FILTER AND DOWNSPOUT - PAINTED BLACK
15	FIBER CEMENT REVEAL PANEL - CAJON
16	CABLE RAILING BOL-TON BALCONY (5'-0" x 10'-0" PLAN DIMS)
17	CABLE RAILING BOL-TON BALCONY (5'-0" x 10'-0" PLAN DIMS)
18	PAINTED STEEL CHANNEL CANOPY
19	METAL COPING - BLACK
20	METAL COPING - BLACK
21	FIBER CEMENT - FASCIA BOARD - IRON ORE
22	PAINTED METAL ANGLE FLASHING BETWEEN LAP SIDING AND REVEAL PANEL TOP
23	HARDIE REVEAL
24	METAL PRE-FORMED OUTSIDE CORNERS @ LAP SIDING
25	1/4" FIBER CEMENT EDGE TRIM
26	PAINTED PLATE STEEL CANOPY
27	PAINT WOODS
28	STOREFRONT SYSTEM
29	FIBER CEMENT REVEAL PANEL - IRON ORE



1 BLDG A - ELEVATION - EAST
 1/8" = 1'-0"



2 BLDG A - ELEVATION - SOUTH
 1/8" = 1'-0"



VILLEBOIS VILLAGE CENTER

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PROJECT NO.: 18115
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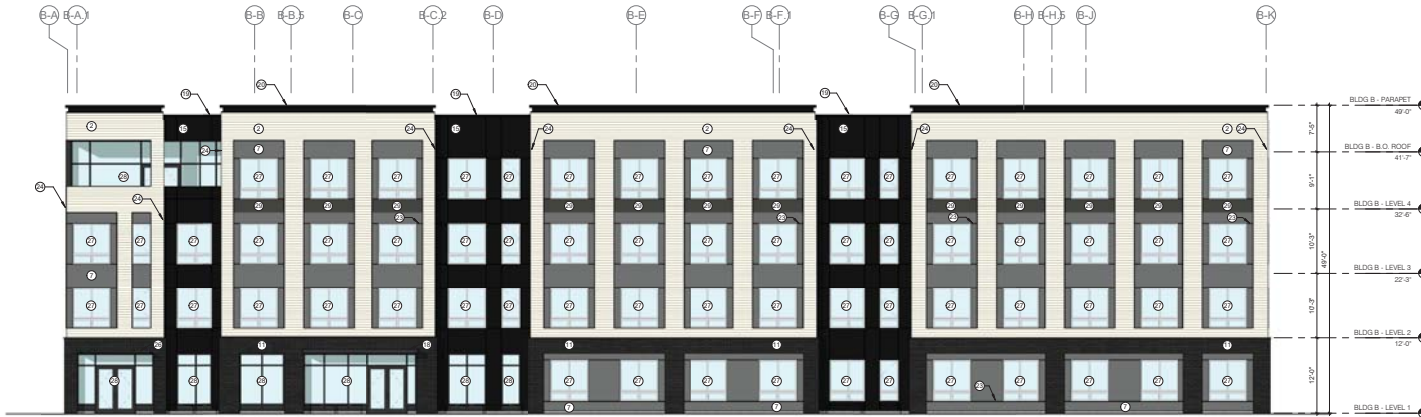
LAND USE REVIEW

PRELIMINARY NOT FOR CONSTRUCTION

SHEET TITLE:
BUILDING A ELEVATIONS

SHEET NO.:
A.312

KEYNOTES - LUR ELEVATIONS	
1	FIBER CEMENT LAP SIDING - PEPPERCORN
2	FIBER CEMENT LAP SIDING - DRIFT OF BERT
3	FIBER CEMENT LAP SIDING - SUNFLOWER ORANGE
4	FIBER CEMENT LAP SIDING - ROCK BOTTOM
5	FIBER CEMENT LAP SIDING - ALPACA
6	FIBER CEMENT REVEAL PANEL - WHITE
7	FIBER CEMENT REVEAL PANEL - GAVILLET GRAY
8	FIBER CEMENT REVEAL PANEL - MARIGOLD ORANGE
9	FIBER CEMENT REVEAL PANEL - SUNFLOWER ORANGE
10	BRICK VENEER - ALPACA
11	BRICK VENEER - COAL CREEK
12	BRICK VENEER - MARIANA LON
13	FIBER CEMENT BOARD AND BATTEN PANEL - ALPACA
14	FILTER AND DOWNSPOUT - PAINTED BLACK
15	FIBER CEMENT REVEAL PANEL - CAJON
16	CABLE RAILING BOLTON BALCONY (5'-0" x 10'-0" PLAN DIMS)
17	CABLE RAILING BOLTON BALCONY (5'-0" x 10'-0" PLAN DIMS)
18	PAINTED STEEL CHANNEL CANOPY
19	METAL COPING - BLACK
20	METAL COPING - S-PRICE - BLACK
21	FIBER CEMENT - FASCIA BOARD - IRON ORE
22	PAINTED METAL ANGLE FLASHING BETWEEN LAP SIDING AND REVEAL PANEL - TP
23	HARDIE REVEAL
24	METAL PRE-FORMED OUTSIDE CORNERS @ LAP SIDING
25	1/4" FIBER CEMENT EDGE TRIM
26	PAINTED PLATE STEEL CANOPY
27	WALL WOODS
28	STONE FRONT SYSTEM
29	FIBER CEMENT REVEAL PANEL - IRON ORE



1 BLDG B - ELEVATION - SOUTH
 18' x 1'-0"



2 BLDG B - ELEVATION - WEST
 18' x 1'-0"



VILLEBOIS VILLAGE CENTER

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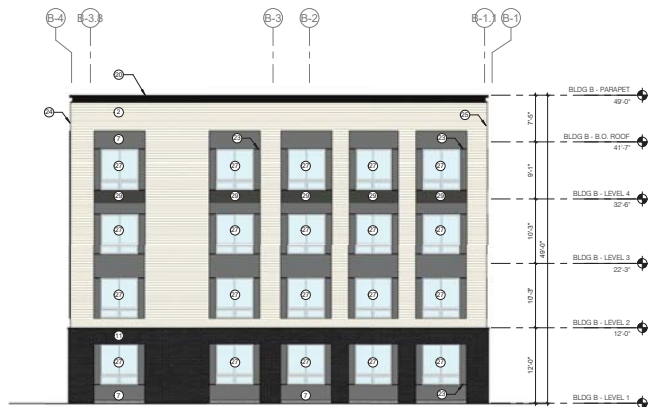
SHEET TITLE:
BUILDING B ELEVATIONS

SHEET NO.:
A.321

KEYNOTES - LUR ELEVATIONS	
1	FIBER CEMENT LAP SIDING - PEPPERCORN
2	FIBER CEMENT LAP SIDING - DRIFT OF BERT
3	FIBER CEMENT LAP SIDING - SUNFLOWER ORANGE
4	FIBER CEMENT LAP SIDING - ROCK BOTTOM
5	FIBER CEMENT LAP SIDING - ALPACA
6	FIBER CEMENT REVEAL PANEL - WHITE
7	FIBER CEMENT REVEAL PANEL - GAVILET GRAY
8	FIBER CEMENT REVEAL PANEL - MARIPOSA GRAY
9	FIBER CEMENT REVEAL PANEL - SUNFLOWER ORANGE
10	FIBER CEMENT REVEAL PANEL - COAL CREEK
11	BRICK VENEER - MARIPOSA
12	FIBER CEMENT BOARD AND BATTEN PANEL - ALPACA
13	FIBER CEMENT REVEAL PANEL - CAJON
14	PUTTER AND DOWNSPOUT - PAINTED BLACK
15	FIBER CEMENT REVEAL PANEL - CAJON
16	CABLE RAILING BOLTON BALCONY (5'-0" x 10'-0" PLAN DIMS)
17	CABLE RAILING BOLTON BALCONY (5'-0" x 10'-0" PLAN DIMS)
18	PAINTED STEEL CHANNEL CANOPY
19	METAL COPING - BLACK
20	METAL COPING - S-PRECE - BLACK
21	FIBER CEMENT - FASCIA BOARD - IRON ORE
22	PAINTED METAL ANGLE FLASHING BETWEEN LAP SIDING AND REVEAL PANEL TYP
23	HARDIE REVEAL
24	METAL PRE-FORMED OUTSIDE CORNERS @ LAP SIDING
25	1/4" FIBER CEMENT EDGE TRIM
26	PAINTED PLATE STEEL CANOPY
27	PAINT WOOD
28	STOREFRONT SYSTEM
29	FIBER CEMENT REVEAL PANEL - IRON ORE



1 BLDG B - ELEVATION - NORTH
 1/8" = 1'-0"



2 BLDG B - ELEVATION - EAST
 1/8" = 1'-0"

VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
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LAND USE REVIEW

PRELIMINARY NOT FOR CONSTRUCTION

SHEET TITLE:
BUILDING B ELEVATIONS

SHEET NO.:
A.322

SIGNAGE PLAN - GENERAL NOTES

- SITE AND BUILDING SIGNAGE IS TO BE A DEFERRED SUBMITTAL AND WILL ADHERE BY THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN.
- RELEVANT SHEETS FROM THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN HAVE BEEN PROVIDED FOR REFERENCE.



FRUTKER BOLD CONDENSED
A B C D E F G H I J K L M N O P Q R S T U V W X Y Z 0 1 2 3 4 5 6 7 8 9
a b c d e f g h i j k l m n o p q r s t u v w x y z . , ! @ # \$ % ^ & * ()

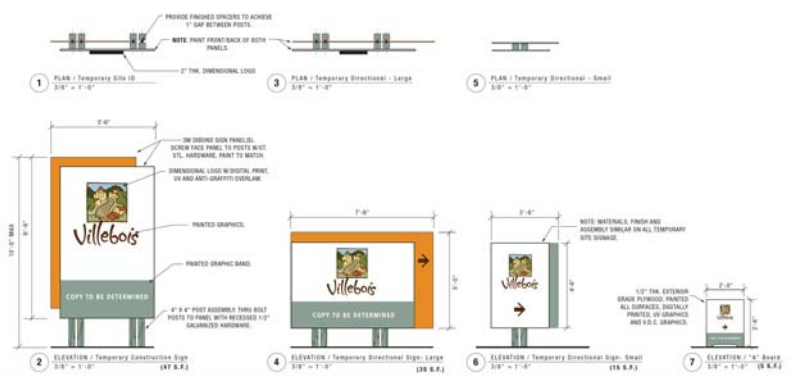
CAROLINE
A B C D E F G H I J K L M N O P Q R S T U V W X Y Z 0 1 2 3 4 5 6 7 8 9
a b c d e f g h i j k l m n o p q r s t u v w x y z . , ! @ # \$ % ^ & * ()



LOGO
The logo is the official mark of Villebois. It is used to provide continuity throughout the community.

TYPOGRAPHY
Notations represent the approved logo family, Frutker Bold Condensed and Caroline. These fonts shall be used for all signage communications throughout the community.

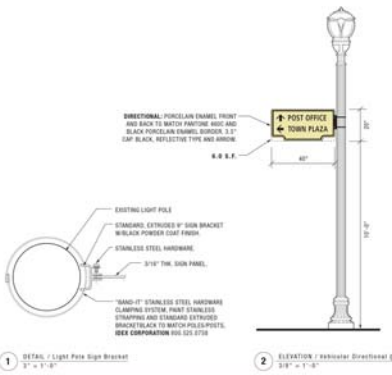
SYMBOLS
International symbols communicate a range of complex messages, are clearly legible at a distance and address users of different ages and cultures.



LOCATION
Please refer to the location map for the location of the sign. Signs are to be located on the property, visible to the right of the building. The sign shall be used to provide information to the public. The sign shall be used to provide information to the public. The sign shall be used to provide information to the public.

APPLICATION
Signage shall be used to provide information to the public. The sign shall be used to provide information to the public. The sign shall be used to provide information to the public.

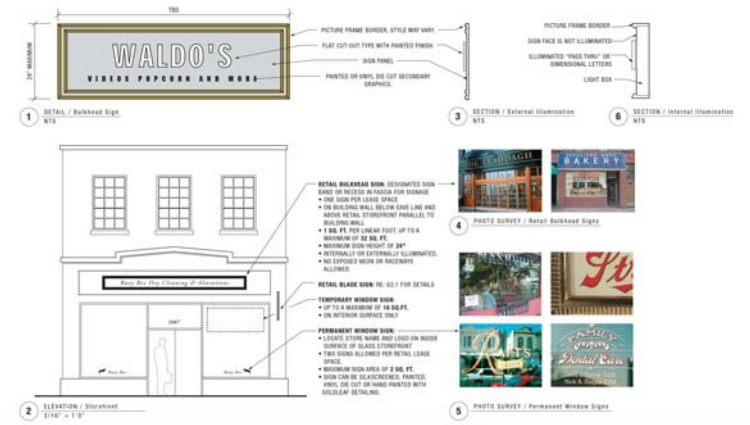
DESCRIPTION
Signage shall be used to provide information to the public. The sign shall be used to provide information to the public. The sign shall be used to provide information to the public.



LOCATION
As required to properly define wayfinding traffic conditions and address the safety and security of the community.

APPLICATION
Provide a common graphic and visual language with the community through light fixtures.

DESCRIPTION
Provide a common graphic and visual language with the community through light fixtures.



LOCATION
Retail signage located within the village center.

APPLICATION
Provide a common graphic and visual language with the community.

DESCRIPTION
Retail signage designed to identify, enhance & distinguish. Modern and simple in style and without cluttering the view.

VILLEBOIS
VILLAGE
CENTER

OWNER:
COSTA PACIFIC
COMMUNITIES

ADDRESS:
SW BARBER ST
WILSONVILLE, OR

PROJECT NO.: 10115
DRAWN: Author
DATE: 14 MAY 2021
LAND USE REVIEW

REVISION: DESCRIPTION

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LAND USE REVIEW

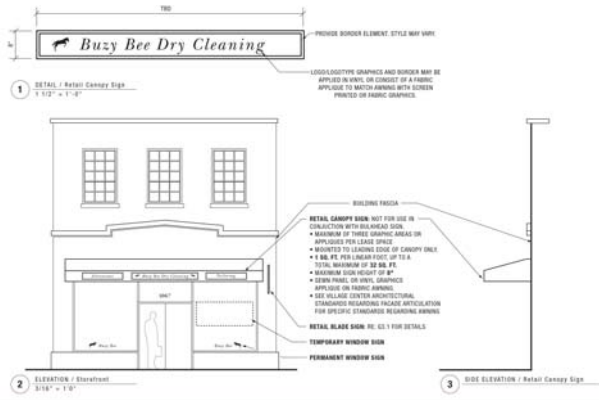
PRELIMINARY NOT
FOR CONSTRUCTION

SHEET TITLE:
SIGNAGE PLAN - BLDG A & B

SHEET NO.:
A.401

SIGNAGE PLAN - GENERAL NOTES

1. SITE AND BUILDING SIGNAGE IS TO BE A DEFERRED SUBMITTAL AND WILL ADHERE BY THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN.
2. RELEVANT SHEETS FROM THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN HAVE BEEN PROVIDED FOR REFERENCE.

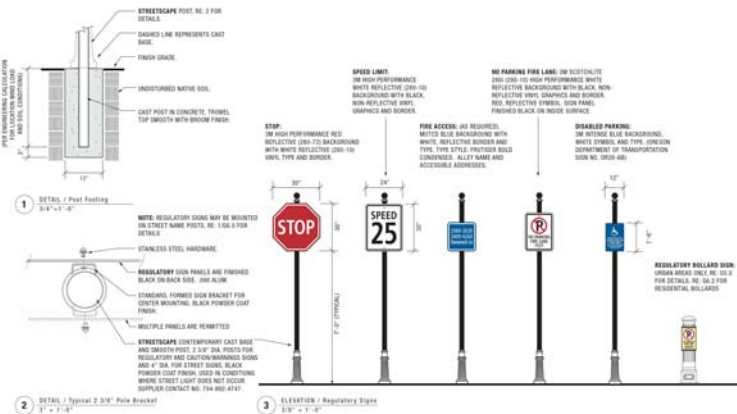


AMORINI design MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/20/20

RETAIL SIGNS G3.1

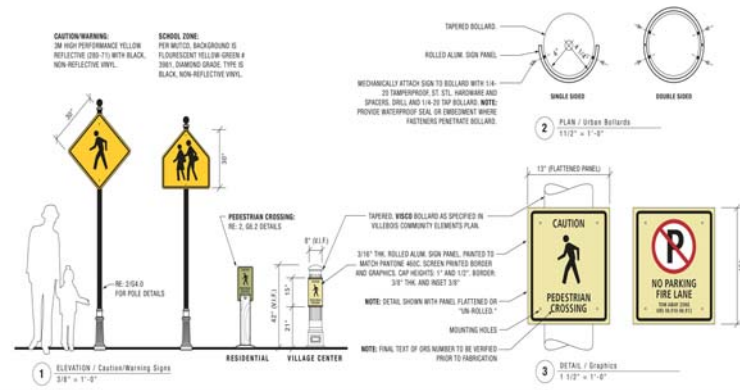
AMORINI design MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/20/20

RETAIL SIGNS G3.2



AMORINI design MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/20/20

REGULATORY SIGNS G4.0



AMORINI design MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/20/20

CAUTION / WARNING SIGNS G5.0

VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 10115
 DRAWN: Author
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LAND USE REVIEW

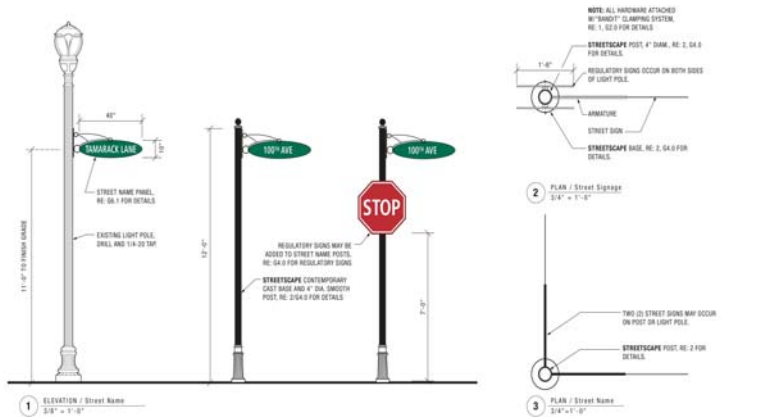
PRELIMINARY NOT FOR CONSTRUCTION

SHEET TITLE:
SIGNAGE PLAN - BLDG A & B

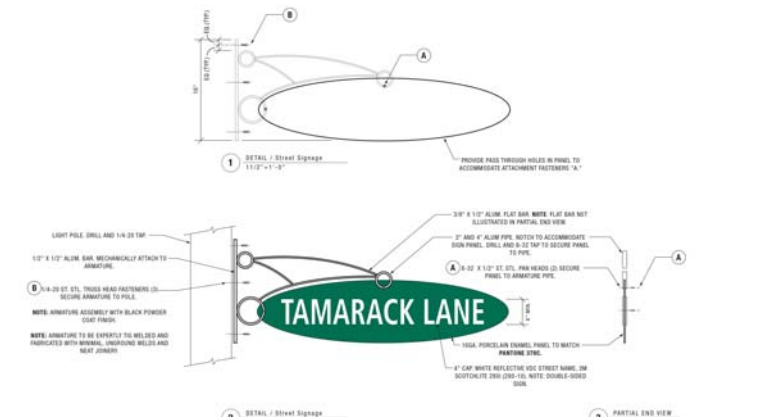
SHEET NO.:
A.402

SIGNAGE PLAN - GENERAL NOTES

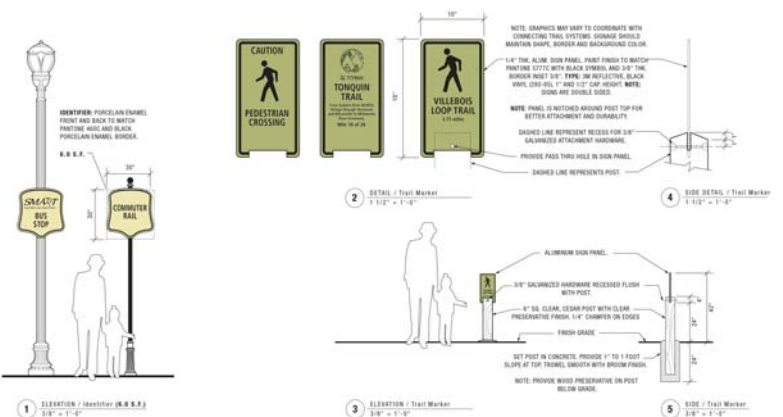
1. SITE AND BUILDING SIGNAGE IS TO BE A DEFERRED SUBMITTAL AND WILL ADHERE BY THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN.
2. RELEVANT SHEETS FROM THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN HAVE BEEN PROVIDED FOR REFERENCE.



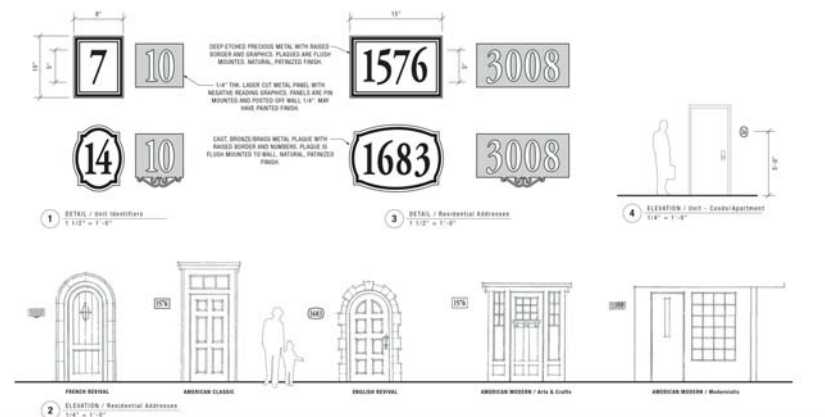
LOCATION	APPLICATION	DESCRIPTION
Placed along primary vehicular streets at intersections.	Identify all streets located within the Village community. This design is intended to be used throughout the community.	This design presents a street sign graphic with a white background and reflective strip on all four sides. Custom text elements that require the sign panel to be used as a double-sided sign.



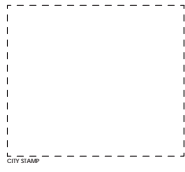
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LOCATION	APPLICATION	DESCRIPTION
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LOCATION	APPLICATION	DESCRIPTION
Placed on a rear residential entry or on the address front door.	To indicate the front residential entry. To provide a common geographic sign and consistent number use throughout the neighborhood.	Each sign should be color and size per the table. Background of signs should be white. Use sign panel and double-sided metal, white sign hardware on a steel bracket on both numbers on light background.



VILLEBOIS VILLAGE CENTER

OWNER:
COSTA PACIFIC COMMUNITIES

ADDRESS:
SW BARBER ST WILSONVILLE, OR

PROJECT NO.: 18115
DRAWN: Author
DATE: 14 MAY 2021
LAND USE REVIEW

REVISION: DESCRIPTION

LAND USE REVIEW

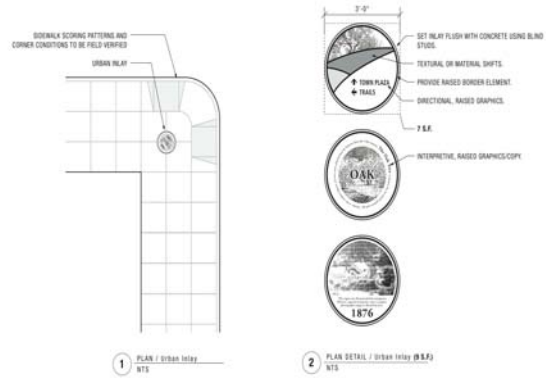
SHEET TITLE:
SIGNAGE PLAN - BLDG A & B

SHEET NO.:
A.403

PRELIMINARY NOT FOR CONSTRUCTION

SIGNAGE PLAN - GENERAL NOTES

1. SITE AND BUILDING SIGNAGE IS TO BE A DEFERRED SUBMITTAL AND WILL ADHERE BY THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN.
2. RELEVANT SHEETS FROM THE GAP CENTRAL MASTER SIGNAGE AND WAYFINDING PLAN HAVE BEEN PROVIDED FOR REFERENCE.



LOCATION

Walkable landscape along major pedestrian thoroughfare in the village center located in urban walk zone. Can be located or color as a series.

APPLICATION

To enhance the village identity and draw for a sense of discovery by residents and visitors. Standard mounted graphic design would not require sight lines to street and other urban features. The design must communicate historic background and directional information.

DESCRIPTION

Can meet objectives of benchmark graphic to draw provide visible resident graphics. All materials are to have a natural finish. Multiple materials provide color and texture shifts. Final finishes to determined by selected materials (i.e. bronze, stone, etc.).



MASTER SIGNAGE & WAYFINDING PLAN DESIGN FINALIZATION 100% 2/28/06

ENVIRONMENTAL GRAPHIC ENHANCEMENT 07.1



**VILLEBOIS
 VILLAGE
 CENTER**

OWNER:
**COSTA PACIFIC
 COMMUNITIES**

ADDRESS:
**SW BARBER ST
 WILSONVILLE, OR**

PROJECT NO.: 18115
 DRAWN: Author
 DATE: 14 MAY 2021
 LAND USE REVIEW

REVISION: DESCRIPTION:

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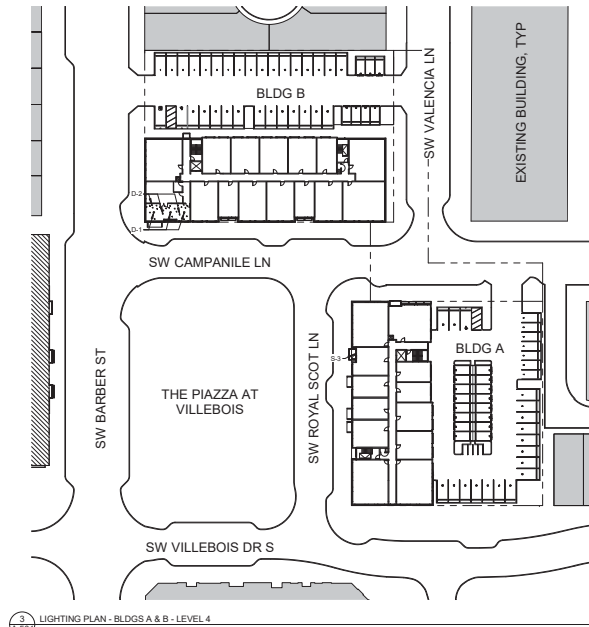
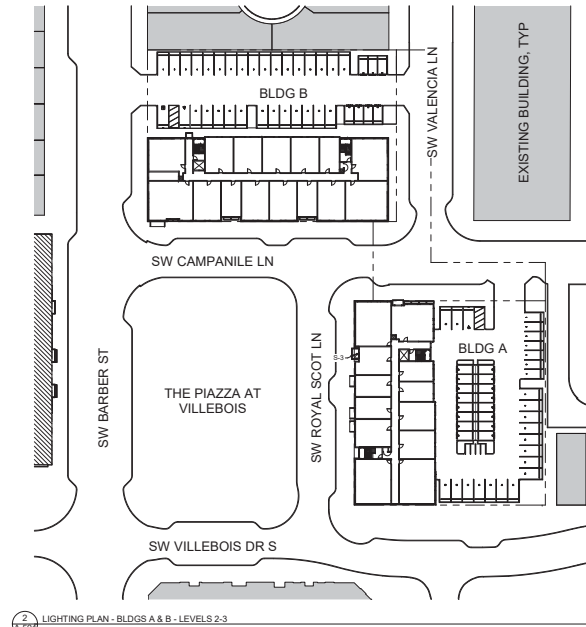
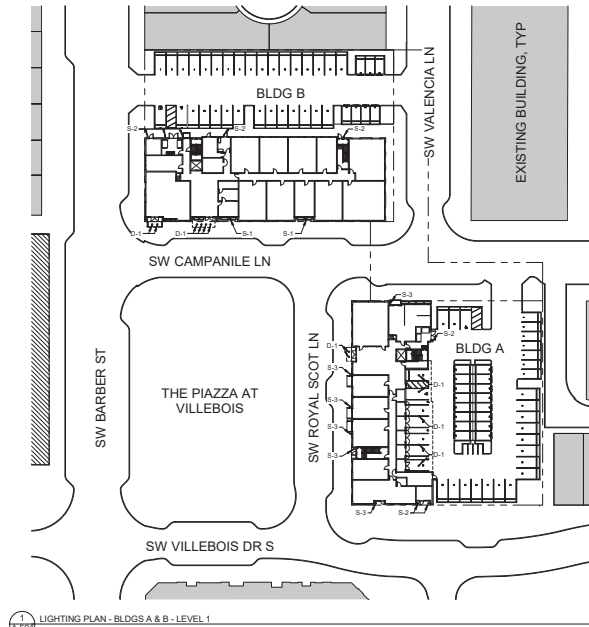
SHEET TITLE:
SIGNAGE PLAN - BLDG A & B

SHEET NO.:
A.404

LAND USE REVIEW

LIGHTING PLAN - GENERAL NOTES

1. SEE LANDSCAPE DRAWINGS FOR ADDITIONAL SITE LIGHTING INFORMATION. ARCHITECTURAL LIGHTING PLAN FOR REFERENCE OF BUILDING LIGHTING ONLY.
2. ALL OUTDOOR LIGHTING WILL BE DESIGNED TO MEET THE REQUIREMENTS OF LZ2 OF THE LIGHT ZONE MAP.



D-1
 • EXTERIOR RECESSED LED DOWNLIGHT
 • EATON RL6-DM OR SIMILAR



D-2
 • FEATURE EXTERIOR RECESSED LED DOWNLIGHT
 • ACOLYTE RIBBONLYTE OR SIMILAR



S-1
 • EXTERIOR UP AND DOWNLIGHT SCENCE
 • EATON LANTERRA 9004-W2-RW OR SIMILAR



S-2
 • EXTERIOR RECESSED LED DOWNLIGHT
 • EATON ENV OR SIMILAR



S-3
 • EXTERIOR DOWNLIGHT SCENCE
 • EATON LANTERRA 9004-W1-RW OR SIMILAR

**VILLEBOIS
 VILLAGE
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LAND USE REVIEW

SHEET TITLE:
SITE LIGHTING PLAN - BLDG A & B

SHEET NO.:
A.501